



PLAN COMMISSION AGENDA
Tuesday, November 1, 2016 6:00 p.m.
Town Hall - 1900 W. Grand Chute Blvd.

1. Roll Call.
2. Pledge of Allegiance.
3. Approval of Agenda.
4. Approval of Minutes – October 18, 2016 meeting.
5. Public Input.
6. Community Development Director's Report.
7. **Public Hearing #1** – Rezoning (Z-08-16) requested by Hung-Liang Chou, acting on behalf of G & R Holding, LLC, 600 N. Mayflower Drive, to rezone property from CL Local Commercial District to R-4 Multifamily Residence District. **Action:** Hear testimony/close hearing.
8. **Rezoning (Z-08-16)** – Request by Hung-Liang Chou, acting on behalf of G & R Holding, LLC, 600 N. Mayflower Drive, to rezone property from CL Local Commercial District to R-4 Multifamily Residence District. **Action:** Recommend approval/denial of Z-08-16. (TOWN BOARD ACTION 11/15/2016) *Ordinance No. O-14-2016.*
9. **Condo Plat (CP-05-16)** – Request by Apple Valley Homes, LLC, 5400 Pennsylvania Avenue, for approval of Addendum No. 2 to the Georgetown Square Condominium, expanding the condominium by adding 22 units to the Declared Area. **Action:** Recommend approval/denial CP-05-16. (TOWN BOARD ACTION 11/1/2016)
10. **Site Plan (SP-23-16)** – Request by Apple Valley Homes, LLC, 5400 Pennsylvania Avenue, for construction of 22 condominium units and associated site improvements. **Action:** Approve/deny SP-23-16.
11. **Site Plan Amendment (SPA1-46-98)** – Request by ABC Supply Co., Inc., 5501 W. Clairemont Drive, for construction of an outdoor material storage yard and associated site improvements. **Action:** Approve/deny SPA1-46-98.
12. **Site Plan Amendment (SPA1-09-06)** – Request by Laxmijkrupa, LLC, dba Baymont Inn & Suites and Red Roof Inn, 3920 – 3924 W. College Avenue, for installation of a multi-tenant pylon sign. **Action:** Approve/deny SPA1-09-06.
13. **Certified Survey Map (CSM-15-16)** – Request by National Association of Tax Professionals, Inc., 3517 N. McCarthy Road, for approval of a two-lot CSM with roadway dedication. **Action:** Recommend approval/denial of CSM-15-16. (TOWN BOARD ACTION 11/15/2016)
14. **Grand Chute 2017-2021 Capital Improvement Plan** – Review the proposed 5-year CIP. **Action:** Recommend approval/denial of 2017-2021 CIP. (TOWN BOARD ACTION 11/15/2016)
15. Adjournment.

A quorum of the Town Board, Park Commission, Police and Fire Commission, Board of Appeals, and Licensing Committee may be present at this meeting. No official action of these bodies will be taken. **Accommodation Notice**-Any person requiring special accommodation who wishes to attend this meeting should contact (**Administration at 832-1573**) at least 48 hours in advance.

GRAND CHUTE PLAN COMMISSION MINUTES

October 18, 2016

Members Present: Chairman Dave Schowalter, Commissioners Bruce Sherman, Robert Stadel, Julie Hidde, Vivian Huth, Duane Boeckers, Pam Crosby, John Weber

Also Present: James March, Town Administrator; Thomas Marquardt, Public Works Director; Karen Heyrman, Deputy Public Works Director; Mary Baxter, Executive Secretary/Human Resources; Bob Heimann, IT Director; Robert Buckingham, Community Development Director; Michael Patza, Town Planner; other interested parties (audience attendance = 3)

1. **ROLL CALL**

Chairman Schowalter opened the meeting at 6:00 p.m.

2. **PLEDGE OF ALLEGIANCE**

3. **APPROVAL OF AGENDA.**

Motion (Huth/Crosby) to approve the agenda. Motion carried, all voting aye.

4. **APPROVAL OF MINUTES** – OCTOBER 4, 2016 MEETING.

Motion (Stadel/Boeckers) to approve the minutes. Motion carried, all voting aye.

5. **PUBLIC INPUT** – NONE.

6. **COMMUNITY DEVELOPMENT DIRECTOR'S REPORT** – VERBAL REPORT.

7. **PUBLIC HEARING #1** – CONSIDERATION OF ORDINANCE NO. O-08-2016 AMENDMENT EXISTING CHAPTERS 398 AND 423 OF THE TOWN OF GRAND CHUTE MUNICIPAL CODE PERTAINING TO PUBLIC NUISANCES, PROPERTY MAINTENANCE AND NATURAL LANDSCAPING.

Chairman Schowalter opened Public Hearing #1 at 6:02 p.m. There was no public input.

Motion (Huth/Hidde) to close Public Hearing #1 at 6:02 p.m. Motion carried, all voting aye.

8. **MUNICIPAL CODE AMENDMENT (ORDINANCE NO. O-08-2016)** – AMEND EXISTING CHAPTERS 398 AND 423 OF THE TOWN OF GRAND CHUTE MUNICIPAL CODE PERTAINING TO PUBLIC NUISANCES, PROPERTY MAINTENANCE AND NATURAL LANDSCAPING.

Motion (Hidde/Huth) to recommend approval of Ordinance O-08-2016 amending existing Chapters 398 and 423 of the Town of Grand Chute Municipal Code pertaining to public nuisances, property maintenance and natural landscaping. Motion carried 6-1, with Commissioner Sherman voting no.

9. **SITE PLAN (SP-24-16)** – REQUEST BY METAL PRODUCTS, INC., 1201 N. PERKINS STREET, FOR CONSTRUCTION OF A BUILDING ADDITION.

Motion (Hidde/Sherman) to approve the Site Plan (SP-24-15) requested by Metal Products, Inc., 1201 N. Perkins Street for construction of a building addition. Motion carried, all voting aye.

10. ADJOURNMENT.

Motion (Huth/Sherman) to adjourn at 6:04 p.m. Motion carried, all voting aye.

Respectfully Submitted,

Tracy Olejniczak/BB
Community Development Secretary

7/8.

**Town of Grand Chute
Rezoning Request
Hung Liang-Chou, on behalf of G & R Holding, LLC**

To: Plan Commission

From: Robert Buckingham, Community Development Director

Date: October 27, 2016

Address: 600 N. Mayflower Drive

App. #: Z-08-16

REQUEST

Applicant has an accepted offer to purchase this vacant 5.3 acre parcel, subject to the property being rezoned from **CL Local Commercial District to R-4 Multifamily Residence District**.

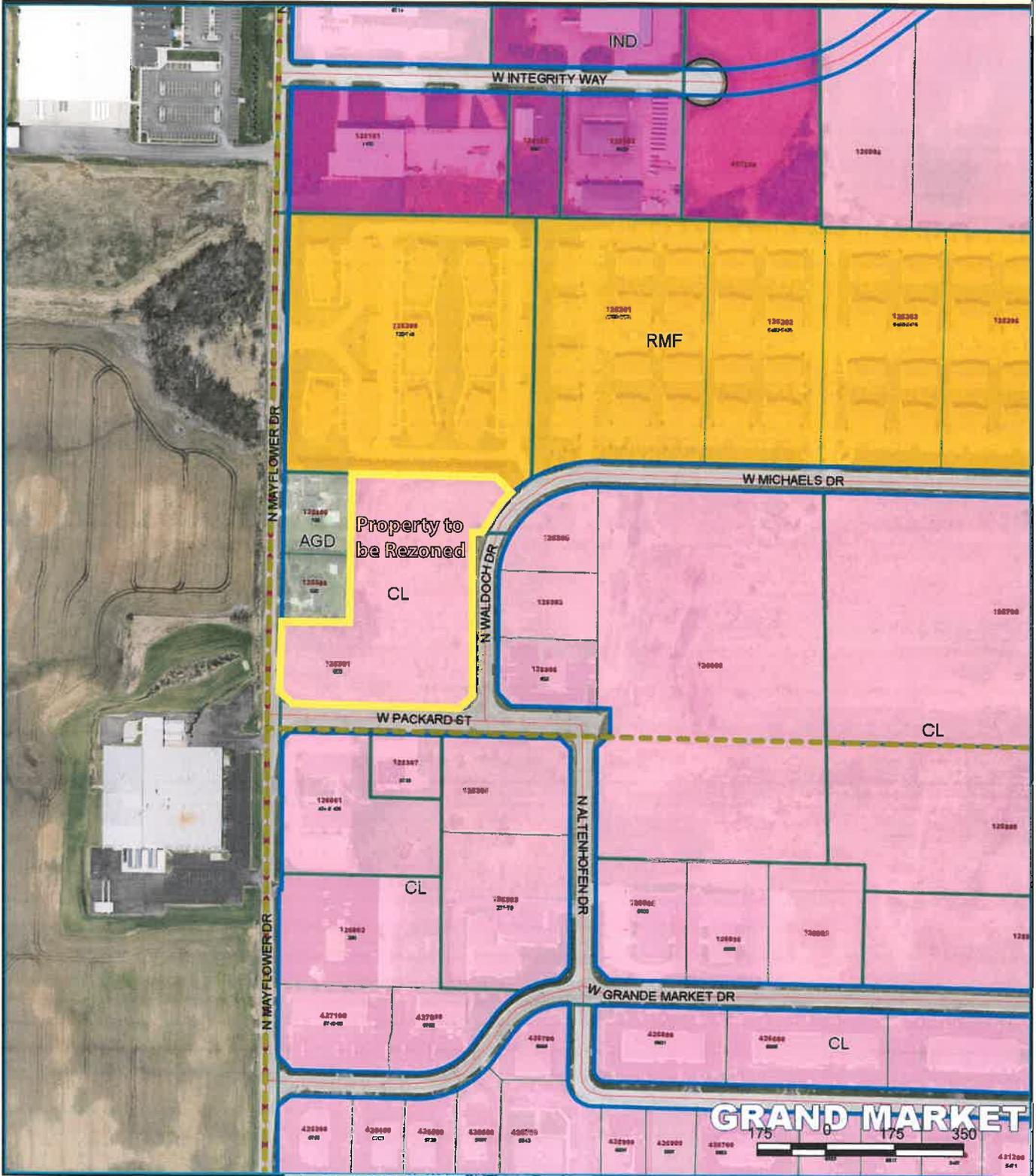
ANALYSIS

The area of Grand Chute bordered by College Avenue to the south, Wisconsin Avenue to the north, McCarthy Road to the east and Mayflower Drive to the west has developed successfully as a diverse mixed-use neighborhood. Uses include office, medical, multi-family residential, light industrial/warehousing, and big box retail. The subject property is located near the middle of this area, with multifamily to the north, light industrial to the west and commercial/service uses to the south. There are 45 acres of vacant commercial-office land to the immediate east. Rezoning the property to R-4 is a logical decision and will produce a good housing product on land that has sat vacant/for sale over an extended period of time. The commercial-office market remains soft and vacant land for new office is not in high demand given the supply of existing office space for lease in our market. The mixed-use nature of this area is conducive to multifamily use. The maximum density on the site would be 53 units. The actual number of units would most likely be less after accounting for other site improvements such as parking and stormwater management. The applicant has provided photos of the type of housing product that would be built in this location. Separate Site Plan approval is required before construction could begin. The rezoning of this property to multifamily classification requires an amendment to the Comprehensive Plan to reflect Urban-Residential use.

RECOMMENDATION

Staff has reviewed and supports a Plan Commission recommendation to amend the Comprehensive Plan to reflect Urban-Residential use for the property at 600 N. Mayflower Drive, and to rezone the property from CL Local Commercial District to R-4 Multifamily Residence District. (Ordinance No. 14-2016)

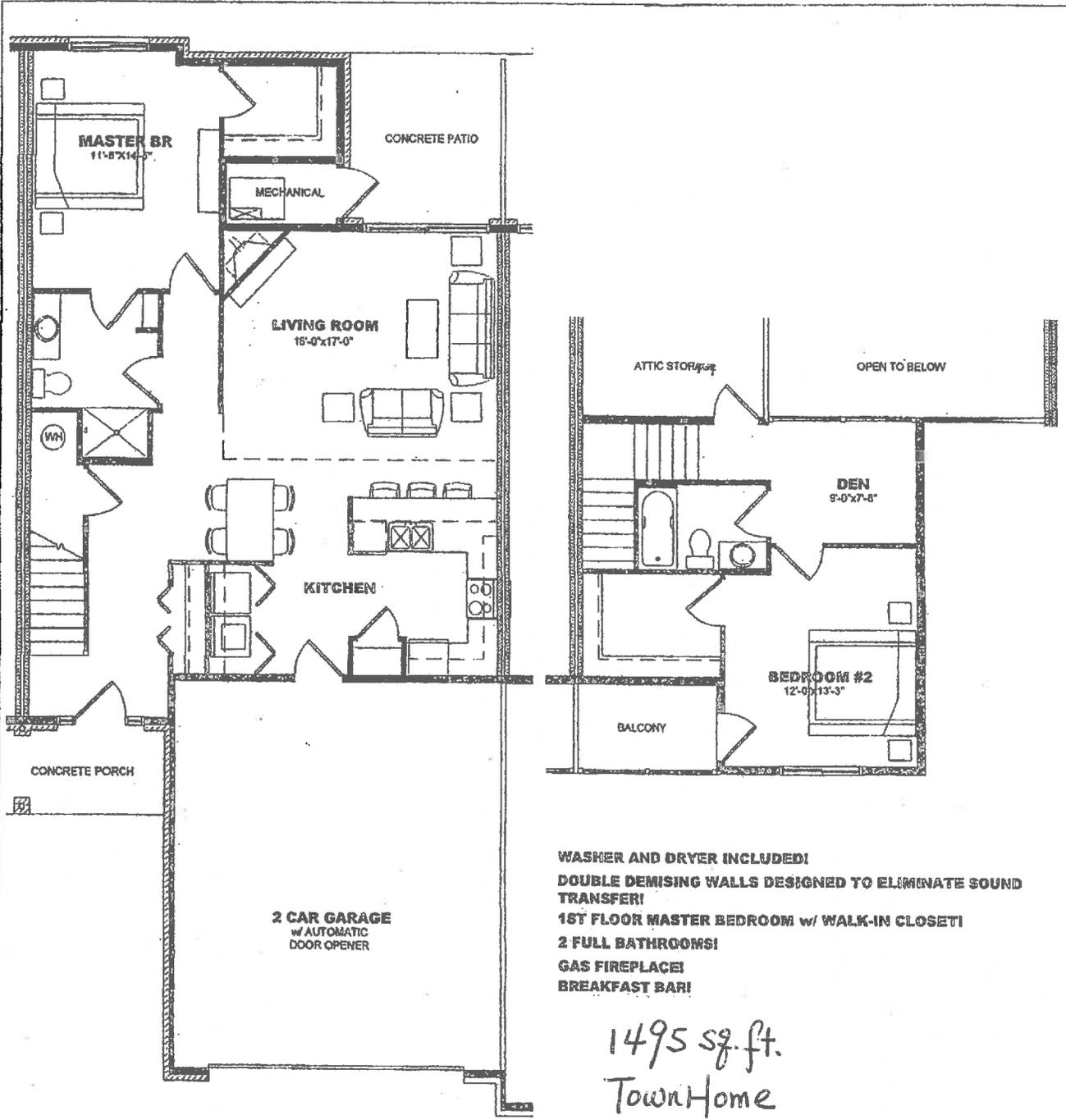
Z-08-16 -- 600 N. Mayflower Drive



This map was compiled using data believed to be accurate; however, a degree of error is inherent in all maps. This map was distributed "AS-IS" without warranties of any kind, either expressed or implied, including but not limited to warranties of suitability to a particular purpose or use. No attempt has been made in either the design or production of the maps to define the limits or jurisdiction of any federal, state, or local government. Detailed on-the-







- WASHER AND DRYER INCLUDED!**
- DOUBLE DEMISING WALLS DESIGNED TO ELIMINATE SOUND TRANSFER!**
- 1ST FLOOR MASTER BEDROOM w/ WALK-IN CLOSET!**
- 2 FULL BATHROOMS!**
- GAS FIREPLACE!**
- BREAKFAST BAR!**

**Town of Grand Chute
Condominium Plat Addendum
Georgetown Square Condominium**

To: Plan Commission

From: Robert Buckingham, Community Development Director

Date: October 27, 2016

Address: 5400 Pennsylvania Avenue

App #: CP-05-16

REQUEST

- 1. Proposed Use(s):** Single-family attached condominium units.
- 2. Project Description:** Addendum No. 2, expanding the condominium by adding 22 units to the Declared Area.
- 3. Plat/CSM Accurate parcel lines/lot recorded:** Yes, condo plat addendum pending.

ANALYSIS

Georgetown Square Condominium was approved in 2012 with a declared area consisting of 10 units, and 2 future expansion areas with a combined 33 units. Addendum No. 1 was approved earlier in 2016 to add basements at 2 units in the existing declared area. The Declarant/Applicant (Apple Valley Homes, LLC) now requests approval of Addendum No. 2, which will expand the condominium by adding 22 units in the declared area. These units are located directly west of the existing units on Pennsylvania Avenue and will be built in a combination of one-story duplex and townhome styles. All of the units will have 2 bedrooms/2 baths on the main floor, attached garages, and full basements that could be finished to provide an additional bedroom/bath and a rec room. Runoff from 18 units and surrounding limited common elements and common elements will be directed to a new bioretention basin in the newly declared area. Runoff from 4 units and surrounding limited common elements and common elements will be directed to an existing retention pond in the existing declared area. All other utilities and roads to serve the newly declared area are installed.

This condominium development has had many fits and starts since it was first created in 1997, and many gaps and disconnects in plans and documents were created over time. After the condominium was dissolved and recreated in 2012, the property again sat dormant until it was purchased by Apple Valley Homes this year. Having local ownership that is committed to developing a quality residential community bodes well for the future of Georgetown Square. The review process for this current Addendum has been complex and challenging for everyone involved. However, I am pleased to report that all plans and documents are now in proper form and the Town looks forward to working with the ownership group as they move forward with the project.

RECOMMENDATION

Staff has reviewed and supports a Plan Commission recommendation for approval of Addendum No. 2 to the Georgetown Square Condominium Plat (CP-05-16).

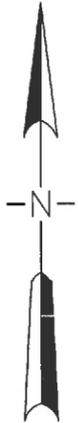
| Parcel Line Table | | |
|-------------------|-------------|----------|
| Line # | Direction | Length |
| L1 | N00°29'43"E | 260.72' |
| L2 | S89°30'17"E | 1004.74' |
| L3 | S01°03'30"W | 242.18' |
| L4 | N88°56'30"W | 229.82' |
| L5 | S00°16'30"W | 28.23' |
| L6 | N88°57'16"W | 772.70' |
| L7 | S89°30'17"E | 589.53' |
| L8 | S01°03'30"W | 247.97' |
| L9 | N88°56'30"W | 589.50' |
| L10 | S89°30'17"E | 450.52' |
| L11 | S01°03'30"W | 252.40' |
| L12 | N88°56'30"W | 450.50' |

GEORGETOWN SQUARE CONDOMINIUM ADDENDUM NO. 2

UNIT 2 AND UNIT 3, GEORGETOWNE PLACE CONDOMINIUM, A MASTER CONDOMINIUM PURSUANT TO WIS. STATS. 703.115, RECORDED AS DOCUMENT NO. 1242107; GEORGETOWN SQUARE CONDOMINIUM, DOCUMENT NO. 1949667, CABINET L, PAGE 70; GEORGETOWN SQUARE CONDOMINIUM ADDENDUM NO. 1, DOCUMENT NO. 2085063, CABINET M, PAGE 180; BEING PART OF THE SE 1/4 OF THE SW 1/4 AND PART OF THE SW 1/4 OF THE SW 1/4 OF SECTION 30, T. 21 N.-R. 17 E., TOWN OF GRAND CHUTE, OUTAGAMIE COUNTY, WISCONSIN



NORTH POINT REFERENCED TO THE EAST LINE OF THE SW 1/4 OF SECTION 30-21-17 RECORDED AS N01°-27'-08"W PER OUTAGAMIE COUNTY COORDINATE SYSTEM



Town of Grand Chute Road Covenant

All private roads within Georgetown Square Condominium shall be maintained in good condition in accordance with standards generally acceptable for town streets in the Town of Grand Chute. They shall be kept unobstructed at all times by the condominium association. In the event the condominium association fails to maintain this road to said standards or it is obstructed, the Town of Grand Chute may elect upon its own authority, to do necessary maintenance of the roads or remove obstructions and assess the cost of doing the work along with administration costs back to the Georgetown Square Condominium Association and the unit owners within the condominium.

The private road shall be an easement for ingress and egress to all providers of public or private services.

Construction of buildings or any other structures will not be allowed on the banks or within the basins of surface water detention areas.

Building locations shall be per set back lines shown on this plat.

The through road Pennsylvania Ave. and surface water detention areas are common areas to the Georgetown Square Condominium.

Additional Notes:

Detention ponds and Pennsylvania Ave. (formerly Georgetown Lane) are MASTER COMMON Elements under the Georgetown Place Condominium. See Declaration of Condominium for Georgetown Place Condominium for further information.

L.C.E. denotes LIMITED COMMON ELEMENTS - Stoops, Patios, and Driveways shall be Limited Common Elements

C.E. denotes COMMON ELEMENTS - All areas outside of units that are not Limited Common Elements are Common Elements

() denotes recorded information

There shall be permanent easements though and over the property and each of the units as may be necessary for the installation, maintenance, replacement and repair of the common elements, utilities, sewers and other units.

Maintenance of all drainage ways, including easements as indicated on the Plat and along side and rear lot lines that convey stormwater in accordance with the approved drainage plan, and associated structures within the land division or serving the land division, is the sole responsibility of the property owners of the land division, unless otherwise noted on the plan. Upon failure of property owners to perform maintenance of the drainage ways and associated structures within the land division or serving the land division, the Town of Grand Chute and/or Outagamie County retains the right to perform maintenance and/or repairs.

The payment of maintenance and/or repairs shall be assessed in equal amounts to the owners of all property within the land division, or, where the cause can be specifically identified, the payment shall be assessed to a specific property owner.

SURVEYOR'S CERTIFICATE

"This plat is a correct representation of the condominium described and the identification and location of each unit and the common elements can be determined from the plat."

I, Eric R. Otte, Professional Land Surveyor, do hereby certify that I have surveyed the above described property and that this survey is an accurate representation of the exterior boundary lines and the location of the buildings and improvements constructed or to be constructed upon the property.

This plat is a correct representation of GEORGETOWN SQUARE CONDOMINIUM ADDENDUM NO. 2 as proposed at the date hereof. In conjunction with the declaration of said condominium, the identification and location of each unit, buildings, and the common elements can be determined from the plat. The undersigned surveyor makes no certification as to the accuracy of the floor plans of the condominium buildings and units contained in the plat and the approximate dimensions and floor areas thereof.

Eric R. Otte PLS # S-2440 Date: _____

LEGEND

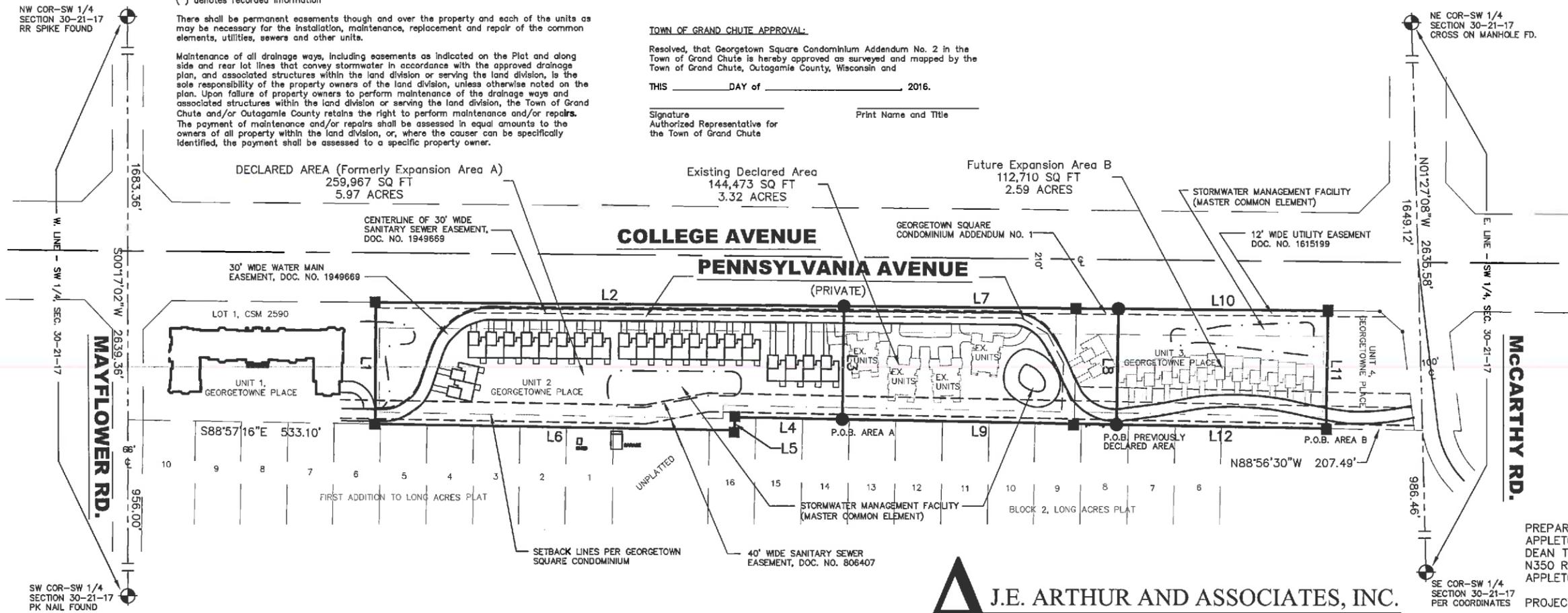
- IRON PIPE FOUND IN PLACE
- 1" X 18" (O.D.) IRON PIPE SET WEIGHING 1.13 LBS. PER LINEAL FOOT
- ⊕ SECTION CORNER
- 5605 UNIT NUMBER

TOWN OF GRAND CHUTE APPROVAL:

Resolved, that Georgetown Square Condominium Addendum No. 2 in the Town of Grand Chute is hereby approved as surveyed and mapped by the Town of Grand Chute, Outagamie County, Wisconsin and

THIS _____ DAY of _____ 2016.

Signature _____ Print Name and Title _____
Authorized Representative for the Town of Grand Chute



A J.E. ARTHUR AND ASSOCIATES, INC.
ENGINEERS SURVEYORS
548 PRAIRIE ROAD FOND DU LAC, WISCONSIN 54935 PHONE: 920.922.5703

PREPARED FOR:
APPLETON VALLEY HOMES, LLC
DEAN THIELBAR
N350 ROGERS LANE
APPLETON, WI 54915
PROJECT NO.: 9.4805

PREPARED FOR:
 APPLETON VALLEY HOMES, LLC
 DEAN THIELBAR
 N350 ROGERS LANE
 APPLETON, WI 54915

PROJECT NO.: 9.4805



NORTH POINT REFERENCED TO THE EAST LINE
 OF THE SW 1/4 OF SECTION 30-21-17
 RECORDED AS N01°-27'-08"W PER OUTAGAMIE
 COUNTY COORDINATE SYSTEM

GEORGETOWN SQUARE CONDOMINIUM ADDENDUM NO. 2

UNIT 2 AND UNIT 3, GEORGETOWNE PLACE CONDOMINIUM, A MASTER CONDOMINIUM PURSUANT TO
 WIS. STATS. 703.115, RECORDED AS DOCUMENT NO. 1242107; GEORGETOWN SQUARE CONDOMINIUM,
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 AND PART OF THE SW 1/4 OF THE SW 1/4 OF SECTION 30, T. 21 N.-R. 17 E., TOWN OF GRAND
 CHUTE, OUTAGAMIE COUNTY, WISCONSIN

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 buildings and improvements constructed or to be constructed upon the
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 undersigned surveyor makes no certification as to the accuracy of the floor
 plans of the condominium buildings and units contained in the plat and the
 approximate dimensions and floor areas thereof.

Eric R. Otte PLS # S-2440

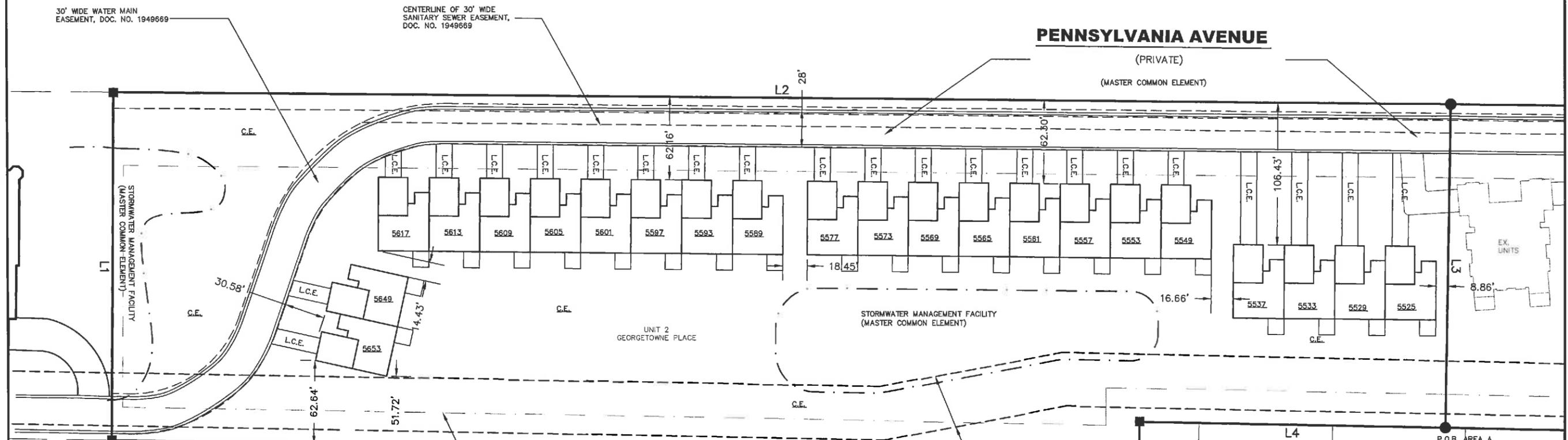
Date: _____

COLLEGE AVENUE

PENNSYLVANIA AVENUE

(PRIVATE)

(MASTER COMMON ELEMENT)



LEGEND

- IRON PIPE FOUND IN PLACE
- 1" X 18" (O.D.) IRON PIPE SET WEIGHING 1.13 LBS. PER LINEAL FOOT
- ⊕ SECTION CORNER
- 5605 UNIT NUMBER

SETBACK LINES PER GEORGETOWN SQUARE CONDOMINIUM

SHED

GARAGE

40' WIDE SANITARY SEWER EASEMENT, DOC. NO. 806407

A J.E. ARTHUR AND ASSOCIATES, INC.
 ENGINEERS SURVEYORS

548 PRAIRIE ROAD FOND DU LAC, WISCONSIN 54935 PHONE: 920.922.5703

SHEET 2 OF 3 SHEETS

DECLARED AREA
ADDENDUM NO. 2
(FORMERLY EXPANSION AREA "A")

A part of Unit 2, GEORGETOWNE PLACE CONDOMINIUM, a Master Condominium pursuant to Wl. Stats. 703.155, recorded as Document No. 1242107 of Outagamie County Records; being a part of the Southeast Quarter (SE1/4) of the Southwest Quarter (SW1/4) and the Southwest Quarter (SW1/4) of the Southwest Quarter (SW1/4) of Section Thirty (30), Township Twenty-One (21) North, Range Seventeen (17) East, Town of Grand Chute, Outagamie County, Wisconsin containing 259,967 square feet (5.97 acres) of land, more or less, and more particularly described as follows:

Commencing at the Southeast Corner of Southwest 1/4 of said Section 30; thence N01°-27'-08"W along the East line of the SW1/4 of said Section 30, 986.46 feet; thence N88°-56'-30"W along the North line of LONG ACRES PLAT and its extension Easterly, 1247.49 feet to the point of beginning; thence continuing N88°-56'-30"W along said North line, 229.82 feet; thence S00°-16'-30"W, 28.23 feet; thence N88°-57'-16"W along the North line of FIRST ADDITION TO LONG ACRES PLAT and its Easterly extension, 772.70 feet; thence N00°-29'-43"E along the West line of said Unit 2, 260.72 feet to a point on the South right of way line of College Avenue; thence S89°-30'-17"E along said South right of way line, 1004.74 feet; thence S01°-03'-30"W 242.18 feet to the point of beginning; being subject to any and all easements and restrictions of record.

FUTURE EXPANSION AREA "B"

A part of Unit 3, GEORGETOWNE PLACE CONDOMINIUM, a Master Condominium pursuant to Wl. Stats. 703.155, recorded as Document No. 1242107 of Outagamie County Records; being a part of the Southeast Quarter (SE1/4) of the Southwest Quarter (SW1/4) of Section Thirty (30), Township Twenty-One (21) North, Range Seventeen (17) East, Town of Grand Chute, Outagamie County, Wisconsin containing 112,710 square feet (2.59 acres) of land, more or less, and more particularly described as follows:

Commencing at the Southeast Corner of Southwest 1/4 of said Section 30; thence N01°-27'-08"W along the East line of the SW1/4 of said Section 30, 986.46 feet; thence N88°-56'-30"W along the North line of LONG ACRES PLAT and its extension Easterly, 207.49 feet to the point of beginning; thence continuing N88°-56'-30"W along said North line, 450.50 feet; thence N01°-03'-30"E 247.97 feet to a point on the South right of way line of College Avenue; thence S89°-30'-17"E along said South right of way line, 450.52 feet; thence S01°-03'-30"W, 252.40 feet to the point of beginning; being subject to any and all easements and restrictions of record.

SURVEYOR'S CERTIFICATE

"This plat is a correct representation of the condominium described and the identification and location of each unit and the common elements can be determined from the plat."

I, Eric R. Otte, Professional Land Surveyor, do hereby certify that I have surveyed the above described property and that this survey is an accurate representation of the exterior boundary lines and the location of the buildings and improvements constructed or to be constructed upon the property.

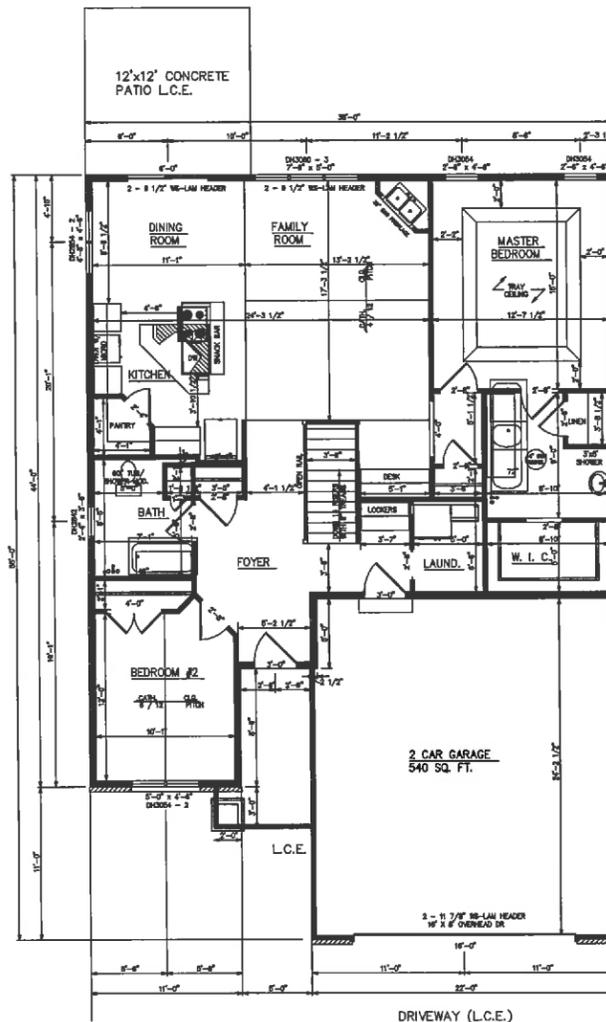
This plat is a correct representation of GEORGETOWN SQUARE CONDOMINIUM ADDENDUM NO. 1 as proposed at the date hereof. In conjunction with the declaration of said condominium, the identification and location of each unit, buildings, and the common elements can be determined from the plat. The undersigned surveyor makes no certification as to the accuracy of the floor plans of the condominium buildings and units contained in the plat and the approximate dimensions and floor areas thereof.

Eric R. Otte PLS # S-2440

DATE: _____

GEORGETOWN SQUARE CONDOMINIUM
ADDENDUM NO. 2

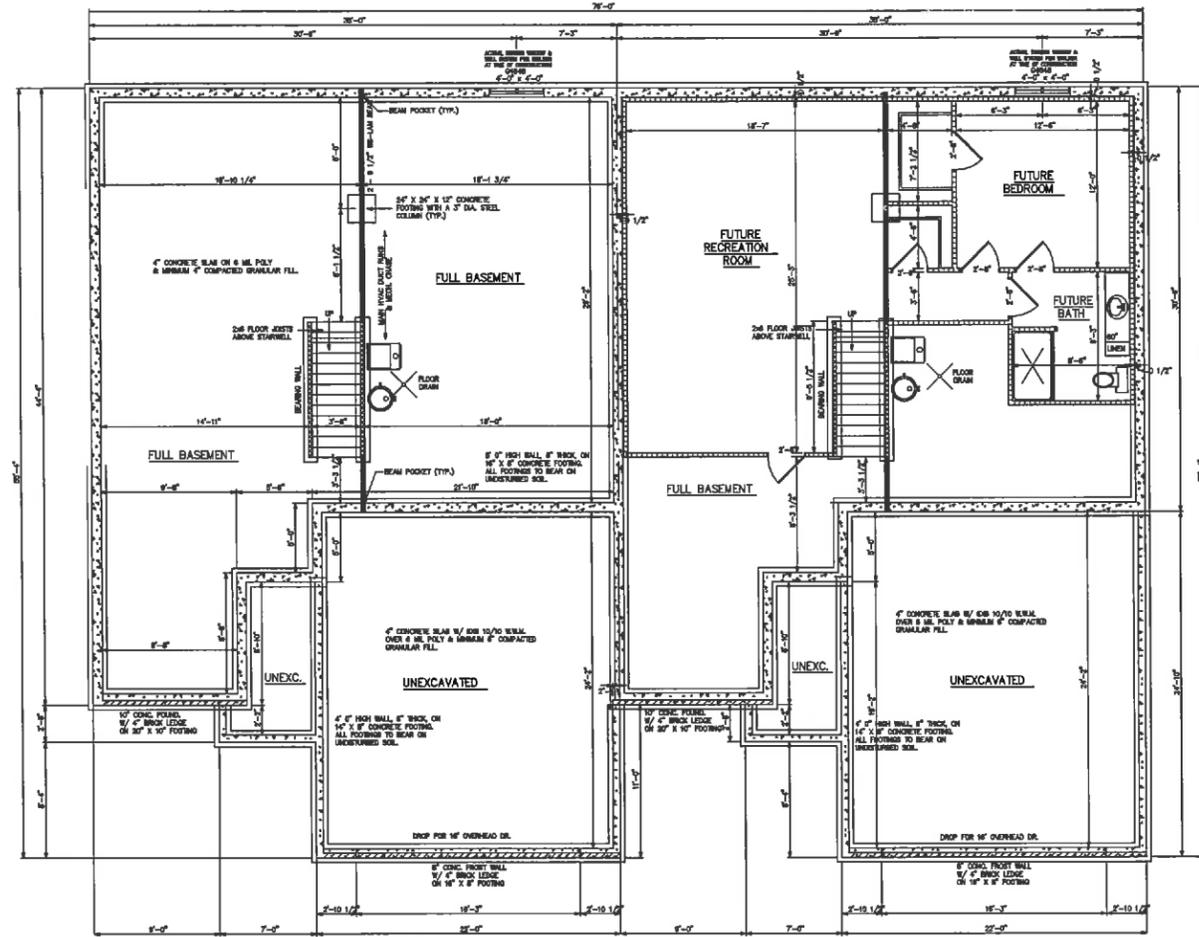
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TYPICAL FIRST FLOOR LAYOUT
EXISTING DECLARED AREA

A part of Units 2 & 3, GEORGETOWNE PLACE CONDOMINIUM, a Master Condominium pursuant to Wl. Stats. 703.155, recorded as Document No. 1242107 of Outagamie County Records; being a part of the Southeast Quarter (SE1/4) of the Southwest Quarter (SW1/4) of Section Thirty (30), Township Twenty-One (21) North, Range Seventeen (17) East, Town of Grand Chute, Outagamie County, Wisconsin containing 144,473 square feet (3.32 acres) of land, more or less, and more particularly described as follows:

Commencing at the Southeast Corner of Southwest 1/4 of said Section 30; thence N01°-27'-08"W along the East line of the SW1/4 of said Section 30, 986.46 feet; thence N88°-56'-30"W along the North line of LONG ACRES PLAT and its extension Easterly, 657.99 feet to the point of beginning; thence continuing N88°-56'-30"W along said North line, 589.50 feet; thence N01°-03'-30"E, 242.18 feet to a point on the South right of way line of College Avenue; thence S89°-30'-17"E along said South right of way line, 589.53 feet; thence S01°-03'-30"W, 247.97 feet to the point of beginning; being subject to any and all easements and restrictions of record.



TYPICAL BASEMENT LAYOUT
UNIT 5525 BASEMENT LAYOUT

PREPARED FOR:
APPLETON VALLEY HOMES, LLC
DEAN THIELBAR
N350 ROGERS LANE
APPLETON, WI 54915

PROJECT NO.: 9.4805

NOTES:

- STOOPS, PATIOS, AND DRIVEWAYS SHALL BE LIMITED COMMON ELEMENTS
- ALL AREAS OUTSIDE OF UNITS THAT ARE NOT LIMITED COMMON ELEMENTS ARE COMMON ELEMENTS
- FLOOR PLANS MAY NOT REPRESENT AS-BUILT CONDITIONS. ALL UNITS SHALL BE 2 BEDROOM, 2 BATH FLOOR PLANS. FINAL INTERIOR DIMENSIONS MAY DIFFER FROM THOSE SHOWN ON THIS PLAT.
- PER WISCONSIN BUILDING SUPPLY PLANS
- UNITS BASEMENT AREA = 1335 S.F.
- UNITS 1ST FLOOR LIVING AREA = 1335 S.F.
- ANY FUTURE BASEMENT EXPANSION IS AT THE CURRENT OWNERS DISCRETION AND WILL REQUIRE AN ADDENDUM TO THIS CONDOMINIUM PLAT

A J.E. ARTHUR AND ASSOCIATES, INC.
ENGINEERS SURVEYORS

548 PRAIRIE ROAD FOND DU LAC, WISCONSIN 54935 PHONE: 920.922.5703

SHEET 3 OF 3 SHEETS

**Town of Grand Chute
Site Plan Review
Georgetown Square Condominium - Addendum No. 2**

To: Plan Commission

From: Robert Buckingham, Community Development Director

Date: October 27, 2016

Address: 5400 Pennsylvania Avenue

App. #: SP-23-16

REQUEST

- 1. Proposed Use(s):** Single-family attached condominium units.
- 2. Project Description:** Construct 22 duplex or townhome style units, a stormwater bioretention basin, and associated site improvements.
- 3. Plat/CSM Accurate parcel lines/lot recorded:** Yes, condo plat addendum pending.

ANALYSIS

Addendum No.2 to the Georgetown Square Condominium adds 22 units in the declared area. These units are located directly west of the existing units on Pennsylvania Avenue and will be built in a combination of one-story duplex and townhome styles. All of the units will have 2 bedrooms/2 baths on the main floor, attached garages, and full basements that could be finished to provide an additional bedroom/bath and a rec room. Runoff from 18 units and surrounding limited common elements and common elements will be directed to a new bioretention basin in the newly declared area. Runoff from 4 units and surrounding limited common elements and common elements will be directed to an existing retention pond in the existing declared area. The Town Engineer has approved the drainage and erosion control plans for the development. All other utilities and roads to serve the newly declared area are installed. This area abuts an existing single family neighborhood to the south and bufferyard landscaping has to be added to meet Zoning Code requirements. There is some existing vegetative growth that can be retained and then supplemented with new planting. Staff is continuing to work with the applicant on an acceptable planting scheme, and staff approval of a Landscape Plan is a condition of Site Plan approval.

This condominium development has had many fits and starts since it was first created in 1997, and many gaps and disconnects in plans and documents were created over time. After the condominium was dissolved and recreated in 2012, the property again sat dormant until it was purchased by Apple Valley Homes this year. Having local ownership that is committed to developing a quality residential community bodes well for the future of Georgetown Square. The review process for this current Addendum has been complex and challenging for everyone involved. However, I am pleased to report that all plans and documents are now in proper form and the Town looks forward to working with the ownership group as they move forward with the project.

RECOMMENDATION

Staff has reviewed and supports Plan Commission approval of the Site Plan (SP-23-16) requested by Apple Valley Homes, LLC, 5400 W. Pennsylvania Avenue, for the Georgetown Square Addendum No. 2, subject to: (1) Town Board approval of Condo Plat CP-05-16; and, (2) Staff approval of a Landscape Plan.

LEGEND

| EXISTING | PROPOSED | DESCRIPTION |
|----------|----------|--|
| • | • | STORM SEWER MANHOLE |
| ⊙ | ⊙ | SANITARY SEWER MANHOLE |
| ⊕ | ⊕ | CLEANOUT |
| ⊖ | ⊖ | TELEPHONE MANHOLE |
| ⊙ | ⊙ | VALVE MANHOLE |
| ⊙ | ⊙ | ROUND TYPE CATCH BASIN |
| ⊙ | ⊙ | CURB TYPE CATCH BASIN |
| ⊙ | ⊙ | WATER SERVICE VALVE |
| ⊙ | ⊙ | WATER MAIN VALVE |
| ⊙ | ⊙ | GAS SERVICE VALVE |
| ⊙ | ⊙ | GAS MAIN VALVE |
| ⊙ | ⊙ | HYDRANT |
| ⊙ | ⊙ | TELEPHONE POLE & GUY WIRE |
| ⊙ | ⊙ | TELEPHONE POLE & STREET LIGHT |
| ⊙ | ⊙ | POWER POLE & GUY WIRE |
| ⊙ | ⊙ | POWER POLE & STREET LIGHT |
| ⊙ | ⊙ | STREET LIGHT |
| ⊙ | ⊙ | RAILROAD ELECTRIC WG-WAG SIGNAL |
| ⊙ | ⊙ | STOP, STREET, HIGHWAY, & OTHER SMALL SIGNS |
| ⊙ | ⊙ | PARKING METER |
| ⊙ | ⊙ | RURAL MAILBOX - URBAN MAIL DEPOSIT BOX |
| ⊙ | ⊙ | TREE - TO BE CLEARED & GRUBBED |
| ⊙ | ⊙ | EVERGREEN TREE - TO BE CLEARED & GRUBBED |
| ⊙ | ⊙ | STUMP - TO BE GRUBBED |
| ⊙ | ⊙ | BUSH |
| ⊙ | ⊙ | HEDGE |
| ⊙ | ⊙ | WOODED AREA (EDGE OF) |
| ⊙ | ⊙ | WOOD FENCE |
| ⊙ | ⊙ | WOVEN OR BARBED WIRE FENCE |
| ⊙ | ⊙ | CHAIN LINK FENCE |
| ⊙ | ⊙ | CENTERLINE OF DITCH |
| ⊙ | ⊙ | TOP OF BANK |
| ⊙ | ⊙ | CENTER LINE |
| ⊙ | ⊙ | TRANSIT LINE |
| ⊙ | ⊙ | R/W LINE |
| ⊙ | ⊙ | LOT LINE |
| ⊙ | ⊙ | CURB & GUTTER (CURB SECTION) |
| ⊙ | ⊙ | SANITARY SEWER MAIN |
| ⊙ | ⊙ | STORM SEWER MAIN |
| ⊙ | ⊙ | WATER MAIN |
| ⊙ | ⊙ | GAS MAIN |
| ⊙ | ⊙ | UNDERGROUND ELECTRIC CABLE |
| ⊙ | ⊙ | UNDERGROUND TELEPHONE CABLE |
| ⊙ | ⊙ | EASEMENT |
| ⊙ | ⊙ | BUILDING |
| ⊙ | ⊙ | IRON PIPE FOUND IN PLACE |
| ⊙ | ⊙ | REBAR FOUND IN PLACE |

ABBREVIATIONS

| ABBR. | DESCRIPTION | ABBR. | DESCRIPTION |
|----------|------------------------------------|--------|--------------------------------|
| AH. | AHEAD | L.S. | LIFT STATION |
| AVE. | AVENUE | LOC. | LOCATE |
| BK. | BACK | M.H. | MANHOLE |
| B.C. | BACK OF CURB | MAX. | MAXIMUM |
| B.W. | BACK OF WALK | MIN. | MINIMUM |
| B.M. | BENCH MARK | MCPL. | MUNICIPAL |
| BLDG. | BUILDING | N. | NORTH |
| BLVD. | BOULEVARD | NO. | NUMBER |
| C. | CONCRETE | PAV.T. | PAVEMENT |
| C.B. | CATCH BASIN | PL. | PLACE |
| CL. | CENTER LINE | P.T. | POINT OF TANGENCY |
| C.W. | CONCRETE WALK | P.C. | POINT OF CURVATURE |
| C.M.P. | CORRUGATED METAL PIPE | P.I. | POINT OF INTERSECTION |
| C.T.H. | COUNTY TRUNK HIGHWAY | P.V.T. | POINT OF VERTICAL TANGENCY |
| C.&G. | CURB & GUTTER | P.V.C. | POINT OF VERTICAL CURVATURE |
| CUL. | CULVERT | P.V.I. | POINT OF VERTICAL INTERSECTION |
| DIS. | DISCHARGE | P.P. | POWER POLE |
| DR. | DRIVEWAY | PROP. | PROPOSED |
| E. | EAST | R. | RADIUS |
| ELEV. | ELEVATION | R.P. | RADIUS POINT |
| EX. | EXISTING | R.R. | RAILROAD |
| F.F. | FACE TO FACE (CURB & GUTTER) | R.C.P. | REINFORCED CONCRETE PIPE |
| FL. | FLOWLINE | RT. | RIGHT |
| F.M. | FORCE MAIN | R/W | RIGHT OF WAY |
| F.W. | FRONT OF WALK | S. | SOUTH |
| GAR. | GARAGE | SPK. | SPIKE |
| GR. | GRAVEL | S.T.H. | STATE TRUNK HIGHWAY |
| G.M.V. | GAS MAIN VALVE | STA. | STATION |
| G.S.V. | GAS SERVICE VALVE | ST. | STREET |
| H.E.C.P. | HORIZONTAL ELLIPTICAL CULVERT PIPE | T.O.P. | TOP OF PIPE |
| HDPE | HIGH DENSITY POLYETHYLENE | T.P. | TOP OF CURB |
| HS. | HOUSE | T.C. | TOP OF CURB |
| HYD. | HYDRANT | T.L. | TRANSIT LINE |
| I.P. | IRON PIPE | V.C. | VERTICAL CURVE |
| INL. | INLET | W. | WEST |
| INV. | INVERT | W.M.V. | WATER MAIN VALVE |
| LT. | LEFT | W.S.V. | WATER SERVICE VALVE |

SHEET INDEX

| | |
|-----|------------------------------|
| 1 | TITLE |
| 2 | SITE PLAN |
| 3-5 | GRADING/EROSION CONTRL PLANS |
| 6 | DETAILS |

PREPARED FOR:

NAME: APPLETON VALLEY HOME, LLC
 ATTN: DEAN THIELBAR
 ADDRESS: N350 ROGERS LANE
 APPLETON WI 54915

ENGINEER:
J.E. ARTHUR AND ASSOCIATES, INC.
 ENGINEERS SURVEYORS

548 PRAIRIE ROAD
 FOND DU LAC, WISCONSIN 54935
 PHONE: 920.922.5703
 WWW.JEAAA.COM

STAGES OF CONSTRUCTION

| STAGES OF CONSTRUCTION | DURATION |
|---|-----------|
| 1. INSTALL SILT FENCE AND TRACKING PAD | 1 DAY |
| 2. INSTALL INLET PROTECTION | 1 DAY |
| 3. UTILITY IMPROVEMENTS | 1-2 WEEKS |
| 4. STRIP TOPSOIL | 2-3 DAYS |
| 5. SITE GRADING | 1-2 WEEKS |
| 6. CONSTRUCT BUILDINGS | 1 YEAR |
| 7. APPLY FINAL STABILIZATION TO ENTIRE SITE | 1 WEEK |
| 8. LANDSCAPING | 3-5 DAYS |

PROJECT LOCATION

PART OF GEORGETOWNPLACE CONDOMINIUM, RECORDED AS DOC. NO. 1242107; BEING PART OF THE SE 1/4 OF THE SW 1/4 AND PART OF THE SW 1/4 OF THE SW 1/4, SECTION 30, T.21 N.-R. 17 E., TOWN OF GRAND CHUTE, OUTAGAMIE COUNTY, WISCONSIN.



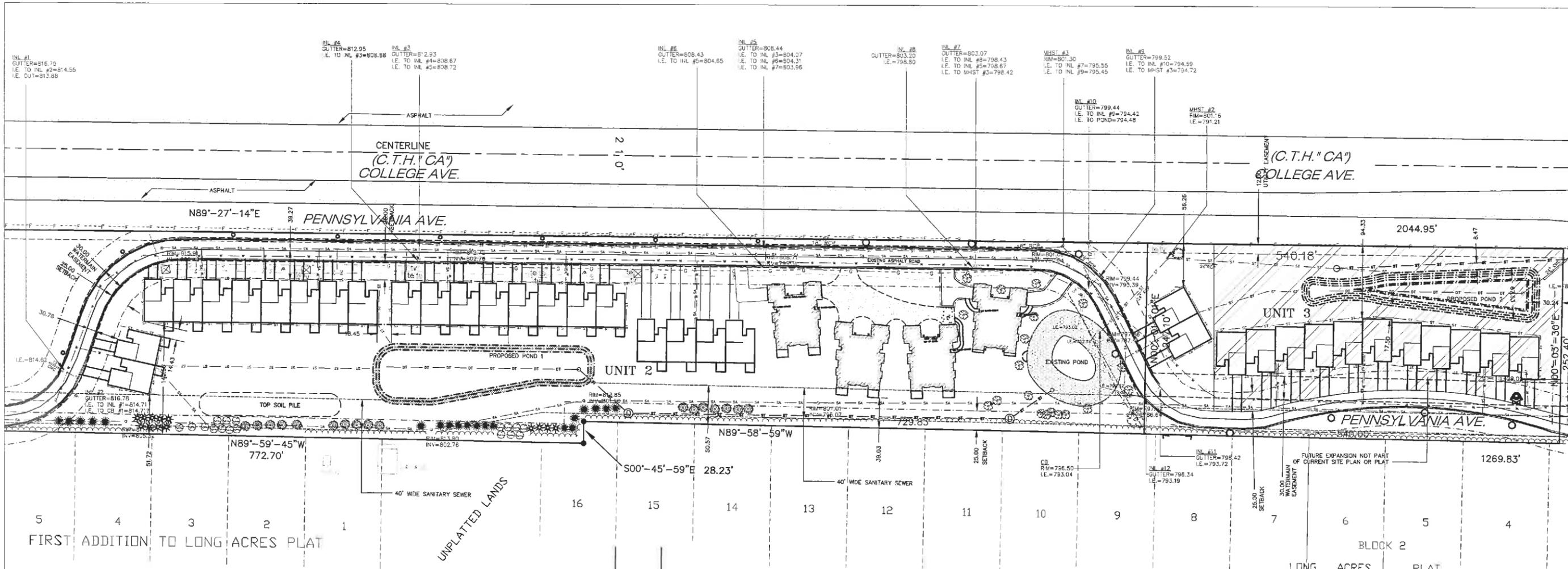
**GEORGETOWN SQUARE CONDOMINIUM
 TOWN OF GRAND CHUTE, WISCONSIN**

| | |
|---------|------------|
| REVISED | 9/29/2016 |
| REVISED | 10/7/2016 |
| REVISED | 10/24/2016 |
| REVISED | 10/26/2016 |

J. E. Arthur & Associates, Inc.
 ENGINEERS SURVEYORS

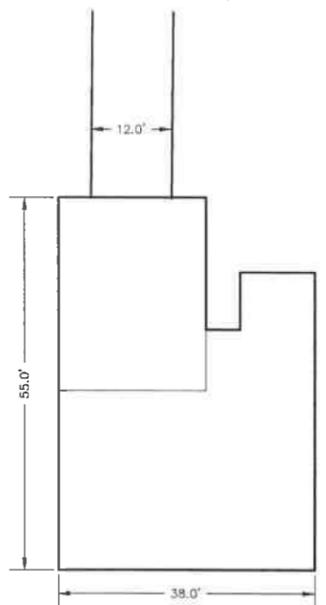
SCALE N/A
 DATE 8/19/2016
 PROJECT NO. 778.002

GEORGETOWN SQUARE CONDOMINIUM
 UTILITY & STORMWATER MNGMT. PLANS
 TOWN OF GRAND CHUTE, WISCONSIN



LEGEND

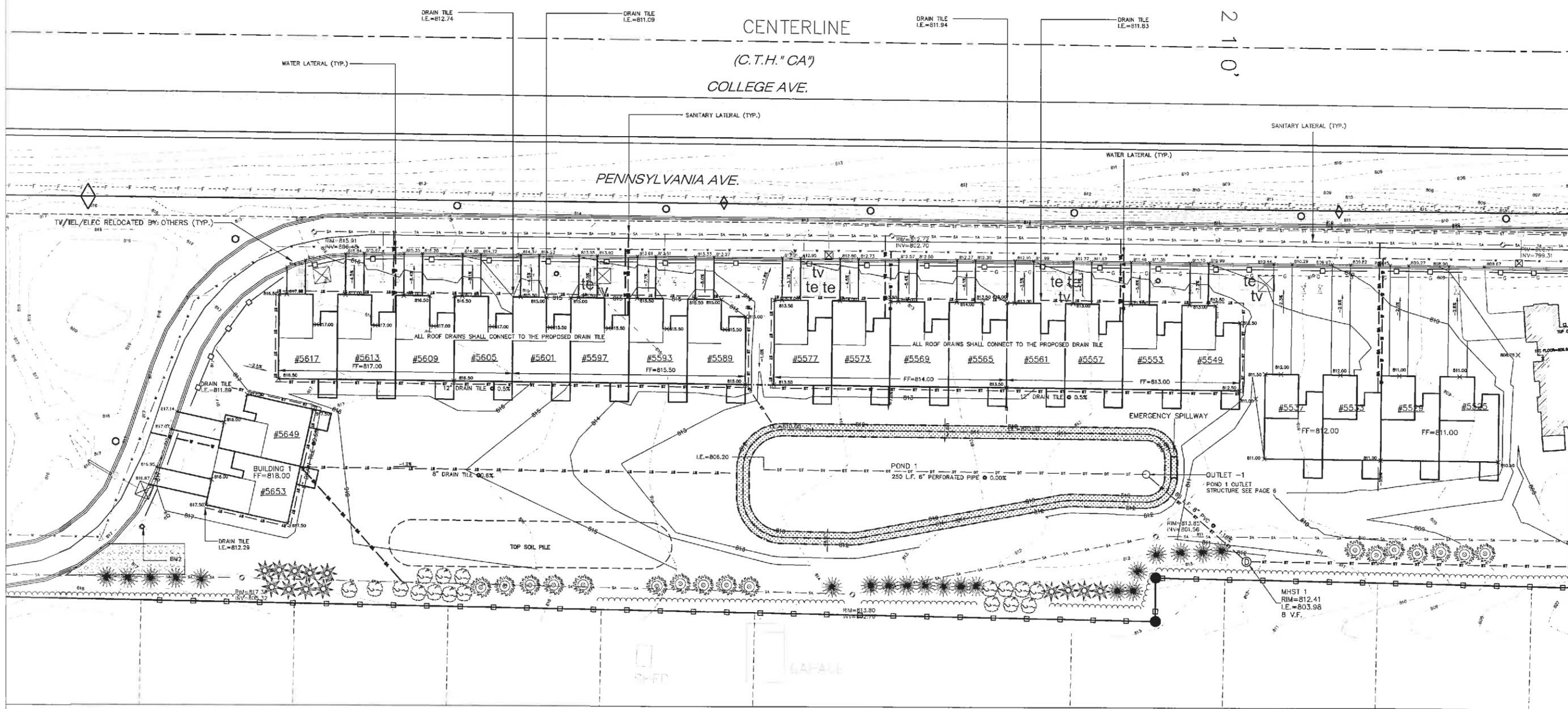
| | | | |
|----------|--------------------------|-------|----------------------------|
| ● | 1" IRON PIPE FOUND | ~~~~~ | TREE LINE |
| ⊙ | COUNTY MONUMENT FOUND | --- | EXISTING GROUND CONTOURS |
| ○ | HYDRANT | ===== | EX. CONCRETE CURB & GUTTER |
| ○ | WATER VALVE | | |
| ⊕ | POWER POLE | | |
| ⊕ | GUY ANCHOR | | |
| ⊕ | TRAFFIC SIGN | | |
| ⊕ | TELEPHONE PEDESTAL | | |
| ⊕ | TELEVISION PEDESTAL | | |
| ⊕ | ELECTRIC TRANSFORMER PAD | | |
| ⊕ | DECIDUOUS TREE | | |
| ○ | SANITARY MANHOLE | | |
| ○ | STORM MANHOLE | | |
| ○ | ROUND CATCH BASIN | | |
| ○ | RECTANGULAR CATCH BASIN | | |
| ○ | CONCRETE POST | | |
| X 898.99 | SPOT ELEVATION | | |
| -OPL- | OVERHEAD POWER LINE | | |
| -E- | BURIED ELECTRIC | | |
| -T- | BURIED TELEPHONE | | |
| -G- | BURIED GAS | | |
| -W- | WATER MAIN | | |
| -ST- | STORM SEWER | | |
| -SWS- | SANITARY SEWER | | |
| C.S.M. | CERTIFIED SURVEY MAP | | |
| P.O.B. | POINT OF BEGINNING | | |
| R/W | RIGHT-OF-WAY | | |
| BOC | BACK OF CURB | | |



TYPICAL UNIT DIMENSION

| | | | | | | | |
|--|---|---|---|--|--|---|--|
| DRAWN BY <u>MLA</u> CHECKED BY <u>ERO</u> APPROVED BY <u>ERO</u> | SCALES HORIZONTAL <u>1"=60'</u> VERTICAL <u>N/A</u> | PROJECT NO. <u>778.002</u> DATE <u>8/19/2016</u> | REVISIONS 9/29/2016 10/7/2016 10/24/2016 10/26/2016 | BENCH MARK BENCHMARK 1 -- CHISELED "X" ON HYDRANT ELEVATION = 801.15 BENCHMARK 2 -- CHISELED "X" ON HYDRANT ELEVATION = 817.94 | DATUM U.S.G.S. <input checked="" type="checkbox"/> ASSUMED <input type="checkbox"/> CITY <input type="checkbox"/> PROJECT <input type="checkbox"/> | GEORGETOWN SQUARE CONDOMINIUM MASTER SITE PLAN TOWN OF GRAND CHUTE, WISCONSIN | J.E. ARTHUR AND ASSOCIATES, INC. ENGINEERS SURVEYORS PLANNERS FOND DU LAC, WISCONSIN 54935 PHONE (920) 922-5703 |
|--|---|---|---|--|--|---|--|

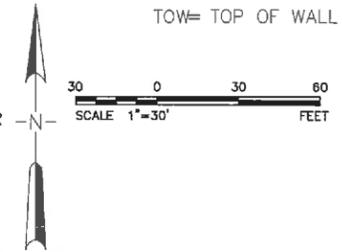
- LEGEND:**
- × 000.00 = PROPOSED SPOT ELEVATIONS
 - = EXISTING CONTOUR
 - 780- = PROPOSED CONTOUR
 - = PROPOSED DIRECTIONAL FLOW
 - [Pattern] = TRACKING PAD
 - [Pattern] = SILT FENCE
 - [Symbol] = MEDIUM RIP RAP
 - [Symbol] = PROPOSED STORM SEWER
 - [Symbol] = INLET PROTECTION
 - TOW= TOP OF WALL
 - [Symbol] = PROPOSED SANITARY SEWER LATERAL
 - [Symbol] = PROPOSED WATER LATERAL
 - [Pattern] = EROSION MATTING



| | | | | | | | |
|--|---|---|---|--|--|--|--|
| DRAWN BY <u>MLA</u> CHECKED BY <u>ERO</u> APPROVED BY <u>ERO</u> | SCALES HORIZONTAL 1"=30' VERTICAL N/A | PROJECT NO. <u>778.002</u> DATE <u>8/19/2016</u> | REVISIONS 9/29/2016 10/7/2016 10/24/2016 10/26/2016 | BENCH MARK BENCHMARK 1 -- CHISELED "X" ON HYDRANT ELEVATION = 801.15 BENCHMARK 2 -- CHISELED "X" ON HYDRANT ELEVATION = 817.94 | DATUM U.S.G.S. <input checked="" type="checkbox"/> ASSUMED <input type="checkbox"/> CITY <input type="checkbox"/> PROJECT <input type="checkbox"/> | GEORGETOWN SQUARE CONDOMINIUM DRAINAGE/EROSION CONTROL PLAN TOWN OF GRAND CHUTE, WISCONSIN | J.E. ARTHUR AND ASSOCIATES, INC. ENGINEERS SURVEYORS PLANNERS FOND DU LAC, WISCONSIN 54935 PHONE (920) 922-5703 |
|--|---|---|---|--|--|--|--|

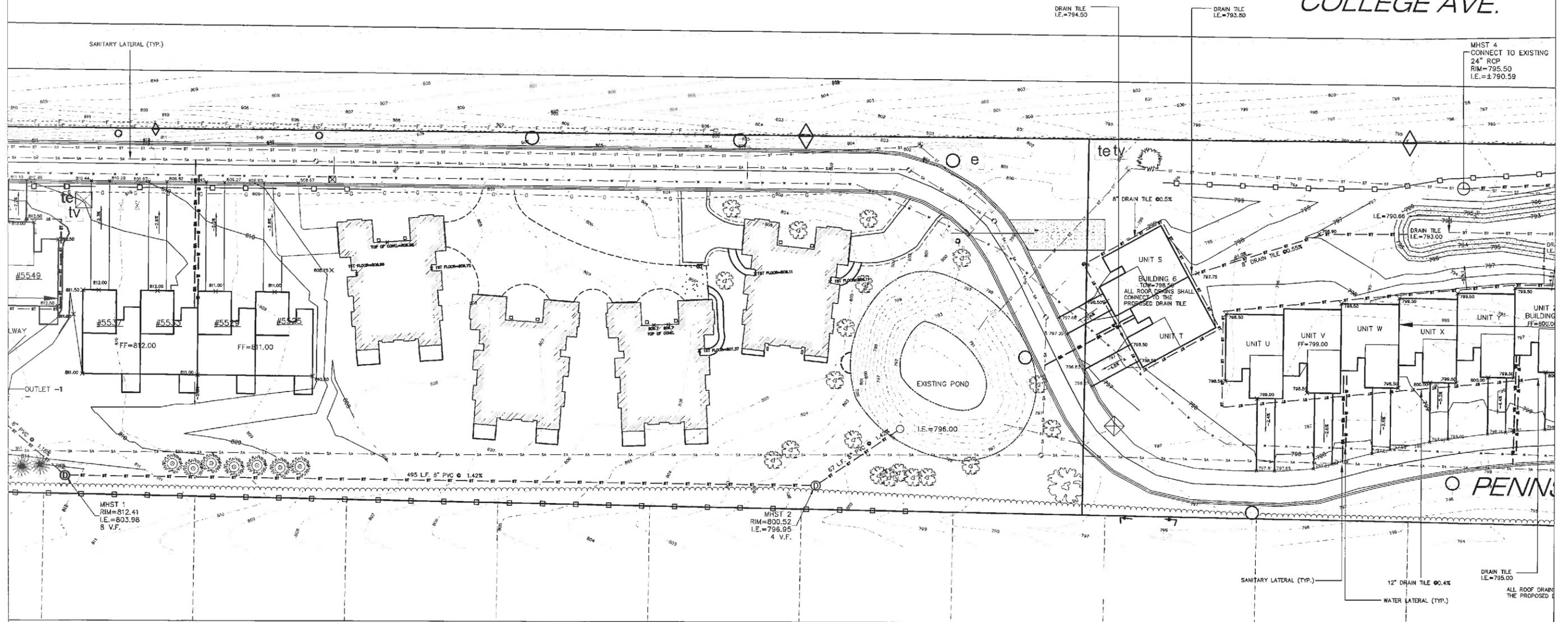
LEGEND:

- × 000.00 = PROPOSED SPOT ELEVATIONS
- 780 = EXISTING CONTOUR
- 780 = PROPOSED CONTOUR
- = PROPOSED DIRECTIONAL FLOW
- [Pattern] = TRACKING PAD
- [Pattern] = SILT FENCE
- [Pattern] = MEDIUM RIP RAP
- [Pattern] = PROPOSED STORM SEWER
- [Symbol] = INLET PROTECTION
- [Pattern] = EROSION MATTING
- [Symbol] = PROPOSED SANITARY SEWER LATERAL
- [Symbol] = PROPOSED WATER LATERAL
- TOW = TOP OF WALL

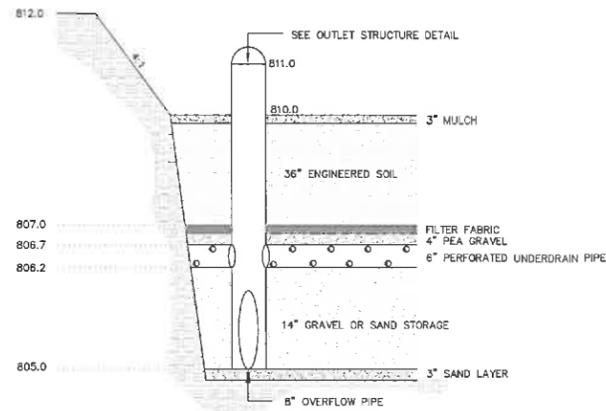


210'

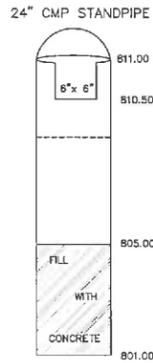
(C.T.H. "CA")
COLLEGE AVE.



| | | | | | | | |
|--|---|---|--|--|--|--|--|
| DRAWN BY <u>MLA</u> CHECKED BY <u>ERO</u> APPROVED BY <u>ERO</u> | SCALES HORIZONTAL <u>1"=30'</u> VERTICAL <u>N/A</u> | PROJECT NO. <u>778.002</u> DATE <u>8/19/2016</u> | REVISIONS 10/7/2016 10/24/2016 10/26/2016 | BENCH MARK BENCHMARK 1 --- CHISELED "X" ON HYDRANT ELEVATION = 801.15 BENCHMARK 2 --- CHISELED "X" ON HYDRANT ELEVATION = 817.94 | DATUM U.S.G.S. <input checked="" type="checkbox"/> ASSUMED <input type="checkbox"/> CITY <input type="checkbox"/> PROJECT <input type="checkbox"/> | GEORGETOWN SQUARE CONDOMINIUM DRAINAGE/EROSION CONTROL PLAN TOWN OF GRAND CHUTE, WISCONSIN | J.E. ARTHUR AND ASSOCIATES, INC. ENGINEERS SURVEYORS PLANNERS FOND DU LAC, WISCONSIN 54935 PHONE (920) 922-5703 |
|--|---|---|--|--|--|--|--|



POND 1 OUTLET STRUCTURE



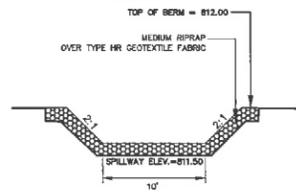
BIORETENTION FACILITY SHALL BE PLANTED PER SECTION V.B.5 OF TECHNICAL STANDARD 1004. SEEDING OR TURF GRASS SHALL NOT BE PERMITTED.

OVERFLOW PIPE SHALL BE PRECAST CONCRETE WITH A 24" INSIDE DIAMETER. FRAME AND GRATE SHALL BE NEEHAH R-2561-A, INLET FRAME BEEHIVE GRATE, OR APPROVED EQUAL.

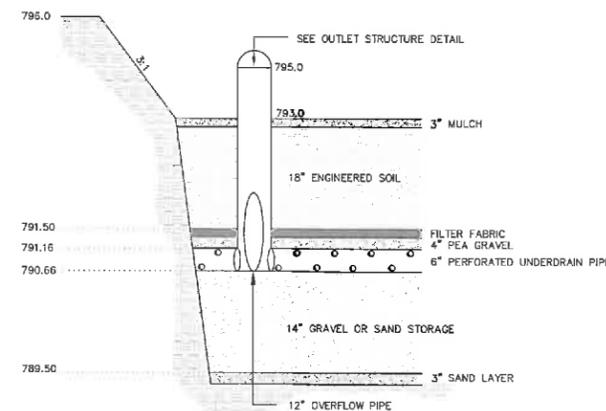
BIORETENTION FACILITY DESIGNED TO WISCONSIN DEPARTMENT OF NATURAL RESOURCES CONSERVATION PRACTICE STANDARD 1004
NOTE: FILTER FABRIC (OVER PERFORATED UNDERDRAIN PIPE ONLY)

- 100 YR, 24-HR EVENT = 810.61
- 10 YR, 24-HR EVENT = 810.00
- 2 YR, 24-HR EVENT = 807.60
- 1 YR, 24-HR EVENT = 807.23

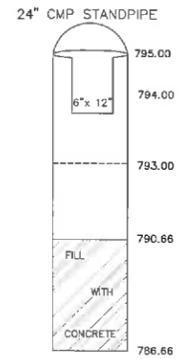
EMERGENCY SPILLWAY



① STORMWATER POND 1



POND 2 OUTLET STRUCTURE



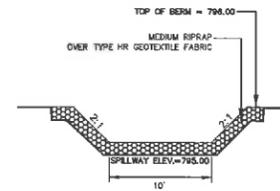
BIORETENTION FACILITY SHALL BE PLANTED PER SECTION V.B.5 OF TECHNICAL STANDARD 1004. SEEDING OR TURF GRASS SHALL NOT BE PERMITTED.

OVERFLOW PIPE SHALL BE PRECAST CONCRETE WITH A 24" INSIDE DIAMETER. FRAME AND GRATE SHALL BE NEEHAH R-2561-A, INLET FRAME BEEHIVE GRATE, OR APPROVED EQUAL.

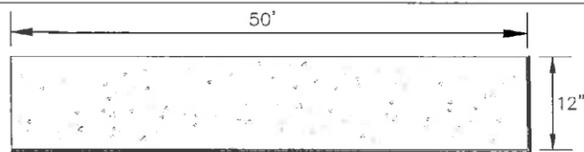
BIORETENTION FACILITY DESIGNED TO WISCONSIN DEPARTMENT OF NATURAL RESOURCES CONSERVATION PRACTICE STANDARD 1004
NOTE: FILTER FABRIC (OVER PERFORATED UNDERDRAIN PIPE ONLY)

- 100 YR, 24-HR EVENT = 794.24
- 10 YR, 24-HR EVENT = 793.48
- 2 YR, 24-HR EVENT = 793.16
- 1 YR, 24-HR EVENT = 793.05

EMERGENCY SPILLWAY



③ STORMWATER POND 2

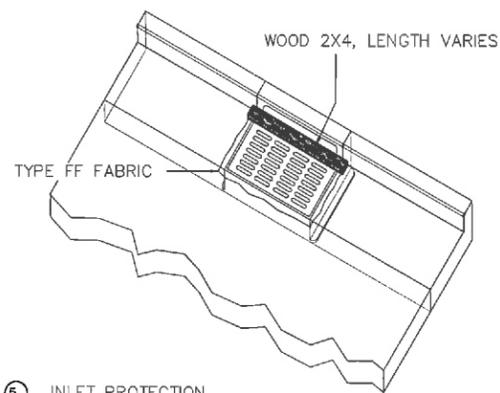


TRACKING PAD SHALL BE CONSTRUCTED OF 3- TO 6-INCH FRACTURED ROCK. ALL MATERIAL SHALL BE RETAINED ON A 3-INCH SIEVE.

TRACKING PAD SHALL BE CONSTRUCTED 20' WIDE, 12" DEEP OVER TYPE-R GEOTEXTILE FABRIC

TRACKING PAD SHALL CONFORM TO WISCONSIN DNR TECHNICAL STANDARD 1057.

④ TRACKING PAD

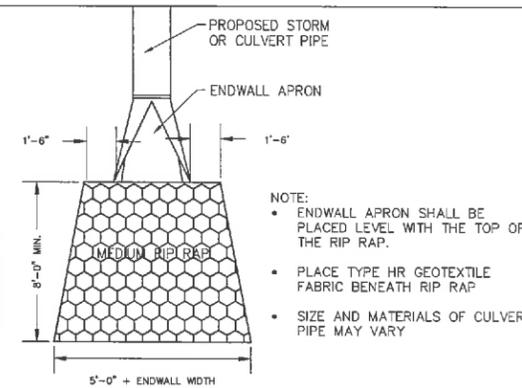


GENERAL NOTES:
INSTALL IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1060

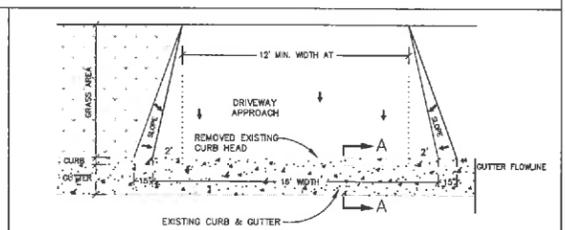
THIS DRAWING IS BASED ON WISCONSIN DEPARTMENT OF TRANSPORTATION STANDARD DETAIL DRAWING 8 E 10-2 FABRIC SHALL BE REPLACED AT THE ENGINEER'S DISCRETION. MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE DEPARTMENT'S EROSION CONTROL PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED FOR THE INLET PROTECTION TYPE SPECIFIED. WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.

INSTALLATION NOTES:
1. EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.
2. THE CONTRACTOR SHALL DEMONSTRATE A METHOD OF MAINTENANCE, USING A SEWN FLAP, HAND HOLDS OR OTHER METHOD TO PREVENT ACCUMULATION SEDIMENT FROM ENTERING THE INLET.

⑤ INLET PROTECTION



⑥ APRON ENDWALL



PLAN VIEW



PROFILE

⑦ DRIVEWAY APPROACH CURB OPENING

STORM SEWER
Storm sewer pipe shall be Reinforced Concrete, Class III.

Bedding material from a point 4 inches below the barrel of the pipe to the spring line of the storm sewer pipe shall be 3/4 inch crushed stone. The trenches for the storm sewer and appurtenances shall be backfilled to existing grade with excavated material.

Backfill material shall be settled by mechanical compaction as follows: The initial compacted lift shall be 2 feet. Each subsequent compacted lift of material shall be 18 inches. The Contractor shall use smaller lifts if the required compaction cannot be obtained. The backfill material shall be compacted to 95% Modified Proctor. Flooding of excavated material or granular backfill shall not be allowed.

Inlet and manhole sizes, frames and covers shall be as follows:

| STRUCTURE NUMBER | SIZE | FRAME AND COVER |
|------------------|------|-----------------|
| MHST 1 | 48" | NEEHAH R-1550 |
| MHST 2 | 48" | NEEHAH R-1550 |

SANITARY SEWER LATERALS

The sanitary sewer laterals shall be 4-inch pipe. All laterals shall be of the same material and same joints as the main sewer and shall be plugged with a waterproof plug. The location of the end of the lateral shall be marked with a wooden 2"x4" extending at least 2 feet above the ground surface and shall be painted green.

Bedding material from a point 4" below the barrel of the pipe to 6" above the pipe shall be 3/8" crushed stone.

The trenches for the sanitary sewer laterals located in street or driveway crossings shall be backfilled to existing grade with pit-run sand/gravel with no material larger than 2 inches. The trenches not located in street or driveway crossings may be backfilled with excavated material.

Backfill material shall be settled by mechanical compaction as follows: The initial compacted lift shall be 2 feet. Each subsequent compacted lift of material shall be 18 inches. The Contractor shall use smaller lifts if the required compaction cannot be obtained. The backfill material shall be compacted to 95% Modified Proctor. Flooding of excavated backfill material or granular backfill material shall not be allowed.

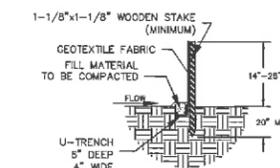
WATER LATERALS

Water laterals shall be 1.25" polyethylene and shall conform to ANWA C901 and ASTM D2737.

Water laterals laid in the same trench as sanitary laterals shall be a minimum of 12 inches above the top of the sanitary sewer lateral, and separated horizontally by 12 inches.

The trenches for the water main and all laterals and appurtenances located in street or driveway crossings shall be backfilled with pit-run sand/gravel with no material larger than 2 inches. The trenches not located in street or driveway crossings may be backfilled with excavated material.

Backfill material shall be settled by mechanical compaction as follows: The initial compacted lift shall be 2 feet. Each subsequent compacted lift of material shall be 18 inches. The Contractor shall use smaller lifts if the required compaction cannot be obtained. The backfill material shall be compacted to 95% Modified Proctor. Flooding of excavated material or granular backfill shall not be allowed.



⑧ SILT FENCE

DISTURBED AREAS LEFT UNWORKED FOR A PERIOD OF GREATER THAN SEVEN DAYS SHALL BE TEMPORARILY STABILIZED WITH MULCH.

MULCHING SHALL CONFORM TO WISCONSIN DNR TECHNICAL STANDARD 1058.

SEEDING SHALL CONFORM TO WISCONSIN DNR TECHNICAL STANDARD 1059.

TEMPORARY SEEDING

| SPECIES | LBS/ACRE | % PURITY |
|-----------------|----------|----------|
| OATS | 131 | 98 |
| CEREAL RYE | 131 | 97 |
| WINTER WHEAT | 131 | 95 |
| ANNUAL RYEGRASS | 80 | 97 |

USE OATS IN SPRING AND SUMMER PLANTINGS. USE CEREAL RYE, WINTER WHEAT, AND ANNUAL RYEGRASS FOR FALL PLANTINGS. TEMPORARY SEEDING REQUIRES A SEEDBED OF LOOSE SOIL TO A MINIMUM DEPTH OF 2 INCHES.

PERMANENT SEEDING SEEDING MIXTURES AND RATES SHALL CONFORM TO WISCONSIN DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, SECTION 630, SEEDING.

CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL TEMPORARY EROSION CONTROL FACILITIES UNTIL FINAL STABILIZATION IS ACHIEVED.

ALL EROSION CONTROL MEASURES SHALL BE IMPLEMENTED AND CONSTRUCTED IN ACCORDANCE WITH WISCONSIN DNR TECHNICAL STANDARDS

| | | | | | | | |
|---------------------|---------------------------------|----------------------------|---|--|--|--|--|
| DRAWN BY <u>MLA</u> | SCALES HORIZONTAL <u>N/A</u> | PROJECT NO. <u>778-002</u> | REVISIONS <u>9/29/2016</u> <u>10/7/2016</u> <u>10/24/2016</u> <u>10/26/2016</u> | BENCH MARK BENCHMARK 1 -- CHISELED "X" ON HYDRANT ELEVATION = 801.15 BENCHMARK 2 -- CHISELED "X" ON HYDRANT ELEVATION = 817.94 | DATUM U.S.G.S. <input checked="" type="checkbox"/> ASSUMED <input type="checkbox"/> CITY <input type="checkbox"/> PROJECT <input type="checkbox"/> | GEORGETOWN SQUARE CONDOMINIUM DETAILS TOWN OF GRAND CHUTE, WISCONSIN | J.E. ARTHUR AND ASSOCIATES, INC. ENGINEERS SURVEYORS PLANNERS FOND DU LAC, WISCONSIN 54935 PHONE (920) 922-5703 |
|---------------------|---------------------------------|----------------------------|---|--|--|--|--|

**Town of Grand Chute
Site Plan Amendment Review
ABC Supply Co., Inc.**

To: Plan Commission
From: Michael Patza, Town Planner
Date: October 27, 2016
Address: 5501 W. Clairemont Drive

App. #: SPA1-46-98

REQUEST

- 1. Proposed Use(s):** Continued industrial use
- 2. Project Description:** Construction of an outdoor materials storage yard and associated site improvements
- 3. Plat/CSM Accurate parcel lines/lot recorded:** Yes

ANALYSIS

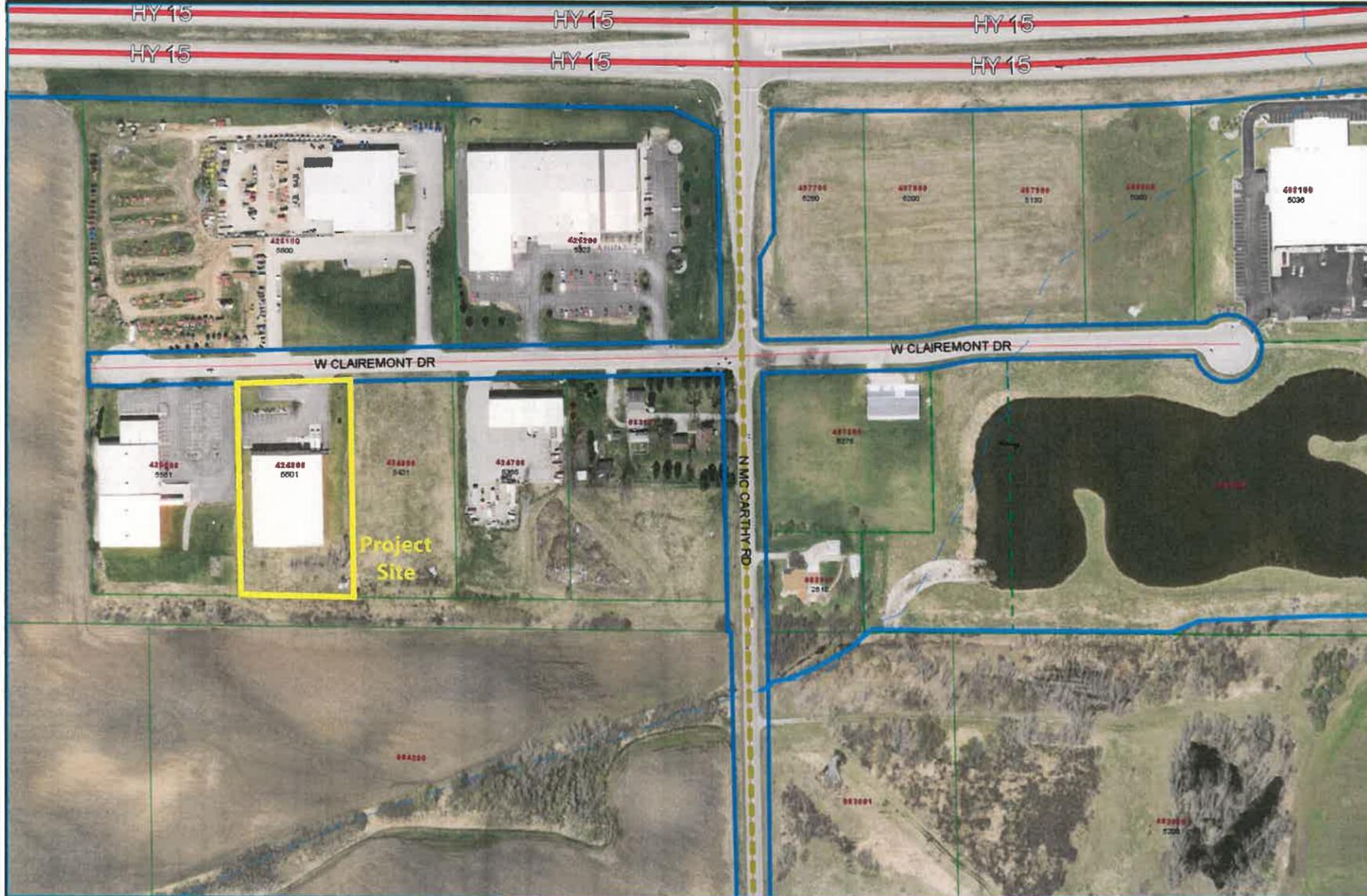
Applicant proposes the construction of an outdoor material storage yard that will be used to store roofing materials. The storage yard will be located on the south side of the building, have an asphalt surface, and be enclosed by a fence.

The Stormwater Management Plan for the project consists of using overland flow and storm sewer to direct runoff to the regional stormwater detention facility on the east side of N. McCarthy Road. The Stormwater Management and Erosion Control Plans have been approved by the Town Engineer. The Landscape and Site Lighting Plans has been approved by staff. All other code requirements are met with this request.

RECOMMENDATION

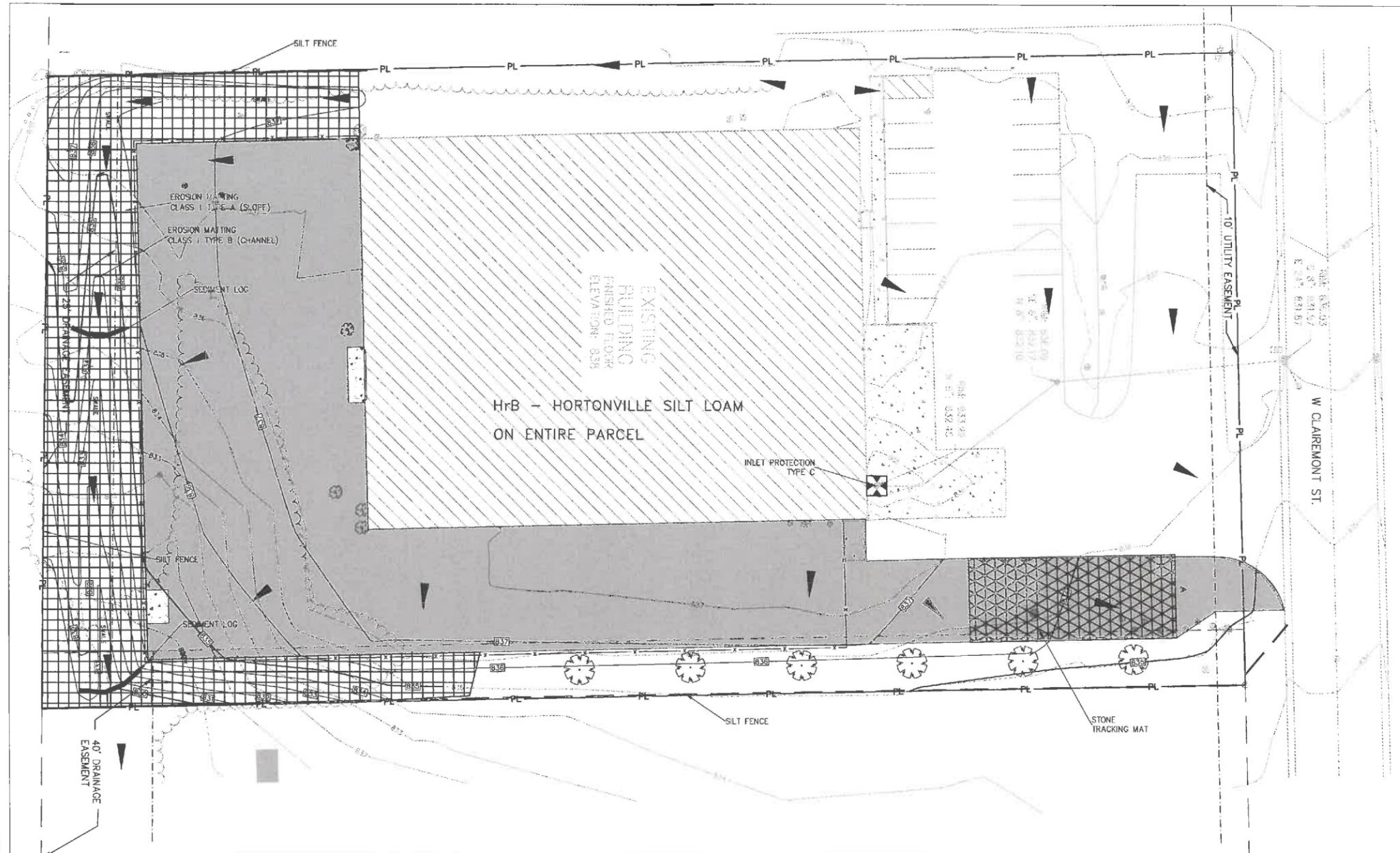
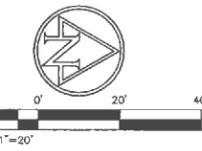
Staff has reviewed and supports Plan Commission approval of the Site Plan (SPA1-46-98) requested by ABC Supply Co., Inc., 5501 W. Clairemont Drive, for the construction of an outdoor materials storage yard and associated site improvements.

SPA1-46-98 -- 5501 W. Clairemont Drive



This map was compiled using data believed to be accurate; however, a degree of error is inherent in all maps. This map was distributed "AS-IS" without warranties of any kind, either expressed or implied, including but not limited to warranties of suitability to a particular purpose or use. No attempt has been made in either the design or production of the maps to define the limits or jurisdiction of any federal, state, or local government. Detailed on-the-ground surveys





NARRATIVE AND CONSTRUCTION SEQUENCE

THE PROPOSED PROJECT CONSISTS OF CONSTRUCTING ASPHALT OUTDOOR STORAGE AREA AND FENCING ALONG THE EAST AND SOUTH SIDES OF THE EXISTING BUILDING. A SWALE AND BERM IS ALSO BEING CONSTRUCTED ALONG THE SO PROPERTY LINE IN THE 25-FOOT DRAINAGE EASEMENT TO DIRECT STORMWATER RUNOFF THE VILLAGE OF GRAND CHUTE STORMWATER FACILITY EAST OF THIS PROPERTY. THE SITE IMPROVEMENTS WILL INCLUDE GRADING, PAVING, LANDSCAPING AND INSTALLING FENCING AND LIGHTING. THIS PROJECT IS BEING BUILT IN ONE PHASE.

EARTHWORK FOR THIS PROJECT WILL CONSIST OF FILLING THE SOUTHERN PORTION OF THE PROPERTY AND CONSTRUCTION THE SWALE ALONG THE SOUTH PROPERTY LINE. EXCESS MATERIAL WILL BE REMOVED AND DISPOSED OF OFF-SITE IF NECESSARY.

ESTIMATED CONSTRUCTION TIMEFRAMES:

INSTALL EROSION CONTROL MEASURES = OCTOBER 2016

GRADING AND PAVING = OCTOBER/NOVEMBER 2016

LANDSCAPING AND FINAL RESTORATION = OCTOBER/NOVEMBER 2016 AND MAY OF 2017

THE INTENDED SEQUENCES OF SITE CONSTRUCTION ACTIVITIES ARE AS FOLLOWS:

1. INSTALL EROSION CONTROL MEASURES AS INDICATED ON THE GRADING AND EROSION CONTROL PLAN AND IN ACCORDANCE WITH THE REQUIREMENTS OF WNR CONSERVATION PRACTICE STANDARDS.
2. STRIP TOPSOIL AND BUILD SWALE AND BERM ALONG SOUTH PROPERTY LINE.
3. FILL SOUTHERN PORTION OF SITE TO SUBGRADE AND GRADE AND SHAPE EASTERN PORTION OF SITE TO SUBGRADE.
4. FERTILIZE, SEED, MULCH AND INSTALL EROSION MATTING ALONG SLOPES AND SWALE.
5. PLACE PAVEMENT BASE COARSE AND INSTALL ELECTRICAL FOR SITE LIGHTING THEN PLACE ASPHALT PAVEMENT.
6. CONSTRUCT FENCE.
7. WHEN THE SITE VEGETATION HAS BEEN ESTABLISHED AND THE POTENTIAL OF EROSION IS STABILIZED, THE TEMPORARY EROSION CONTROL MEASURE WILL BE REMOVED.

NOTE: CONSTRUCTION ACTIVITY DATES ARE APPROXIMATE AND MAY CHANGE DUE TO WEATHER OR OTHER UNFORESEEN REASONS.

NO PERMANENT INFILTRATION FACILITIES ARE PRESENT AND NO INFILTRATION DEVICES WILL BE EMPLOYED AS PART OF THIS PROJECT.

THIS SITE DRAINS TO A TOWN OF GRAND CHUTE STORMWATER FACILITY THAT IS CAPABLE OF ACCEPTING STORMWATER RUNOFF FROM THIS PROPERTY WITH A MAXIMUM IMPERVIOUS AREA OF 72 PERCENT.

TOTAL DISTURBED AREA = 41,690 SF/0.96 ACRES

EROSION CONTROL

THE FOLLOWING EROSION AND POLLUTANT CONTROL MEASURES ARE TO BE IMPLEMENTED ON THIS SITE AND MAINTAINED BY THE CONTRACTOR UNTIL SUCH TIME THAT THE SITE IS STABILIZED.

EROSION CONTROL MEASURES:

1. SILT FENCE SHALL BE INSTALLED AS INDICATED ON THE GRADING AND EROSION CONTROL PLAN.
2. INLET PROTECTION SHALL BE INSTALLED AT ALL INLETS ON AND ADJACENT TO THE SITE.
3. VEHICLE TRACKING MATS SHALL BE INSTALLED AT ALL CONSTRUCTION ENTRANCES.
4. CONTRACTOR SHALL BE RESPONSIBLE TO PROMPTLY CLEAN UP ALL SEDIMENT DEPOSITS THAT OCCUR OFF SITE BY THE END OF EACH WORKDAY.
5. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL EROSION CONTROL MEASURES UNTIL THE SITE HAS BEEN STABILIZED. CONTRACTOR SHALL INSPECT ALL EROSION CONTROL MEASURES AT LEAST ONCE PER WEEK AND AFTER EACH RAINFALL EVENT OF 1/8 INCH OR MORE. CONTRACTOR SHALL KEEP A LOGBOOK OF ALL INSPECTION REPORTS ONSITE ALONG WITH ALL PERMITS THAT ARE REQUIRED FOR THE PROJECT. THE EROSION CONTROL AND STORM WATER MANAGEMENT PLAN SHALL BE KEPT ON SITE AT ALL TIMES DURING CONSTRUCTION.
6. DRAINAGE WAYS ARE TO BE SEEDED AND MULCHED OR SODDED AS SOON AS POSSIBLE. SIDE SLOPES OF DRAINAGE WAYS THAT ARE SLOPED 4:1 OR GREATER AND FLOW LINES OF THE DRAINAGE WAYS SHALL HAVE EROSION FABRIC OR MATTING INSTALLED TO PROTECT FROM EROSION. LIGHT DUTY MESHOT CLASS 1 URBAN TYPE A MAT IS RECOMMENDED FOR THE SLOPED AREAS AND TYPE B FOR THE FLOW LINE OF THE SWALES. DITCH CHECKS SHALL BE INSTALLED AS INDICATED ON THE GRADING AND EROSION CONTROL PLAN.
7. ALL AREAS OF BARE SOIL LEFT INACTIVE FOR MORE THAN 7 DAYS SHALL BE SEEDED WITH A FAST GROWING ANNUAL GRASS (TEMPORARY) SUCH AS OATS AND RYE AND MULCHED.
8. DEWATERING IS NOT ANTICIPATED. IF DEWATERING IS NECESSARY IT SHALL FOLLOW THE REQUIREMENTS OF WNR TECHNICAL STANDARD 1061.
9. DUST CONTROL MEASURES FOR CONSTRUCTION ACTIVITIES SHALL INCLUDE MINIMIZATION OF SOIL DISTURBANCE, APPLYING MULCH AND ESTABLISHING VEGETATION, WATER SPRAYING, SURFACE ROUGHENING, APPLYING POLYMERS, SPRAY-ON TACKIFIERS, CHLORIDES AND BARRIERS. THESE MEASURES SHALL BE APPLIED AS APPLICABLE TO THE SITE CONDITIONS AND SHALL FOLLOW THE REQUIREMENTS OF WNR TECHNICAL STANDARD 1068.
10. CONTRACTOR SHALL HAVE A DESIGNATED AREA FOR TRASH AND PROMPTLY DISPOSE OF ALL WASTE MATERIAL.
11. ANY SPILL THAT MAY OCCUR SHALL BE PROMPTLY CLEANED UP PER LOCAL AND STATE REQUIREMENTS.

NOT FOR CONSTRUCTION

ABC SUPPLY CO.

5501 W CLAIREMONT DR.
APPLETON WI 54913

| ADMINISTRATION | |
|----------------|-----------|
| DATE: | 10/6/2016 |
| ENGINEER: | SPK |
| DRAWN BY: | NJK |
| CHECKED BY: | SPK |
| SCALE: | 1" = 20' |

| REVISION SCHEDULE | | |
|-------------------|-------------|------|
| NO. | DESCRIPTION | DATE |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |

Project Number XXXX.XXXX

EROSION CONTROL PLAN

C-3

- EXISTING LEGEND**
- ⊕ gas marker
 - ⊙ utility pole
 - ⊙ guy wire anchor
 - ⊙ light pole
 - ⊙ manhole
 - ⊙ air conditioner unit
 - ⊙ down spout
 - ⊙ well
 - ⊙ gas meter
 - ⊙ vent
 - ⊙ electric meter
 - ⊙ sign
 - ⊙ septic tank
 - ⊙ survey control point
 - ⊙ cable tv pedestal
 - ⊙ tree stump
 - ⊙ mailbox
 - overhead electric line
 - ditch centerline

- LEGEND**
- SILT FENCE
 - CURLEX SEDIMENT LOG
 - ⊗ INLET PROTECTION
 - ▣ EROSION MATTING
 - ▣ STONE TRACKING MAT
 - EXISTING 1 FOOT CONTOUR
 - EXISTING 5 FOOT CONTOUR
 - PROPOSED 1 FOOT CONTOUR
 - PROPOSED 5 FOOT CONTOUR

THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THIS PLAN ARE APPROXIMATE. THERE MAY BE OTHER UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN. CONTRACTORS SHALL MAKE THEIR OWN DETERMINATION AND VERIFY THE LOCATION OF UNDERGROUND UTILITIES.

THE CLIENT AND/OR OTHER RECIPIENTS AGREE TO THE FULLEST EXTENT PERMITTED BY LAW TO INDEMNIFY AND HOLD PAYNE AND DOLAN HARMLESS FOR ANY REUSE OF OR FROM CHANGES MADE TO THE ORIGINAL DRAWING OR DATA WITHOUT PRIOR WRITTEN CONSENT BY PAYNE AND DOLAN.



LOCATION MAP

**Town of Grand Chute
Site Plan Amendment Review
Laxmijkrupa, LLC, dba Baymont Inn & Suites and Red Roof Inn**

To: Plan Commission
From: Michael Patza, Town Planner
Date: October 27, 2016
Address: 3920-3924 W. College Avenue

App. #: SPA1-09-06

REQUEST

1. **Proposed Use(s):** Continued hotel use
2. **Project Description:** Installation of a multi-tenant pylon sign
3. **Plat/CSM Accurate parcel lines/lot recorded:** Yes

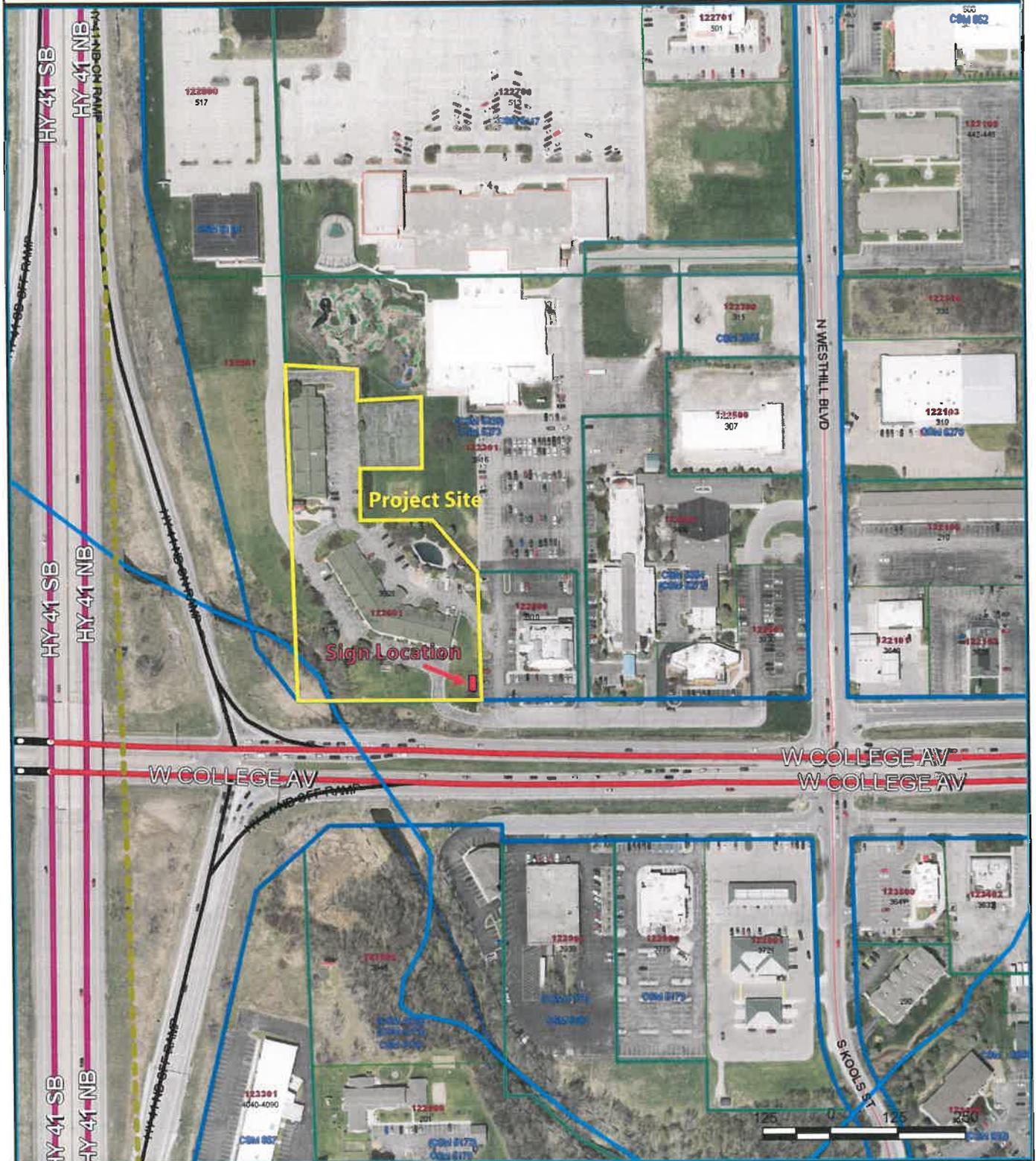
ANALYSIS

Applicant proposes the installation of a new multi-tenant pylon sign for the two hotels located on this property. The new sign will be 24' 4" in height and 75 sq. ft. in size. The sign will be located on the southeast corner of the property, along the frontage road for W. College Avenue. All code requirements are met with this request.

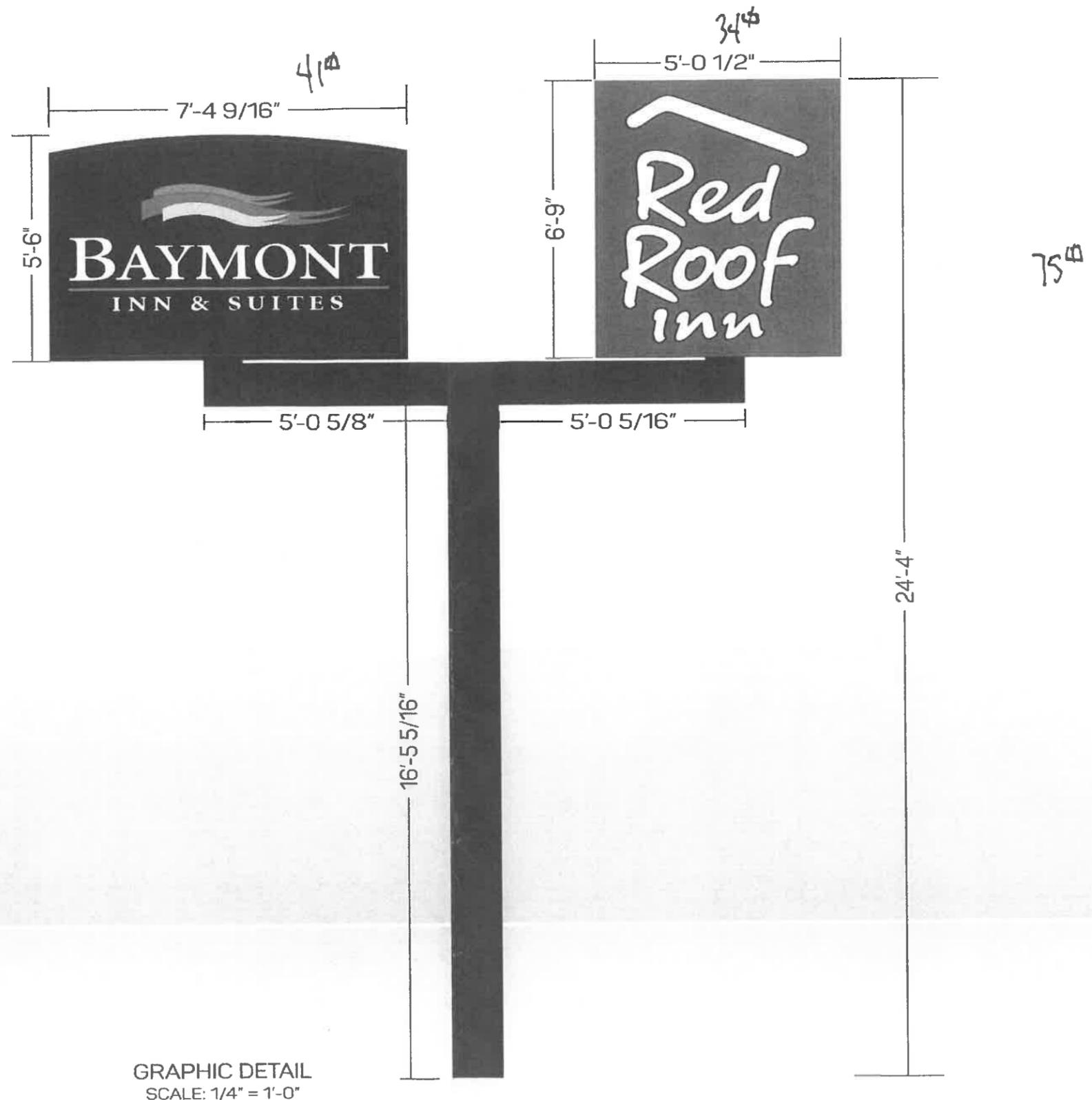
RECOMMENDATION

Staff has reviewed and supports Plan Commission approval of the Site Plan (SPA1-09-06) requested by Laxmijkrupa, LLC, dba Baymont Inn & Suites and Red Roof Inn, 3920-3924 W. College Avenue, for the installation of a multi-tenant pylon sign.

SPA1-09-06 -- 3920-3924 W. College Avenue



This map was compiled using data believed to be accurate; however, a degree of error is inherent in all maps. This map was distributed "AS-IS" without warranties of any kind, either expressed or implied, including but not limited to warranties of suitability to a particular purpose or use. No attempt has been made in either the design or production of the maps to define the limits or jurisdiction of any federal, state, or local government. Detailed on-the-



NOTE: Elevation drawings are for customer approval only, drawings are not to be used as any installation guide, all dimensions must be verified before installation.

Customer:
BAYMONT INN & SUITES

Date:
07/06/16

Prepared By:
PKE/IDV

Note: Color output may not be exact when viewing or printing this drawing. All colors used are PMS or the closest CMYK equivalent. If these colors are incorrect, please provide the correct PMS match and a revision to this drawing will be made.

Location:
APPLETON, WI

File Name:
146074 - R2 - APPLETON, WI

Eng:
-

persōna
SIGNS | LIGHTING | IMAGE

DISTRIBUTED BY SIGN UP COMPANY
700 21st Street Southwest
PO Box 210
Watertown, SD 57201-0210
1.800.843.9888 • www.personasigns

**Town of Grand Chute
Certified Survey Map Review
National Association of Tax Professionals, Inc.**

To: Plan Commission
From: Michael Patza, Town Planner
Date: October 27, 2016
Address: 3517 N. McCarthy Road

App. #: CSM-15-16

REQUEST

The CSM will split the existing parcel into two lots of 5.56 acres and 21.59 acres respectively. The lot split will separate the National Association of Tax Professionals office development, currently under construction, from the rest of the property. Along with the lot split, the CSM will dedicate 33' of right-of-way along N. McCarthy Road and W. Capitol Drive.

ANALYSIS

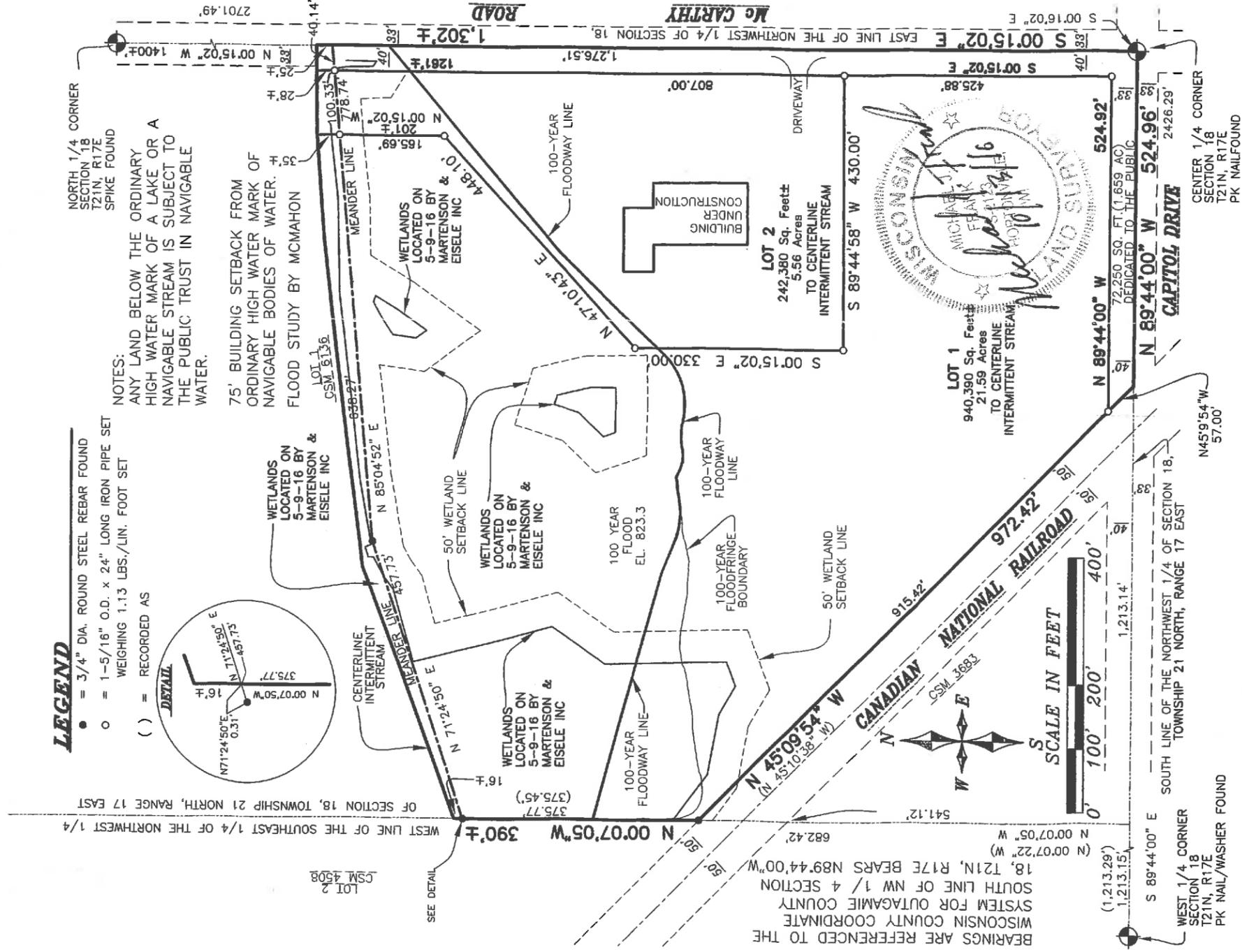
The CSM meets all Town requirements for division of land.

RECOMMENDATION

Staff has reviewed and supports a Plan Commission recommendation for approval of the Certified Survey Map (CSM-15-16) for National Association of Tax Professionals, Inc., 3517 N. McCarthy Road.

CERTIFIED SURVEY MAP NO. _____

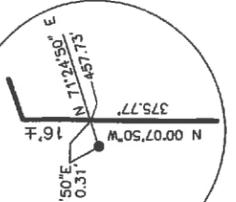
PART OF THE OF THE SOUTHEAST 1/4
 OF THE NORTHWEST 1/4 OF SECTION 18,
 TOWNSHIP 21 NORTH, RANGE 17 EAST,
 TOWN OF GRAND CHUTE, OUTAGAMIE COUNTY, WISCONSIN.



LEGEND

- = 3/4" DIA. ROUND STEEL REBAR FOUND
- = 1-5/16" O.D. x 24" LONG IRON PIPE SET WEIGHING 1.13 LBS./LIN. FOOT SET
- () = RECORDED AS

DETAIL



NOTES:
 ANY LAND BELOW THE ORDINARY HIGH WATER MARK OF A LAKE OR A NAVIGABLE STREAM IS SUBJECT TO THE PUBLIC TRUST IN NAVIGABLE WATER.
 75' BUILDING SETBACK FROM ORDINARY HIGH WATER MARK OF NAVIGABLE BODIES OF WATER.
 FLOOD STUDY BY MCMAHON

SCHULER & ASSOCIATES, INC.
 LAND SURVEYORS & ENGINEERS
 2711 N. MASON ST., SUITE F, APPLETON, WI 54914

PREPARED FOR:
NATIONAL ASSOCIATION OF TAX PROFESSIONALS, INC.
 W6390 QUALITY DR.
 GREENVILLE, WI 54942

L-15-4421
 SHEET 1 OF 3

CERTIFIED SURVEY MAP NO. _____

SURVEYOR'S CERTIFICATE:

I, MICHAEL J. FRANK, PROFESSIONAL LAND SURVEYOR, DO HEREBY CERTIFY: THAT I HAVE SURVEYED, DIVIDED, MAPPED, UNDER THE DIRECTION OF THE OWNERS OF SAID LAND, PART OF THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 18, TOWNSHIP 21 NORTH, RANGE 17 EAST, TOWN OF GRAND CHUTE, OUTAGAMIE COUITY, WISCONSIN AND BEING DESCRIBED AS FOLLOWS:

COMMENCING AT THE WEST 1/4 CORNER OF SAID SECTION 18; THENCE SOUTH 89 DEGREES 44 MINUTES 00 SECONDS EAST, ALONG THE SOUTH LINE OF SAID NORTHWEST 1/4 OF SAID SECTION 18, A DISTANCE OF 1,213.15 FEET; THENCE NORTH 00 DEGREES 07 MINUTES 05 SECONDS WEST (RECORDED AS NORTH 00 DEGREES 07 MINUTES 22 SECONDS WEST), ALONG THE WEST LINE OF THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4 OF SAID SECTION 18, A DISTANCE OF 541.12 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING NORTH 00 DEGREES 07 MINUTES 05 SECONDS WEST), ALONG THE WEST LINE OF THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4 OF SAID SECTION 18, A DISTANCE OF 375.77 FEET TO THE BEGINNING OF A MEANDER LINE, SAID POINT BEING 16 FEET, MORE OR LESS, SOUTH 00 DEGREES 07 MINUTES 05 SECONDS EAST OF THE CENTERLINE OF AN INTERMITTENT STREAM; THENCE NORTH 71 DEGREES 24 MINUTES 50 SECONDS EAST, ALONG SAID MEANDER LINE, 457.73 FEET; THENCE NORTH 85 DEGREES 04 MINUTES 52 SECONDS EAST, ALONG SAID MEANDER LINE, 778.74 FEET TO THE TERMINATION OF SAID MEANDER LINE, SAID POINT BEING 25 FEET MORE OR LESS, SOUTH 00 DEGREES 15 MINUTES 02 SECONDS EAST OF THE CENTERLINE OF AN INTERMITTENT STREAM; THENCE SOUTH 00 DEGREES 15 MINUTES 02 SECONDS EAST, ALONG THE EAST LINE OF THE NORTHWEST 1/4 OF SAID SECTION 18, A DISTANCE OF 1,276.51 FEET TO THE CENTER 1/4 CORNER OF SAID SECTION 18; THENCE NORTH 89 DEGREES 44 MINUES 00 SECONDS WEST, ALONG THE SOUTH LINE OF THE NORTHWEST 1/4 OF SAID SECTION 18, A DISTANCE OF 524.96 FEET; THENCE NORTH 45 DEGREES 09 MINUTES 54 SECONDS WEST (RECORDED AS NORTH 45 DEGREES 10 MINUTES 38 SECONDS WEST), ALONG THE NORTHEASTERLY RIGHT-OF-WAY LINE OF THE CANADIAN NATIONAL RAILROAD, 972.42 FEET TO THE POINT OF BEGINNING CONTAINING 1,255,020 SQUARE FEET (28.81 ACRES) OF LAND, MORE OR LESS, INCLUDING ALL THOSE LANDS LYING BETWEEN THE CENTERLINE OF SAID INTERMITTENT STREAM AND THE ABOVE DESCRIBED MEANDER LINE AND THE RESPECTIVE LOT LINES EXTENTED TO THE CENTERLINE OF SAID INTERMITTENT STREAM AND SUBJECT TO ALL EASEMENTS AND RESTRICTIONS OF RECORD.

THAT THIS MAP IS A CORRECT REPRESENTATION OF THE EXTERIOR BOUNDARY LINES OF THE LAND SURVEYED AND THE DIVISION OF THAT LAND.

THAT I HAVE FULLY COMPLIED WITH THE PROVISIONS OF CHAPTER 236.34 OF THE WISCONSIN STATUTES AND THE SUBDIVISION REGULATIONS OF THE TOWN OF GRAND CHUTE AND OUTAGAMIE COUNTY IN SURVEYING, DIVIDING, AND MAPPING THE SAME.

DATED THIS 13th DAY OF October, 2016

Michael J. Frank
MICHAEL J. FRANK
WISCONSIN PROFESSIONAL LAND SURVEYOR S-2123



TOWN OF GRAND CHUTE APPROVAL:

WE HEREBY CERTIFY THAT THIS CERTIFIED SURVEY MAP WAS APPROVED BY THE TOWN BOARD OF THE TOWN OF GRAND CHUTE, OUTAGAMIE COUNTY, WISCONSIN ON THE _____ DAY OF _____, 2016

TOWN CHAIRMAN _____ DATE _____ TOWN CLERK _____ DATE _____

TREASURER'S CERTIFICATE:

WE HEREBY CERTIFY THAT THERE ARE NO UNPAID TAXES OR SPECIAL ASSESSMENTS ON ANY OF THE LANDS INCLUDED IN THIS CERTIFIED SURVEY MAP.

COUNTY TREASURER _____ DATE _____ TOWN TREASURER _____ DATE _____

THIS CERTIFIED SURVEY MAP IS CONTAINED WHOLLY WITHIN THE PROPERTY DESCRIBED IN THE FOLLOWING RECORDED DOCUMENT 1690784. THIS CERTIFIED SURVEY MAP IS ALL OF TAX PARCEL NUMBER 10-1-0805-01 AND THE PROPERTY OWNERS OF RECORD IS NATIONAL ASSOCIATION OF TAX PROFESSIONALS, INC.

CERTIFIED SURVEY MAP NO. _____

CORPORATE OWNER'S CERTIFICATE:

NATIONAL ASSOCIATION OF TAX PROFESSIONALS, INC. A CORPORATION DULY ORGANIZED AND EXISTING UNDER AND BY VIRTUE OF THE LAWS OF THE STATE OF WISCONSIN, AS OWNER, DOES HEREBY CERTIFY THAT SAID CORPORATION CAUSED THE LAND DESCRIBED ON THIS CERTIFIED SURVEY MAP TO BE SURVEYED, DIVIDED, MAPPED, AND DEDICATED AS REPRESENTED ON THIS MAP.

IN WITNESS WHEREOF, THE SAID NATIONAL ASSOCIATION OF TAX PROFESSIONALS, INC., HAS CAUSED THESE PRESENTS TO BE SIGNED BY _____, ITS _____ AT _____, WISCONSIN, ON THIS _____ DAY OF _____, 2016

STATE OF WISCONSIN)

ss.
COUNTY OF OUTAGAMIE)

PERSONALLY CAME BEFORE ME THIS _____ DAY OF _____, 2016
_____ TO ME KNOWN TO BE THE PERSON WHO EXECUTED THE FOREGOING INSTRUMENT
AND TO BE KNOWN TO BE SUCH _____ OF THE ABOVE CORPORATION AND ACKNOWLEDGE
THAT HE EXECUTED THE FOREGOING INSTRUMENT AS SUCH OFFICER AS THE DEED OF SAID LIMITED
LIABILITY COMPANY, BY ITS AUTHORITY.

NOTARY PUBLIC, _____ CO., WI.

MY COMMISSION EXPIRES _____

THIS CERTIFIED SURVEY MAP HAS BEEN REVIEWED BY THE OUTAGAMIE COUNTY PLANNING DEPARTMENT.

AUTHORIZED SIGNATURE _____ DATE _____



Town of Grand Chute, Wisconsin
Capital Improvement Plan
 2017 thru 2021

PROJECTS BY DEPARTMENT

| Department | Project# | Priority | 2017 | 2018 | 2019 | 2020 | 2021 | Total |
|--|-----------|----------|------------------|----------------|----------------|---------------|----------------|------------------|
| Administration | | | | | | | | |
| Cold Storage Building & Salt Shed | ADM-16-03 | 2 | 700,000 | | | | | 700,000 |
| Document Management System (DMS) | ADM-17-01 | 2 | 90,000 | | | | | 90,000 |
| Genetec Park & Intersection Security Cameras | ADM-17-02 | 2 | 535,325 | | | | | 535,325 |
| Internet Protocol (IP) Phone and Voice Mail System | ADM-17-03 | 2 | 90,120 | | | | | 90,120 |
| ESRI GIS Software | ADM-17-04 | 3 | 49,000 | | | | | 49,000 |
| Administration Total | | | 1,464,445 | | | | | 1,464,445 |
| Parks and Recreation | | | | | | | | |
| Edgewood Acres Trail Construction | PR-13-001 | 2 | | 10,000 | | | | 10,000 |
| Prairie Hill Mountain Bike Trail | PR-13-003 | 2 | 40,000 | | | | | 40,000 |
| SW Business Park Paved Trail | PR-14-001 | 3 | | | | 20,000 | 100,000 | 120,000 |
| Patriot Park Trail 2 | PR-14-003 | 3 | | 45,000 | | | | 45,000 |
| Brewster Village Trail | PR-14-006 | 3 | | | 60,000 | | | 60,000 |
| Whispering Groves-Century Farms Trail | PR-14-007 | 3 | 65,000 | | | | | 65,000 |
| College-Bluemound Trail | PR-14-008 | 3 | | 35,000 | | | | 35,000 |
| Town Hall Campus Park Planning | PR-16-001 | 2 | 52,600 | | | | | 52,600 |
| Town Hall Campus Regional Park | PR-17-001 | 2 | 1,071,000 | 200,000 | | | | 1,271,000 |
| Patriot Park Main Parking Lot and Driveway | PR-17-002 | 2 | 58,200 | | | | | 58,200 |
| Arrowhead North Parking Lot and Driveway | PR-17-003 | 2 | 20,000 | | | | | 20,000 |
| Carter Woods North Parking Lot | PR-17-004 | 2 | 33,400 | | | | | 33,400 |
| Carter Woods Park/Appleton West Master Plan | PR-17-005 | 2 | 55,600 | 9,000 | 175,000 | | | 239,600 |
| Upgrade 1999 Kawasaki Four Wheeler | PR-17-504 | 2 | 14,500 | | | | | 14,500 |
| 18-FT Enclosed Trailer | PR-17-505 | 3 | 6,500 | | | | | 6,500 |
| Arrowhead South Parking and Driveway | PR-18-001 | 2 | | 23,300 | | | | 23,300 |
| Carter Woods West Parking and Driveway | PR-18-002 | 2 | | 13,400 | | | | 13,400 |
| Lions Park Asphalt Trail | PR-18-003 | 3 | | 12,700 | | | | 12,700 |
| Town Hall Campus Visitor Parking | PR-18-004 | 2 | | 65,800 | | | | 65,800 |
| Arrowhead East Parking, Access, and Driveway | PR-19-001 | 2 | | | 20,700 | | | 20,700 |
| Carter Wood Driveway to Basement & Shelter Parking | PR-19-002 | 2 | | | 14,000 | | | 14,000 |
| Lions Parking Lot | PR-19-003 | 2 | | | 24,400 | | | 24,400 |
| Carter Woods Entrance Drive and South Parking Lot | PR-20-001 | 2 | | | | 27,000 | | 27,000 |
| Town Hall Working Parking Lot | PR-20-002 | 2 | | | | | 62,700 | 62,700 |
| Patriot Park Driveway and East Parking Lot | PR-20-003 | 2 | | | | 13,700 | | 13,700 |
| Carter Woods Park Soccer Field Parking Lot | PR-21-001 | 2 | | | | | 15,400 | 15,400 |
| Parks and Recreation Total | | | 1,416,800 | 414,200 | 294,100 | 60,700 | 178,100 | 2,363,900 |
| Police | | | | | | | | |
| Building Renovation | POL-17-01 | 2 | 30,500 | | | | | 30,500 |
| Radio Signal Amplifier | POL-17-02 | 1 | 15,390 | | | | | 15,390 |
| Records Management System | POL-17-03 | 1 | 250,000 | | | | | 250,000 |
| Police Total | | | 295,890 | | | | | 295,890 |
| San 1 Equipment | | | | | | | | |

| Department | Project# | Priority | 2017 | 2018 | 2019 | 2020 | 2021 | Total |
|------------------------------|-------------|----------|---------------|----------------|---------------|------|------|----------------|
| Replace Pick-up #62 | PWS1-17-402 | 1 | 36,000 | | | | | 36,000 |
| Replace Cargo Van #85 | PWS1-17-403 | 2 | 24,000 | | | | | 24,000 |
| Replace Cargo Van#61 | PWS1-19-401 | 2 | | | 24,000 | | | 24,000 |
| Replace #75 Backhoe | PWS1-19-402 | 2 | | 105,000 | | | | 105,000 |
| San 1 Equipment Total | | | 60,000 | 105,000 | 24,000 | | | 189,000 |

Sanitary District 1 - Water

| | | | | | | | | |
|---|-------------|---|----------------|----------------|----------------|----------------|---------------|------------------|
| Capelle Subdivision water main extension | PWS1-13-003 | 2 | | | 36,000 | 305,000 | | 341,000 |
| Perkins Street Water Main Replacement | PWS1-13-004 | 2 | 301,875 | | | | | 301,875 |
| Water Meter Replacement Program | PWS1-13-102 | 1 | 200,000 | | | | | 200,000 |
| Casaloma Dr. Water - Converters to Prairie Song | PWS1-14-204 | 1 | 5,000 | 52,500 | | | | 57,500 |
| Woodman Drive Water | PWS1-15-202 | 2 | 2,000 | 18,000 | | | | 20,000 |
| Grand Meadows Water Main Replacement | PWS1-16-003 | 2 | 21,000 | 178,125 | | | | 199,125 |
| Bluemound Hts Subdivision Water | PWS1-16-204 | 2 | | | | | 7,000 | 7,000 |
| Spencer St. Water - Casaloma to Mayflower | PWS1-16-206 | 1 | | | 75,100 | | | 75,100 |
| Glenwood Park Subdivision Water | PWS1-16-207 | 2 | | 4,000 | 43,100 | | | 47,100 |
| Gillett Street Water | PWS1-16-210 | 1 | 72,000 | | | | | 72,000 |
| Lynndale-Wren Loop | PWS1-17-001 | 2 | | | 300,000 | | | 300,000 |
| Elsner Road Water | PWS1-17-111 | 1 | 20,000 | 212,750 | | | | 232,750 |
| Casaloma Dr. Water - Waterstone to Spencer | PWS1-17-204 | 2 | | | 8,000 | 72,000 | | 80,000 |
| McCarthy Road Water 15 to Capitol | PWS1-17-211 | 2 | 4,000 | 38,300 | | | | 42,300 |
| Keller-Bren Plat Water | PWS1-20-101 | 2 | | | | 4,000 | 39,100 | 43,100 |
| Sanitary District 1 - Water Total | | | 625,875 | 503,675 | 462,200 | 381,000 | 46,100 | 2,018,850 |

Sanitary District 2 - Sewer

| | | | | | | | | |
|---|-------------|---|----------------|---------------|---------------|---------------|---------------|----------------|
| Water Meter Replacement Program | PWS2-13-202 | 1 | 200,000 | | | | | 200,000 |
| Casaloma Dr. Sewer - Converters to Prairie Song | PWS2-14-204 | 1 | | 9,000 | | | | 9,000 |
| Woodman Drive Sewer | PWS2-15-202 | 2 | 1,000 | 9,000 | | | | 10,000 |
| Capelle Subdivision 4th Sewer | PWS2-15-205 | 1 | | | | 1,000 | 9,000 | 10,000 |
| Bluemound Hts. Subdivision Sewer | PWS2-16-204 | 2 | | | | | 1,000 | 1,000 |
| Spencer Street Sewer - Casaloma to Mayflower | PWS2-16-206 | 2 | | | 30,000 | | | 30,000 |
| Glenwood Park Subdivision Sewer | PWS2-16-207 | 2 | | 1,000 | 9,000 | | | 10,000 |
| Gillett Street Sewer | PWS2-16-210 | 1 | 9,000 | | | | | 9,000 |
| Elsner Road Sewer | PWS2-17-111 | 1 | 1,000 | 9,000 | | | | 10,000 |
| Casaloma Dr. Sewer - Waterstone to Spencer | PWS2-17-204 | 2 | | | 1,000 | 9,000 | | 10,000 |
| McCarthy Road Sewer 15 to Capitol | PWS2-17-211 | 2 | 1,000 | 9,000 | | | | 10,000 |
| Keller-Bren Plat Sewer | PWS2-20-201 | 2 | | | | 1,000 | 9,000 | 10,000 |
| Sanitary District 2 - Sewer Total | | | 212,000 | 37,000 | 40,000 | 11,000 | 19,000 | 319,000 |

Sanitary District 3 - Storm

| | | | | | | | | |
|--|-------------|---|---------|---------|---------|---------|---------|---------|
| Gillett Street - Capitol to Elsner Storm | PWS3-13-310 | 1 | 581,700 | | | | | 581,700 |
| Elsner Road - Gillett to 47 Storm | PWS3-13-311 | 1 | | 443,400 | | | | 443,400 |
| Carter Woods Pond | PWS3-14-003 | 3 | | 110,360 | | | | 110,360 |
| Spencer Street Casaloma to Mayflower S | PWS3-14-006 | 1 | | | 725,800 | | | 725,800 |
| Glenwood Park Subdivision Storm | PWS3-14-007 | 2 | | 40,500 | 404,950 | | | 445,450 |
| Casaloma Dr Urbanization - Waterstone to Spencer | PWS3-15-003 | 2 | | | 70,000 | 700,000 | | 770,000 |
| Cloudview Drive Pond | PWS3-15-004 | 3 | | | 10,000 | 99,800 | | 109,800 |
| Keller-Bren Plat Storm | PWS3-15-014 | 1 | | | | 37,100 | 370,600 | 407,700 |
| Capelle Subdivision 4th Storm | PWS3-15-015 | 1 | | | | 20,000 | 226,600 | 246,600 |
| Bentwood Estates Pond Improvements | PWS3-16-002 | 1 | 93,500 | | | | | 93,500 |
| Bentwood-VanEperen Drainage | PWS3-16-003 | 1 | 250,000 | | | | | 250,000 |
| Nordale, Tyler & Pershing Urbanize - Storm | PWS3-16-005 | 2 | | | | | 0 | 0 |
| Bluemound Hts Subdivision storm | PWS3-16-014 | 2 | | | | | 67,200 | 67,200 |
| McCarthy Road Storm - 15 to Capitol | PWS3-16-015 | 2 | 35,000 | 387,000 | | | | 422,000 |

| Department | Project# | Priority | 2017 | 2018 | 2019 | 2020 | 2021 | Total |
|--|-------------|----------|------------------|------------------|------------------|----------------|----------------|------------------|
| Casaloma Dr Storm - Converters to Prairie Song | PWS3-17-001 | 1 | 46,000 | 525,600 | | | | 571,600 |
| Green Grove Subdiv. Storm Sewer | PWS3-17-002 | 1 | 538,000 | | | | | 538,000 |
| Morrison Street Storm Sewer | PWS3-17-003 | 1 | 321,550 | | | | | 321,550 |
| Sanitary District 3 - Storm Total | | | 1,865,750 | 1,506,860 | 1,210,750 | 856,900 | 664,400 | 6,104,660 |

Street Equipment

| | | | | | | | | |
|---|--------------|---|----------------|---------------|---------------|----------------|----------------|------------------|
| Replace Motor Grader 901 | PWSTR-16-501 | 3 | | | | 153,000 | | 153,000 |
| Replace 1-ton Truck 308 | PWSTR-17-501 | 2 | 52,000 | | | | | 52,000 |
| Replace Tandem Axle Dump Truck 224 | PWSTR-17-502 | 2 | 202,000 | | | | | 202,000 |
| Replace John Deere 72-inch Finish Cut Mower | PWSTR-17-503 | 2 | 27,000 | | | | | 27,000 |
| Replace #465 Walk Behind Mower | PWSTR-17-507 | 2 | 7,800 | | | | | 7,800 |
| Tractor with Cab/Boom Mower | PWSTR-17-508 | 2 | 150,000 | | | | | 150,000 |
| Replace Vehicle #152 - Deputy Directors Vehicle | PWSTR-18-501 | 2 | | 40,000 | | | | 40,000 |
| Replace Vehicle #410 - Shop Service Truck | PWSTR-18-502 | 2 | | 30,000 | | | | 30,000 |
| Replace Jeep Patriot 151 - Directors Vehicle | PWSTR-19-501 | 3 | | | | 40,000 | | 40,000 |
| Replace Vehicle #153 - Park Superintendent | PWSTR-19-502 | 2 | | | 40,000 | | | 40,000 |
| Replace #801 Hot Box -Pav Patcher | PWSTR-19-503 | 3 | | | 33,000 | | | 33,000 |
| Replace Single Axle Dump Truck 204 | PWSTR-20-501 | 2 | | | | 180,000 | | 180,000 |
| Replace Vehicle # 400 - 4x4 Pickup | PWSTR-20-502 | 2 | | | | 30,000 | | 30,000 |
| Replace Vehicle #403 - 4x4 Truck/Utility Body | PWSTR-20-503 | 2 | | | | 37,000 | | 37,000 |
| New MB Multi Service Tractor | PWSTR-20-504 | 2 | | | | 100,000 | | 100,000 |
| Replace Single Axle Chipping Truck 200 | PWSTR-21-501 | 3 | | | | | 110,000 | 110,000 |
| Street Equipment Total | | | 438,800 | 70,000 | 73,000 | 540,000 | 110,000 | 1,231,800 |

Streets

| | | | | | | | | |
|--|--------------|---|-----------|-----------|-----------|-----------|---------|-----------|
| Long Court - Mayflower to Spencer Reclaim | PWSTR-13-003 | 3 | | | 25,000 | 200,000 | | 225,000 |
| Morrison St. Reclamation & Storm | PWSTR-13-005 | 1 | 414,000 | | | | | 414,000 |
| Gillett Street Reconstruction - Capitol to Elsner | PWSTR-13-010 | 2 | 1,166,500 | | | | | 1,166,500 |
| Elsner Road - Gillett to CTH 47 | PWSTR-13-011 | 2 | | 889,100 | | | | 889,100 |
| McCarthy Road Urbanization - 15 to Capitol | PWSTR-13-012 | 2 | | 48,300 | 665,000 | | | 713,300 |
| Woodman Drive Urbanization | PWSTR-14-002 | 3 | 39,600 | 330,000 | | | | 369,600 |
| Highview Drive Reconstruction | PWSTR-14-003 | 3 | | | | 50,000 | 400,000 | 450,000 |
| Casaloma Dr Urbanize - Converters to Prairie Song | PWSTR-14-004 | 1 | 88,000 | 1,020,900 | | | | 1,108,900 |
| Spencer Street - Casaloma to Mayflower | PWSTR-14-006 | 1 | | 400,000 | 2,400,850 | | | 2,800,850 |
| Glenwood Park Subdivision Urbanization | PWSTR-14-007 | 2 | | 44,100 | 536,600 | | | 580,700 |
| CTH JJ Shoulder Widening and Resurface-A to 47 | PWSTR-15-001 | 1 | | | | 30,000 | | 30,000 |
| Gillett Street - Elsner to JJ | PWSTR-15-002 | 2 | | | 434,000 | | | 434,000 |
| Casaloma Dr Urbanization - Waterstone to Spencer | PWSTR-15-003 | 2 | | | 85,000 | 1,230,400 | | 1,315,400 |
| Keller-Bren Plat Urbanization | PWSTR-15-004 | 1 | | | | 45,100 | 700,000 | 745,100 |
| Capelle Subdivision 4th Add. Urbanization | PWSTR-15-005 | 2 | | | | 15,300 | 300,100 | 315,400 |
| McCarthy Road Reclamation - 3,900 ft S of Edgewood | PWSTR-15-006 | 2 | | 240,900 | | | | 240,900 |
| Nordale Drive Urbanization | PWSTR-16-001 | 2 | | | 45,900 | 710,736 | | 756,636 |
| Pershing Street Urbanization | PWSTR-16-002 | 2 | | | 45,778 | 694,675 | | 740,453 |
| Tyler Drive Urbanization | PWSTR-16-003 | 2 | | | 17,687 | 268,527 | | 286,214 |
| Bluemound Hts. Subdivision Urbanization | PWSTR-16-004 | 2 | | | | | 122,000 | 122,000 |
| Capitol Drive - Capitol Ct to Casaloma | PWSTR-16-005 | 1 | 501,645 | | | | | 501,645 |
| Mayflower/College Signals | PWSTR-17-001 | 5 | | | | 250,000 | | 250,000 |
| McCarthy/College Signals | PWSTR-17-004 | 2 | | 50,000 | | 250,000 | | 300,000 |
| Lancer Lane Reconstruction | PWSTR-17-005 | 1 | 135,000 | | | | | 135,000 |
| Lancer Court Reconstruction | PWSTR-17-006 | 1 | 61,600 | | | | | 61,600 |
| Applegate Street Lighting | PWSTR-17-007 | 2 | 65,000 | | | | | 65,000 |
| Broadway Drive Reclamation | PWSTR-17-008 | 2 | 124,175 | | | | | 124,175 |
| Wisconsin Ave. - Westhill | PWSTR-17-009 | 2 | 400,000 | 600,000 | | | | 1,000,000 |
| Green Grove Subdivision Reclamation | PWSTR-17-010 | 1 | 255,000 | | | | | 255,000 |
| Kohl Drive Final Surface | PWSTR-17-011 | 1 | 51,620 | | | | | 51,620 |

| Department | Project# | Priority | 2017 | 2018 | 2019 | 2020 | 2021 | Total |
|--|-----------------|-----------------|------------------|------------------|------------------|-------------------|------------------|-------------------|
| Schroth Lane Final Surface | PWSTR-17-012 | 1 | 41,600 | | | | | 41,600 |
| Capitol Drive Reclaim - McCarthy to Casaloma | PWSTR-20-001 | 2 | | | | 40,800 | 428,400 | 469,200 |
| College Ave. Reconstruction | PWSTR-20-002 | 2 | | 1,007,500 | 75,000 | 8,992,600 | | 10,075,100 |
| Streets Total | | | 3,343,740 | 4,630,800 | 4,330,815 | 12,778,138 | 1,950,500 | 27,033,993 |
| GRAND TOTAL | | | 9,723,300 | 7,267,535 | 6,434,865 | 14,627,738 | 2,968,100 | 41,021,538 |

Report criteria:

- All Categories
- All Contacts
- All Departments
- All Paser Rating: data
- All Priority Levels
- All Project Length (mi.): data
- All Projects
- All Source Types
- Status: Active
- Type: E or I or M or Z