



## PLAN COMMISSION AGENDA

Tuesday, October 18, 2016 6:00 p.m.  
Town Hall - 1900 W. Grand Chute Blvd.

1. Roll Call.
2. Pledge of Allegiance.
3. Approval of Agenda.
4. Approval of Minutes – October 4, 2016 meeting.
5. Public Input.
6. Community Development Director's Report.
7. **Public Hearing #1** – Consideration of Ordinance No. O-08-2016 amending existing Chapters 398 and 423 of the Town of Grand Chute Municipal Code pertaining to public nuisances, property maintenance and natural landscaping. **Action:** Hear testimony/close hearing.
8. **Municipal Code Amendment (Ordinance No. O-08-2016)** – Amend existing Chapters 398 and 423 of the Town of Grand Chute Municipal Code pertaining to public nuisances, property maintenance and natural landscaping. **Action:** Recommend approval/denial of Ordinance No. O-08-2016. (TOWN BOARD ACTION 11/1/2016)
9. **Site Plan (SP-24-16)** – Request by Metal Products, Inc., 1201 N. Perkins Street, for construction of a building addition. **Action:** Approve/deny SP-24-16.
10. Adjournment.

A quorum of the Town Board, Park Commission, Police and Fire Commission, Board of Appeals, and Licensing Committee may be present at this meeting. No official action of these bodies will be taken. **Accommodation Notice**-Any person requiring special accommodation who wishes to attend this meeting should contact **(Administration at 832-1573)** at least 48 hours in advance.

## GRAND CHUTE PLAN COMMISSION MINUTES

October 4, 2016

Members Present: Chairman Dave Schowalter, Commissioners Bruce Sherman, Robert Stadel, Vivian Huth, Duane Boeckers, Pam Crosby, and John Weber.

Members Absent: Julie Hidde.

Also Present: James March, Town Administrator; Julie Wahlen, Finance Director/Treasurer; Mary Baxter, Executive Secretary/HR; Thomas Marquardt, Public Works Director; Karen Heyrman, Deputy Public Works Director; Dave Wallenfang, IT Specialist; Robert Buckingham, Community Development Director; Michael Patza, Town Planner; other interested parties (audience attendance = 3)

1. **ROLL CALL**

Chairman Schowalter opened the meeting at 6:00 p.m.

2. **PLEDGE OF ALLEGIANCE**

3. **APPROVAL OF AGENDA.**

**Motion (Huth/Boeckers) to approve the agenda.** Motion carried, all voting aye.

4. **APPROVAL OF MINUTES** – SEPTEMBER 20, 2016 MEETING.

**Motion (Crosby/Sherman) to approve the minutes.** Motion carried, all voting aye.

5. **PUBLIC INPUT** – None.

6. **COMMUNITY DEVELOPMENT DIRECTOR'S REPORT** - No report,

7. **PUBLIC HEARING #1** – REZONING (Z-07-16) REQUESTED BY FOX COMMUNITIES CREDIT UNION, ON BEHALF OF WAYNE AND MARLENE WILCOX, TO REZONE THE PROPERTY AT 2605 W. HIGHWAY DRIVE FROM RSF SINGLE-FAMILY RESIDENTIAL DISTRICT TO CL LOCAL COMMERCIAL DISTRICT.

Chairman Schowalter opened Public Hearing #1 at 6:01 p.m.

There was no public input.

**Motion (Huth/Sherman) to close Public Hearing #1 at 6:02 p.m.** Motion carried, all voting aye.

8. **REZONING (Z-07-16)** – REQUEST BY FOX COMMUNITIES CREDIT UNION, ON BEHALF OF WAYNE AND MARLENE WILCOX, TO REZONE THE PROPERTY AT 2605 W. HIGHWAY DRIVE FROM RSF SINGLE-FAMILY RESIDENTIAL DISTRICT TO CL LOCAL COMMERCIAL DISTRICT.

Planner Patza stated that the rezoning action also requires an amendment to the Comprehensive Plan, as noted in the staff report.

**Motion (Sherman/Boeckers) to amend the Comprehensive Plan to reflect Urban-Commercial Use for the property at 2605 W. Highway Drive, and to rezone the property from RSF Single-Family Residential District to CL Local Commercial District (Ordinance O-11-2016).** Motion carried, all voting aye.

9. **SITE PLAN (SP-21-16)** – REQUEST BY GRAND VIEW TOWNHOMES LLC, DBA GRAND VIEW TOWNHOMES, 551 N. BLUEMOUND DRIVE, FOR CONSTRUCTION OF A 40-UNIT MULTIFAMILY DEVELOPMENT AND ASSOCIATED SITE IMPROVEMENTS.

**Motion (Sherman/Huth) to approve the Site Plan (SP-21-16) requested by Grand View Townhomes LLC, dba Grand View Townhomes, 551 N. Bluemound Drive, for construction of a 40-unit multi-family residential development and associated site improvements.** Motion carried, all voting aye.

10. **SITE PLAN (SP-22-16)** – REQUEST BY GARROW PROPERTIES LLC, DBA GARROW OIL & PROPANE, 520 W. EDGEWOOD DRIVE, FOR CONSTRUCTION OF A NEW PROPANE TRUCK GARAGE AND ASSOCIATED SITE IMPROVEMENTS.

**Motion (Stadel/Crosby) to approve the Site Plan (SP-22-16) requested by Garrow Properties LLC, dba Garrow Oil & Propane, 520 W. Edgewood Drive, for construction of a new propane truck garage and associated site improvements.** Motion carried, all voting aye.

11. **SITE PLAN AMENDMENT (SPA3-00-80)** – REQUEST BY RIVER ISLAND INVESTMENTS, LLC, 1400 S. VAN DYKE ROAD, FOR CONSTRUCTION OF A REFUSE CORRAL, PARKING LOT EXPANSION AND ASSOCIATED SITE IMPROVEMENTS.

**Motion (Crosby/Weber) to approve the Site Plan Amendment (SPA3-00-80) requested by River Island Investments, LLC, 1400 S. Van Dyke Road, for construction of a refuse corral, parking lot expansion, and associated site improvements.** Motion carried, all voting aye.

12. **SITE PLAN AMENDMENT (SPA2-00-85)** – REQUEST BY OMSAI LLC, DBA BUDGET INN OF APPLETON, 1032 S. WESTLAND DRIVE, TO MODIFY AN APPROVED PYLON SIGN BY INCREASING THE SIGN HEIGHT TO 25 FEET.

Planner Patza noted that subsequent to recent Plan Commission approved for this sign at height of 18 feet, the applicant/owner reconsidered and is now requesting that the sign height be extended to the code maximum of 25 feet.

**Motion (Crosby/Boeckers) to approve the Site Plan Amendment (SPA2-00-85) requested by OMSAI, LLC, dba Budget Inn of Appleton, 1032 S. Westland Drive, to modify an approved pylon sign to increase the overall height to 25 feet. The approval of the Site Plan Amendment does not constitute an express or implied Hotel License renewal. The owner may proceed with this project at its own risk. The Town reserves all rights for the termination of the Hotel License for this property.** Motion carried, all voting aye.

13. **GRAND CHUTE CODE UPDATE** – REVIEW AND DISCUSS PROPOSED ORDINANCE NO. O-08-2016 ESTABLISHING NATURAL LANDSCAPING STANDARDS.

Planner Patza reviewed draft code revisions that were made following Plan Commission discussion at its September 20 meeting. Included is a provision requiring application for a natural landscaping permit before a property owner would implement this landscape feature.

In response to a question from Chairman Schowalter, Planner Patza stated the permit application procedure would be in effect for natural landscaping to be done after the ordinance has been adopted.

**Motion (Huth/Crosby) to schedule a Public Hearing on October 18, 2016 for Municipal Code amendments pertaining to public nuisances, property maintenance and natural landscaping.** Motion carried, all voting aye.

14. **PETITION FOR NEIGHBORHOOD REZONING** – REVIEW AND DISCUSS PETITION FROM RESIDENTS ON OLDE CASALOMA DRIVE AND W. PARKWAY BOULEVARD, REQUESTING REZONING OF PROPERTIES FROM AGD GENERAL AGRICULTURAL DISTRICT TO RSF SINGLE-FAMILY RESIDENTIAL DISTRICT.

Director Buckingham provided detail on a petition to rezone properties that was presented by property owners on Olde Casaloma Drive and W. Parkway Boulevard. Residents are concerned over future development of some vacant land along Olde Casaloma Drive and wish to rezone that and all other surrounding Ag zoned properties to single-family. He noted not all owners in the affected area signed the petition, so their interest in this action is not known at this time. There is also a technical flaw in that the petition seeks rezoning to "R1", a classification that does not exist. It is presumed that the request is for single-family zoning, but that needs to be confirmed with the originator of the petition. Also, there is some important information to be shared concerning impacts to individual properties if this zoning change were to occur. Some existing legal uses and structures on properties now zoned AGD could become characterized as nonconforming after being rezoned to RSF. When a structure or its use becomes characterized as nonconforming, it can continue as-is, but is subject to restrictions on the extent/cost of repairs or reconstruction that can occur in the future.

Director Buckingham recommended that the Town issue an informational letter to owners of all the affected properties so that everyone is made aware of the rezoning request and possible impacts to individual properties after a zoning change would occur.

Chairman Schowalter concurred with the recommendation and asked that a letter be sent to all affected properties.

15. ADJOURNMENT.

**Motion (Crosby/Sherman) to adjourn at 6:20 p.m.** Motion carried, all voting aye.

Respectfully Submitted,

Tracy Olejniczak/BB  
Community Development Secretary

TOWN OF GRAND CHUTE

ORDINANCE, SERIES OF O-08-2016

AN ORDINANCE OF THE TOWN OF GRAND CHUTE, OUTAGAMIE COUNTY, WISCONSIN, AMENDING EXISTING CHAPTERS 398 AND 423 OF THE CODE OF GENERAL ORDINANCES FOR THE TOWN OF GRAND CHUTE, OUTAGAMIE COUNTY, WISCONSIN, BY REPEALING AND RECREATING SECTION 398-2(B)(6) PERTAINING TO PUBLIC NUISANCES, AND AMENDING SECTION 423-4, REPEALING AND RECREATING SECTION 423-7(I), AND CREATING SECTION 423-7(M) PERTAINING TO PROPERTY MAINTENANCE.

WHEREAS, Chapters 398 and 423 of the Town of Grand Chute Municipal Code regulate rank growth of vegetation and noxious weeds; and

WHEREAS, the Town of Grand Chute has determined the need to amend said Municipal Code to promote and clearly identify guidelines for implementing natural landscaping, while regulating rank growth of vegetation and noxious weeds; and

WHEREAS, when properly implemented and maintained, natural landscaping increases biodiversity, has a positive effect on soil and water conservation, and is an economical and low maintenance option.

NOW, THEREFORE, BE IT ORDAINED by the Town Board of Supervisors of the Town of Grand Chute, Outagamie County, Wisconsin, that Chapter 398 of the Code of General Ordinances is hereby amended by repealing and recreating Section 398-2(B)(6) as shown on the attached Exhibit "A".

BE IT FURTHER ORDAINED by the Town Board of Supervisors of the Town of Grand Chute, Outagamie County, Wisconsin, that Chapter 423 of the Code of General Ordinances is hereby amended by amending Section 423-4, repealing and recreating Section 423-7(I), and creating Section 423-7(M) as shown on the attached Exhibit "B".

If any provision of this ordinance is invalid or unconstitutional, or the application of this ordinance to any person or circumstance is invalid or unconstitutional, such invalidity or unconstitutionality shall not affect the above provision or applications of this ordinance, which can be given effect without the invalid or unconstitutional provision, or its application.

Approved and adopted this \_\_\_\_\_ day of \_\_\_\_\_, 2016.

Number Voted For \_\_\_\_\_

Number Voted Against \_\_\_\_\_

Approved as to form:

\_\_\_\_\_  
Charles D. Koehler, Attorney  
Herring Clark Law Offices  
800 N. Lynndale Drive  
Grand Chute, WI 54914

Town of Grand Chute

\_\_\_\_\_  
David A. Schowalter  
Town Chairman

\_\_\_\_\_  
Karen L. Weinschrott  
Town Clerk

Exhibit "A"  
TOWN OF GRAND CHUTE  
ORDINANCE, SERIES OF O-08-2016

AN ORDINANCE OF THE TOWN OF GRAND CHUTE, OUTAGAMIE COUNTY, WISCONSIN, AMENDING EXISTING CHAPTER 398 OF THE CODE OF GENERAL ORDINANCES FOR THE TOWN OF GRAND CHUTE, OUTAGAMIE COUNTY, WISCONSIN, BY REPEALING AND RECREATING SECTION 398-2(B)(6) PERTAINING TO PUBLIC NUISANCES.

**§ 398-2(B)(6) (As repealed)**

~~All noxious weeds, grasses and other rank growth of vegetation.~~

~~(a) Noxious weeds and grasses shall be defined according to State Statute 66.0407.~~

~~(b) Lawns, grasses and weeds on lots or parcels of land which exceed eight inches in length adversely affect the public health and safety of the public in that they tend to emit pollen and other discomforting bits of plants, house rodents, or constitute a fire hazard and a safety hazard, in that debris can be hidden in the grass or weeds on a lot or other parcel of land which exceed eight inches in length. This subsection is not applicable for property located in a designated floodplain area and/or wetland area. This subsection shall only apply to properties where the designated land use is residential, commercial, and industrial as well as platted residential subdivisions.~~

**§ 398-2(B)(6) (As recreated)**

Noxious weeds, as defined in § 66.0407(1)(b) and § 23.235(1)(a), Wis. Stats., invasive species as defined in NR 40, Wis. Adm. Code, and rank growth of other vegetation, as defined in § 423-4 of the Town of Grand Chute Municipal Code that exceed 8 inches in height. Rank growth of vegetation and noxious weeds adversely impact public health and safety, and can decrease adjacent property values. This subsection applies to properties zoned or used for residential, commercial and industrial purposes, including vacant lots in platted subdivisions. Exceptions include gardens, cultivated flower beds, environmentally sensitive areas, and natural landscaping, as defined in § 423-4 of the Town of Grand Chute Municipal Code.

Exhibit "B"  
TOWN OF GRAND CHUTE  
ORDINANCE, SERIES OF O-08-2016

AN ORDINANCE OF THE TOWN OF GRAND CHUTE, OUTAGAMIE COUNTY, WISCONSIN, AMENDING EXISTING CHAPTER 423 OF THE CODE OF GENERAL ORDINANCES FOR THE TOWN OF GRAND CHUTE, OUTAGAMIE COUNTY, WISCONSIN, BY AMENDING SECTION 423-4, REPEALING AND RECREATING SECTION 423-7(I), AND CREATING SECTION 423-7(M) PERTAINING TO PROPERTY MAINTENANCE.

**§ 423-4. Definitions.** (As amended to add definitions)

**ENVIRONMENTALLY SENSITIVE AREA**

Any lands designated as floodway, floodplain or flood storage area, and mapped wetland areas. Steep slopes equal to or greater than a 3:1 ratio, designated outlots, and areas within 75 feet of the ordinary high-water mark of any navigable stream are also included in this category.

**GARDEN**

A cultivated, well-defined area dedicated to growing vegetables, fruits, and annual or perennial plants. Also referred to as "cultivated flower bed".

**NATIVE PLANTS**

Plants and grasses native to the state of Wisconsin.

**NATURAL LANDSCAPING**

A planned, intentional and maintained area on a property that may include native plants, ornamental grasses and groundcovers, perennial plants, shrubs, trees, and rain gardens. No-mow grasses, that are intended to grow to lengths up to 12 inches and mound over as to not reach a height over 6 inches, are also included in this category

**NOXIOUS WEEDS**

See § 398-2 (B)(6) of the Town of Grand Chute Municipal Code.

**ORNAMENTAL GRASSES OR GROUNDCOVERS**

Grasses and groundcovers not indigenous to the state of Wisconsin, excluding turf grasses and noxious weeds.

**RANK GROWTH**

Vigorous and profuse growth of turf grass, noxious weeds, brush or other vegetation that exceeds 8 inches in height. Exceptions include gardens, cultivated flower beds, environmentally sensitive areas, and natural landscaping.

**TURF GRASS**

Any grass commonly used in groomed and maintained lawns or play areas, including Bluegrass, Fescue and Rye Grass blends, or other similar grasses.

**§ 423-7(I)** (As repealed)

~~Rank growth of vegetation and noxious weeds. All premises and exterior property shall be maintained free from rank growth of vegetation and noxious weed growth in excess of eight inches in height. Rank growth of vegetation and noxious weeds shall be defined as stated in State Statute 66.0407 and also include, without limitation, all grasses, annual plants and vegetation; however, this subsection shall not include cultivated flowers and gardens.~~

**§ 423-7(I)** (As recreated)

Rank growth of vegetation and noxious weeds. All premises and exterior property shall be maintained free from noxious weeds and rank growth of vegetation in excess of 8 inches in height. This subsection applies to properties zoned or used for residential, commercial and industrial purposes, including vacant lots in platted subdivisions. Exceptions include gardens, cultivated flower beds, environmentally sensitive areas, and natural landscaping.

**§ 423-7(M)** (As created)

Natural Landscaping. The purpose of this subsection is to promote the planting and maintenance of natural landscaping. It is in the public's interest to encourage diverse landscaping practices, particularly those that promote native plantings and natural landscapes. When properly implemented and managed, these treatments can increase biodiversity, have a positive effect on soil and water conservation, and be an economical and low maintenance landscaping option. Native plants also provide habitat, food, and shelter for native pollinators. Nothing in this subsection is intended to promote the rank growth of vegetation or noxious weeds. Rank growth of vegetation and noxious weeds adversely impact public health and safety, and can decrease adjacent property values. Planned natural landscaping is not intended to allow property owners to ignore proper maintenance duties. It is also not acceptable for property owners to simply stop maintaining the existing turf grass on their property. Implementation of natural landscaping does not preclude the requirements to provide landscaping as identified in § 535-52 of the Town of Grand Chute Municipal Code. In such instances, natural landscaping may be implemented in addition to those requirements.

- (1) Establishing Natural Landscaping. A natural landscaping permit application must be received and approved by the Town before a property owner can implement natural landscaping. Natural landscaping elements are to be planted through transplanting or seeding. Prior to implementing natural landscaping, turf grass and any noxious weeds are to be eliminated.
- (2) Required Setback. A setback area, consisting of regularly cut turf grass, trees, shrubs, mulch, wood chips or landscape stone must be maintained between the natural landscaping area and an abutting property line. The minimum setback distances are defined as:
  - (a) 3 feet from any adjoining side and rear lot lines. No setback is required on side or rear lot lines if any of the following conditions exist:
    - i. There is a sight-tight boundary fence in accordance with § 535-53 of the Town of Grand Chute Municipal Code.

- ii. The natural landscaping area abuts a neighboring planned natural landscaping area.
    - iii. The natural landscaping area abuts an environmentally sensitive area.
  - (b) On corner lots, the vision triangle area, as defined in § 535-47(A)(1) of the Town of Grand Chute Municipal Code, must be maintained.
- (3) Maintenance. Natural landscaping must be maintained throughout the growing season and remain free of noxious weeds. If prescribed burning techniques are used for maintenance, the requirements outlined in § 291-5(M) of the Town of Grand Chute Municipal Code must be followed.

**Town of Grand Chute  
Site Plan Review  
Metal Products, Inc.**

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**To:** Plan Commission

**From:** Michael Patza, Town Planner

**Date:** October 13, 2016

**Address:** 1201 N. Perkins Street

**App. #: SP-24-16**

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**REQUEST**

- 1. Proposed Use(s):** Continued industrial use
- 2. Project Description:** Construction of a building addition
- 3. Plat/CSM Accurate parcel lines/lot recorded:** Yes

**ANALYSIS**

Applicant proposes the construction of a 4,400 sq. ft. building addition on this site. The addition will be located in an area of the site that is currently asphalt. The new space will be used for equipment utilized for blasting metal. A self-contained dust system will be incorporated into the building addition. The Drainage and Erosion Control Plans have been approved by staff. All other code requirements are met with this request.

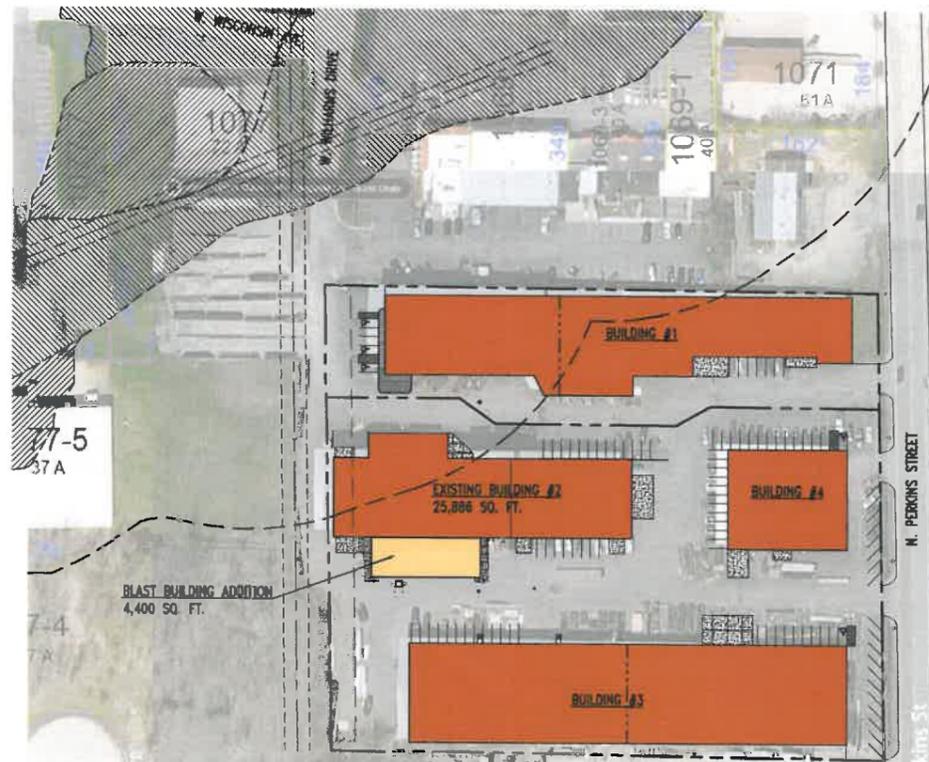
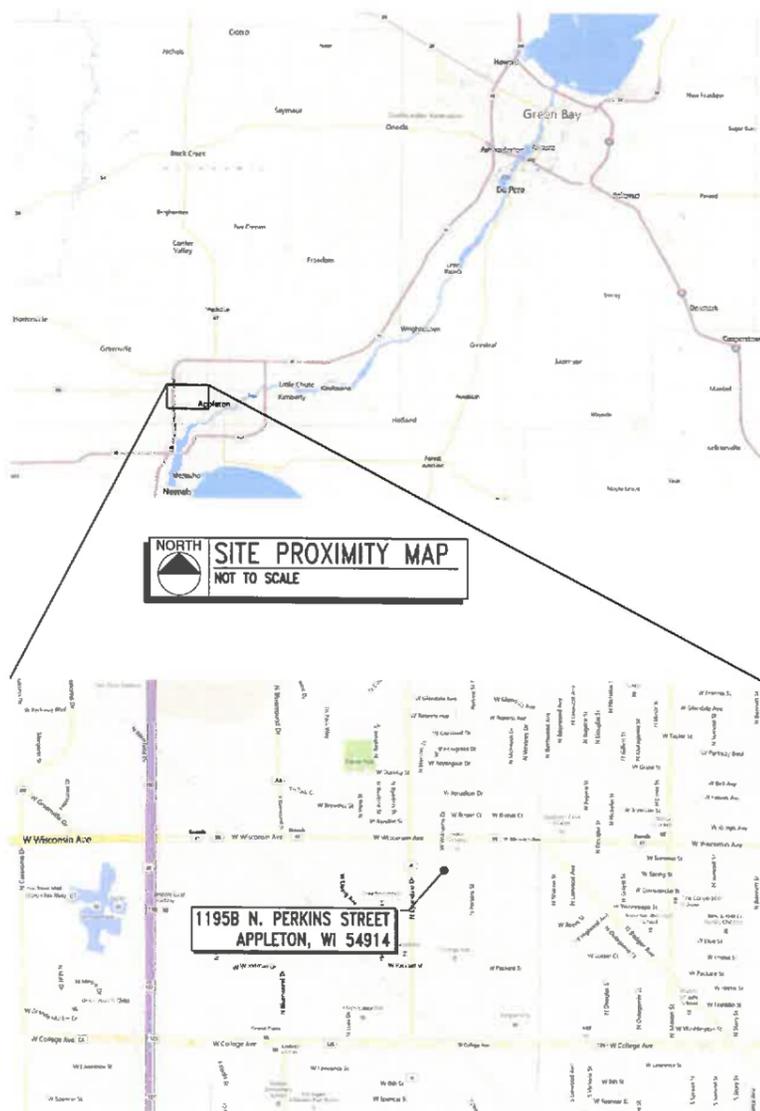
**RECOMMENDATION**

**Staff has reviewed and supports Plan Commission approval of the Site Plan (SP-24-16) requested by Metal Products, Inc., 1201 N. Perkins Street, for construction of a building addition.**



# METAL PRODUCTS BLAST BUILDING ADDITION

1195B N. PERKINS STREET APPLETON, WI 54914



SHEET INDEX	
TS	SHEET INDEX, SYMBOLS KEY, SITE PLAN
C1	EXISTING SITE PLAN W/ EXISTING GRADES
C2	PROPOSED SITE PLAN W/ GRADES
LS1	LIFE SAFETY PLAN - BUILDING #2
A1.1	BLAST BUILDING FLOOR PLAN & SECTION
A3.1	BLAST BUILDING EXTERIOR ELEVATIONS
SO.1	STRUCTURAL SPECIFICATION & DETAILS
S1.1	FOUNDATION PLAN & ROOF FRAMING PLAN

SYMBOLS	
	DETAIL NUMBER SHEET SECTION IS LOCATED ON
	GRID LINE GRID LINE DESIGNATION
	FINISH FLOOR ELEV. TAG
	ROOM NAME ROOM NAME AND NUMBER
	DOOR TAG
	WINDOW TAG
	ELEVATION NUMBER SHEET ELEVATION IS LOCATED ON
	DETAIL NUMBER SHEET DETAIL IS LOCATED ON

Bay Architects  
901 Parkview Rd  
Green Bay, WI 54304  
920.337.9400  
dvl@bayarch.net

PLAN DEVELOPMENT LOG		
SET DESCRIPTION	DATE	PAGES INVOLVED WITH PLAN DEVELOPMENT SET
PLAN DEVELOPMENT SET #1	4-21-16	C1.1, A1.1
PLAN DEVELOPMENT SET #2	8-26-16	TS, C1.1, LS1, A1.1, A3.1, SO.1, S1.1
PLAN DEVELOPMENT SET #3 (STATE)	9-19-16	TS, C1, C2, LS1, A1.1, A3.1, SO.1, S1.1

DESIGN / BUILD  
GENERAL CONTRACTING  
STEEL FABRICATION  
METAL BUILDINGS

**Schuh**  
CONSTRUCTION, INC.  
Established 1976

State ID# 680499

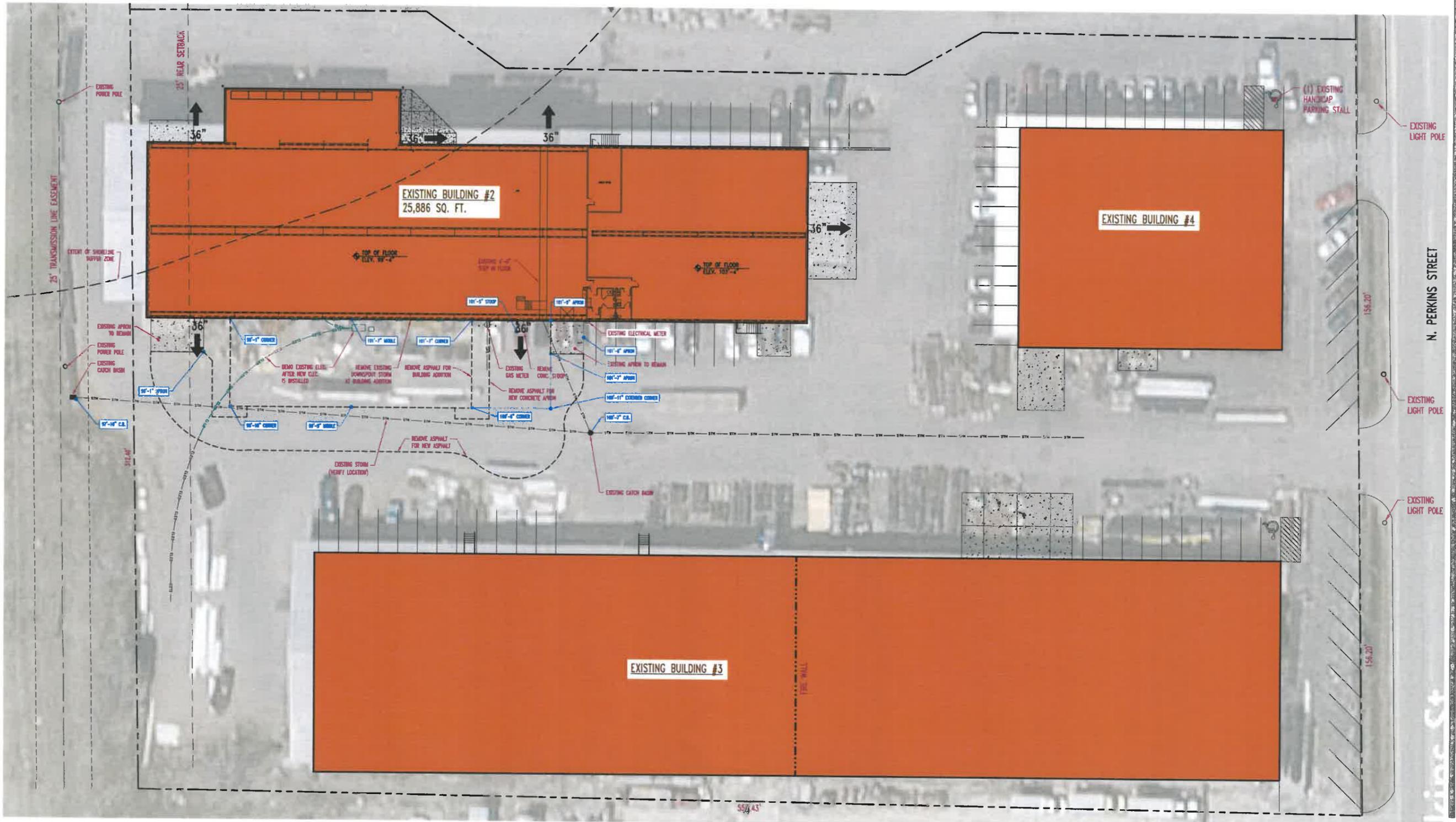
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PROJECT:  
**METAL PRODUCTS  
BLAST BUILDING ADDITION**  
1195B N. PERKINS STREET  
APPLETON, WI 54914

PROJECT NO.:  
**16-434**

SHEET NO.:  
**TS**

GRADING LEGEND	
XXX'-X"	EXISTING GRADE
XXX'-X"	PROPOSED GRADE



**NORTH**  
**EXISTING/DEMO. SITE PLAN**  
 1" = 20'-0"

DESIGN / BUILD  
 GENERAL CONTRACTOR  
 STEEL FABRICATION  
 METAL BUILDINGS

**Schuh**  
 CONSTRUCTION, INC.  
 Established 1976  
 30851 East Road, Neshanic, WI 53145 / 1-202-831-2158 / 1-202-831-2159 / www.schuhconstruction.com

State ID# 680499

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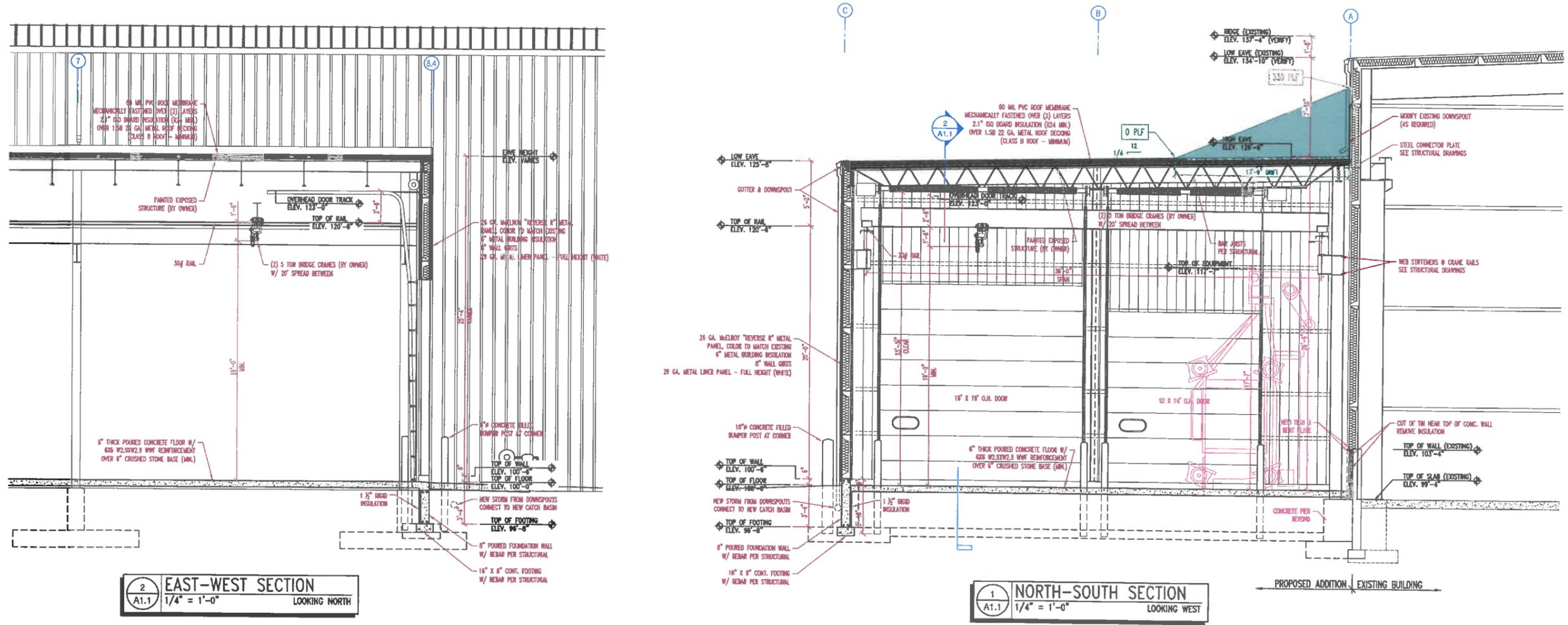
PROJECT:  
**METAL PRODUCTS  
 BLAST BUILDING ADDITION**  
 11988 N. PERKINS STREET  
 APPLETON, WI 54914

PROJECT NO.:  
**16-434**

SHEET NO.:  
**C1**

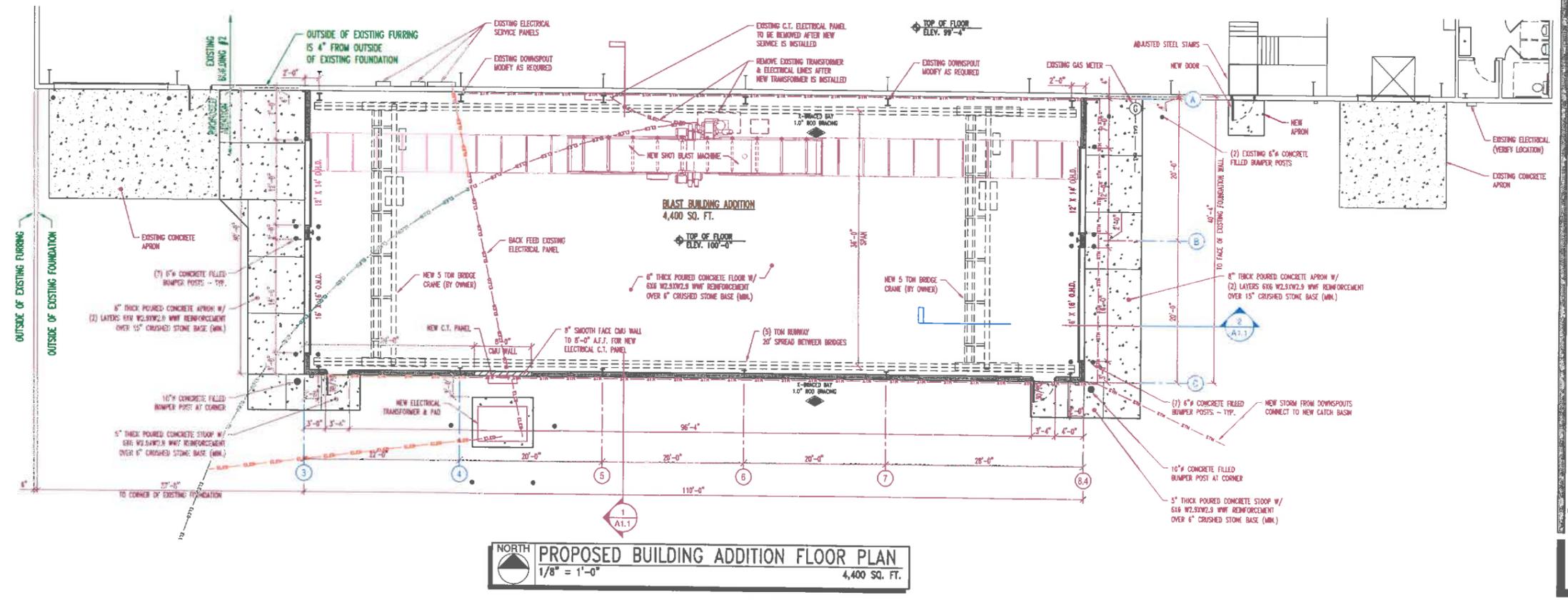






**2 EAST-WEST SECTION**  
 1/4" = 1'-0" LOOKING NORTH

**1 NORTH-SOUTH SECTION**  
 1/4" = 1'-0" LOOKING WEST



**PROPOSED BUILDING ADDITION FLOOR PLAN**  
 1/8" = 1'-0" 4,400 SQ. FT.

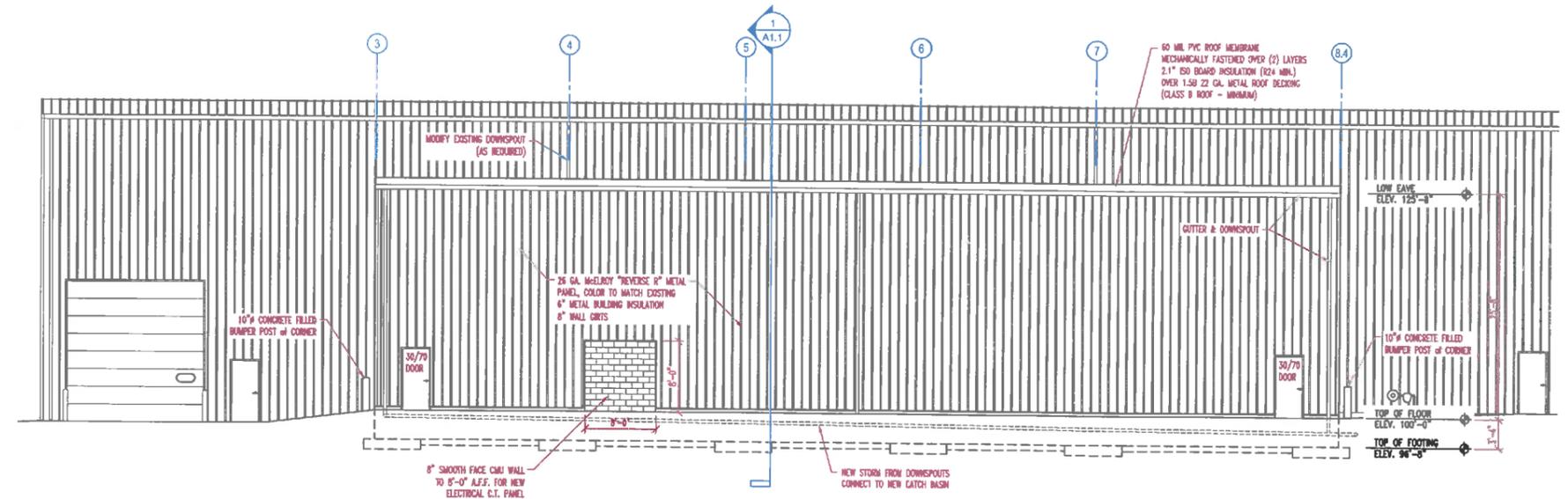
DESIGN / BUILD  
 GENERAL CONTRACTOR  
 STEEL FABRICATION  
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 CONSTRUCTION, INC.  
 Established 1976  
 11088 N. PERKINS STREET  
 APPLETON, WI 54914  
 State ID# 680499

PROJECT:  
**METAL PRODUCTS  
 BLAST BUILDING ADDITION**  
 11088 N. PERKINS STREET  
 APPLETON, WI 54914

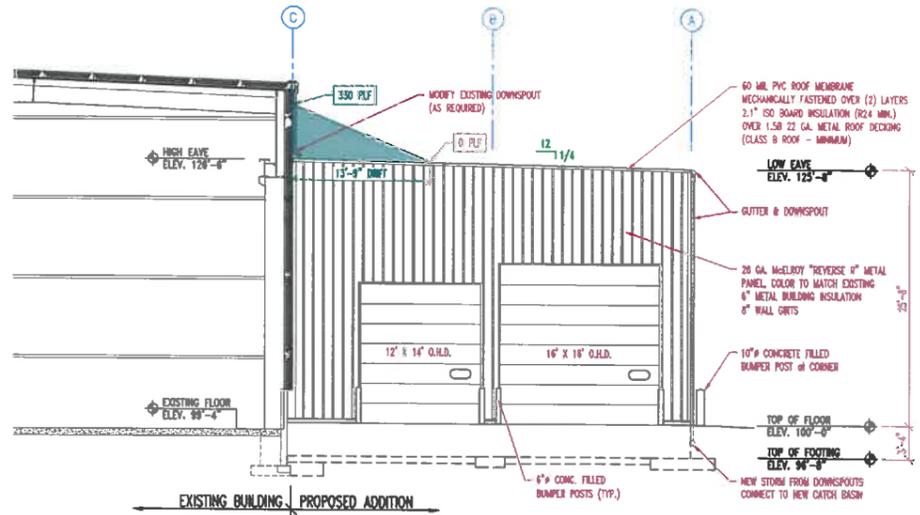
PROJECT NO.:  
**16-434**

SHEET NO.:  
**A1.1**

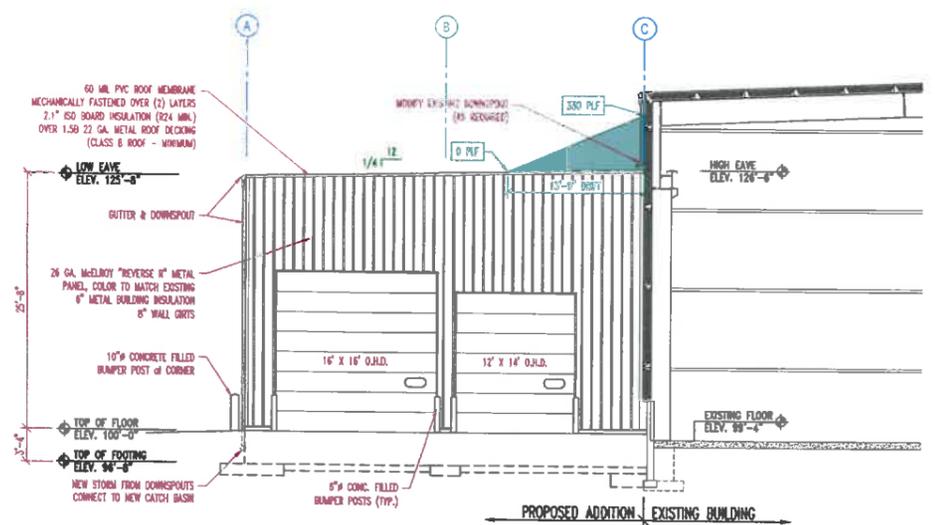
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**2**  
A3.1  
**PROPOSED SOUTH ELEVATION**  
1/8"=1'-0"  
LOOKING NORTH



**1**  
A3.1  
**PROPOSED WEST ELEVATION**  
1/8"=1'-0"  
LOOKING EAST



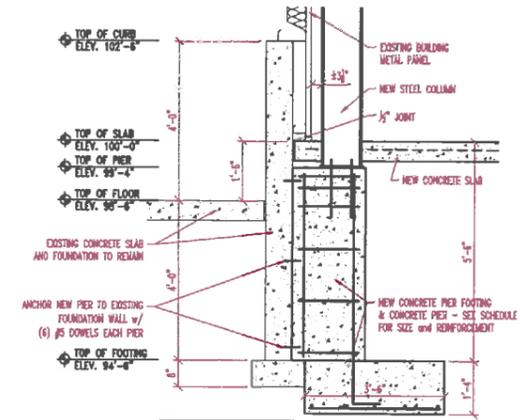
**3**  
A3.1  
**PROPOSED EAST ELEVATION**  
1/8"=1'-0"  
LOOKING WEST

# STRUCTURAL SPECIFICATIONS

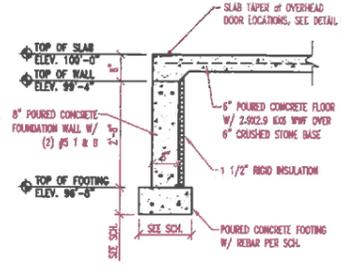
- GENERAL NOTES:**
- COMPLY WITH WISCONSIN BUILDING CODE, LATEST EDITION.
- DESIGN LOADS:**
- COLLATERAL LOAD: ROOF** - 3 PSF (MECHANICALS)
  - SNOW LOAD:**
    - GROUND SNOW LOAD - 40 PSF (OUTGANGE)
    - ROOF SNOW LOAD - 28 PSF
    - SNOW EXPOSURE FACTOR - 1.0
    - SNOW IMPORTANCE FACTOR - 1.0
    - THERMAL FACTOR - 1.0
  - WIND:**
    - BASIC WIND SPEED - 90 MPH
    - IMPORTANCE FACTOR - 1.0
    - WIND EXPOSURE - B
  - SEISMIC:**
    - SEISMIC USE GROUP A - 10%
    - SOI - 4K
    - SITE CLASS - 0
    - WALLS (EFS) - 1/240
    - WALLS (METAL PANEL) - 1/180
    - ROOF (METAL BUILDING OR JOISTS) - 1/240 (LIVE)
  - DEFLECTION LIMITS**
    - WALLS (EFS) - 1/240
    - WALLS (METAL PANEL) - 1/180
    - ROOF (METAL BUILDING OR JOISTS) - 1/240 (LIVE)
- FOUNDATIONS:**
- ALLOWABLE SOIL PRESSURE IS PRESUMED AT 2,000 P.S.F.
  - REMOVE UNSATISFACTORY SOILS TO AN ELEVATION WHERE SATISFACTORY SOIL IS ENCOUNTERED. REPLACE UNSATISFACTORY SOIL W/ EITHER COMPACTED STRUCTURAL FILL OR CONCRETE SLURRY.
  - PLACE FOUNDATION CONCRETE ON CLEAN FIRM BEARING SOILS MATERIAL.
  - WALL FOOTINGS ARE CENTERED ON WALLS (U.N.O.). COLUMN FOOTINGS ARE CENTERED ON COLUMNS (U.N.O.).
  - MINIMUM DEPTH TO ALL EXTERIOR FOOTINGS SHALL BE 4'-0".
  - INSTALL 1 1/2" THICK RIGID INSULATION VERTICALLY AT ALL EXTERIOR FOUNDATION LOCATIONS.
  - CONTRACTOR WILL CONSULT WITH LOCAL AUTHORITIES PRIOR TO EXCAVATION TO LOCATE UNDERGROUND GAS, SEWER, WATER, AND ELECTRICAL OBSTACLES.
- STRUCTURAL FILL:**
- USE - ALL BACKFILL WITHIN 5'-0" OF THE BUILDING LINES.  
TYPE - PREDOMINANTLY WELL GRADED MATERIAL WITH 100% PASSING THE 3" SIEVE, 70-100% PASSING THE #4 SIEVE AND LESS THAN 15% PASSING THE #200 SIEVE.
- COMPACTION - 5% MODIFIED PROCTOR (ASTM D1557) PLACED IN LIFTS NOT TO EXCEED 8".  
IN AREAS OF COMPACTED FILL WITHIN THE BUILDING LINES, BACKFILLING AGAINST BOTH SIDES OF WALLS SHALL BE DONE AT THE SAME RATE TO PREVENT STRESS AND OVERTURNING OF FOUNDATION WALLS.
- ALL EARTHWORK WITH ON-SITE MATERIALS SHOULD BE PERFORMED WHEN TEMPERATURES ARE ABOVE FREEZING. FROZEN SOIL SHOULD NOT BE USED BENEATH STRUCTURES. ALL FOUNDATION EXCAVATION MUST BE INSULATED AGAINST FREEZING UNTIL CONSTRUCTION OF FOUNDATION IS COMPLETE.
- SOILS THAT BECOME RITTED OR DISTURBED BY CONSTRUCTION VEHICLES WILL BE UNSUITABLE FOR SUPPORTING FOUNDATION AND CONCRETE SLABS. THE SOILS SHALL BE REMOVED AND REPLACED WITH IMPORTED GRANULAR FILL.
- SLAB ON GROUND:**
- PROVIDE 8" OF CLEAN, WELL GRADED GRANULAR MATERIAL BELOW ALL CAST-IN-PLACE CONCRETE ON GRADE INSIDE THE BUILDING.
  - PROVIDE CONSTRUCTION JOINTS AND SAWCUT JOINTS. SAWCUT JOINTS IN SLAB SHALL BE MADE WITHIN 18 HOURS AFTER PLACING CONCRETE OR EARLIER IF CONCRETE STRENGTH PERMITS.
  - SLABS SHALL BE PITCHED TO FLOW TO FLOOR DRAINS WHERE THEY OCCUR 1/8" PER FOOT MINIMUM PITCH.
  - INTERIOR FLOOR SLABS SHALL BE PROTECTED FROM COLD WEATHER IN ACCORDANCE WITH ACI 318.
  - PROVIDE 30# FELT BOND BEHIND CONCRETE SLAB EDGE & VERTICAL CONCRETE AND/OR MASONRY SURFACES AT INSIDE OF BUILDING.
  - PROVIDE 1/2" THICK EXPANSION JOINT MATERIAL WHERE CONCRETE SLAB ADJUTS VERTICAL SURFACES AT BUILDING EXTERIOR.
  - CONCRETE CAN BE NON-AIR ENTRAINED FOR INTERIOR SLABS, PROVIDED CONCRETE IS PROTECTED FROM COLD WEATHER, EXCEPT WHERE NO FINISH FLOOR IS SUPPLIED.
- CONCRETE:**
- CONCRETE AND ITS PLACEMENT SHALL BE IN ACCORDANCE WITH ACI 318 AND ACI 301 EXCEPT AS MODIFIED IN THESE SPECIFICATIONS. PROTECT ALL CONCRETE IN ACCORDANCE WITH ACI STANDARDS FOR HOT, COLD WEATHER CONCRETING.
  - STANDARD WEIGHT CONCRETE SHALL COMPLY WITH THE FOLLOWING:
    - MINIMUM COMPRESSIVE STRENGTH (AT 28 DAYS):
      - FOOTINGS & WALLS - 3,000 PSI
      - SLAB ON GRADE - 4,000 PSI
      - CONC. TOPPING - 4,000 PSI
    - MAXIMUM WATER/CEMENT RATIO - .45 AIR ENTRAINED  
- .52 (NON-AIR ENTRAINMENT)
    - AGGREGATE SIZE - FOOTINGS 1 1/2" THICK OR GREATER 1 1/2"  
- ALL OTHER CONCRETE 3/4"
    - TOTAL AIR CONTENT - 5% ± 1/2% - 3/4" AGGREGATE  
- 5% ± 1/2% - 1 1/2" AGGREGATE
    - MAX SLUMP - 3"
    - REINFORCING BARS: PROVIDE DEFORMED BARS COMPLYING WITH ASTM A615 GRADE 60.
    - WELDED WIRE FABRIC: ASTM A185, COLD DRAWN STEEL PLANK.
  - CONCRETE COVERAGE FOR REINFORCING (U.N.O.):
    - UNFORMED CONCRETE IN CONTACT WITH EARTH = 3"
    - FORMED CONCRETE IN CONTACT WITH EARTH = 2"
    - OTHER CONCRETE = 1 1/2"
  - SPICES IN REINFORCING SHALL BE AS FOLLOWS:
    - REINFORCING STEEL - 38 BAR DIAMETERS
    - WELDED WIRE FABRIC - MESH SPACE 4"
  - LOCATE SPICES AT POINT OF MINIMUM STRESS. WELDED SPICES ARE NOT PERMITTED.
  - COMPLY WITH ACI 301. POSITION, SUPPORT AND SECURE REINFORCEMENT AGAINST DISPLACEMENT, LOCATE AND SUPPORT WITH METAL CHAIRS, RUNNERS, BOLSTERS, SPACERS, AND HANGERS, AS REQUIRED. SET WIRE TIES SO ENDS ARE DIRECTED INTO CONCRETE, NOT TOWARD EXPOSED CONCRETE SURFACES.
  - PROVIDE BENT CORNER BARS TO MATCH AND LAP HORIZONTAL BARS AT CORNERS AND INTERSECTIONS OF WALLS AND FOOTING.
  - CONCRETE CAN ONLY BE PLACED ON A FROST-FREE SUBGRADE.
  - MECHANICALLY VIBRATE ALL CONCRETE.
  - ALL CAST-IN-PLACE CONCRETE SHALL BE PROTECTED AGAINST RAPID DRYING.
- STRUCTURAL STEEL:**
- ALL DETAILING, FABRICATION AND ERECTION SHALL CONFORM TO AISC 360 AND AISC 305.
  - STRUCTURAL STEEL SHALL MEET THE FOLLOWING MINIMUM YIELD STRENGTHS AND SPECIFICATIONS.
 

STEEL SHAPES	ASTM A992 (50 ksi)
ANGLES & ROOFS	ASTM A36 (36 ksi)
BARNS & PLATES	ASTM A36 (36 ksi)
STRUCTURAL TUBES	ASTM A500 GRADE B (45 ksi)
ANCHOR BOLTS	F1554 GRADE 36
STRUCTURAL BOLTS	ASTM A325 TYPE N
WELDS	E70 XX
GROUT	ASTM C1107, GRADE B, PREMIXED NON-SHRIK, NON-METALLIC CEMENTITIOUS GROUT, MINIMUM COMPRESSIVE STRENGTH 7000 PSI.
  - ALL WELDING SHALL BE PERFORMED BY A CERTIFIED WELDER IN ACCORDANCE WITH A.W.S. CODE FOR WELDING IN BUILDING CONSTRUCTION. SURFACES FOR FIELD WELDED MATERIAL SHALL BE PROPERLY PREPARED PRIOR TO BEING WELDED TO ASSURE A GOOD QUALITY WELD. REMOVE PAINT, GREASE, OIL, ETC.
  - PAINTING: SHOP PRIME STRUCTURAL STEEL MEMBERS. DO NOT PRIME SURFACES THAT WILL BE FIELD WELDED.
  - PROVIDE DOUBLE NUTS AND WASHERS FOR ALL STEEL COLUMN ANCHOR BOLTS TO ALLOW FOR ADJUSTMENT IN BASE PLATE ELEVATION. PROVIDE 1 1/2" OF NON-SHRIK GROUT UNDER PLATE AFTER ERECTION.
  - ERECTION SHALL COMPLY WITH AISC CODE AND SPECIFICATIONS. INSTALL TEMPORARY SUPPORTS TO SECURE ANY ELEMENT OR ELEMENTS OF THE STEEL FRAMING UNTIL THEY ARE MADE STABLE WITHOUT EXTERNAL SUPPORT.
  - SET COLUMN BASES AT CORRECT ELEVATION ON FULL BED OF NON-SHRIK GROUT.
  - TOUCH-UP PRIME PAINT AFTER ERECTION. CLEAN FIELD WELDS, BOLTED CONNECTIONS, AND ABRASION AREAS AND APPLY SAME TYPE PAINT AS USED IN SHOP.
- STEEL ROOFING:**
- STEEL ROOF DECK SHALL BE 1-1/2" - 22 GA WIDE RIB (TYPE B) STEEL DECK
  - LAY DECK UNITS CONTINUOUS OVER AT LEAST 3 SPANS WITH MINIMUM 4" END LAPS OVER SUPPORTS.
- STEEL JOISTS:**
- JOISTS SHALL BE DESIGNED AND FABRICATED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR OPEN WEB STEEL JOISTS, AND/OR JOIST ORDERS OF THE STEEL JOIST INSTITUTE.
  - ERECT JOIST AND JOIST ORDERS IN ACCORDANCE WITH THE CODE OF STANDARD PRACTICE OF THE STEEL JOIST INSTITUTE.
  - PROVIDE ALL NECESSARY BOLTED BRIDGING AND BOLTED END ANCHORAGE TO MEET THE REQUIREMENTS OF OSHA STANDARDS FOR ERECTION AND STABILITY.
  - DEFLECTION CRITERIA
 

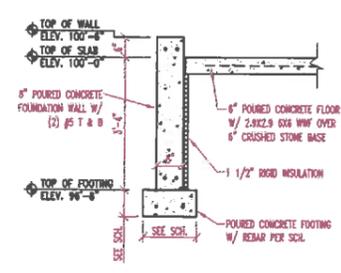
TOTAL LOAD	= 1/240
LIVE LOAD	= 1/240 (ROOF)



**3 BUMPERPOST PLAN DETAIL**  
1/2"=1'-0"

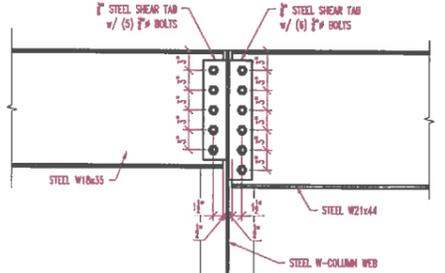
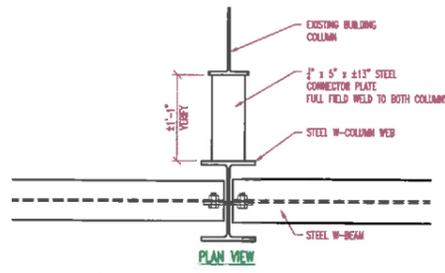


**2 WALL DETAIL**  
1/2"=1'-0"

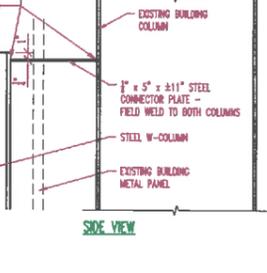


**1 WALL DETAIL**  
1/2"=1'-0"

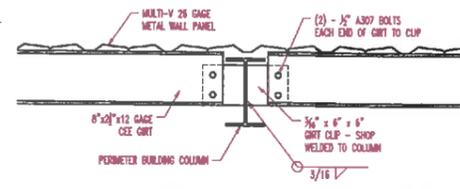
**4 PIER DETAIL**  
1/2"=1'-0"



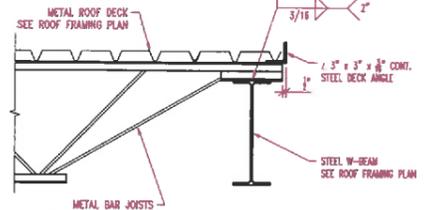
**9 BEAM TO COLUMN DETAIL**  
1"=1'-0" of W-COLUMN of EXISTING



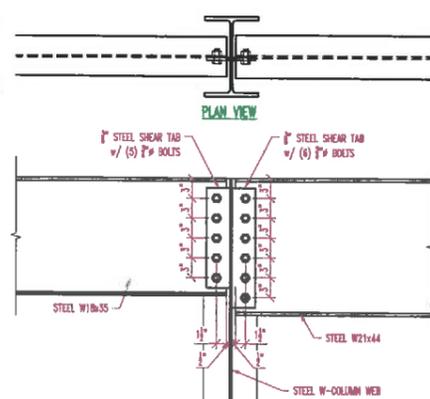
**7 JOIST TO BEAM DETAIL**  
1"=1'-0"



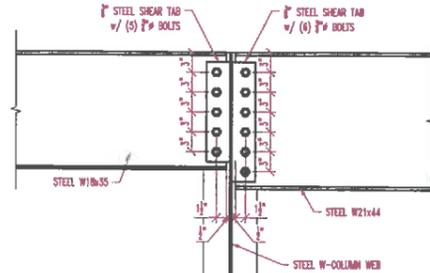
**10 CEE GIRT TO COLUMN DETAIL**  
1"=1'-0"



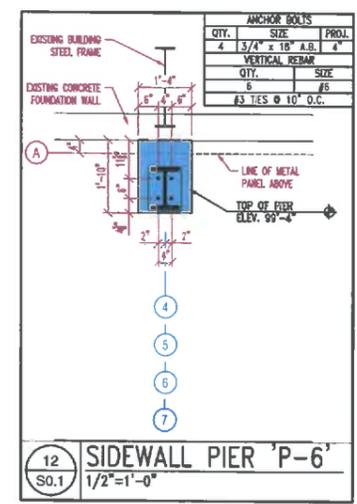
**5 DECK FASTENING DETAIL**  
1"=1'-0" (ROOF DECK TYP.)



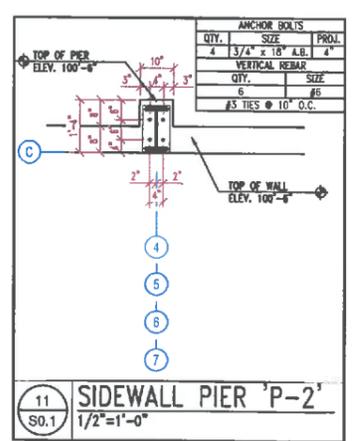
**6 JOIST TO BEAM DETAIL**  
1"=1'-0"



**8 BEAM TO COLUMN DETAIL**  
1"=1'-0" of W-COLUMN



**12 SIDEWALL PIER 'P-6'**  
1/2"=1'-0"



**11 SIDEWALL PIER 'P-2'**  
1/2"=1'-0"

DESIGN / BUILD  
GENERAL CONTRACTING  
STEEL FABRICATION

**Schuh**  
CONSTRUCTION, INC.  
Established 1976

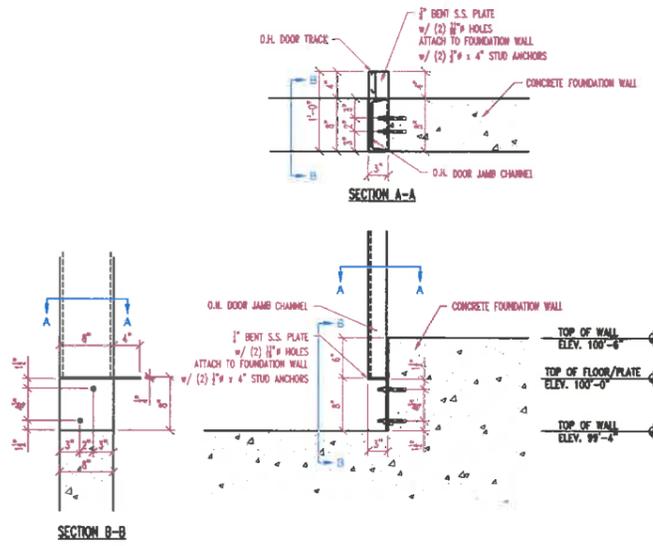
State ID# 680499

1195B N. PERKINS STREET  
APPLETON, WI 54914

PROJECT: **METAL PRODUCTS BLAST BUILDING ADDITION**

PROJECT NO.: **16-434**

SHEET NO.: **S0.1**



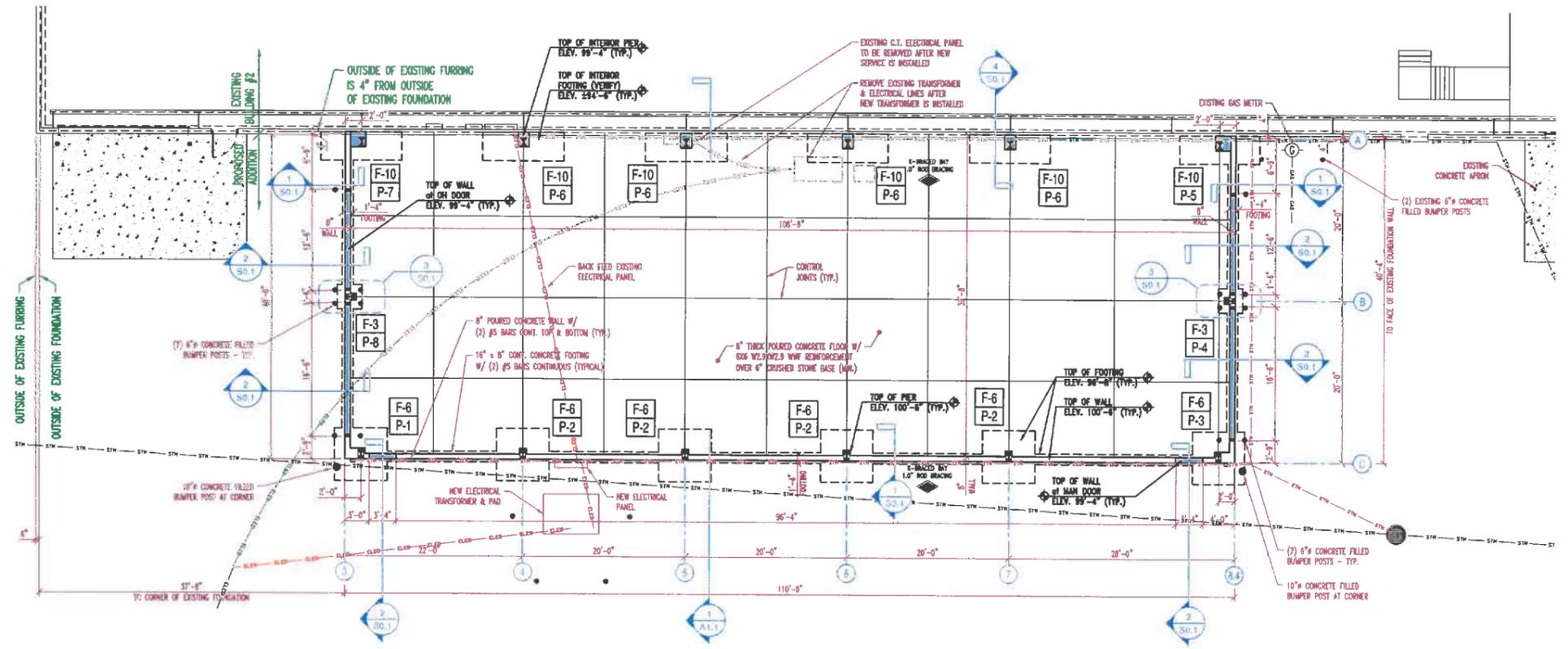
**1 OVERHEAD DOOR JAMB ANCHORAGE**  
1" = 1'-0"

**COLUMN FOOTING SCHEDULE**

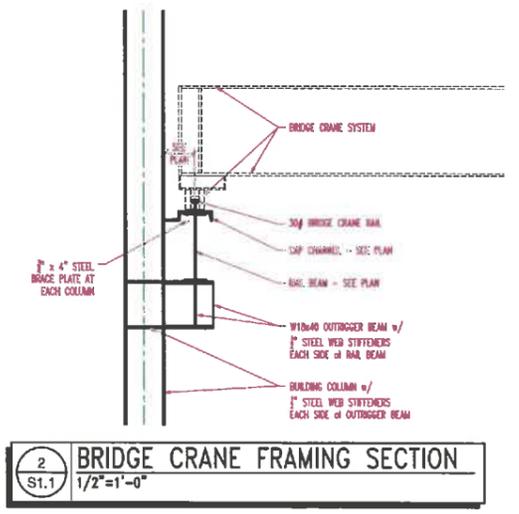
MARK	FOOTING SIZE	DEPTH	REINFORCING STEEL		REMARKS
			TOP	BOTTOM	
F3	3'-0" X 3'-0"	12"	N/A	#5 @ 12" O.C. EA. WAY	-
F6	6'-8" X 6'-8"	14"	N/A	(6) #5 @ EA. WAY	-
F10	3'-8" X 10'-0"	16"	N/A	(9) #6 @ SHORT WAY (5) #6 @ LONG WAY	-

**COLUMN SCHEDULE**

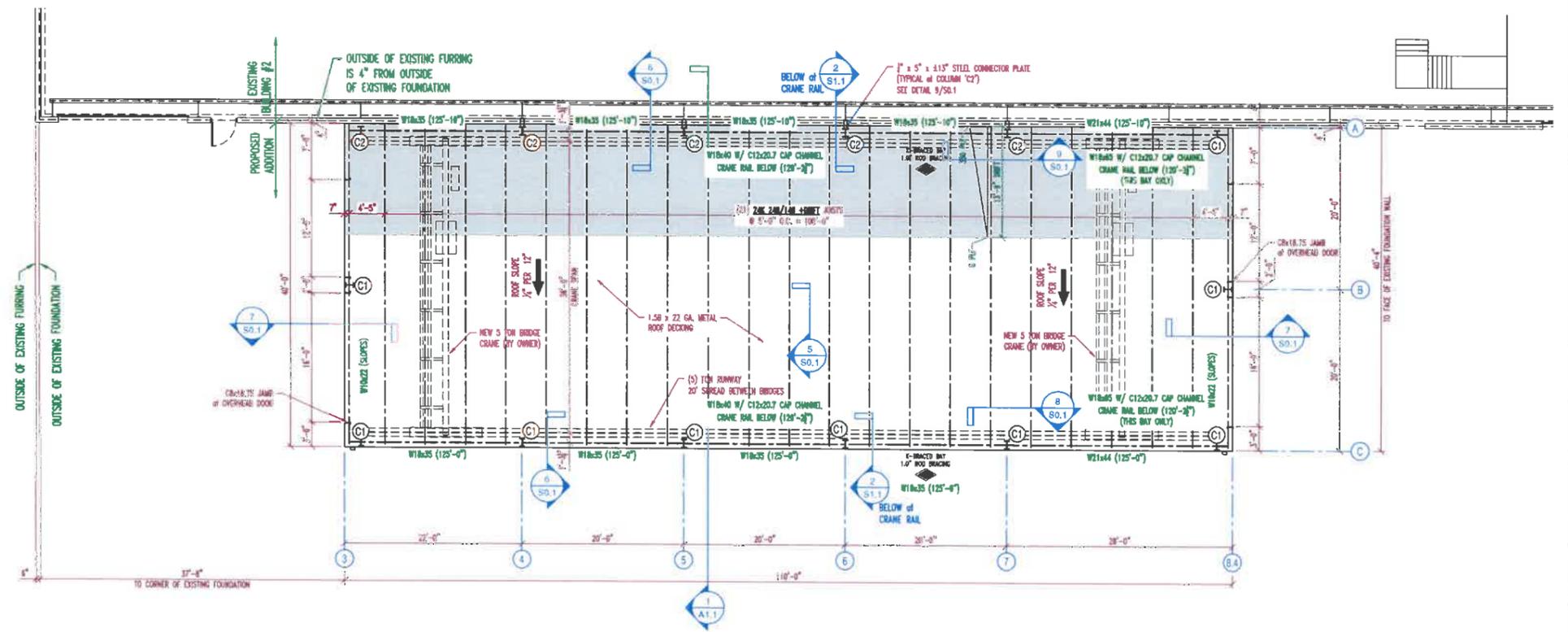
MARK	SIZE	BASE PLATE	TOP PLATE
C1	W12 X 35	8" X 14" X 3/4"	N/A
C2	W12 X 45	10" X 13" X 3/4"	N/A



**FOUNDATION PLAN**  
1/8" = 1'-0"



**2 BRIDGE CRANE FRAMING SECTION**  
1/2" = 1'-0"



**FRAMING PLAN**  
1/8" = 1'-0"

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BLAST BUILDING ADDITION  
1195B N. PERKINS STREET  
APPLETON, WI 54914

PROJECT NO.:  
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**S1.1**

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