



PLAN COMMISSION AGENDA

Tuesday, February 2, 2016 6:00 p.m.
Town Hall - 1900 W. Grand Chute Blvd.

1. Roll Call.
2. Pledge of Allegiance.
3. Approval of Agenda.
4. Approval of Minutes – January 19, 2016 meeting.
5. Public Input.
6. Community Development Director's Report.
7. **Public Hearing #1** – Special Exception (SE-02-16) requested by Custom Offsets LLC, dba Custom Offsets Appleton, 1060 N. Perkins Street, for sale and installation of automotive accessories. **Action:** Hear testimony/close public hearing.
8. **Special Exception (SE-02-16)** – Request by Custom Offsets LLC, dba Custom Offsets Appleton, 1060 N. Perkins Street, for sale and installation of automotive accessories. **Action:** Recommend approval/denial of SE-02-16. (TOWN BOARD ACTION 2/18/2016)
9. **Site Plan (SP-01-16)** – Request by Custom Offsets LLC, dba Custom Offsets Appleton, 1060 N. Perkins Street, for site improvements associated with operation of an automotive accessories business. **Action:** Approve/deny SP-01-16.
10. **Site Plan Amendment (SPA1-00-10)** – Request by Connections LLC, dba Connections, 2171 W. Pershing Street, for site improvements associated with a group daycare facility. **Action:** Approve/deny SPA1-00-10.
11. **Site Plan (SP-02-16)** – Request by Enterprise Motorcars, Inc., dba Bergstrom Enterprise Motorcars, 3002 N. Victory Lane, for a building addition, parking lot expansion, and associated site improvements. **Action:** Approve/deny SP-02-16.
12. **Site Plan Amendment (SPA1-00-04)** – Request by Baylake Corp., dba Baylake Bank, 333 S. Nicolet Road, for an entry portal addition. **Action:** Approve/deny SPA1-00-04.
13. **Site Plan Amendment (SPA1-15-07)** – Request by Creative Lynndale LLC, dba Creative Group, Inc., 619 N. Lynndale Drive, for modification of existing pylon sign. **Action:** Approve/deny SPA1-15-07.
14. Adjournment.

A quorum of the Town Board, Park Commission, Police and Fire Commission, Board of Appeals, and Licensing Committee may be present at this meeting. No official action of these bodies will be taken. **Accommodation Notice**-Any person requiring special accommodation who wishes to attend this meeting should contact (**Administration at 832-1573**) at least 48 hours in advance.

GRAND CHUTE PLAN COMMISSION MINUTES

January 19, 2016

Members Present: Chairman Dave Schowalter, Commissioners Bruce Sherman, Robert Stadel, Julie Hidde, Duane Boeckers, John Weber

Members Absent: Pam Crosby, Vivian Huth

Also Present: James March, Town Administrator; Thomas Marquardt, Public Works Director; Bob Heimann, IT Director; Michael Patza, Town Planner; Robert Buckingham, Community Development Director; other interested parties (audience attendance = approx. 3)

1. **ROLL CALL.**

Chairman Schowalter opened the meeting at 6:00 p.m.

2. **INTRODUCTION** – John Weber, Plan Commission alternate member.

3. **PLEDGE OF ALLEGIANCE.**

4. **APPROVAL OF AGENDA.**

Motion (Sherman/Boeckers) to approve the agenda. Motion carried, all voting aye.

5. **APPROVAL OF MINUTES** – DECEMBER 15, 2015 MEETING.

Motion (Hidde/Sherman) to approve the December 15, 2015 minutes. Motion carried, all voting aye.

6. **PUBLIC INPUT**

There was no public input.

7. **COMMUNITY DEVELOPMENT DIRECTOR'S REPORT** – (AVAILABLE UPON REQUEST)

8. **PUBLIC HEARING #1** – SPECIAL EXCEPTION (SE-01-16) REQUESTED BY CONNECTIONS LLC, DBA CONNECTIONS, 2171 W. PERSHING STREET, FOR OPERATION OF A GROUP DAY CARE FACILITY.

Chairman Schowalter opened Public Hearing #1 at 6:05 p.m.

Jessica Meyer and Danette Locke, co-owners of Connections, provided background on their operation. The success of their Kimberly location has prompted the decision to expand with a facility in Grand Chute.

Kelly Sperl, project architect, informed the Commission that he was available to answer any questions regarding the property improvements being planned for Connections.

Motion (Stadel/Sherman) to close Public Hearing #1 at 6:08 p.m. Motion carried, all voting aye.

9. **SPECIAL EXCEPTION (SE-01-16)** – REQUEST BY CONNECTIONS LLC, DBA CONNECTIONS, 2171 W. PERSHING STREET, FOR OPERATION OF A GROUP DAY CARE FACILITY.

Motion (Sherman/Hidde) to recommend approval the Special Exception Permit (SE-01-16) requested by Connections LLC, dba Connections, 2171 W. Pershing Street, to allow operation of a group day care facility, subject to approval of the Site Plan (SPA1-00-10) for the project. Motion carried, all voting aye.

10. **SITE PLAN AMENDMENT (SPA1-00-10)** – REQUEST BY CONNECTIONS LLC, DBA CONNECTIONS, 2171 W. PERSHING STREET, FOR SITE IMPROVEMENTS ASSOCIATED WITH A GROUP DAY CARE FACILITY.

Motion (Stadel/Hidde) to defer action on SPA1-00-10 to the 2/2/16 Plan Commission meeting.
Motion carried, all voting aye.

11. **CERTIFIED SURVEY MAP (CSM-01-16)** – REQUEST BY KENNETH J. AND KAREN M. LOOK, 3755 N. CASALOMA DRIVE, FOR A 2-LOT CSM WITH ROADWAY DEDICATION.

Planner Patza provided background on the CSM and roadway dedication.

Motion (Hidde/Stadel) to recommend Town Board approval of the Certified Survey Map (CSM-01-16) requested Kenneth J. & Karen M. Look, 3755 N. Casaloma Drive, for a 2-lot CSM with roadway dedication. Motion carried, all voting aye.

12. ADJOURNMENT.

Motion (Sherman/Boeckers) to adjourn at 6:11 p.m. Motion carried, all voting aye.

Respectfully Submitted,

Tracy Olejniczak
Community Development Secretary

7/8.

**Town of Grand Chute
Special Exception Request
Custom Offsets LLC, dba Custom Offsets Appleton**

To: Plan Commission

From: Michael Patza, Town Planner

Date: January 28, 2016

Address: 1060 N. Perkins Street

App. #: SE-02-16

REQUEST

1. **Proposed Use:** Sale and installation of aftermarket automotive accessories
2. **Project Description:** Interior/exterior upgrades to building
3. **Plat/CSM Accurate parcel lines/lot recorded:** Yes

ANALYSIS

Applicant seeks approval to operate an automotive accessory sales and installation business at this location. The operating hours for the business will be 10:00 a.m. – 6:00 p.m. Monday through Friday. The business specializes in the sale and installation of aftermarket vehicle accessories such as lift kits and custom wheels. Normal vehicle maintenance and mechanical work is not a part of the business. Custom Offsets Appleton is currently located at 1182 N. Perkins Street and is seeking relocation for additional space to accommodate their growing business. The consideration of the Special Exception Permit will establish the right of use for operation of an automotive accessory business by the applicant, subject to approval of a site plan for the property.

FINDINGS OF FACT IN GRANTING OF A SPECIAL EXCEPTION

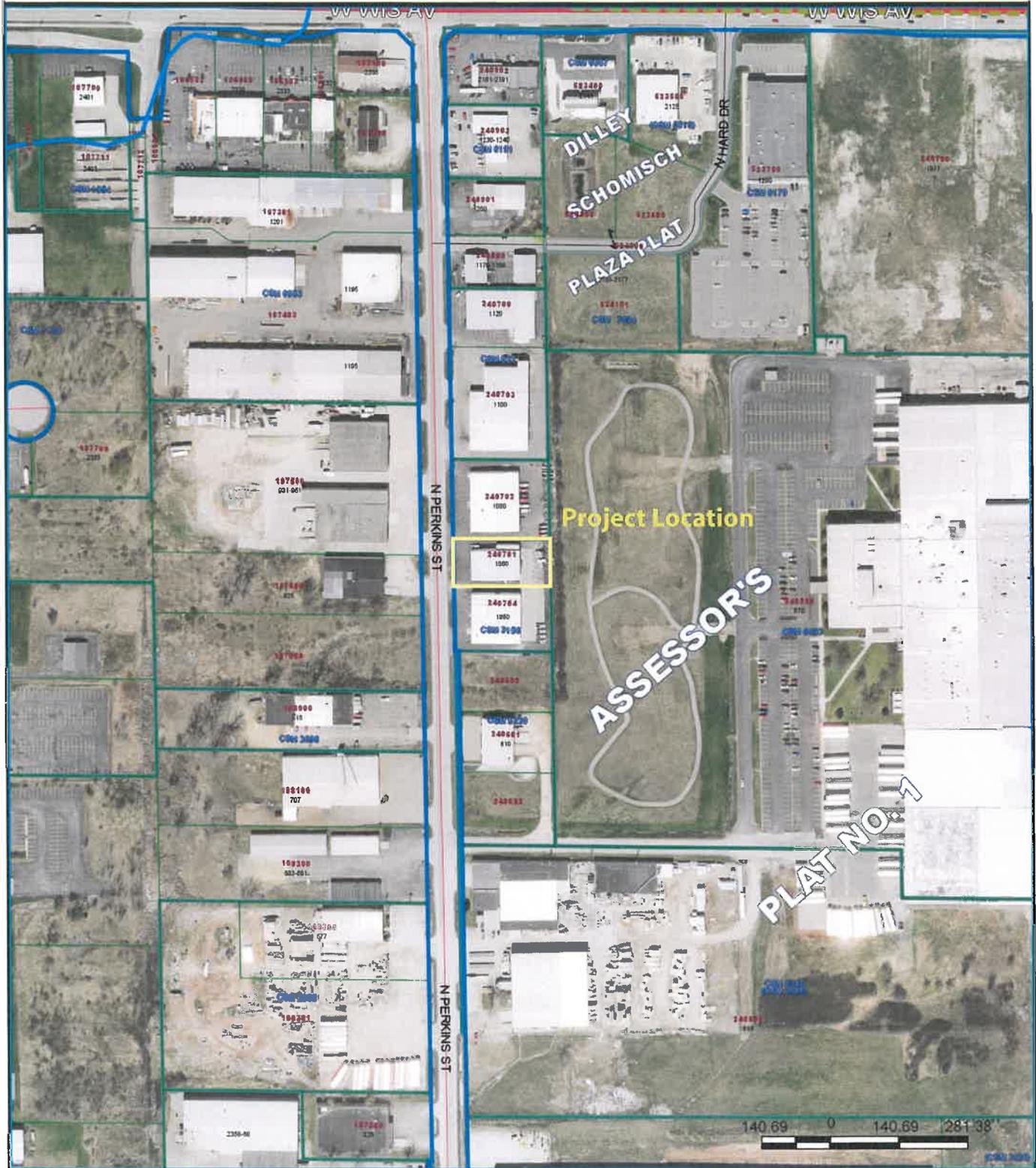
- a. **The establishment, maintenance or operation of the proposed Special Exception use or structure at the proposed location will not be detrimental or injurious to the use and enjoyment of existing uses on adjacent properties or properties in the vicinity. Yes.**
- b. **The establishment, maintenance or operation of the proposed Special Exception use or structure, alone or in combination with other existing Special Exception uses and structures in the vicinity will not cause traffic hazards. Yes.**
- c. **Adequate provision is made for surface water drainage, ingress and egress to the property, and off-street parking. Yes.**
- d. **Adequate public facilities and services are available for the proposed Special Exception use of structure. Yes.**

RECOMMENDATION

Staff has reviewed and supports a Plan Commission recommendation for approval of the Special Exception Permit (SE-02-16) requested by Custom Offsets LLC, dba Custom Offsets Appleton, 1060 N. Perkins Street, to allow operation of an automotive accessories sales and installation business, subject to Plan Commission approval of a Site Plan (SP-01-16) for the property.

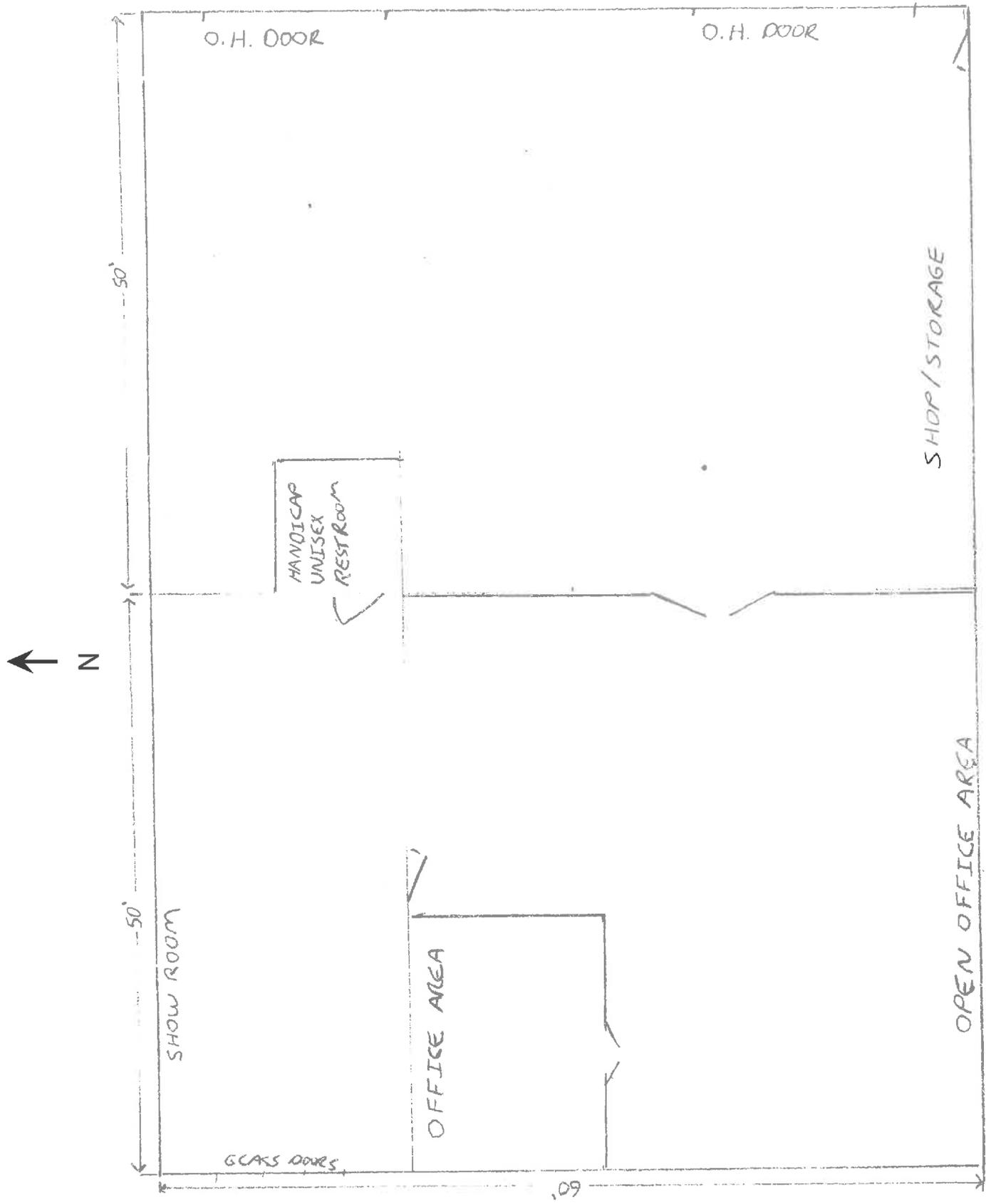
SE-02-16

1060 N. Perkins Street



This map was compiled using data believed to be accurate; however, a degree of error is inherent in all maps. This map was distributed "AS-IS" without warranties of any kind, either expressed or implied, including but not limited to warranties of suitability to a particular purpose or use. No attempt has been made in either the design or production of the maps to define the limits or jurisdiction of any federal, state, or local government. Detailed on-the-

Custom Offsets Appleton - 1060 N. Perkins Street



**Town of Grand Chute
Site Plan Review
Custom Offsets LLC, dba Custom Offsets Appleton**

To: Plan Commission

From: Michael Patza, Town Planner

Date: January 28, 2016

Address: 1060 N. Perkins Street

App. #: SP-01-16

A. REQUEST

- 1. Proposed Use(s):** Sale and installation of aftermarket automotive accessories
- 2. Project Description:** Building and site improvements associated with the operations of an automotive accessories business
- 3. Plat/CSM Accurate parcel lines/lot recorded:** Yes.

B. ANALYSIS

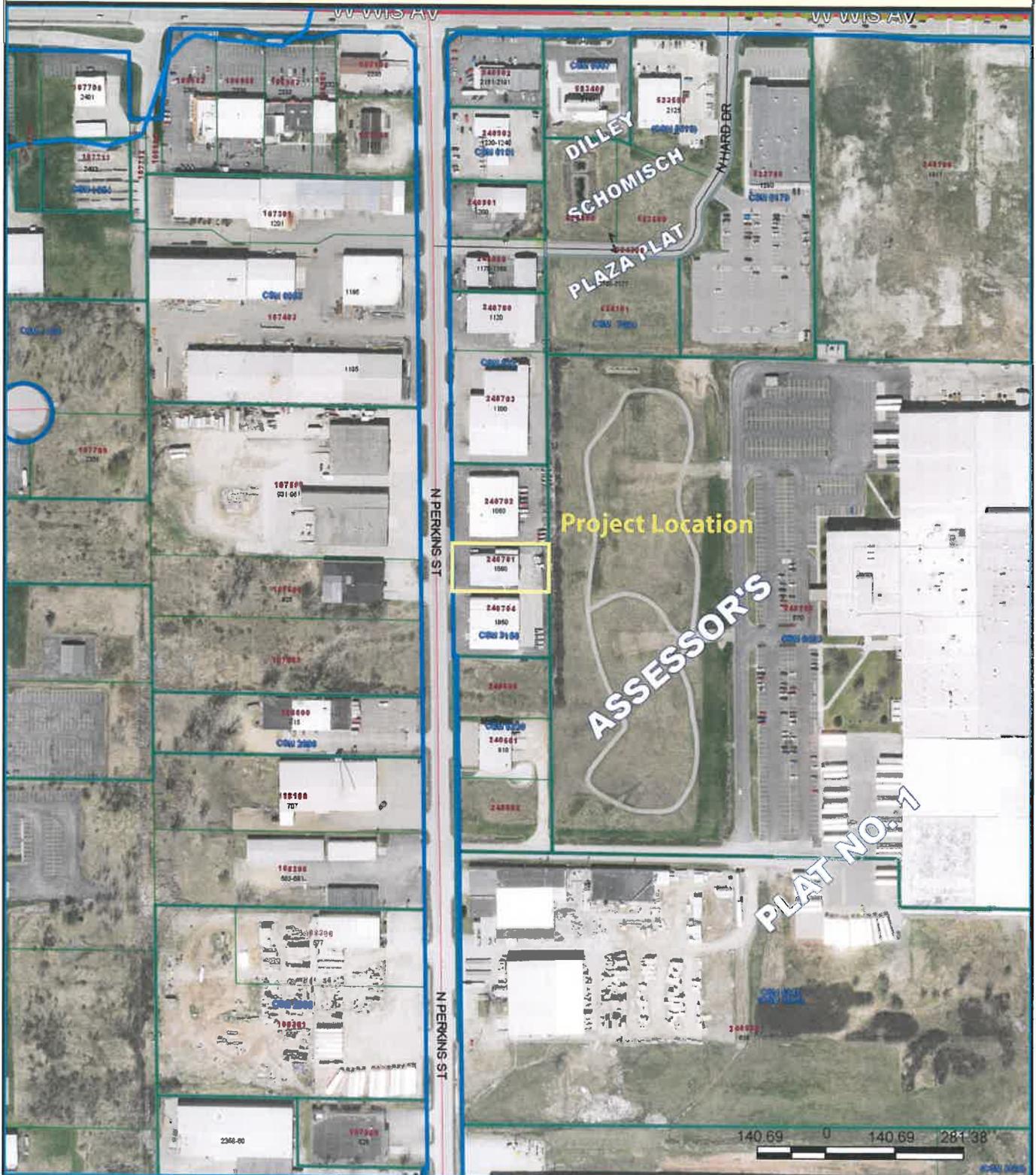
Applicant proposes building and site improvements to accommodate the operation of an automotive accessories business. The business specializes in the sale and installation of aftermarket vehicle accessories such as lift kits and custom wheels. The front facade of the building will be refaced and parking stalls will be striped along the front, south side, and back of the building. Interior building modifications include an office space, a showroom/lounge space, and a shop/storage area. Additional lighting will be added to all sides of the building to provide sufficient light to the entire property. Site landscaping will not be required because of existing conditions on the site. The Site Lighting Plan has been approved by staff. All other code requirements are met with this request.

C. RECOMMENDATION

Staff has reviewed and supports Plan Commission approval of the Site Plan (SP-01-16) requested by Custom Offsets LLC, dba Custom Offsets Appleton, 1060 N. Perkins Street, for building and site improvements associated with the operation of an automotive accessories business.

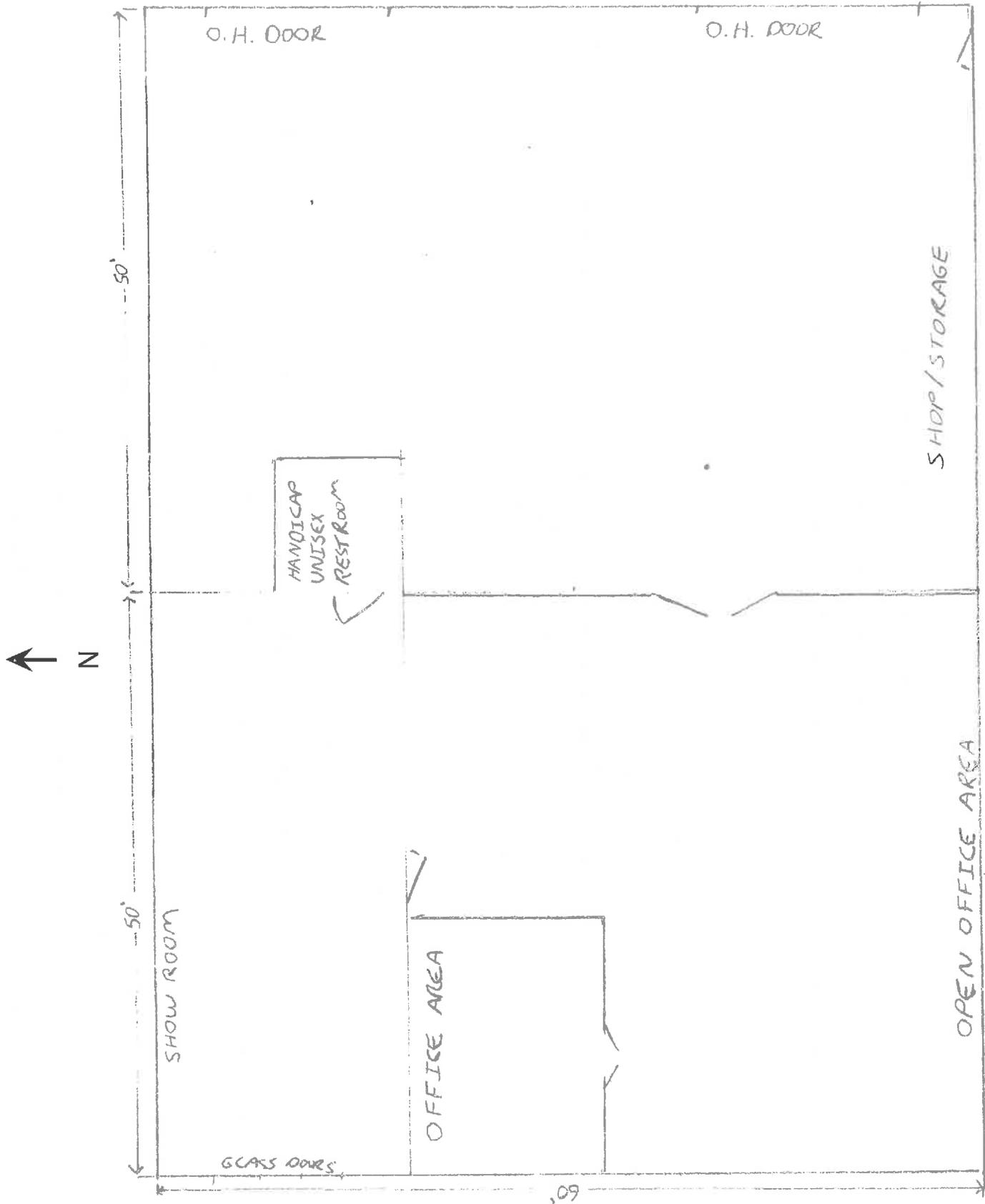
SP- 01-16

1060 N. Perkins Street

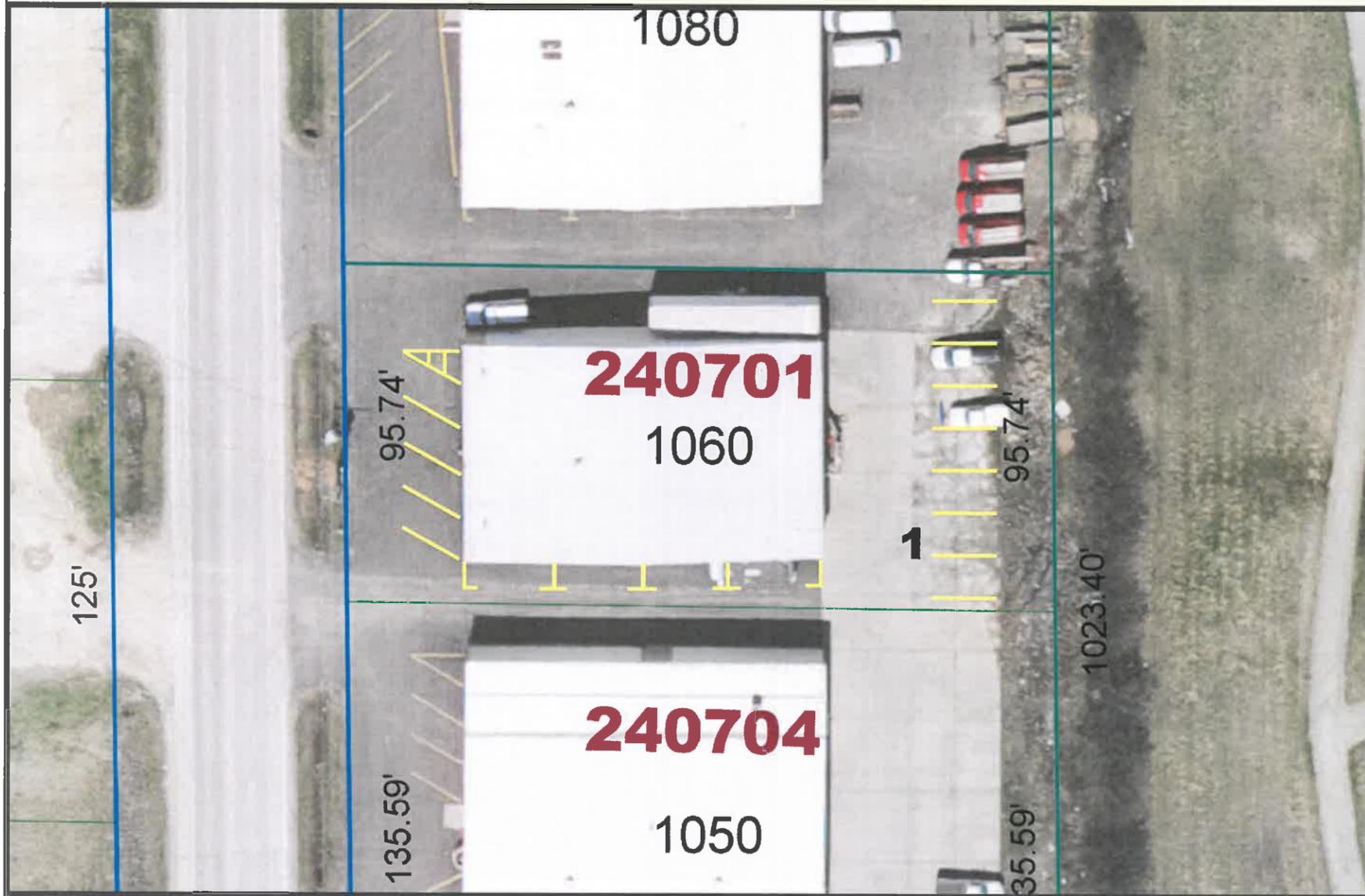


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Custom Offsets Appleton - 1060 N. Perkins Street



Custom Offsets - 1060 N. Perkins Street - Parking Plan

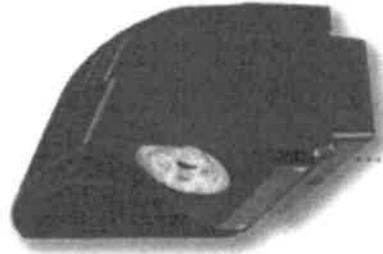


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NICKEL ELECTRIC, INC.
 1479 Gruber Road
 P. O. Box 12267
 Green Bay, WI 54307-2267

Applications: Security, pathway and perimeter lighting; ideal for entryways and other applications where control of spill light is important.
Typical Mounting Height: 8 to 15 feet **Typical Spacing:** 1 to 2 times the mounting height



CREE LEDs



9.5" D x 8.75" W x 4.5" H
 Weight: 7.0 lbs.



Catalog #	Description	Input Voltage	Initial Delivered Lumens	CCT	CRI	50K Hours Projected Lumen Maintenance Factor at 25°C ¹	Comparable To:
E-WP6L03CZ	36W LED Cool white	120V-277V	3350	5000K	70	50,000 Hours	100W PSMH
E-WP6L03HZ	36W LED Neutral white	120V-277V	3350	4000K	70	50,000 Hours	100W PSMH



¹ Calculated L₈₀ based on 6,048 hours of LM-80 testing >36,000 hours

Line Current Data

Voltage	Operating Amperes
120V	0.31
277V	0.14

e-conolight[®]

Due to continuous product improvement, information in this document is subject to change. All published photometric testing performed to IESNA LM-79-08 standards by a NVLAP certified laboratory. Fixture photometry was completed on a single representative fixture. Actual production units may vary up to ±10% of initial delivered lumens. Lumen maintenance values at 25°C (77°F) are calculated per TM-21 based on LM-80 data and in situ fixture testing.

NICKEL ELECTRIC, INC.
 1479 Gruber Road
 P. O. Box 12267
 Green Bay, WI 54307-2267

Applications: Security, pathway and perimeter lighting; ideal for entryways and other applications where control of spill light is important
Typical Mounting Height: 8 to 20 feet **Typical Spacing:** 1 to 2 times the mounting height



11.75"D x 13"W x 5.75"H
 Weight: 13.6 lbs.



Catalog #	Description	Input Voltage	Initial Delivered Lumens	CCT	CRI	50K Hours Projected Lumen Maintenance Factor at 25°C ¹	Comparable To:
E-WP7L06CZ	72W LED Cool White	120V-277V	6000	5000K	70	50,000 Hours	175W PSMH
E-WP7L08NZ	72W LED Neutral White	120V-277V	6000	4000K	70	50,000 Hours	175W PSMH



¹ Calculated L₅₀ based on 6,048 hours of LM 80 testing >36,000 hours

Line Current Data

Voltage	Operating Amperes
120V	0.61
277V	0.28



Due to continuous product improvement, information in this document is subject to change. All published photometric testing performed to IESNA LM 79-02 standards by a NVLAP certified laboratory. Fixture photometry was completed on a single representative fixture. Actual production units may vary up to ±10% of initial delivered lumens. Lumen maintenance values at 25°C (77°F) are calculated per ILM 21 based on LM 80 data and in situ fixture testing.

**Town of Grand Chute
Site Plan Amendment Review
Connections LLC, dba Connections**

To: Plan Commission
From: Robert Buckingham, Community Development Director
Date: January 26, 2016
Address: 2171 W. Pershing Street **App. #:** SPA1-00-10

A. REQUEST

- 1. **Proposed Use(s):** Daycare/therapy center for children with autism or other development disabilities
- 2. **Project Description:** Parking, lighting and landscape improvements
- 3. **Plat/CSM Accurate parcel lines/lot recorded:** Yes.

B. ANALYSIS

Applicant will operate the center in a 10,000 sq. ft. tenant space. Connections provides center-based therapy and learning to children between 2 ½ and 14 years of age. The center is licensed and regulated by the State as a group day care. All therapy is provided on a 1:1 adult to child ratio. Maximum licensed capacity at this facility would be 55 children. Initial occupancy will be 25-30 children. A small, enclosed outside play area will be provided directly south of the building. There are currently 48 parking spaces on site, shared among 3 tenant businesses. Because of the high adult to child ratio at Connections, 12 additional parking spaces will be provided on existing paved areas of the site. This will provide an allocation of 40 spaces for Connections and 20 spaces designated for the other tenants. There will be no change to on-site drainage patterns and no additional stormwater management is required. Provision has been made for future parking expansion of up to 28 additional stalls for Connections if/when licensing capacity increases to the maximum 55 children. This future parking expansion would require drainage plan review and Site Plan approval. Staff has approved both a Site Landscape Plan and Site Lighting Plan for the current project. No freestanding sign is planned for the new use. All other code requirements are met with this request.

C. RECOMMENDATION

Staff has reviewed and supports Plan Commission approval of the Site Plan Amendment (SPA1-00-10) requested by Connections LLC, dba Connections, 2171 W. Pershing Street for site improvements associated with a group day care/autism therapy center, subject to: (1) Town Board approval of Special Exception Permit SE-01-16; and, (2) Future site plan approval for parking expansion of up to 28 stalls if/when applicant's licensing capacity increases.

PROPOSED ALTERATIONS FOR, 2179 / 2183 PERSHING STREET GRAND CHUTE WISCONSIN



MIKE ROBERTS TENANT BUILDING
 2179 / 2183 PERSHING STREET
 GRAND CHUTE, WISCONSIN



DATE: 12/2015
 JOB: 15-089
 D. BY: K. SPERL
 REV.

T
1.0

PROJECT INFORMATION

CONSTRUCTION CLASSIFICATION

TYPE IIIB NON-SPRINKLED
FIRE ALARM REQUIRED IN NEW "E" OCCUPANCY

OCCUPANCY

SEPARATED USE - EXISTING 2 HR. WALL

EXISTING "B" BUSINESS
EXISTING "S-1" STORAGE
PROPOSED "E" EDUCATION

ALTERATION

LEVEL II ALTERATION

ALLOWABLE AREA

PER 362.0903 WI AMDENDMENT TO THE IBC 2009

I.E.B.C. - CHANGE OF OCCUPANCY

(HAZARD CATEGORIES)

TABLE 912.4 - MEANS OF EGRESS

EXISTING	F-1, S-1	LEVEL 4
NEW	E	LEVEL 4

*HIGHER HAZARD LEVEL FOR NEW USE
*COMPLIANCE REQUIRED w/ IBC 2009

TABLE 912.5 - HEIGHTS & AREAS

EXISTING	F-1, S-1	LEVEL 3
NEW	E	LEVEL 3

*EQUAL HAZARD LEVEL FOR NEW USE
*COMPLIANCE ACCEPTABLE TO EXISTING
CONDITONS

TABLE 912.6 - HEIGHTS & AREAS

EXISTING	F-1, S-1	LEVEL 2
NEW	E	LEVEL 3

*LOWER HAZARD LEVEL FOR NEW USE
*COMPLIANCE ACCEPTABLE TO EXISTING
CONDITONS

NO THERMAL CALCS BEING PROVIDED
BUILDING ENVELOPE IS EXISTING AND ANY CHANGES
ARE EQUAL OR GREATER IN THERMAL VALUE

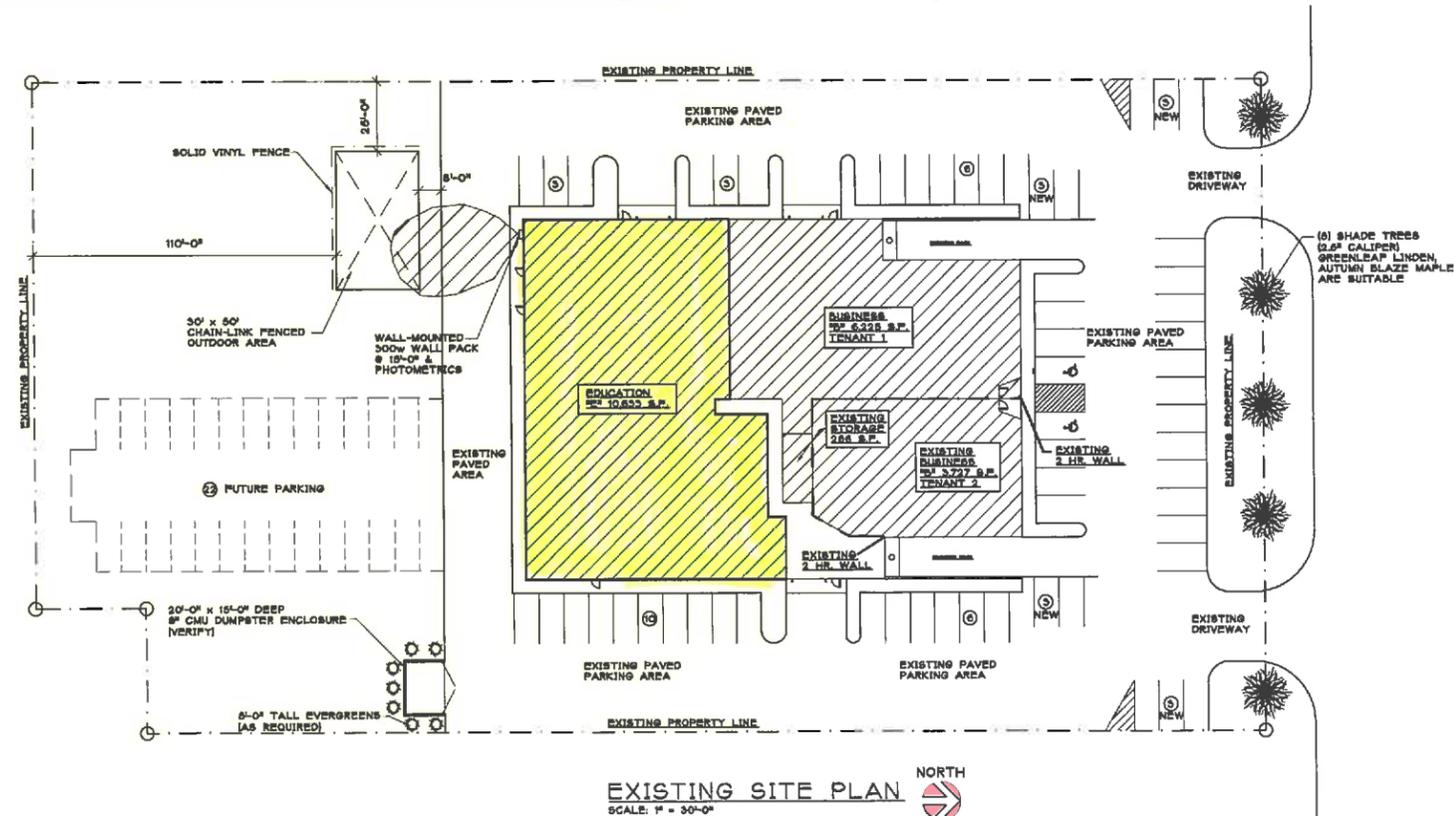
SHEET INDEX

SHEET	SHEET TITLE
T1.0	GENERAL COVER SHEET, INDEX, NOTES SITE PLAN
A1.0	ARCHITECTURAL FLOOR PLAN
A1.1	DUMPSTER DETAILS
A2.0	EGRESS & CEILING PLAN
A3.0	FINISH SCHEDULE
A4.0	ADA DETAILS

CURRENT PARKING 48 EXISTING 12 NEW ON EX. PAVING 60 TOTAL (20) DESIGNATED FOR THE TWO EXISTING FRONT TENANTS. (40) DESIGNATED FOR NEW TENANT IN BACK SPACE.	FUTURE PARKING 28 ADDITIONAL STALLS TO BE ADDED IF/WHEN BACK TENANT'S LICENSING CAPACITY INCREASES
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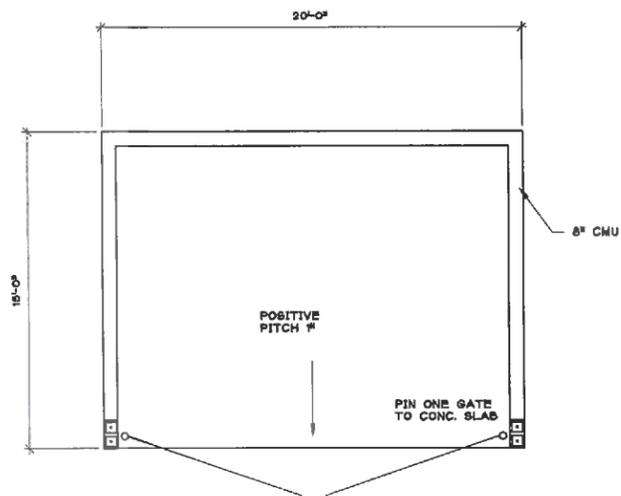
GENERAL NOTES

- THESE DRAWINGS COVER STRUCTURAL AND GENERAL CONSTRUCTION WORK ONLY. ALL WORK SHALL CONFORM TO STATE AND LOCAL CODES WHICH GOVERN FOR THE BUILDING SITE, AND SHALL BE DONE IN A WORKMANLIKE MANNER.
- THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH ALL ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS TO VERIFY THE LOCATION AND DIMENSIONS OF CHASES, INSERTS, OPENINGS, SLEEVES, REGLETS, DEPRESSIONS AND OTHER PROJECT REQUIREMENTS NOT SHOWN ON THE STRUCTURAL DRAWINGS.
- OPENINGS SHOWN ON THE STRUCTURAL DRAWINGS SHALL NOT BE REVISED WITHOUT WRITTEN APPROVAL FROM THE ARCHITECT.
- CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS, ELEVATIONS AND CONDITIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES.
- THE TYPICAL DETAILS SHOWN ON THE DRAWINGS SHALL BE APPLICABLE TO ALL PARTS OF THE CONTRACT DRAWINGS UNLESS SPECIFICALLY NOTED OTHERWISE.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOB SAFETY DURING CONSTRUCTION.

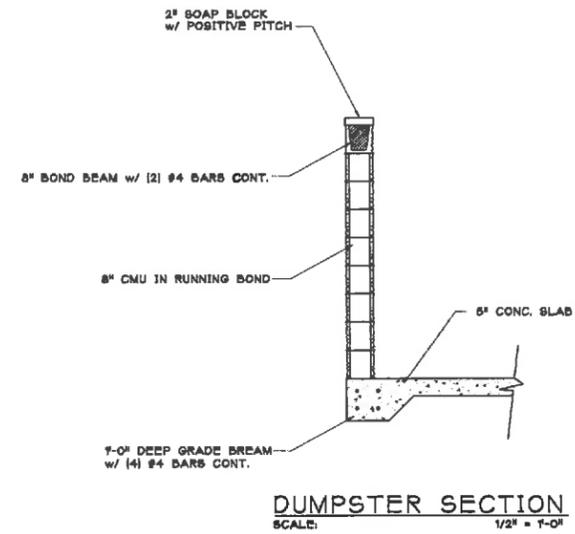


SITE PLAN IS EXISTING AND IS BEING INCLUDED FOR REFERENCE ONLY - ALTERATIONS ARE LIMITED TO THE INTERIOR OF THE TENANT SPACE AND THE ADDED FENCED IN ACTIVITY AREA.

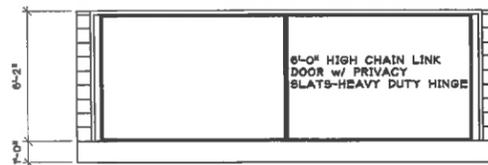
"ISSUED FOR CONSTRUCTION"



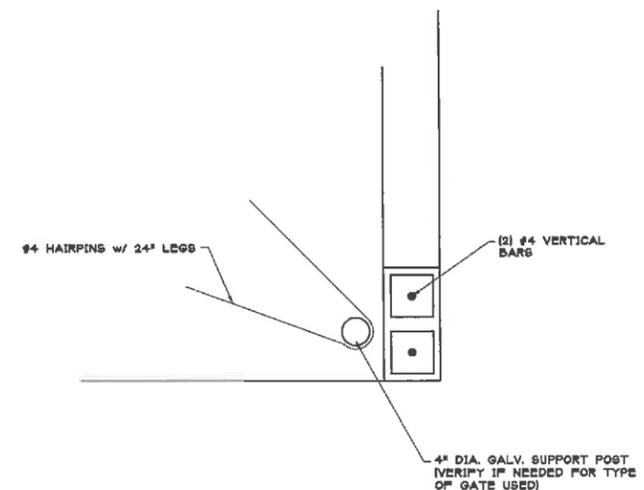
DUMPSTER PLAN
SCALE: 1/4" = 1'-0"



DUMPSTER SECTION
SCALE: 1/2" = 1'-0"



DUMPSTER ELEV.
SCALE: 1/4" = 1'-0"



GATE POST DETAIL
SCALE: 1" = 1'-0"

DATE:	11/1/2016
JOB:	16-088
D. BY:	K. SPENL
REV.	

**Town of Grand Chute
Site Plan Review
Enterprise Motorcars, Inc., dba Bergstrom Enterprise Motorcars**

To: Plan Commission

From: Robert Buckingham, Community Development Director

Date: January 26, 2016

Address: 3002 N. Victory Lane

App. #: SP-02-16

A. REQUEST

1. **Proposed Use(s):** Continued use as Mercedes-Benz auto dealership.
2. **Project Description:** 5,187 sq. ft. building addition, parking expansion, associated site improvements
3. **Plat/CSM Accurate parcel lines/lot recorded:** Yes.

B. ANALYSIS

Bergstrom Mercedes-Benz plans a 6-bay service addition on the west side of the existing building. The addition will support the Mercedes Sprinter model. To accommodate the addition, some existing parking areas near the building will be replaced with new stalls at the front of the property. There will be a net increase of 21 stalls, to a new total of 275 stalls on-site. Existing access points from Victory Lane will remain unchanged and no additional driveways will be added. The drainage plan consists of using overland flow and storm sewer to direct runoff to an existing retention pond southwest of the property. Drainage and Erosion Control Plans are being reviewed by the Town Engineer and their approval is a condition of Site Plan approval. Additional site landscaping will be provided with this project. Staff is reviewing the Landscape Plan and its approval is a condition of Site Plan approval. Site lighting will be modified for the project, including relocation of some existing fixtures and provision of new LED fixtures for the new parking area. The Site Lighting Plan has been approved by staff. No new site signage will be added as part of the project. All area and dimensional standards for the project meet or exceed the minimum/maximum code requirements.

C. RECOMMENDATION

Staff has reviewed and supports Plan Commission approval of the Site Plan (SP-02-16) requested by Enterprise Motorcars, Inc., dba Bergstrom Enterprise Motorcars, 3002 N. Victory Lane, for a building addition, parking expansion and associated site improvements.

PROPOSED EXISTING BUILDING ALTERATIONS FOR: BERGSTROM MERCEDES

APPLETON, WISCONSIN



Gries Architectural Group Inc.
500 North Commercial Street
Neenah, Wisconsin 54956
Phone: 920.722.2445 Fax: 920.722.6603
www.griesarchitect.com



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NOTE:
THE INTENT AND MEANING OF THE CONSTRUCTION DOCUMENTS IS THAT THE CONTRACTOR UNDER THE TERMS OF THE CONTRACT SHALL TAKE ALL ACTIONS NECESSARY AND REQUIRED TO PROVIDE ALL LABOR, MATERIALS, SUPPLIES, EQUIPMENT, TRANSPORTATION, FACILITIES AND APPURTENANCES WHICH ARE INDICATED OR REASONABLY IMPLIED BY EACH DRAWING AND EACH SECTION OF THE SPECIFICATIONS, ALL OF WHICH ARE COLLECTIVELY NECESSARY AND REQUIRED FOR THE CONSTRUCTION OF THE DESCRIBED STRUCTURES AND FACILITIES.

NOTE:
ALL TRADES SHALL CROSS REFERENCE ALL CONSTRUCTION DOCUMENTS FOR COORDINATION AND SCOPE OF WORK

PROPOSED EXISTING BUILDING ALTERATIONS FOR:
BERGSTROM MERCEDES
APPLETON, WISCONSIN

SITE PLAN SUBMITTAL SUBMITTAL (01-11-16)
date: 01/11/2016
job: 15-066
d by: LCP
rev: _____
C-S

MATERIAL INDEX-PLANS, SECTIONS

	EARTH		FINISHED LUMBER
	COMPACTED FILL		RIGID INSULATION
	GRAVEL FILL		BATT INSULATION
	CERAMIC TILE		DRYWALL
	POURED CONCRETE		STEEL
	CONCRETE BLOCK		PRECAST CONCRETE
	CONCRETE BLOCK FILLED		ACOUSTIC TILE
	FACE BRICK		BITUMINOUS PAVING
	STONE		EXISTING WALL TO BE REMOVED
	ROUGH LUMBER		EXISTING WALL TO REMAIN
	PLYWOOD		CONSTRUCT NEW WALL

SHEET INDEX

C-S	COVER SHEET
CIVIL	
C-1.1	TOPOGRAPHIC SURVEY
C-1.2	DRAINAGE AND GRADING
C-1.3	EROSION AND SEDIMENT CONTROL PLAN
C-1.4	UTILITY PLAN
C-2.1	CONSTRUCTION DETAILS
ARCHITECTURAL	
A-0.1	SITE PLAN- OVERALL
A-0.2	SITE PLAN - MERCEDES
A-0.3	SITE DETAILS
ES001	SITE LIGHTING PLAN- MERCEDES
ES001P	SITE LIGHTING PHOTOMETRICS PLAN- MERCEDES
D-1.1	FIRST FLOOR DEMOLITION PLAN
A-1.1	OVERALL FIRST FLOOR PLAN & EXISTING MEZZ. PLAN
A-1.2	FIRST FLOOR PLAN - AREA "A"- MERCEDES
A-1.3	FIRST FLOOR PLAN - AREA "B"- MERCEDES
A-4.1	EXTERIOR ELEVATIONS - OVERALL
A-4.2	PARTIAL EXTERIOR ELEVATIONS- SERVICE ADDITION
A-4.3	EXTERIOR 3D VIEWS
A-5.1	BUILDING SECTIONS
A-8.1	ROOF PLAN

REFERENCE SYMBOLS

SECTION CUT SYMBOL (WALL SECTIONS)	
	SECTION DESIGNATION (NUMBER FOR CROSS SECTION & LETTER FOR WALL SECTION)
	DRAWING NUMBER ON WHICH SECTION APPEARS
PLAN DETAIL / ENLARGED PLAN SYMBOL	
	DETAIL NUMBER
	DRAWING NUMBER ON WHICH DETAIL APPEARS
DETAIL CUT SYMBOL	
	DETAIL NUMBER
	DRAWING NUMBER ON WHICH DETAIL APPEARS
	Name Elevation ELEVATION MARK - NEW
	Name Elevation ELEVATION MARK - EXISTING

DRAWING SYMBOLS

	DOOR TAG
	REVISION NUMBER
	WINDOW TAG
	COLUMN LINE DESIGNATION- NEW
	WALL TYPE
	STAIRWAY DIRECTION INDICATION
	KEYNOTE MARK - ACCESSORIES
	KEYNOTE MARK - DEMOLITION NOTES
	KEYNOTE MARK - PLAN NOTES
	SPOT ELEVATION MARKER

PROJECT DATA	
GOVERNING AUTHORITY - WISCONSIN DEPT. OF COMMERCE SAFETY AND BUILDINGS DIVISION	
REFERENCED CODE	INTERNATIONAL BUILDING CODE 2009
CLASS OF CONSTRUCTION	IB
OCCUPANCY CLASSIFICATION	BUSINESS (B)
LOCAL ZONING AUTHORITY	TOWN OF GRAND CHUTE
BUILDING SPRINKLED	YES
BUILDING AREA:	
BASEMENT:	N/A
FIRST FLOOR:	37,589 S.F. TOTAL EXISTING
EXISTING MEZZANINE:	4,120 S.F. TOTAL EXISTING (NO WORK)
NEW ADDITION AREA:	5,187 S.F.
TOTAL BUILDING AREA OF EXISTING & NEW ADDITIONS:	46,896 S.F.

PROJECT LOCATION

Bergstrom Enterprise Motorcars - MERCEDES
3002 Victory Lane
Appleton, WI 54913



INDICATES PROJECT LOCATION
VICINITY PLAN
NO SCALE

CONSULTANTS

ARCHITECTURAL
GRIES ARCHITECTURAL GROUP, INC.
500 N. COMMERCIAL STREET
NEENAH, WI 54956
PH (920)722-2445 FX (920)722-6605
CONTACT: STEVE GRIES, AIA

CIVIL
DAVEL ENGINEERING
1811 RACINE STREET
MENASHA, WI 54952
PH (920) 991-1888 FX (920) 830-9595
CONTACT: JOHN DAVEL, P.E.

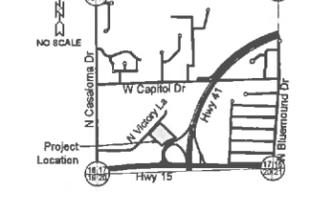
STRUCTURAL ENGINEERING
LARSON ENGINEERING, INC.
2801 E. ENTERPRISE AVE. SUITE 200
APPLETON, WI 54913-7895
PH (920) 734-9887 FX (920) 734-9880
CONTACT: BRIAN ENDTER, P.E.

BENCHMARKS (NAVD 88 Datum)

- BM 0 NGS Benchmark
PID DF6092
Elev 819.20
- BM 1 Fire Hydrant, SE Tag Bolt
±83 West of SW Building Corner
Elev 801.29
- BM 2 Fire Hydrant, SW Tag Bolt
±248' NW of BM 1, W RW Victory Lane
Elev 806.23

Storm Structures						
Structure #	Rim	Inv	Size	Material	Direction	
INL A	798.05	792.48	18"	HDPE	N	
CB B	798.19	792.59	18"	HDPE	S	
CB C	798.90	792.50	12"	HDPE	NW	
CB D	798.85	793.38	15"	HDPE	SW	
CB E	798.84	793.87	12"	HDPE	SW	
CB F	797.81	794.41	12"	HDPE	SE	
INL G	803.02					
INL H	803.10					

LOCATION MAP
SW 1/4 SEC 17, T 21 N, R 17 E,
TOWN OF GRAND CHUTE
OUTAGAMIE COUNTY, WI



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PROPOSED ADDITIONS FOR BERGSTROM AUTOMOTIVE:
BERGSTROM MERCEDES
 TOWN OF GRAND CHUTE, WISCONSIN

SURVEYOR'S CERTIFICATE

I, Tyler D. Thiry, hereby certify that I have surveyed this property and this topographical map is a true representation thereof and shows the size and location of the property and the location of all apparent roadways. I hereby certify that said topographical survey and map were made in accordance with acceptable professional standards and that the information contained thereon is, to the best of my knowledge, information and belief, a true and accurate representation thereof.

Tyler D. Thiry, Wisconsin Professional Land Surveyor No. S-3095 Date _____

NOTES

This topographic survey was performed during winter conditions. Utility and ground features shown on this map are indicated based on what was observed at the time. Utility markings and existing features may have been covered by snow and/or ice and may not be shown on this map.

Existing utilities shown are indicated in accordance with available records and field measurements. The contractor shall be responsible for obtaining exact locations & elevations of all utilities, including sewer & water from the property owners of the respective utilities. All utility the property owners shall be notified by the contractor 72 hours prior to excavation. Contact Digger's Hotline (1-800-242-8511) for exact utility locations.

This is not a boundary survey.

TOPOGRAPHIC SURVEY

DAVEL ENGINEERING & ENVIRONMENTAL, INC.
 CIVIL ENGINEERING CONSULTANTS
 1611 Racine Street Menasha, WI 54952
 Ph: 920-891-1866 Fax: 920-830-8995
 www.davel.pro

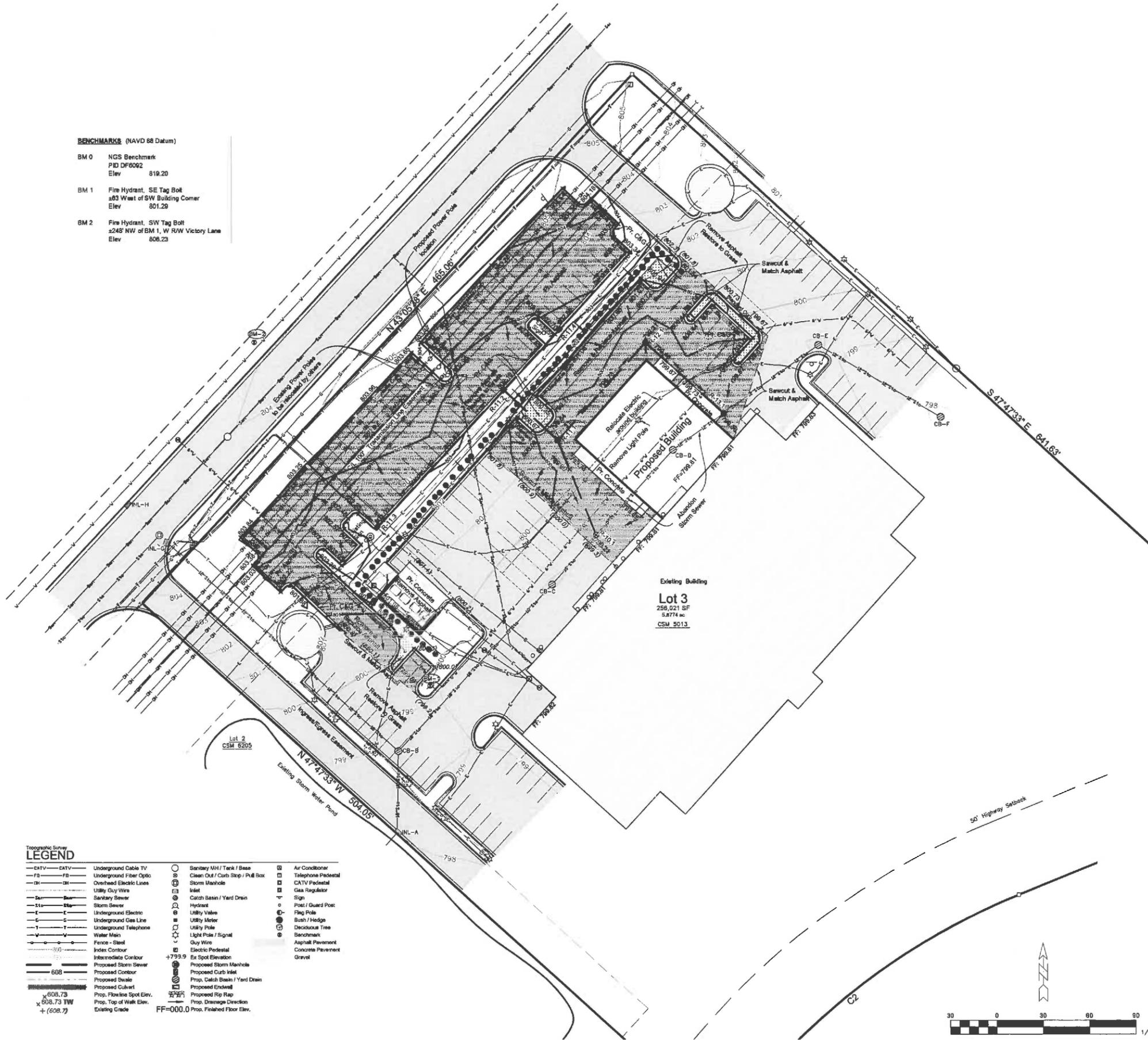
LEGEND

— CATV — CATV	○ Sanitary Man / Tank / Base	□ Air Conditioner
— FD — FD	⊕ Clean Out / Curb Stop / Pull Box	□ Telephone Pedestal
— OH — OH	⊕ Storm Manhole	□ CATV Pedestal
— UG — UG	⊕ Inlet	□ Gas Regulator
— SW — SW	⊕ Catch Basin / Yard Drain	□ Sign
— SS — SS	⊕ Hydrant	○ Post / Guard Post
— S — S	⊕ Utility Valve	⊕ Flag Pole
— G — G	⊕ Utility Meter	⊕ Bush / Hedge
— T — T	⊕ Utility Pole	⊕ Deciduous Tree
— W — W	⊕ Light Pole / Signal	⊕ Benchmark
— F — F	⊕ Guy Wire	⊕ Electric Pedestal
— I — I	⊕ Ex Spot Elevation	⊕ Concrete Pavement
— C — C		⊕ Gravel

C-1.1

BENCHMARKS (NAVD 88 Datum)

- BM 0 NGS Benchmark
PID DF6092
Elev 819.20
- BM 1 Fire Hydrant, SE Tag Bolt
±83 West of SW Building Corner
Elev 801.29
- BM 2 Fire Hydrant, SW Tag Bolt
±248' NW of BM 1, W R/W Victory Lane
Elev 808.23



NOTES:

1. Existing utilities shown are indicated in accordance with available records and field measurements. The contractor shall be responsible for obtaining exact locations & elevations of all utilities, including sewer and water from the owners of the respective utilities. All utility owners shall be notified by the contractor 72 hours prior to excavation. Contact Digger's Hotline (1-800-242-8511) for exact utility locations.
2. The Contractor shall verify all staking and field layout against the plan and field conditions prior to constructing the work and immediately notify the Engineer of any discrepancies.
3. The contractor shall minimize the area disturbed by construction as the project is constructed. The Contractor shall comply with all conditions of the Erosion Control Plan and the Storm Water discharge Permit. All Erosion Control shall be done in accordance with the Plan and Wisconsin DNR Technical Standards, See Sheet C-1.3.
4. Contractor shall remove all excess materials from the site. Earthwork contractors shall verify topsoil depth.
5. All sediment and erosion control devices and methods shall be in accordance with the Wisconsin DNR Technical Standards.
6. Updated survey and site search have not been authorized and the boundary and easements shown may be inaccurate or incomplete.
7. Parking lot striping shall be 4" painted safety yellow.

DRAINAGE PLAN CERTIFICATION:

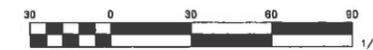
I, John R. Davel, Professional Engineer, hereby certify that this Drainage Plan will meet or exceed the requirements of the Town of Grand Chute.

John R. Davel, P.E. E-25512 _____ Date _____

DRAINAGE & GRADING PLAN
DAVEL ENGINEERING & ENVIRONMENTAL, INC.
 CIVIL ENGINEERING CONSULTANTS
 1811 Racine Street, Menasha, WI 54952
 Ph: 920-991-1866 Fax: 920-830-8595
 www.davel.pro

Topographic Survey LEGEND

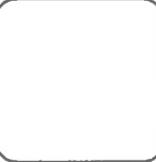
--- CATV --- CATV	○ Sanitary MH / Tank / Base	□ Air Conditioner
--- FB --- FB	○ Clean Out / Curb Stop / Pull Box	□ Telephone Pedestal
--- DR --- DR	○ Storm Manhole	□ CATV Pedestal
--- UG --- UG	○ Inlet	□ Gas Regulator
--- SW --- SW	○ Catch Basin / Yard Drain	□ Sign
--- ST --- ST	○ Hydrant	○ Post / Guard Post
--- E --- E	○ Utility Valve	○ Flag Pole
--- G --- G	○ Utility Meter	○ Bush / Hedge
--- T --- T	○ Utility Pole	○ Deciduous Tree
--- W --- W	○ Light Pole / Signal	○ Benchmark
--- V --- V	○ Guy Wire	○ Asphalt Pavement
--- F --- F	○ Electric Pedestal	○ Concrete Pavement
--- I --- I	○ Ex Spot Elevation	○ Gravel
--- S --- S	○ Proposed Storm Manhole	
--- C --- C	○ Proposed Curb Inlet	
--- D --- D	○ Prop. Catch Basin / Yard Drain	
--- SW --- SW	○ Proposed Endwall	
--- C --- C	○ Proposed Rip Rap	
--- T --- T	○ Prop. Drainage Direction	
--- W --- W	○ Prop. Finished Floor Elev.	
--- V --- V		



Gries Architectural Group Inc.
 500 North Commercial Street
 Neenah, Wisconsin 54956
 Phone: 920-752-4666
 www.griesarchitectural.com

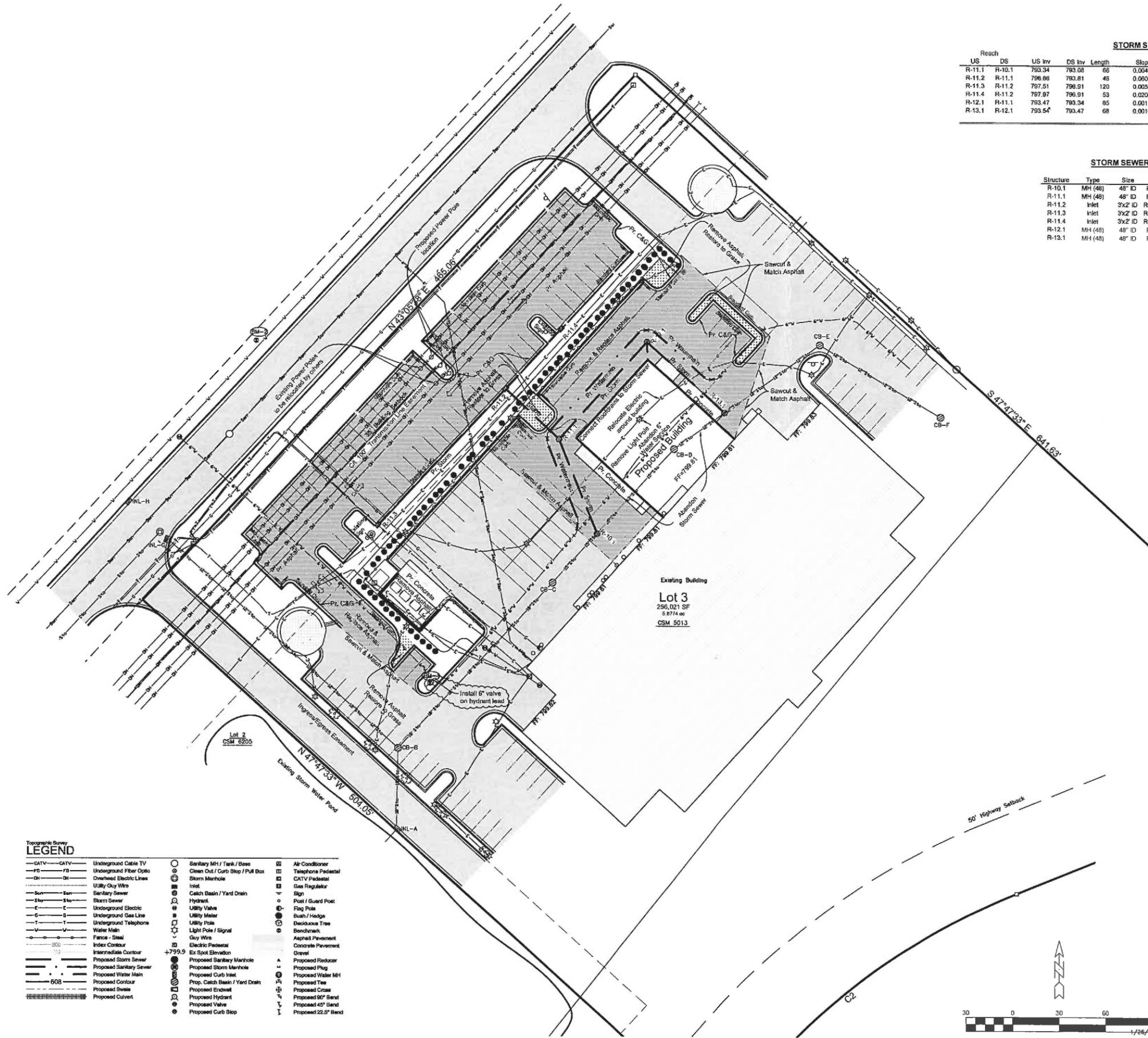
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PROPOSED ADDITIONS FOR BERGSTROM AUTOMOTIVE:
BERGSTROM MERCEDES
 TOWN OF GRAND CHUTE, WISCONSIN



date: 01/08/2016
 job: 4581enr.dwg
 d. by: kotia
 rev.: _____

C-1.2



STORM SEWER PIPE SUMMARY

Reach	US	DS	US Inv	DS Inv	Length	Slope	Size (in)	GRASS AREA (SF)	ROOF AREA (SF)	PAVEMENT AREA (SF)	PEAK FLOW GPM	TOTAL FLOW GPM		
R-11.1	R-10.1		793.34	793.08	66	0.0040	15	1179	0	3188	109	1936		
R-11.2	R-11.1		796.66	796.81	46	0.0000	8	2092	0	6242	212	583		
R-11.3	R-11.2		797.51	796.91	120	0.0050	8	2912	0	6096	216	216		
R-11.4	R-11.2		797.97	796.91	53	0.0200	8	1755	0	4503	155	155		
R-12.1	R-11.1		793.47	793.34	85	0.0015	15	1928	4875	4094	329	1243		
R-13.1	R-12.1		793.54	793.47	68	0.0010	15	4196	0	28399	914	914		
											9,566	4,875	24,103	1,021

STORM SEWER STRUCTURE SUMMARY

Structure	Type	Size	Cover	Final Grade Rim	Final Grade Invert	Final Grade Depth
R-10.1	MH (48)	48" ID	R-1710	799.21	793.08	6.13
R-11.1	MH (48)	48" ID	R-1710	799.31	793.34	5.97
R-11.2	Inlet	3x2 ID	R-3067-C	802.13	796.66	5.47
R-11.3	Inlet	3x2 ID	R-3067-C	802.02	797.51	4.51
R-11.4	Inlet	3x2 ID	R-3067-C	802.66	797.97	4.69
R-12.1	MH (48)	48" ID	R-1710	799.31	793.47	5.84
R-13.1	MH (48)	48" ID	R-1710	799.39	793.54	5.85

- LEGEND**
- CATV --- CATV --- Underground Cable TV
 - FD --- FD --- Underground Fiber Optic
 - OH --- OH --- Overhead Electric Lines
 - UG --- UG --- Utility Gas Wire
 - SS --- SS --- Sanitary Sewer
 - S --- S --- Storm Sewer
 - E --- E --- Underground Electric
 - G --- G --- Underground Gas Line
 - T --- T --- Underground Telephone
 - W --- W --- Water Main
 - F --- F --- Fence - Steel
 - 350 --- 350 --- Index Contour
 - 710 --- 710 --- Intermediate Contour
 - 799.5 --- 799.5 --- Proposed Storm Sewer
 - 799.5 --- 799.5 --- Proposed Sanitary Sewer
 - 608 --- 608 --- Proposed Water Main
 - 608 --- 608 --- Proposed Contour
 - 608 --- 608 --- Proposed Swale
 - 608 --- 608 --- Proposed Culvert
 - Sanitary MH / Tank / Base
 - Clean Out / Curb Stop / Pull Box
 - Storm Manhole
 - Inlet
 - Catch Basin / Yard Drain
 - Hydrant
 - Utility Valve
 - Utility Meter
 - Utility Pole
 - Light Pole / Signal
 - Guy Wire
 - Electric Pedestal
 - Ex Spot Elevation
 - Proposed Sanitary Manhole
 - Proposed Storm Manhole
 - Proposed Plug
 - Proposed Curb Inlet
 - Prop. Catch Basin / Yard Drain
 - Proposed Tee
 - Proposed Endwall
 - Proposed Hydrant
 - Proposed Valve
 - Proposed Curb Stop
 - Air Conditioner
 - Telephone Pedestal
 - CATV Pedestal
 - Gas Regulator
 - Sign
 - Post / Guard Post
 - Flag Pole
 - Bush / Hedge
 - Deciduous Tree
 - Benchmark
 - Asphalt Pavement
 - Concrete Pavement
 - Gravel
 - Proposed Reducer
 - Proposed Plug
 - Proposed Water MH
 - Proposed Tee
 - Proposed Cross
 - Proposed 90° Bend
 - Proposed 45° Bend
 - Proposed 22.5° Bend

Sewer and Water shall be constructed in accordance with the State of Wisconsin Standard Specifications for Sewer and Water Construction, and all Special Provisions of the Town of Grand Chute.

Contractor shall locate all buried facilities prior to excavating. This plan may not correctly or completely show all buried utilities.

The Contractor shall verify all staking and field layout against the plan and field conditions prior to constructing the work and immediately notify the Engineer of any discrepancies.

The Contractor shall comply with all conditions of the Erosion Control Plan and the Storm Water discharge Permit. All Erosion Control shall be done in accordance with the Plan and Wisconsin DNR Technical Standards. See Sheet C-1.3.

The outside services are shown to stop at a point 5 feet outside the foundation wall. The Contractor shall be responsible for coordination of continuation of the services into the building to properly coincide with the interior plumbing plans, and compliance with all plumbing permits.

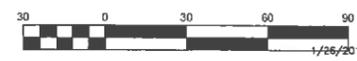
The Contractor is responsible for compliance with Department of Safety & Professional Services, Chapter SPS 382, for lateral construction and cleanout locations.

The contractor shall coordinate with provider for electric, gas, and telecommunication service connection and relocations.

Pipe lengths are measured to center of structure. Endwalls are included in pipe length.

Water Pipe shall be PVC C900 D(18), with minimum of 18 gauge, insulated (blue), single-conductor copper tracer wire, or equivalent, per SPS 382.40 (6)(k).

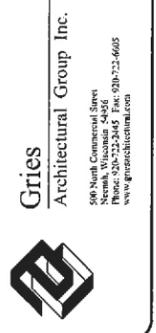
Storm Sewer Pipe shall be PVC SDR(35), Reinforced Concrete Class III, or HDPE, AASHTO M 294, Type S with soil tight joints, with minimum of 18 gauge, insulated (brown), single-conductor copper tracer wire, or equivalent, per SPS 382.36 (7)(d)10.a.



UTILITY PLAN

DAVEL ENGINEERING & ENVIRONMENTAL, INC.
 CIVIL ENGINEERING CONSULTANTS

1811 Racine Street Menasha, WI 54952
 Ph: 920-991-1866 Fax: 920-830-9595
 www.davel.pro

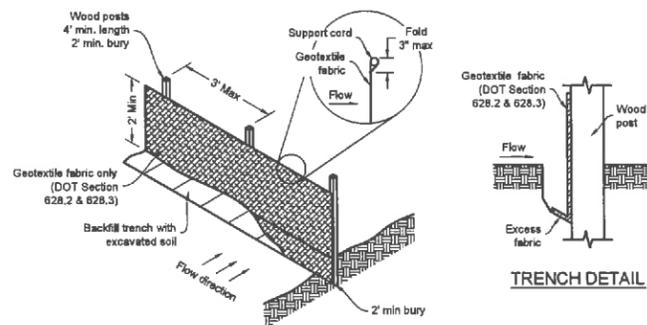


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PROPOSED ADDITIONS FOR BERGSTROM AUTOMOTIVE:
BERGSTROM MERCEDES
 TOWN OF GRAND CHUTE, WISCONSIN

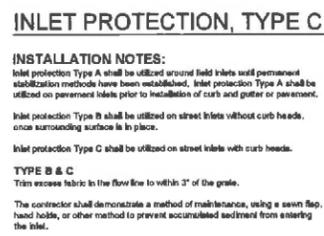
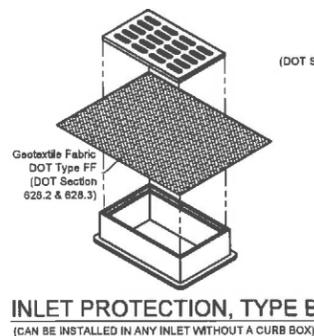
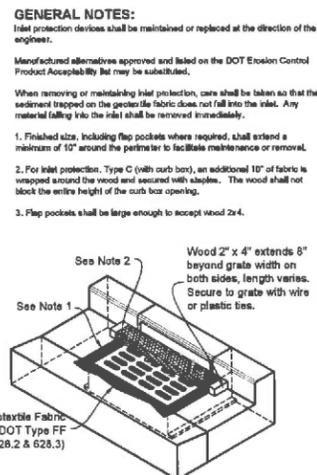
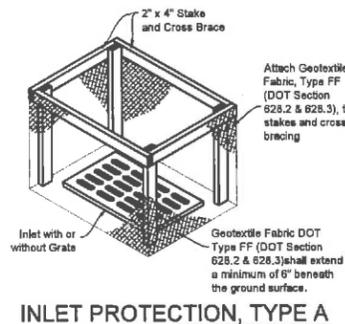
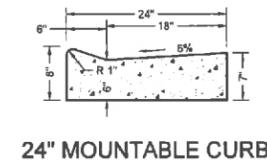
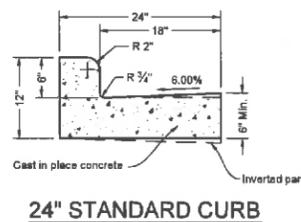
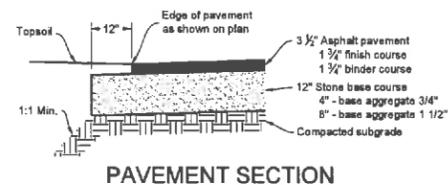
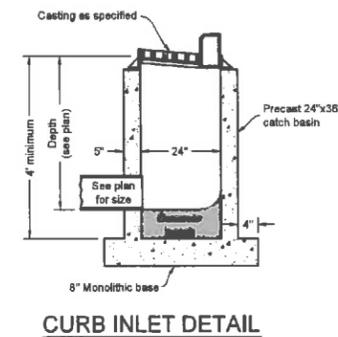
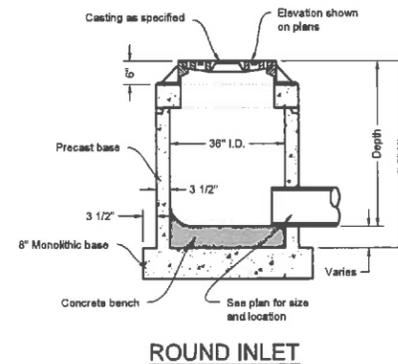
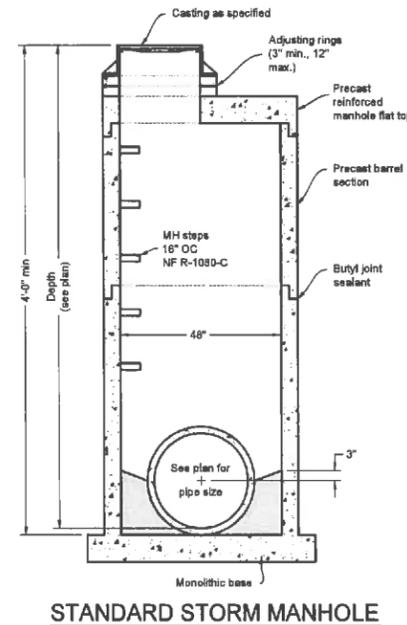
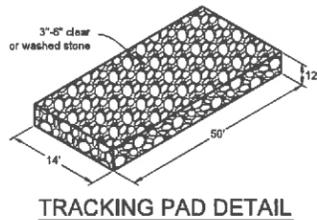
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 job: 4581engr.dwg
 d. by: katie
 rev.: 1 - 01/28/2016

C-1.4



- SILT FENCE NOTES:**
1. Detail of construction not shown on this drawings shall conform to criteria set by authorities having jurisdiction and by DNR Technical Standard 1058.
 2. When possible, the silt fence should be constructed in an arc or horseshoe shape with the ends pointing up slope to maximize both strength and effectiveness.
 3. Attach the fabric to the posts with wire staples or wooden lath and nails.
 4. 6'-0" post spacing allowed if a woven geotextile fabric is used.
 5. Trench shall be a minimum of 4" wide and 6" deep to bury and anchor the geotextile fabric. Fold material to fit trench and backfill and compact trench with excavated soil.
 6. Geotextile fabric shall be reinforced with an industrial polypropylene netting with a maximum mesh spacing of 3/4" or equal. A heavy-duty nylon top support chord or equivalent is required.
 7. Steel posts shall be studded "tee" or "u" type with a minimum weight of 128 lbs/lineal foot (without anchor). Pin anchors shall be a minimum size of 4" diameter or 1 1/2" x 3 1/2", except wood posts for geotextile fabric reinforced with netting shall be a minimum size of 1 1/8" x 1 1/8" oak or hickory.

SILT FENCE INSTALLATION



Gries Architectural Group Inc.
310 North Commercial Street
Menasha, Wisconsin 54956
Phone: 920-772-6600
www.griesarchitect.com

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PROPOSED ADDITIONS FOR BERGSTROM AUTOMOTIVE:
BERGSTROM MERCEDES
TOWN OF GRAND CHUTE, WISCONSIN

date: 01/08/2016
job: 4581enrg.dwg
d. by: kotia
rev.:

CONSTRUCTION DETAILS
DAVEL ENGINEERING & ENVIRONMENTAL, INC.
CIVIL ENGINEERING CONSULTANTS
1811 Racine Street, Menasha, WI 54952
Ph: 920-891-1656 Fax: 920-830-8595
www.davel.pro

C-2.1

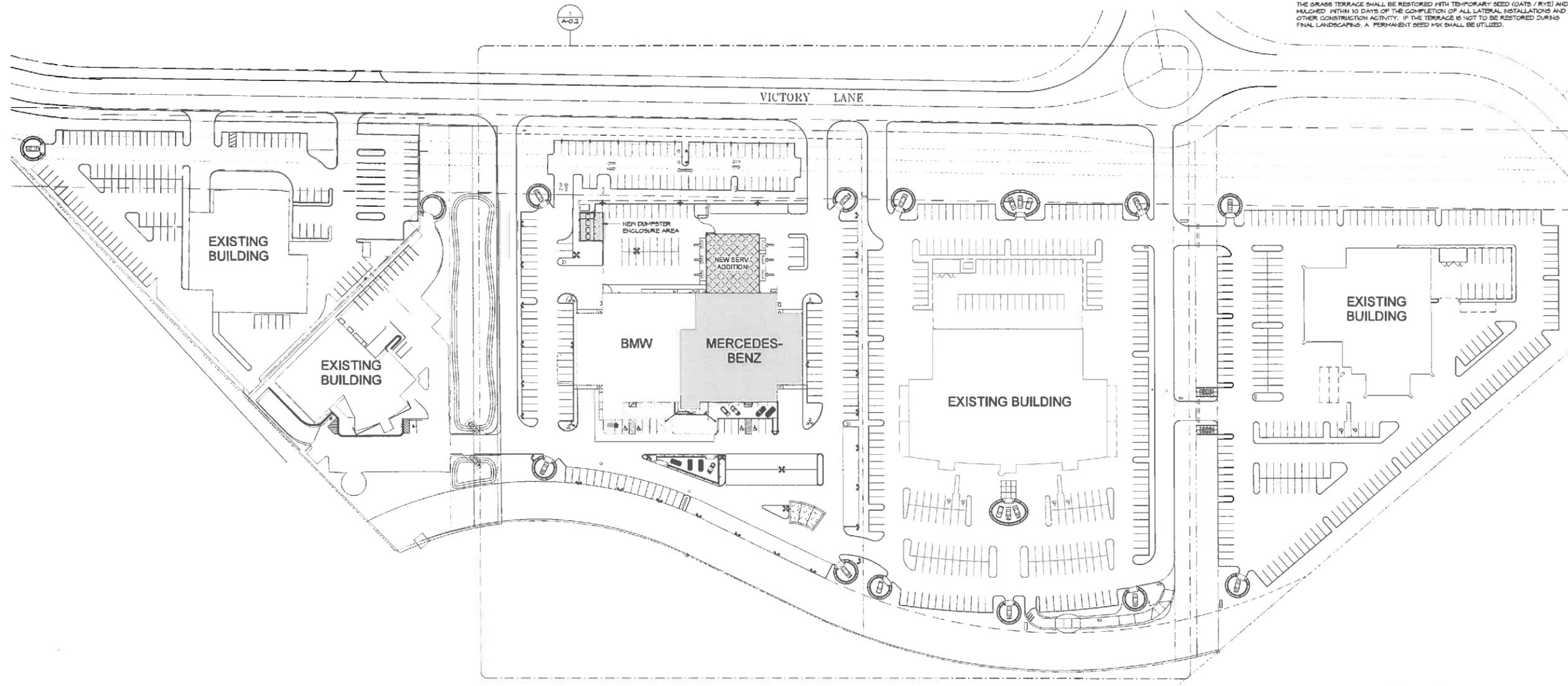
SITE PLAN DATA:

PROJECT NAME:	BERGSTROM AUTOMOTIVE ENTERPRISE MOTORCARS BUILDING ADDITION & ALTERATION FOR MERCEDES AUTO DEALERSHIP	
PROJECT ADDRESS:	3002 VICTORY LANE APPLETON, WI 54913	
ZONING DESCRIPTION:	(CL) COMMERCIAL / LIGHT INDUSTRIAL	
SITE AREA:	EXISTING SITE - 5.80 ACRES (256,120 S.F.) PROJECT TO DISTURB LESS THAN 1 ACRE	
SITE USAGE:	EXISTING BUILDING FOOTPRINT:	97,504 S.F. (18%)
	NEW BUILDING FOOTPRINT NGL ADDITION:	42,776 S.F. (17%)
	EXISTING PAVED AREA (IMPERVIOUS):	176,220 S.F. (69%)
	EXISTING PAVED AREA EXCLUDING ADDITION:	171,078 S.F. (67%)
	COMBINED EXIST. & NEW PAVED AREA:	190,072 S.F. (74%)
	EXISTING LANDSCAPE AREA (PERVIOUS):	42,251 S.F. (16%)
	CURRENT LANDSCAPE AREA (PERVIOUS):	23,212 S.F. (9%)
PROJECT BUILDING AREA:	EXISTING BUILDING AREA FIRST FLOOR:	97,504 S.F.
	PROPOSED ADDITIONS (FIRST FLOOR):	5,161 S.F.
	TOTAL PROJECT AREA (FIRST FLOOR):	5,161 S.F. (ADDITION)

NOTE:
NEW PARKING AREA IS FOR VEHICLE STORAGE AREA REQUIRED BY AUTO MANUFACTURER AND PER NEW BUILDING ADDITION. EXISTING PUBLIC PARKING TO REMAIN.

GENERAL SITE PLAN NOTES:

- GENERAL CONTRACTOR TO PROVIDE SILT FENCE / EROSION CONTROL MEASURES PER TOWN OF GRAND CHAUTE & OUTASHAWE COUNTY REQUIREMENTS. EROSION CONTROL MEASURES MUST BE IMPLEMENTED AND MAINTAINED THROUGHOUT CONSTRUCTION.
- ALL SITE UTILITIES MUST BE VERIFIED PRIOR TO CONSTRUCTION.
- PATCH ANY AREA OF ASPHALT PAVING OR CONCRETE PAVING AND CONC. CURB DISTURBED BY CONSTRUCTION.
- GENERAL CONTRACTOR TO RUSH GRADE AND FINISH GRADE ANY AREAS DISTURBED BY CONSTRUCTION. SEEDING OF AREAS BY GENERAL CONTRACTOR. ALL DRIVEWAY CUTS AND CURBS, IF ANY, SHALL COMPLY WITH THE TOWN OF GRAND CHAUTE STANDARDS.
- HANDICAP ACCESSIBILITY MUST BE MAINTAINED AT ALL FRONT AND REAR DOORS. COORDINATE PARKING LOT GRADINGS AND RAMPS WITH DOOR LOCATIONS.
- EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE DURATION OF CONSTRUCTION UNTIL THE SITE IS STABILIZED BY VEGETATION OR OTHER APPROVED MEANS.
- ALL ACTIVITIES SHALL BE CONDUCTED IN A LOGICAL SEQUENCE AS TO MINIMIZE THE AMOUNT OF BARE SOIL EXPOSED AT ANY ONE TIME. MAINTAIN EXISTING VEGETATION AS LONG AS POSSIBLE.
- ALL SEDIMENT LADEN WATER PUMPED FROM THE SITE SHALL BE TREATED BY A TEMPORARY SEDIMENT BASIN OR BE FILTERED BY OTHER APPROVED MEANS. WATER SHALL NOT BE DISCHARGED IN A MANNER THAT CAUSES EROSION OF THE SITE OR RECEIVING CHANNELS.
- DISTURBED GROUND OUTSIDE OF THE EVERYDAY CONSTRUCTION AREA, INCLUDING SOIL STOCKPILES LEFT INACTIVE FOR MORE THAN 10 DAYS, SHALL AT A MINIMUM BE TEMPORARILY STABILIZED BY SEEDING / MULCHING OR OTHER METHODS APPROVED BY THE TOWN OF GRAND CHAUTE EROSION CONTROL INSPECTOR.
- WASTE MATERIAL GENERATED ON THE CONSTRUCTION SITE SHALL BE PROPERLY DISPOSED OF AND NOT ALLOWED TO RUN INTO A RECEIVING WATER OR STORM SEWER SYSTEM.
- IN THE CASE OF LATE SEASON AND WINTER CONSTRUCTION, RESTORATION / LANDSCAPING OF THE SITE SHALL OCCUR NO LATER THAN LINE 181 OF THE NEXT CONSTRUCTION SEASON. EROSION CONTROL MEASURES SHALL REMAIN INTACT UNTIL FINAL RESTORATION OF THE SITE IS COMPLETE. FABRIC INSIDE THE INLET AND CATCH BASIN GRATINGS SHALL BE REMOVED AS SOON AS FREEZING WEATHER OCCURS SO DRAINAGE IS NOT IMPAIRED THROUGHOUT THE WINTER MONTHS. ALL EROSION CONTROL PRACTICES REMOVED OR DAMAGED DUE TO WINTER WEATHER SHALL BE REPLACED IN THE SPRING IMMEDIATELY AFTER THE THAW.
- EROSION CONTROL DEVICES DESTROYED AS A RESULT OF CONSTRUCTION ACTIVITIES SHALL BE REPAIRED BY THE END OF THE WORK DAY.
- TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED AT THE CONCLUSION OF CONSTRUCTION AFTER STABILIZATION OF DISTURBED SOIL HAS OCCURRED.
- THE EXISTING GRASS STREET TERRACE WITHIN THE TOWN OF GRAND CHAUTE RIGHT OF WAY SHALL BE MAINTAINED AS BUFFER THROUGHOUT CONSTRUCTION. AT A MINIMUM, THE GRASS TERRACE SHALL BE RESTORED WITH TEMPORARY SEED (GRASS / RYE) AND MULCHED WITHIN 10 DAYS OF THE COMPLETION OF ALL LATERAL INSTALLATIONS AND OTHER CONSTRUCTION ACTIVITY. IF THE TERRACE IS NOT TO BE RESTORED DURING FINAL LANDSCAPING, A PERMANENT SEED MIX SHALL BE UTILIZED.



1 SITE PLAN - OVERALL
A-0.1 1/8" = 1'-0"



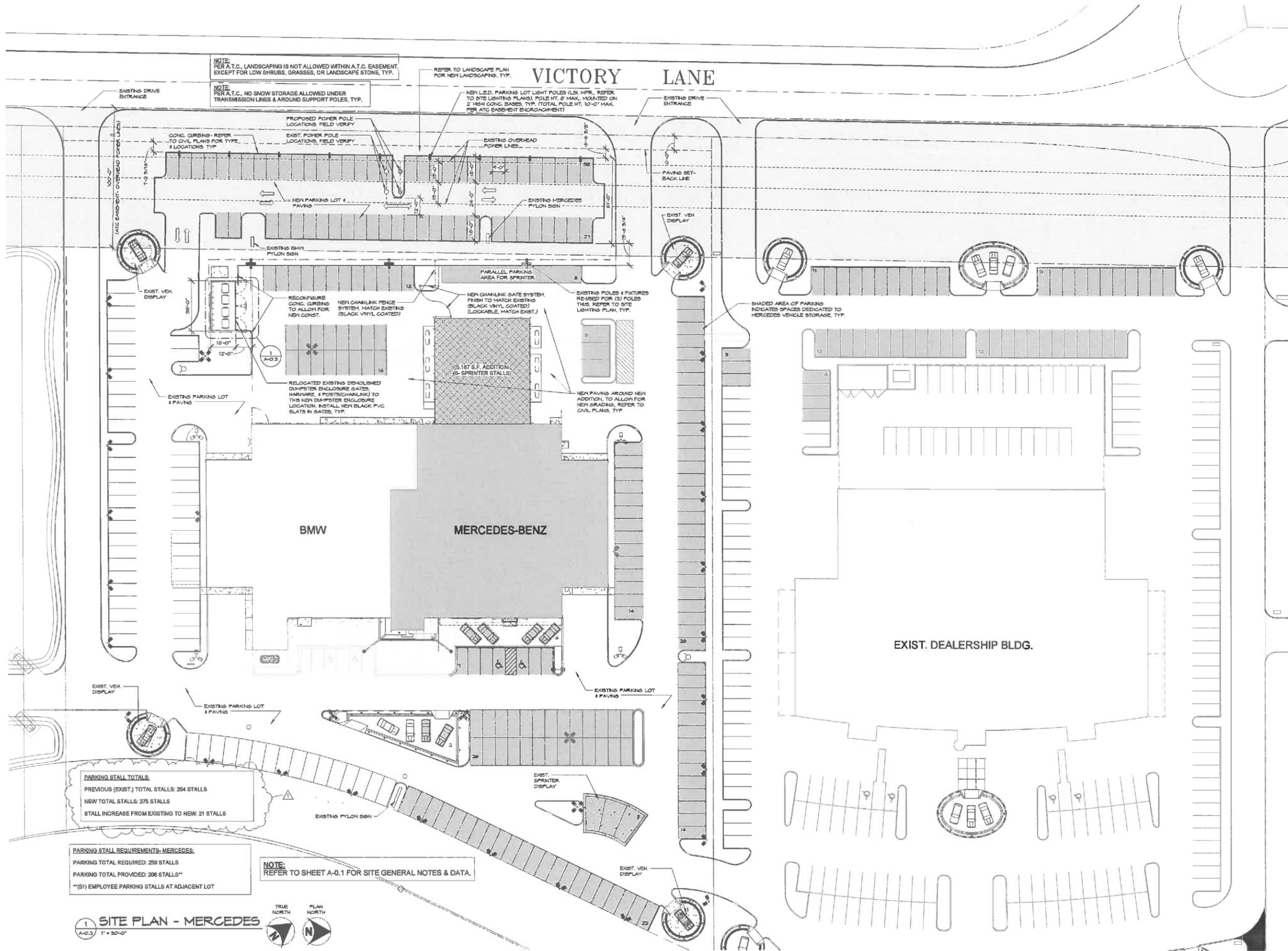
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PROPOSED EXISTING BUILDING ALTERATIONS FOR:
BERGSTROM MERCEDES
APPLETON, WISCONSIN

date: 01/11/2016
job: 15-088
d. by: K.F. LCP
rev:

A-0.1



NOTE:
PER A.T.C. LANDSCAPING IS NOT ALLOWED WITHIN A.T.C. EASEMENT,
EXCEPT FOR LOW SHRUBS, GRASSES, OR LANDSCAPE STONE, TYP.

NOTE:
PER A.T.C. NO SNOW STORAGE ALLOWED UNDER
TRANSMISSION LINES & AROUND SUPPORT POLES, TYP.

REFER TO LANDSCAPE PLAN
FOR NEW LANDSCAPING, TYP.

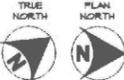
VICTORY LANE

PARKING STALL TOTALS:
PREVIOUS (EXIST.) TOTAL STALLS: 254 STALLS
NEW TOTAL STALLS: 275 STALLS
STALL INCREASE FROM EXISTING TO NEW: 21 STALLS

PARKING STALL REQUIREMENTS- MERCEDES:
PARKING TOTAL REQUIRED: 259 STALLS
PARKING TOTAL PROVIDED: 208 STALLS**
**(51) EMPLOYEE PARKING STALLS AT ADJACENT LOT

NOTE:
REFER TO SHEET A-0.1 FOR SITE GENERAL NOTES & DATA.

1 SITE PLAN - MERCEDES
A-0.2 1" = 30'-0"



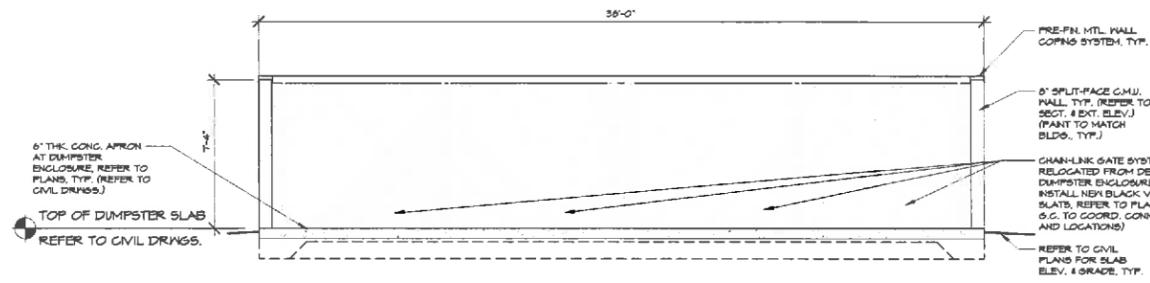
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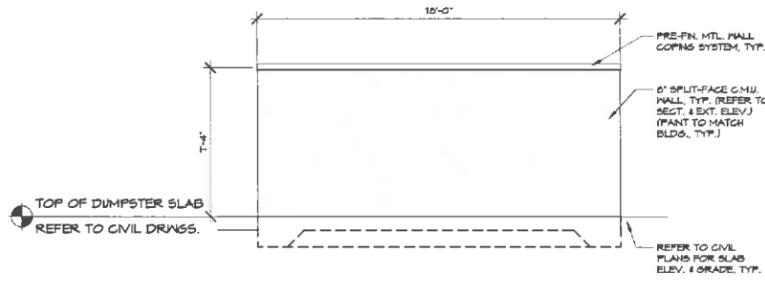
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APPLETON, WISCONSIN

date: 01/11/2016
job: 15-068
d by: KLF, LCF
REV. #1 PER
TCNN (01-26-15)

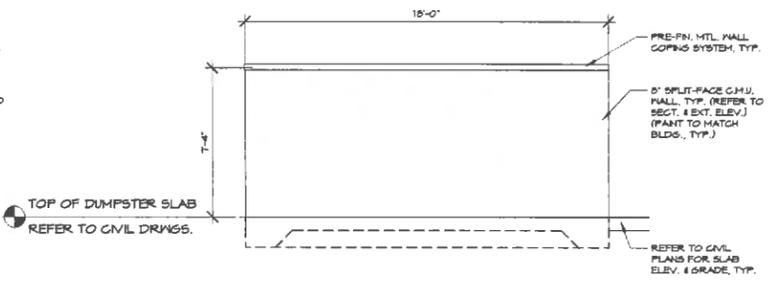
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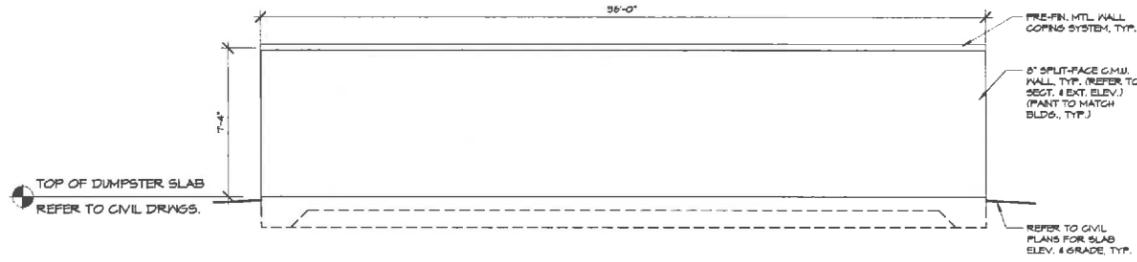
2 DUMPSTER ENCLOSURE- NORTH ELEV.
A-0.3 1/4" = 1'-0"



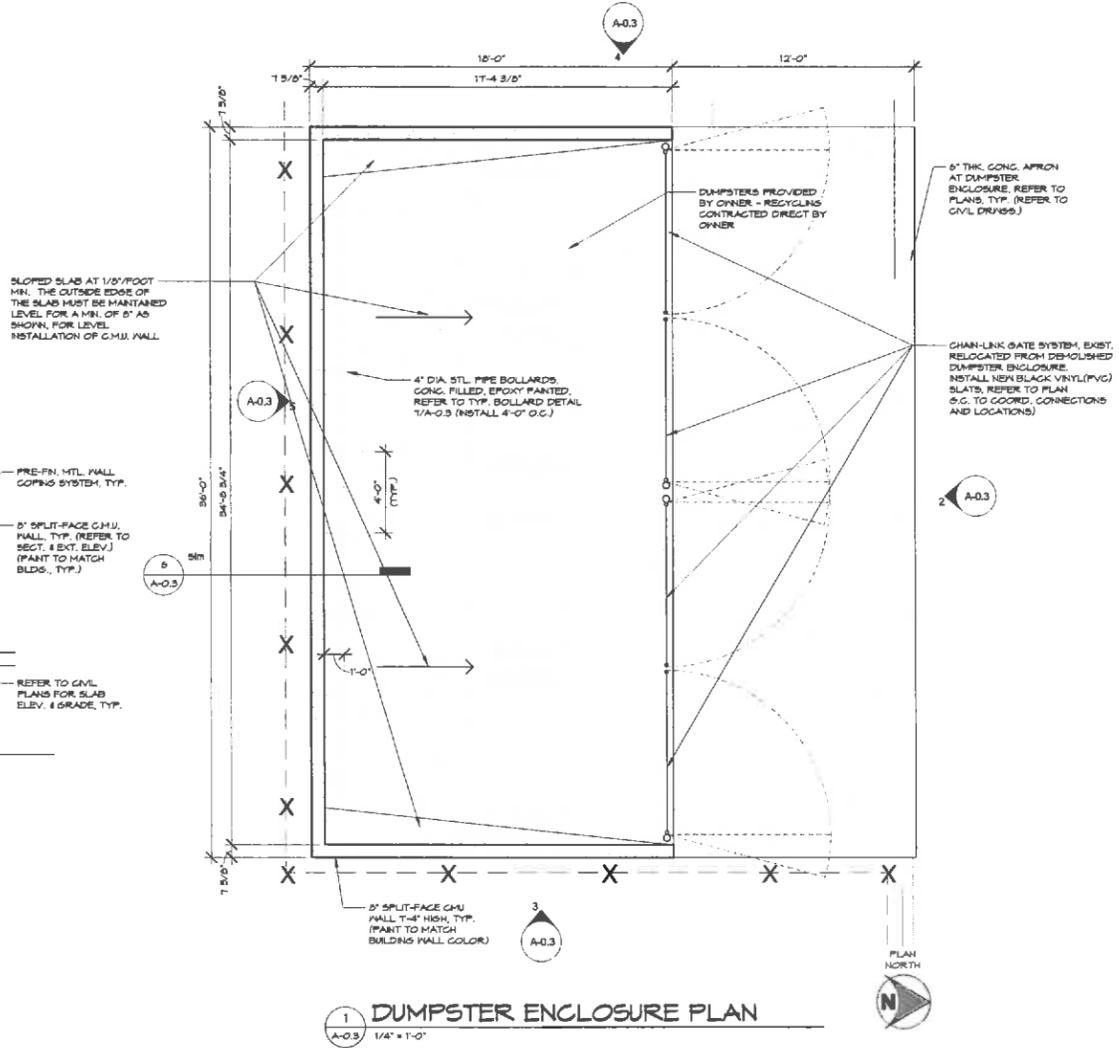
4 DUMPSTER ENCLOSURE- WEST ELEV.
A-0.3 1/4" = 1'-0"



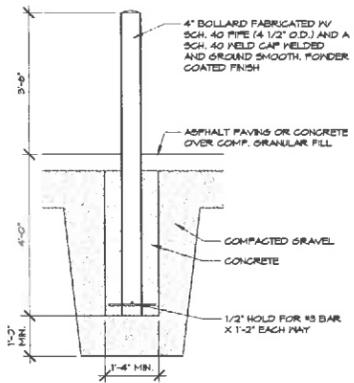
3 DUMPSTER ENCLOSURE- EAST ELEV.
A-0.3 1/4" = 1'-0"



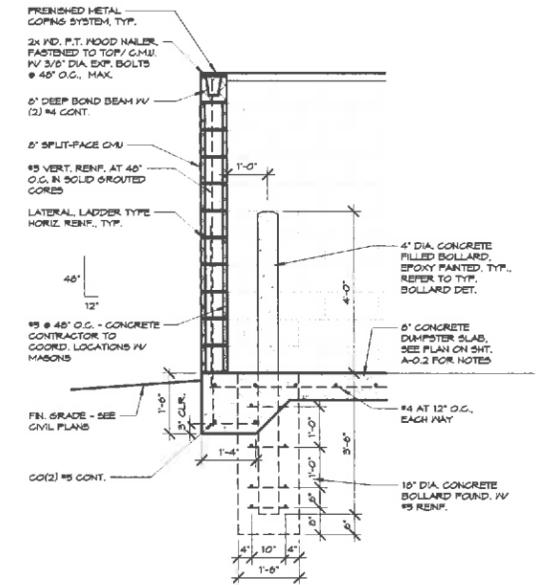
5 DUMPSTER ENCLOSURE- SOUTH ELEV.
A-0.3 1/4" = 1'-0"



1 DUMPSTER ENCLOSURE PLAN
A-0.3 1/4" = 1'-0"



7 BOLLARD DETAIL
A-0.3 1/2" = 1'-0"



6 DUMPSTER SECTION
A-0.3 1/2" = 1'-0"

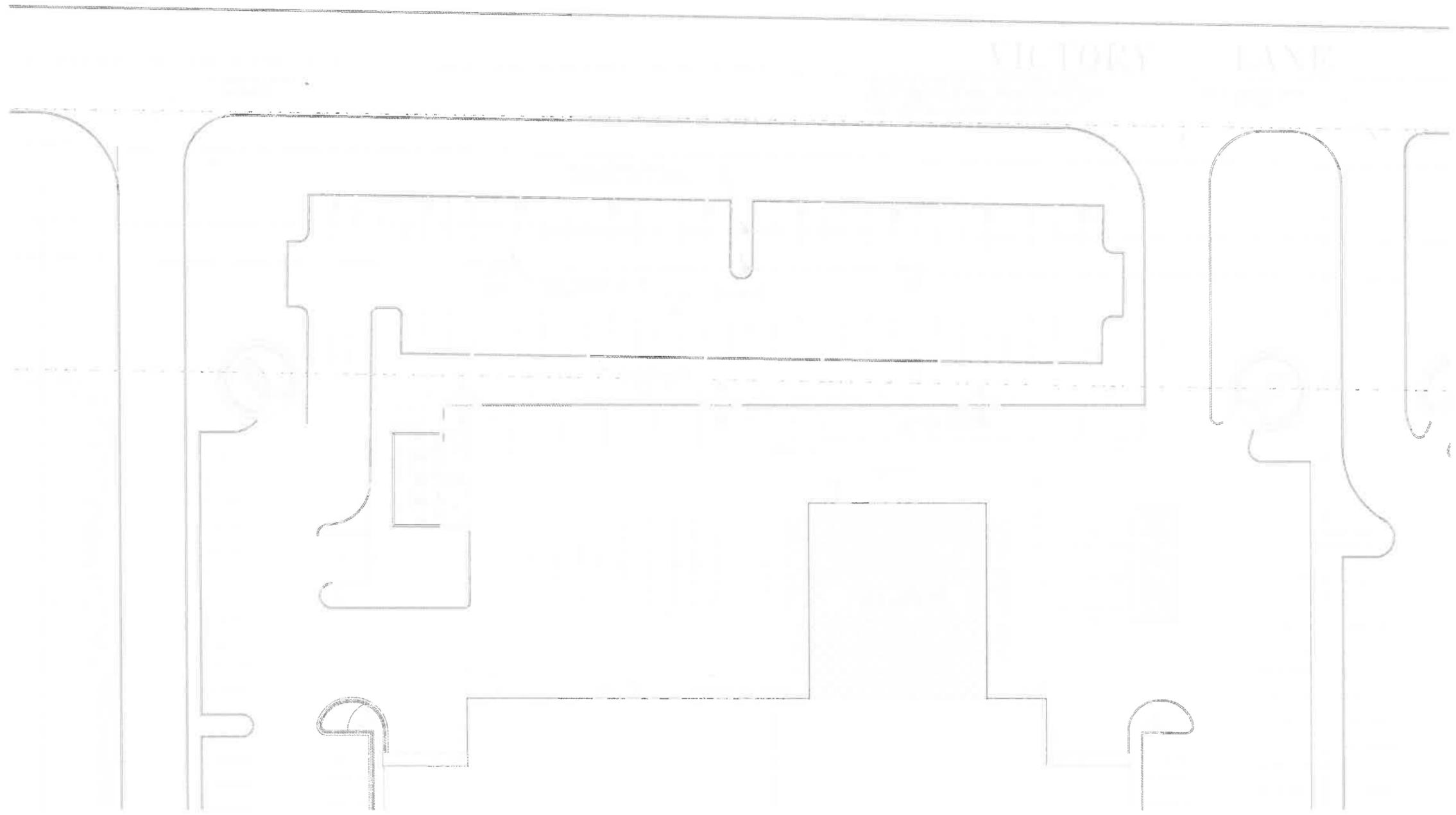


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A-0.3



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BERGSTROM AUTOMOTIVE
3002 NORTH VICTORY LANE
APPLETON, WISCONSIN
ENTERPRISE MERCEDES
PROPOSED PARKING LOT ALTERATIONS

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NO.	REVISIONS:	DATE:	RESP.

PROJECT NUMBER
DRAWN BY: N. Kanter
DESIGNED BY: N. Kanter
APPROVED BY: S. Schroeder
DATE: 12/30/2015
SCALE: 1" = 20'-0"

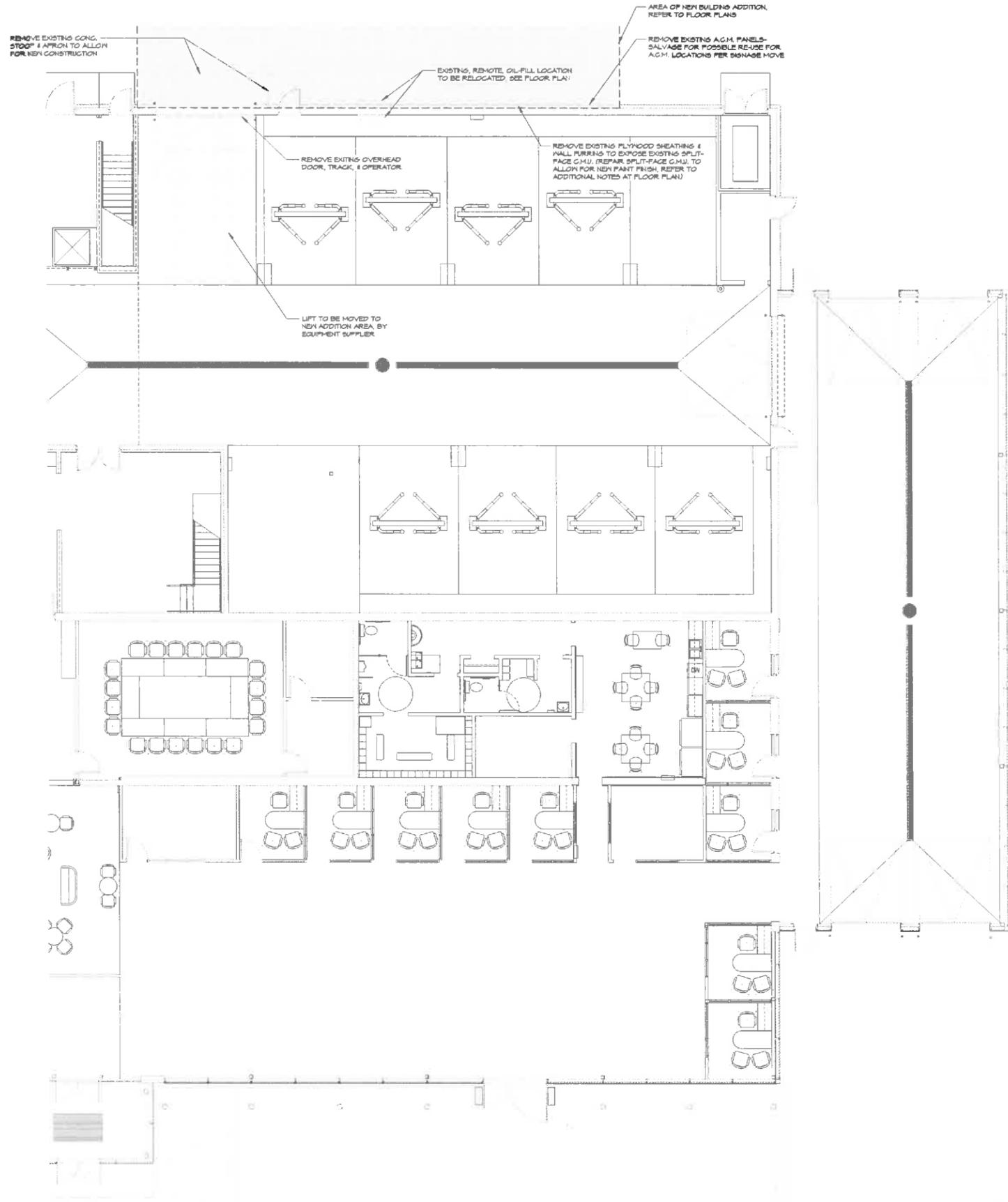
SHEET
ES001

	BOLLARD
	GROUND FLOOD LIGHT
	GROUND SPDT/POLE LIGHT
	POLE LIGHT, SINGLE
	POLE LIGHT, DOUBLE
	POLE LIGHT, TRIPLE
	POLE LIGHT, QUAD
	FIXTURE DESIGNATION (SEE LIGHTING SCHEDULE)
	CIRCUIT NUMBER(S)

QTY	TYPE	DESCRIPTION	MANUFACTURERS DATA		BALLAST DATA			LAMP DATA		Voltage	Input Watts	NOTES
			NAME	CATALOG NUMBER	CATALOG NUMBER	BALLAST FACTOR	QTY PER FIXTURE	LAMP TYPE	QTY PER FIXTURE			
3	YA	EXISTING POLE AND BASE, QUAD, FULL CUTOFF FLOOD	E-CO NOLIGHT	(1) CF-199 (NOW #E-FSM998QM) ON EXISTING 29' POLE WITH 2' ABOVE GRADE BASE	PULSE START	1.00	4	1000W MH	1	UNV	4336	1, 2
9	YC	SINGLE HEAD, TYPE FTA (FORWARD THROW AUTOMOTIVE) LED	LSI	XGRM-FTA-LED-SS-CW-WHT 8' POLE, WITH 2' ABOVE GRADE BASE	LED DRIVER	1.00	1	25000 LUMEN LED	21	UNV	187	1

NOTES
1. VERIFY VOLTAGE. VERIFY FINISH WITH OWNER/ARCHITECT.
2. EXISTING POLE WITH (2) TWINS AT 90 DEGREES. ADD (2) HEADS TO MATCH EXISTING. FULL CUTOFF FLOODS TO BE PARALLEL WITH PARKING LOT SURFACE WITH NO TILT (TO MAINTAIN FULL CUTOFF PROPERTIES).

PLOTTED ON 12/22/2015 2:18 PM AND E (247087) 14:20:16 BERGSTROM MERCEDES PARKING LOT 2.dwg



1 FIRST FLOOR DEMOLITION PLAN - MERCEDES
 D-1.1 1/8" = 1'-0"



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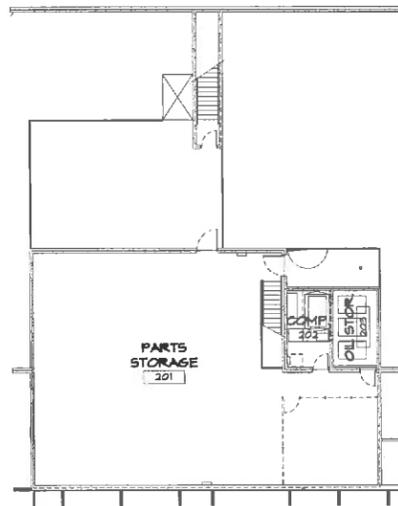


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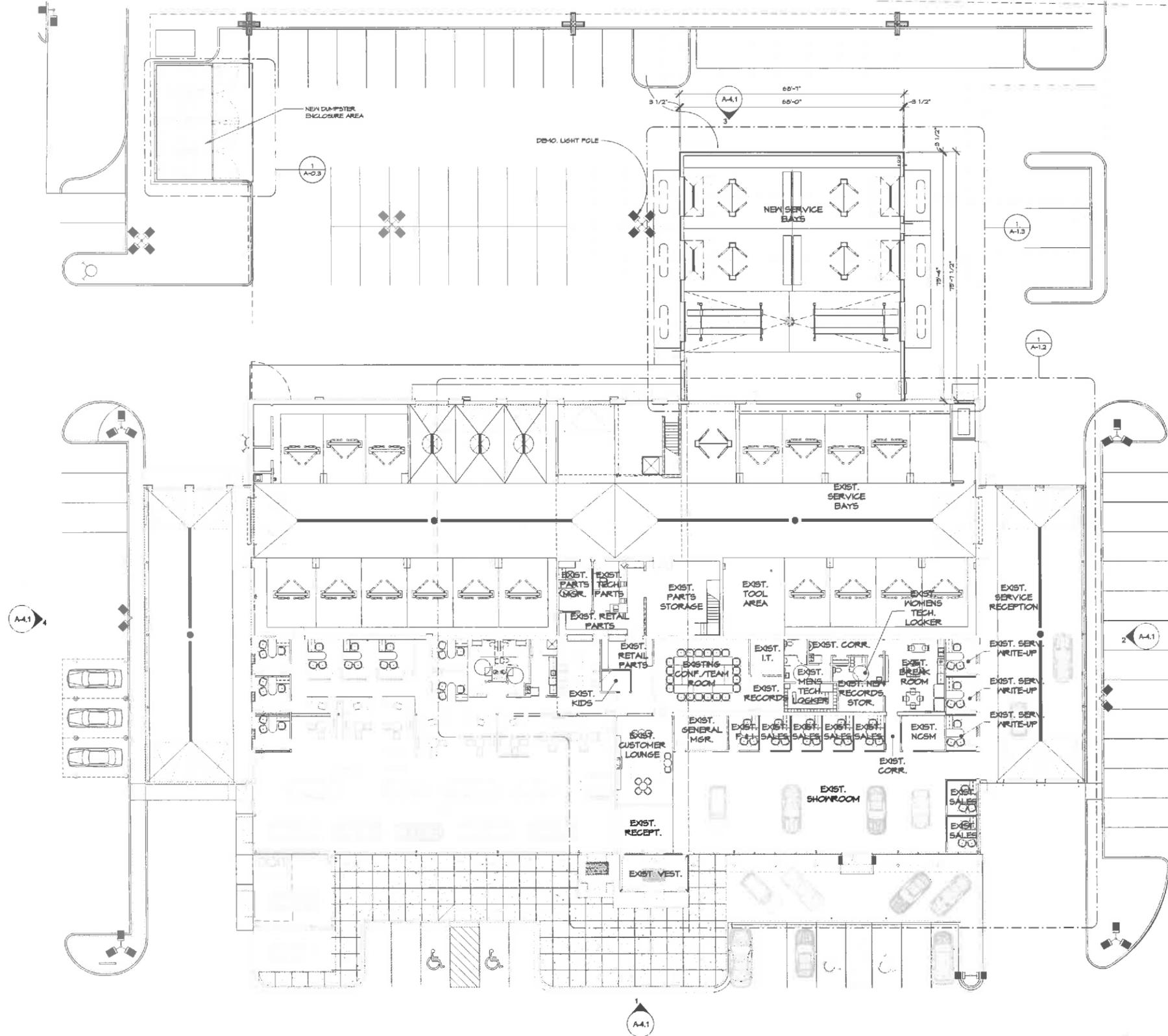
PROPOSED EXISTING BUILDING ALTERATIONS FOR:
BERGSTROM MERCEDES
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date: 01/11/2016
 job: 15-068
 d by: LCP
 rev.: _____

D-1.1



2 EXISTING MEZZANINE PLAN
A-1.1 1/16" = 1'-0"



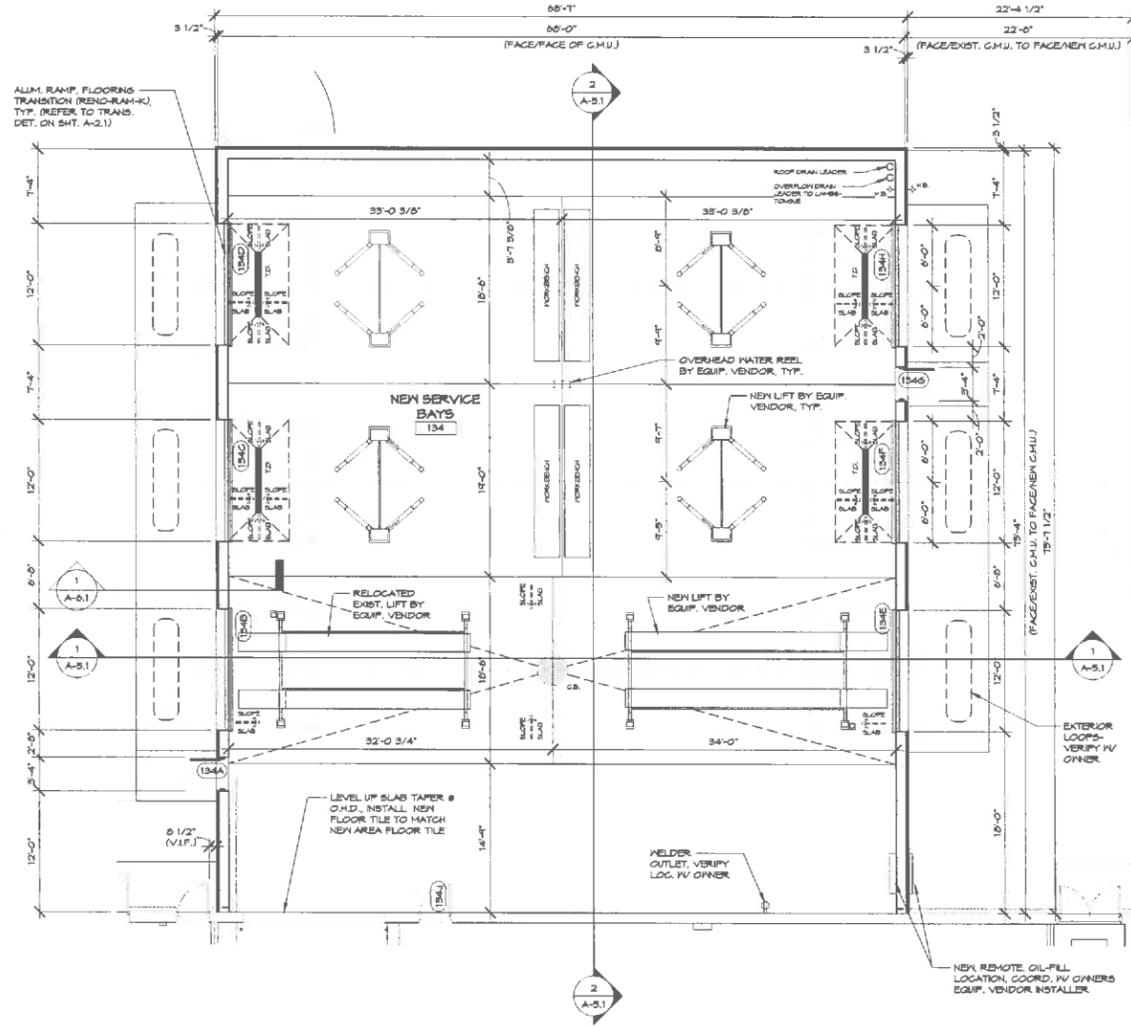
1 FIRST FLOOR PLAN - OVERALL
A-1.1 1/16" = 1'-0"



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APPLETON, WISCONSIN

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rev: -

A-1.1



1 FIRST FLOOR PLAN- AREA "B"- MERCEDES
A-1.3 1/8" = 1'-0"



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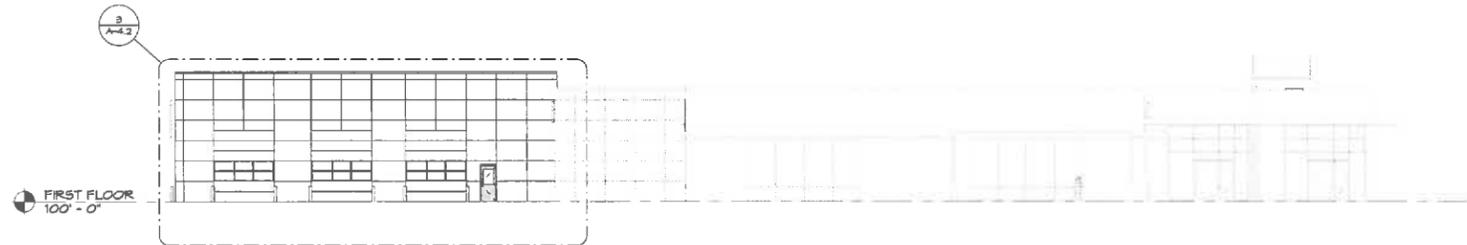
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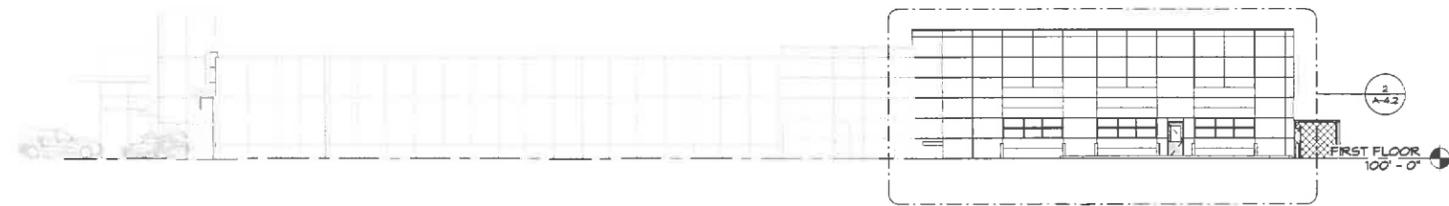
A-1.3



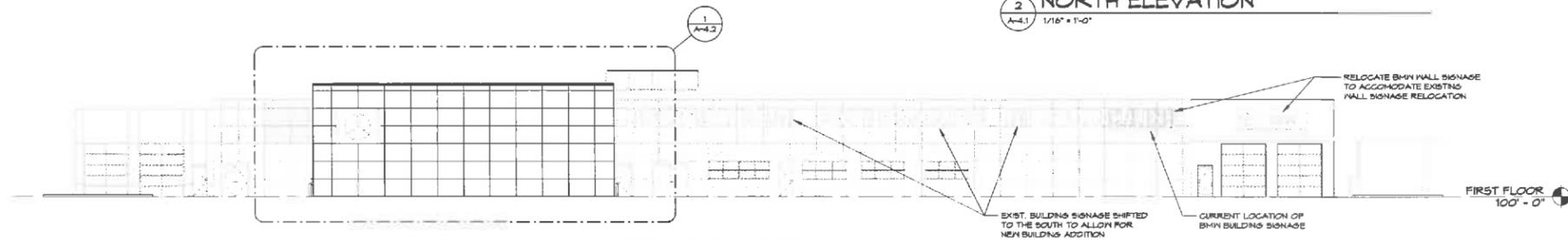
1 EAST ELEVATION
A-4.1 1/16" = 1'-0"



4 SOUTH ELEVATION
A-4.1 1/16" = 1'-0"



2 NORTH ELEVATION
A-4.1 1/16" = 1'-0"



3 WEST ELEVATION
A-4.1 1/16" = 1'-0"



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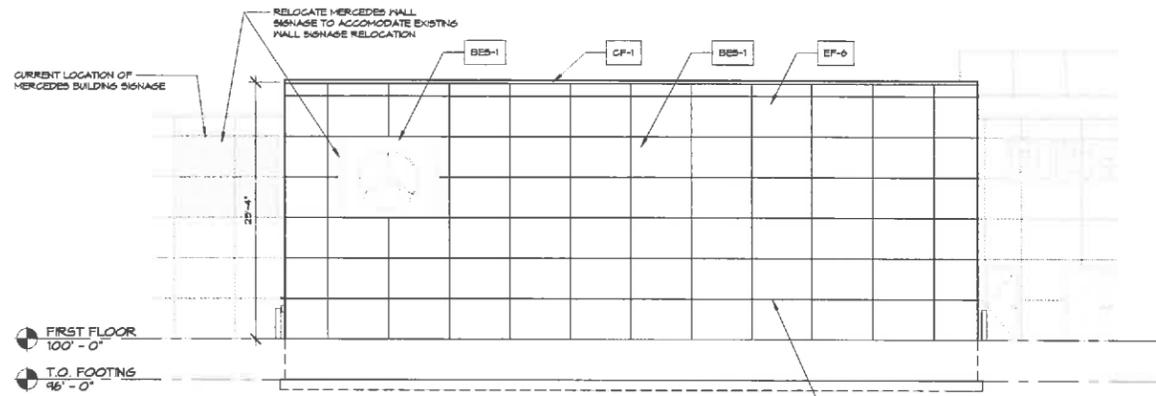


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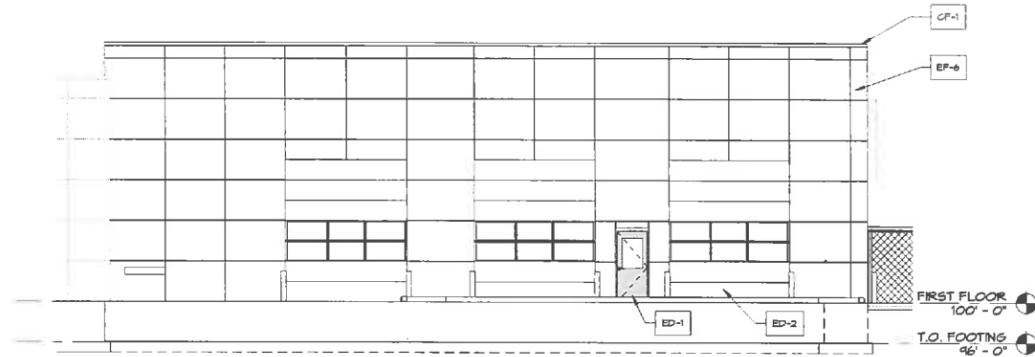
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d by: K.F., LCF
rev: _____

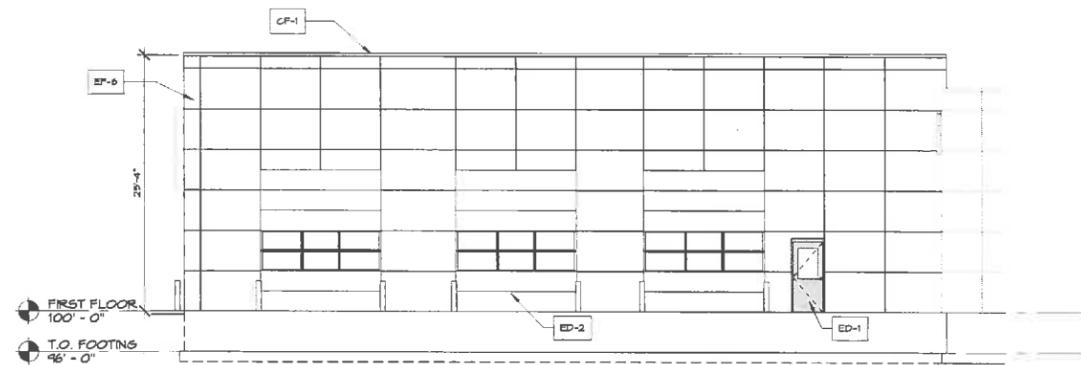
A-4.1



1 PARTIAL WEST ELEVATION - SERVICE ADDITION
A-4.2 1/8" = 1'-0"

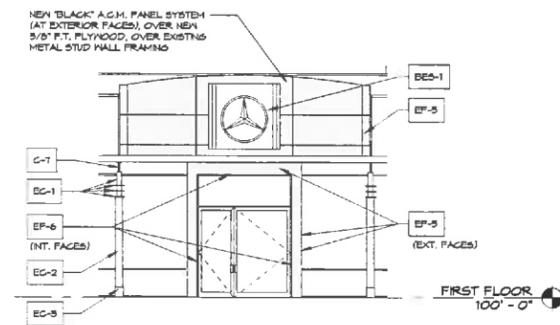


2 PARTIAL NORTH ELEVATION - SERVICE ADDITION
A-4.2 1/8" = 1'-0"



3 PARTIAL SOUTH ELEVATION - SERVICE ADDITION
A-4.2 1/8" = 1'-0"

EXTERIOR FINISH KEY NOTES			
KEY NOTE	MATERIAL SUMMARY	KEY NOTE	MATERIAL SUMMARY
EF-5	METAL PANEL (A.G.M.): MFR: ALPOLC COLOR: BLK-BLACK, 4-BLK-20, SOLID BLACK SYSTEM/TYPE - DRY JOINT SYSTEM (RAIN-SCREEN)	EP-1	STEEL DOOR INSUL. IV GLAZING- PAINTED; MANUFACTURER: T.B.D. STYLE: STAINLESS STEEL DOOR & FRAME, REFER TO DOOR SCHEDULE & ELEVATIONS GLAZING: IV INTERNAL VISION PANEL (1" INSUL. GLAZING), REFER TO DOOR SCHEDULE & ELEVATIONS
EF-6	METAL PANEL (A.G.M.): MFR: ALPOLC COLOR: RVW-WHITE, 4-RVW-045, SOLID WHITE SYSTEM/TYPE - DRY JOINT SYSTEM (RAIN-SCREEN)	ED-2	OVERHEAD DOOR INSUL.-PREFINISHED; MANUFACTURER: OVERHEAD DOOR COMPANY OR EQUAL STYLE: REFER TO DOOR SCHEDULE & ELEVATIONS GLAZING: (2) ROPS, INSUL., CLEAR, INSULATED GLAZING PAINT COLOR: WHITE (PRE-FINISHED)
EC-1	EXISTING STEEL DECORATIVE-STRUCTURAL COLUMNS: MFR: MATTHEWS PAINT COLOR: RHP 49154, SATIN, LOW V.O.C., "SILVER METALLIC" NOTE - PREPARE ALL EXISTING SURFACES TO RECEIVE PAINT PER MFR. RECOMMENDATIONS LOCATION: CAPITAL TUBE, TOP PLATE, & TRIPLE RINGS	CF-1	ALUMINUM GAP FLASH SYSTEM (WALL GOPIES): MFR: REFER TO SPEC. FINISH/COLOR: FINISH & COLOR TO MATCH A.C.M. COLOR. LOCATION: AT ALL EXTERIOR WALL LOCATIONS.
EC-2	EXISTING STEEL DECORATIVE-STRUCTURAL COLUMNS: MFR: MATTHEWS PAINT COLOR: PSVOG 423, "BLACK 60%" NOTE - PREPARE ALL EXISTING SURFACES TO RECEIVE PAINT PER MFR. RECOMMENDATIONS LOCATION: MAIN BODY TUBE & BASE PLATE	BES-1	BUILDING EXTERIOR SIGNAGE (EXIST.-REPAIRED): MANUFACTURER: BY DEALERS SELECTED MFR./INSTALLER. STYLE/TYPE: VARES, REFER TO EXTERIOR ELEVATIONS POWER REQUIREMENTS: POWER IS REQUIRED, REFER TO ELECTRICAL DRAWINGS NOTE: CONTRACTOR TO PROVIDE REQUIRED BLOCKING (BLOCKING TO BE PAINTED, WHERE EXPOSED, TO MATCH WALL PANEL COLOR)
EC-3	EXISTING STEEL DECORATIVE-STRUCTURAL COLUMNS: EXISTING STAINLESS STEEL COLUMN BASE COVERS, TO REMAIN REPAIR/REPLACE ANY DAMAGED, S.C. FIELD VERIFY WITH OWNER.	FB-1	PIPE BOLLARD (PAINTED): BOLLARD: STL. CONC. FILLED, REFER TO PLANS, NOTES, & DETAILS PAINT COLOR: MATCH EXIST. BUILDING BOLLARD COLOR.
C-1	STEEL STRUCTURE-PAINT: MFR: MATTHEWS PAINT COLOR: RHP 10249, LRV 15.3, "DARK PEXTER METALLIC" NOTE - PREPARE ALL EXISTING SURFACES TO RECEIVE PAINT PER MFR. RECOMMENDATIONS		



4 PARTIAL EAST ELEV. @ EXIST. PORTAL & SIGN FACADE
A-4.2 1/8" = 1'-0"

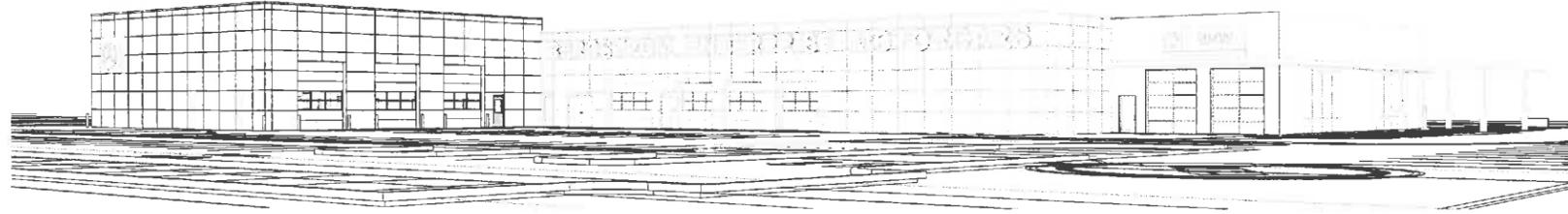


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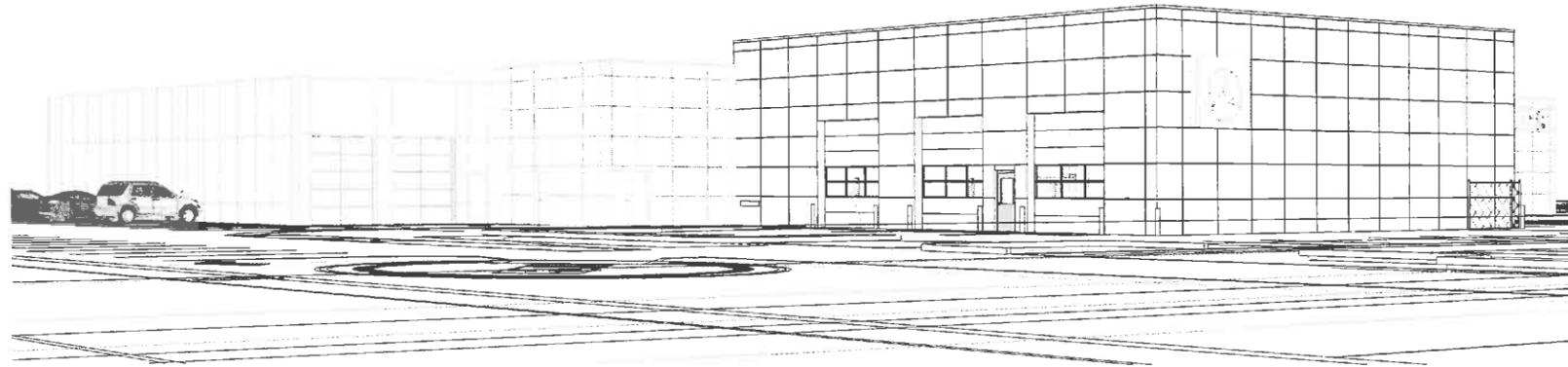
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date: 01/11/2016
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A-4.2



3D VIEW @ SOUTHWEST CORNER



3D VIEW @ NORTHWEST CORNER

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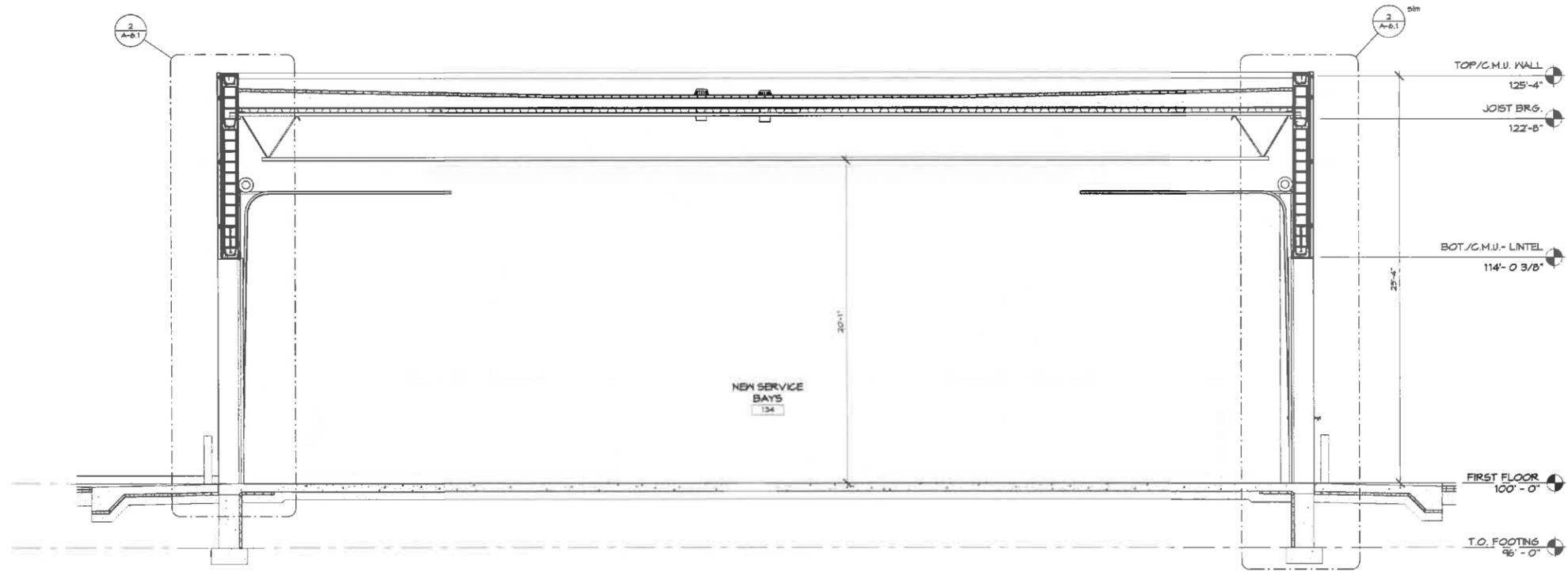
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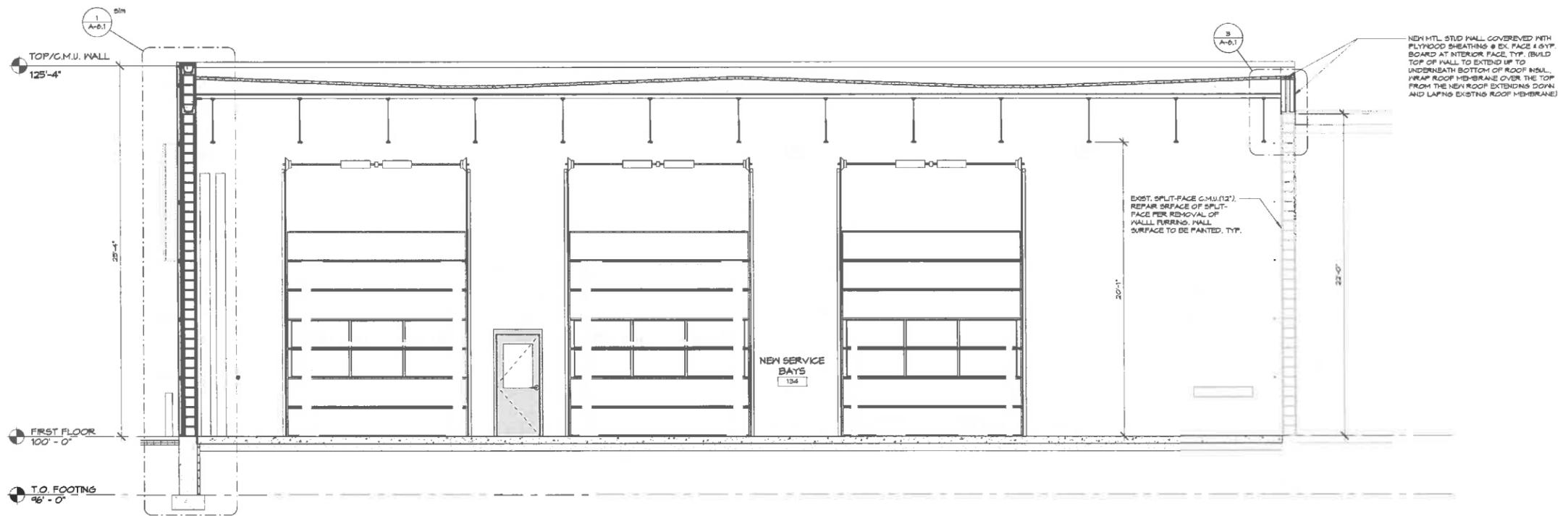
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rev.:

A-4.3



1 BUILDING SECTION-1
A-5.1 1/4" = 1'-0"



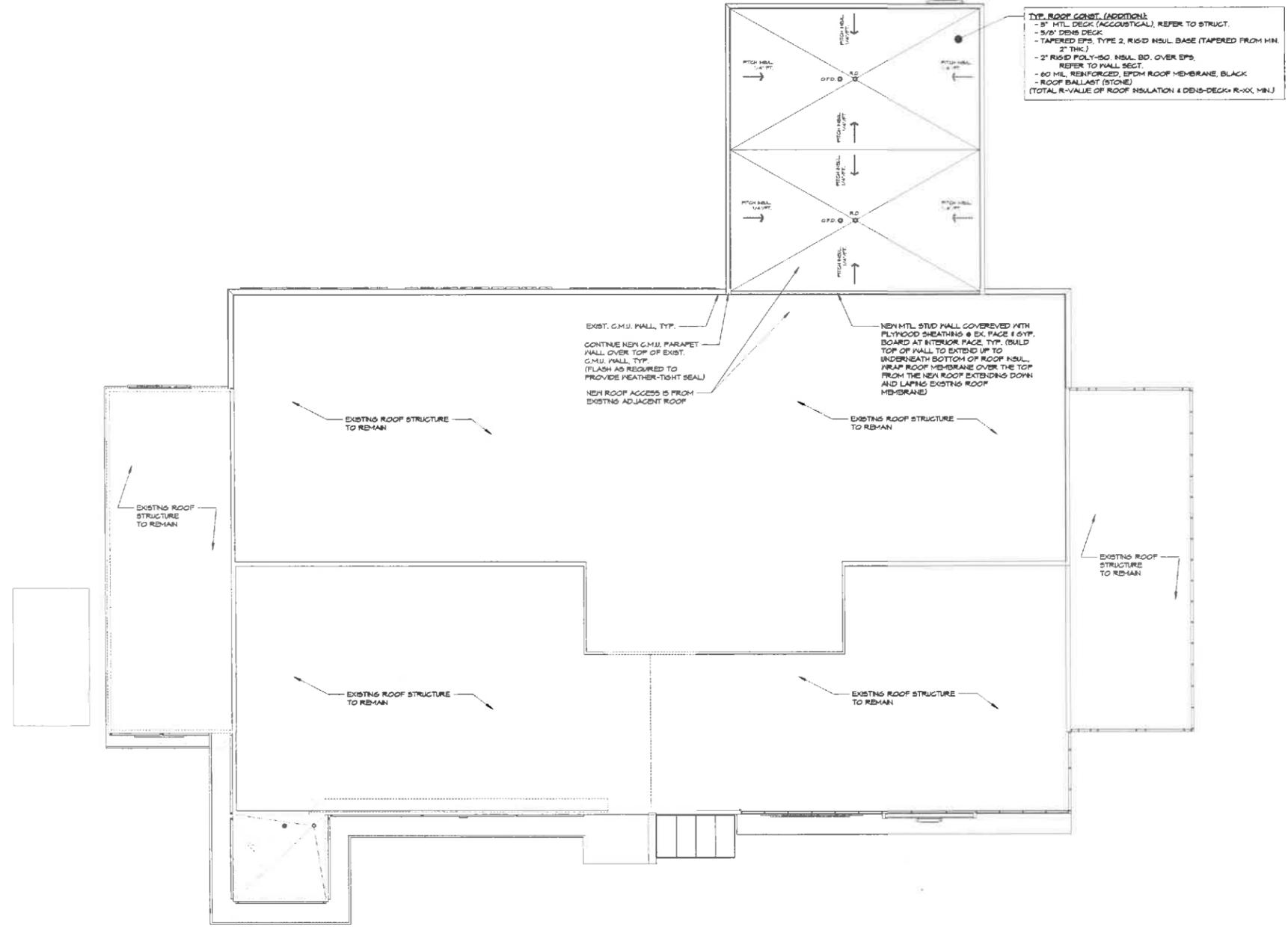
2 BUILDING SECTION-2
A-5.1 1/4" = 1'-0"



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A-5.1



1 ROOF PLAN- OVERALL
A-8.1 1/8" = 1'-0"



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date:	01/11/2016
job:	15-068
d. by:	LCF
rev.:	

A-8.1

**Town of Grand Chute
Site Plan Amendment Review
Baylake Corp, dba Baylake Bank**

To: Plan Commission

From: Michael Patza, Town Planner

Date: January 28, 2016

Address: 333 S. Nicolet Road

App. #: SPA1-00-04

A. REQUEST

1. **Proposed Use(s):** Continued retail bank use
2. **Project Description:** Entry portal addition and interior renovations
3. **Plat/CSM Accurate parcel lines/lot recorded:** Yes.

B. ANALYSIS

Applicant seeks approval for an addition to the entry portal for their retail bank located at 333 S. Nicolet Road. The east building elevation will be significantly modified with the addition of a vertical column above the new entry portal. However, no usable square footage will be added to the building. Additional interior renovations will also be incorporated into this project. There will be no changes to parking, site landscaping, or signage on the property. All code requirements are met with this request.

C. RECOMMENDATION

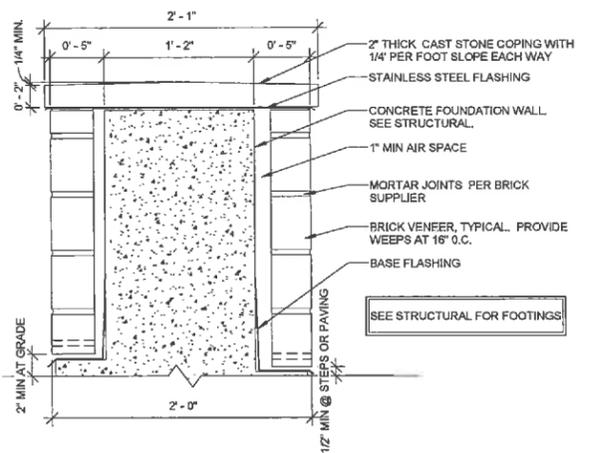
Staff has reviewed and supports Plan Commission approval of the Site Plan Amendment (SPA1-00-04) requested by Baylake Corp, dba Baylake Bank, 333 S. Nicolet Road for an entry portal addition.

SPA1- 00 - 04

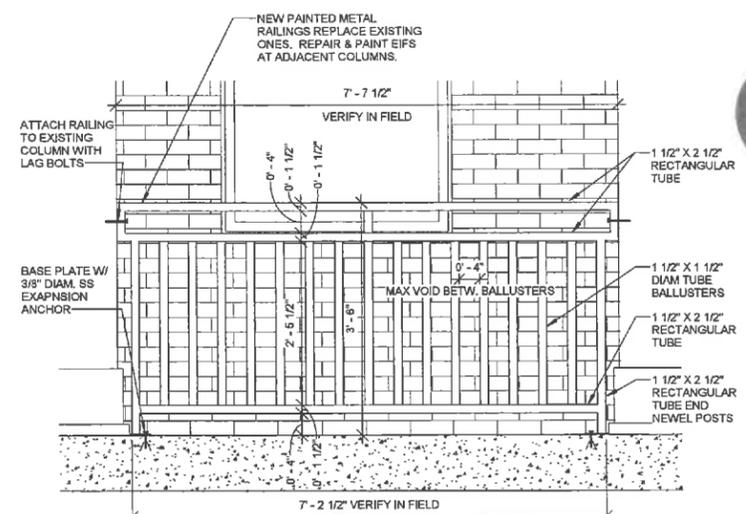
333 S. Nicolet Road



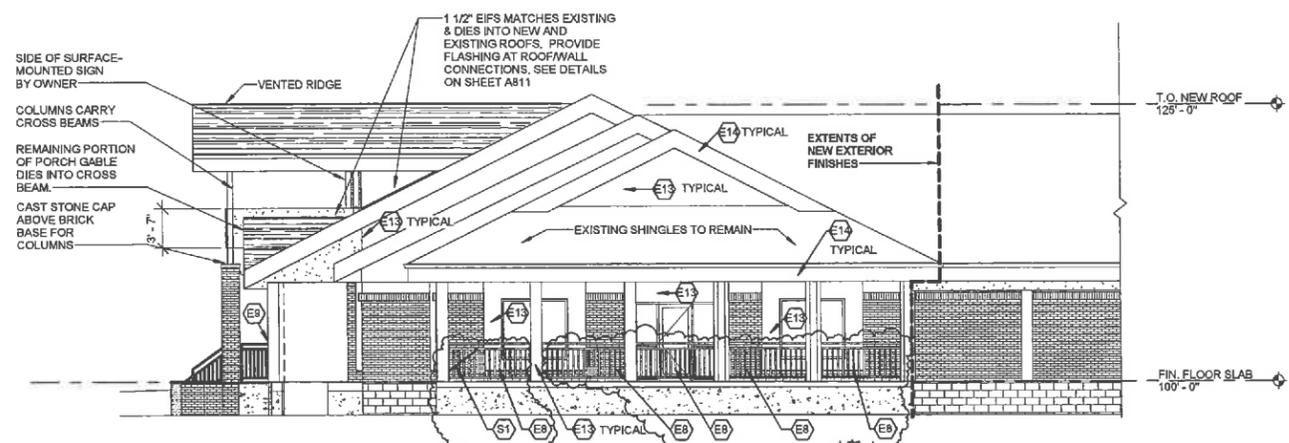
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5 BRICK VENEER AT STEPS
A391 1/2" = 1'-0"

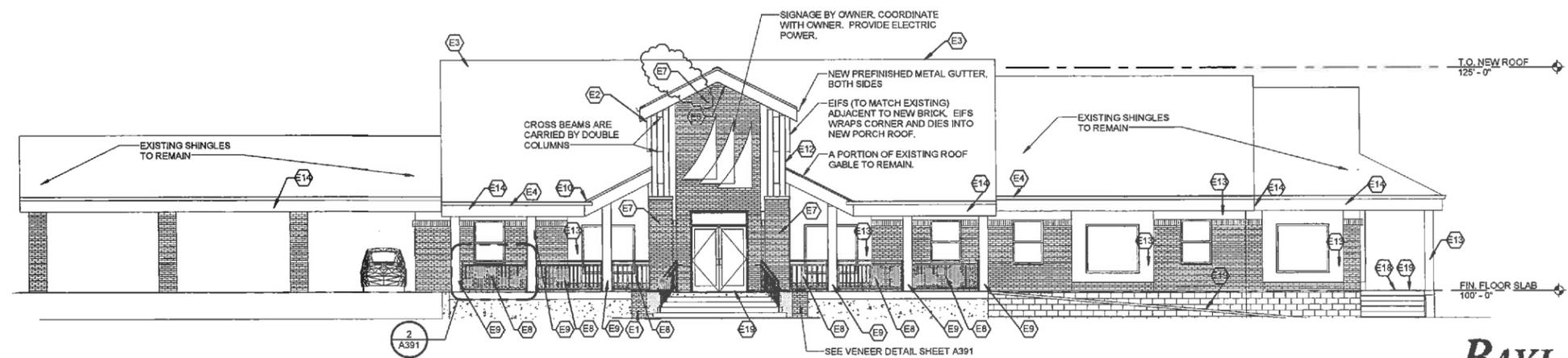


2 ENLARGED RAILING DETAIL
A391 3/4" = 1'-0"



NORTH ELEVATION
1/8" = 1'-0"

EXTERIOR MATERIALS LEGEND	
E1	BRICK VENEER WITH CAST STONE CAP. SEE DETAIL ON SHEET A391.
E2	CROSS BEAMS ARE FINISHED IN EIFS TO MATCH EXISTING WITH MATCHING METAL COPING ON TOP SURFACE.
E3	REPLACE FIBERGLASS SHINGLES ON THIS ROOF SURFACE. REPLACE RIDGE CAP & RIDGE VENT. MATCH EXISTING.
E4	REPLACE PREFINISHED GUTTERS AND DOWNSPOUTS AT NEW SHINGLES. MATCH EXISTING.
E6	NEW CEDAR FASCIA & METAL SOFFIT. MATERIALS AND FINISHES SHALL MATCH EXISTING.
E7	BRICK VENEER TO MATCH EXISTING.
E8	NEW GUARDRAILS TO MEET ADA GUIDELINES. SEE 2/A391.
E9	EXISTING COLUMN TO REMAIN. PATCH STUCCO AND REFINISH TO MATCH EXISTING.
E10	PATCH EXISTING SOFFIT AND FASCIA. PAINT TO MATCH EXISTING.
E12	METAL TUBE COLUMN. PAINT.
E13	ALL EXISTING EIFS SHALL BE REPAINTED. REPAIR CRACKS & SEALANT AS REQUIRED PRIOR TO APPLYING FINISH COAT. TYPICAL.
E14	RESTAIN ALL CEDAR TRIM. TYPICAL.
E18	
E19	REPLACE PORCH PAVERS WHERE NOTED ON PLAN. SEE SHEET A211.
S1	REMOVE EXISTING RAILING AT STEPS & REPLACE WITH PAINTED METAL HAND RAILING WITH 1'-0" EXTENSIONS COMPLYING WITH A.D.A. REGULATIONS.



EAST ELEVATION
1/8" = 1'-0"



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NO.	DATE	REVISION
1	10/28/2015	ADDENDUM 1
2	11/02/2015	ADDENDUM 2

DESIGNED	DRAWN
MJM	SGK

PROJECT NO.
M0018-840122

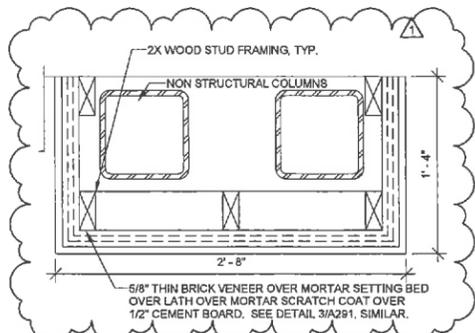
DATE
NOV. 6, 2015

SHEET NO.
A391

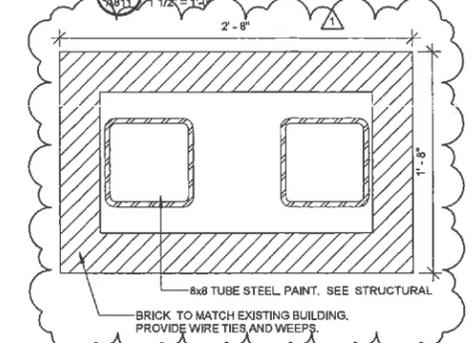
RENOVATION FOR:
BAYLAKE BANK
333 S. NICOLET RD. APPLETON, WI 54914

EXTERIOR ELEVATIONS

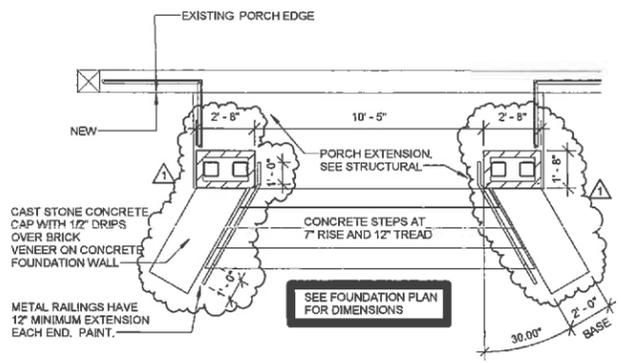




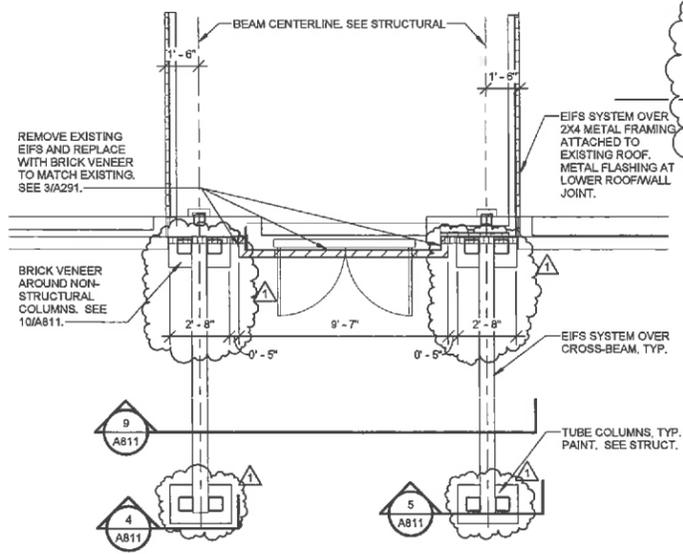
10 BRICK PILASTER



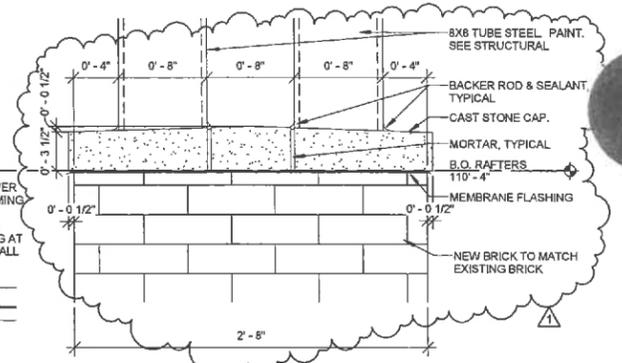
1 COLUMN WRAP - PLAN



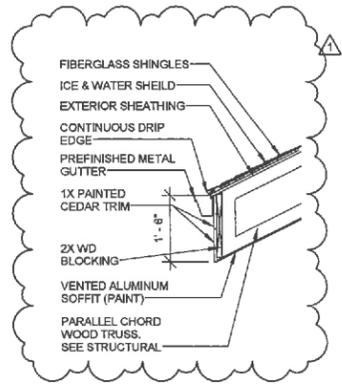
2 EXTERIOR STEPS PLAN



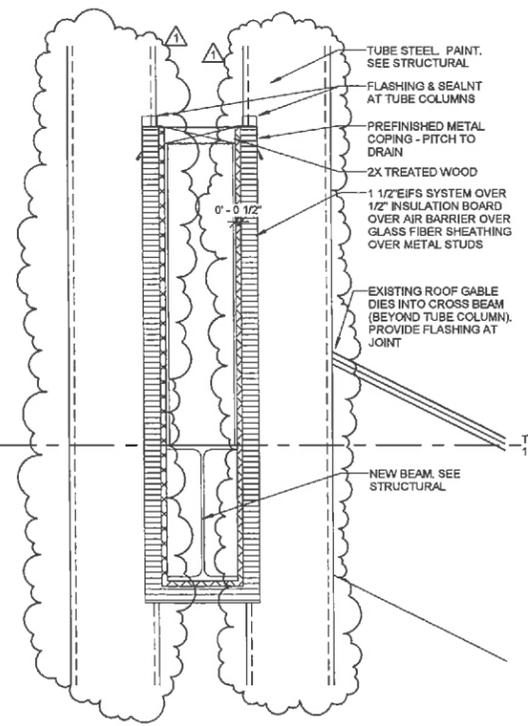
3 PLAN - UPPER PORCH WALLS



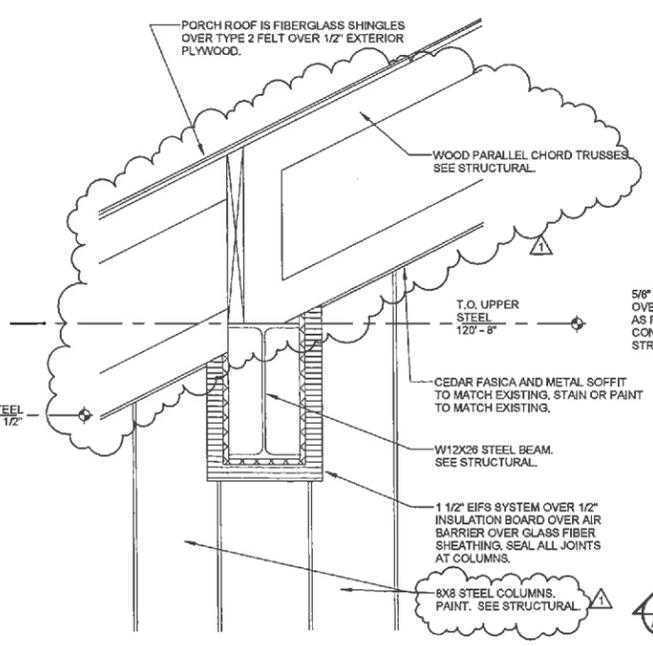
4 COL. SECT AT CAP



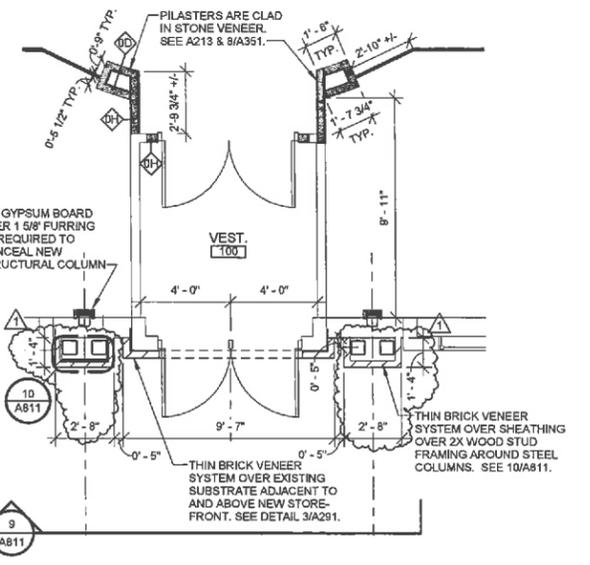
8 PORCH SOFFIT DETAIL



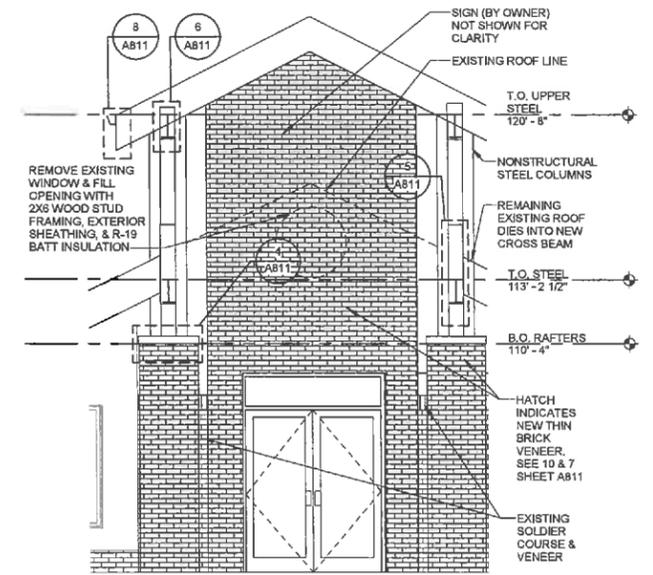
5 COLUMN-BEAM CONNECTION



6 COL-BEAM-ROOF DETAIL



7 ENLARGED VESTIBULE/PORCH PLAN



9 PORCH SECTION



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www.mcmahonpe.com

DATE	10/28/2015	ADDENDUM 1
NO.	1	

RENOVATION FOR:
BAYLAKE BANK
333 S. NICOLET RD. APPLETON, WI 54914

EXTERIOR DETAILS

DESIGNED	DRAWN
Author	Author
PROJECT NO.	M0018-640122
DATE	NOV. 6, 2015
SHEET NO.	A811





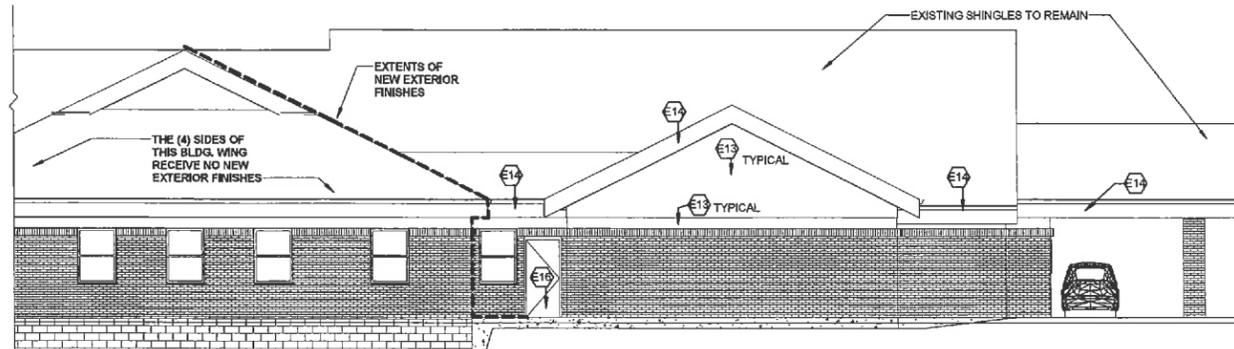
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EXTERIOR MATERIALS LEGEND

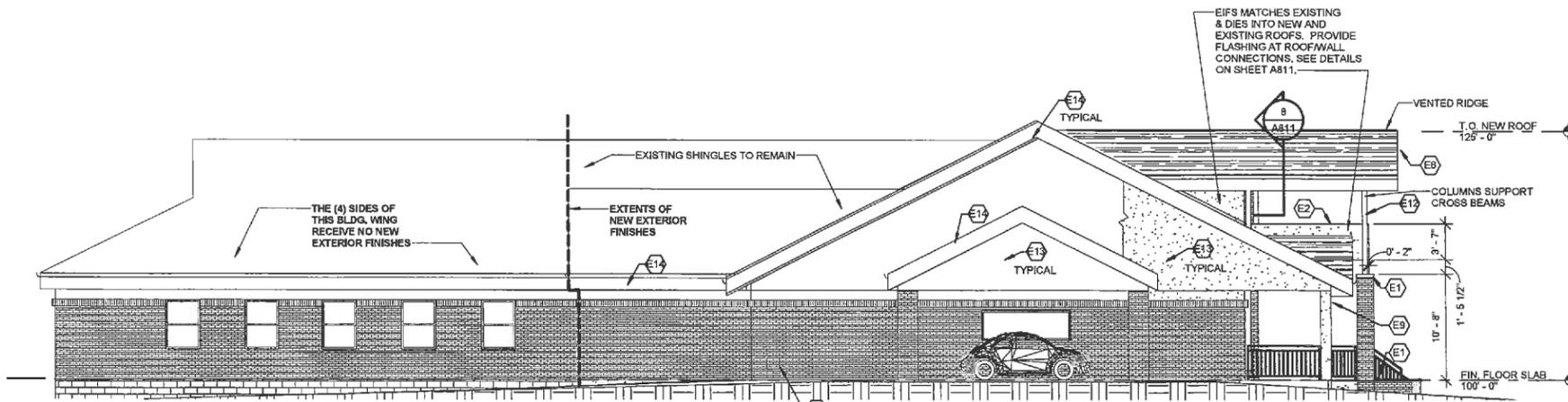
E1	BRICK VENEER WITH CAST STONE CAP. SEE DETAIL ON SHEET A391.
E2	CROSS BEAMS ARE FINISHED IN EIFS TO MATCH EXISTING WITH MATCHING METAL COPING ON TOP SURFACE.
E6	NEW CEDAR FASICA & METAL SOFFIT. MATERIALS AND FINISHES SHALL MATCH EXISTING.
E9	EXISTING COLUMN TO REMAIN. PATCH STUCCO AND REFINISH TO MATCH EXISTING.
E12	METAL TUBE COLUMN. PAINT.
E13	ALL EXISTING EIFS SHALL BE REPAINTED, REPAIR CRACKS & SEALANT AS REQUIRED PRIOR TO APPLYING FINISH COAT, TYPICAL.
E14	RESTAIN ALL CEDAR TRIM, TYPICAL.
E16	EXISTING DOOR & FRAME TO REMAIN. PAINT.
E20	PATCH EXTERIOR BRICK AND SUBSTRATE AS REQUIRED WHERE BANK EQUIPMENT WAS REMOVED FROM WALL.

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WEST ELEVATION

1/8" = 1'-0"



SOUTH ELEVATION

1/8" = 1'-0"

RENOVATION FOR:
333 S. NICOLET RD. APPLETON, WI 54914

BAYLAKE BANK

EXTERIOR ELEVATIONS

DESIGNED: MJM DRAWN: SGK

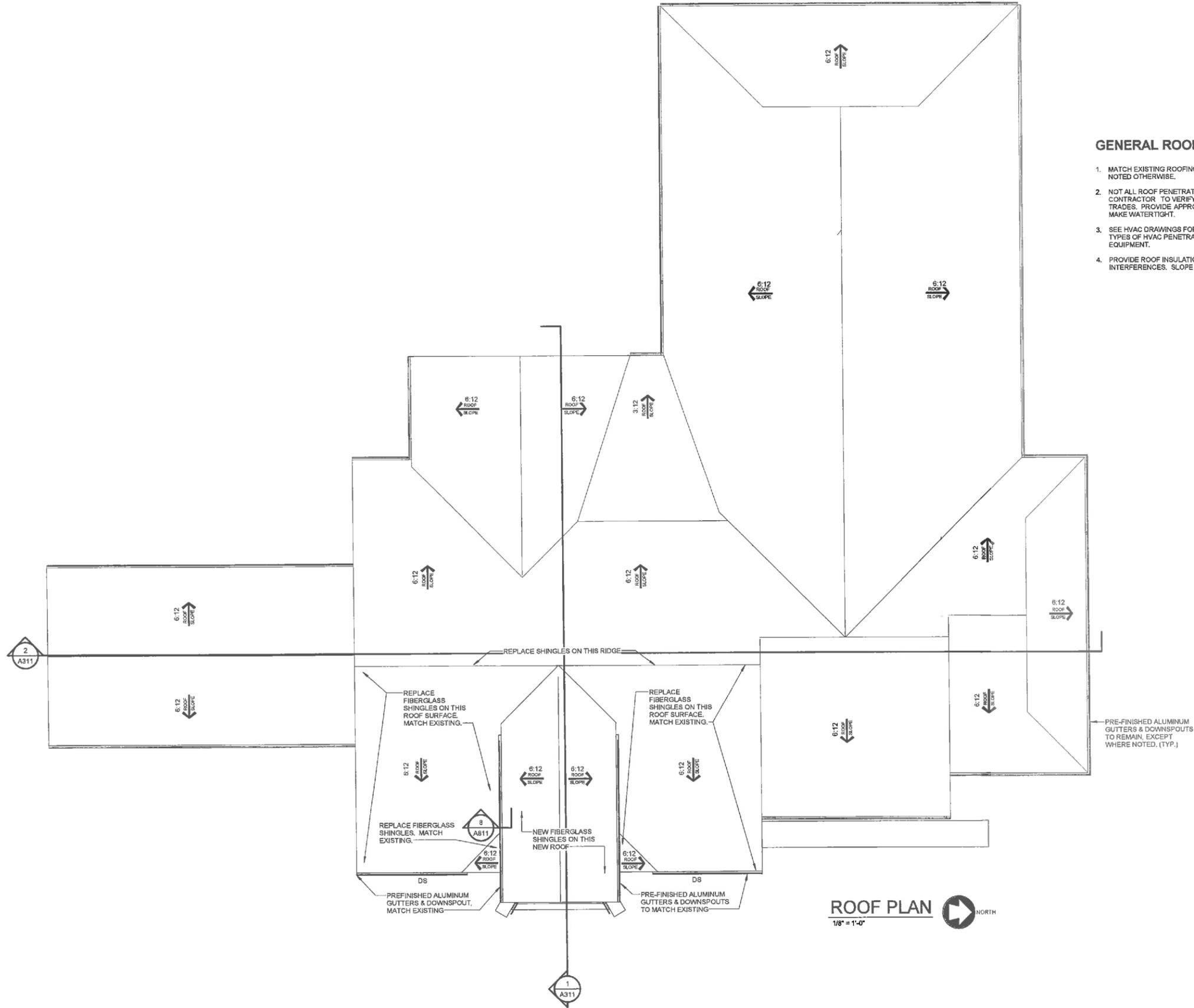
PROJECT NO. M0018-640122

DATE NOV. 6, 2015

SHEET NO.

A392





ROOF PLAN  NORTH
1/8" = 1'-0"

GENERAL ROOF PLAN NOTES

1. MATCH EXISTING ROOFING MATERIALS AND COLORS, UNLESS NOTED OTHERWISE.
2. NOT ALL ROOF PENETRATIONS INDICATED. ROOFING CONTRACTOR TO VERIFY PENETRATIONS WITH ALL BUILDING TRADES. PROVIDE APPROPRIATE FLASHING AS REQUIRED TO MAKE WATER TIGHT.
3. SEE HVAC DRAWINGS FOR SIZES, QUANTITIES LOCATIONS AND TYPES OF HVAC PENETRATIONS AND ROOF TOP MOUNTED EQUIPMENT.
4. PROVIDE ROOF INSULATION SADDLES AT ANY ROOF INTERFERENCES. SLOPE ON SADDLE TO BE 1/2" PER FOOT.



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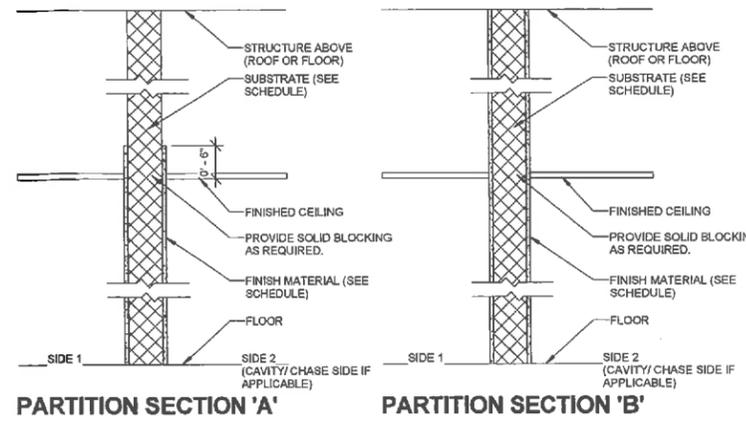
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NO.	DATE	REVISION

RENOVATION FOR:
BAYLAKE BANK 333 S. NICOLET RD. APPLETON, WI 54914
ROOF PLAN

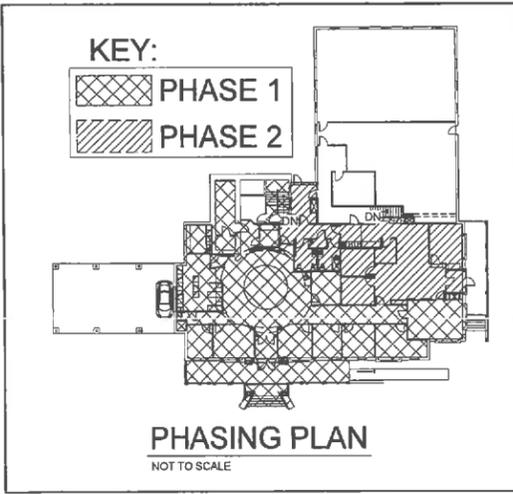
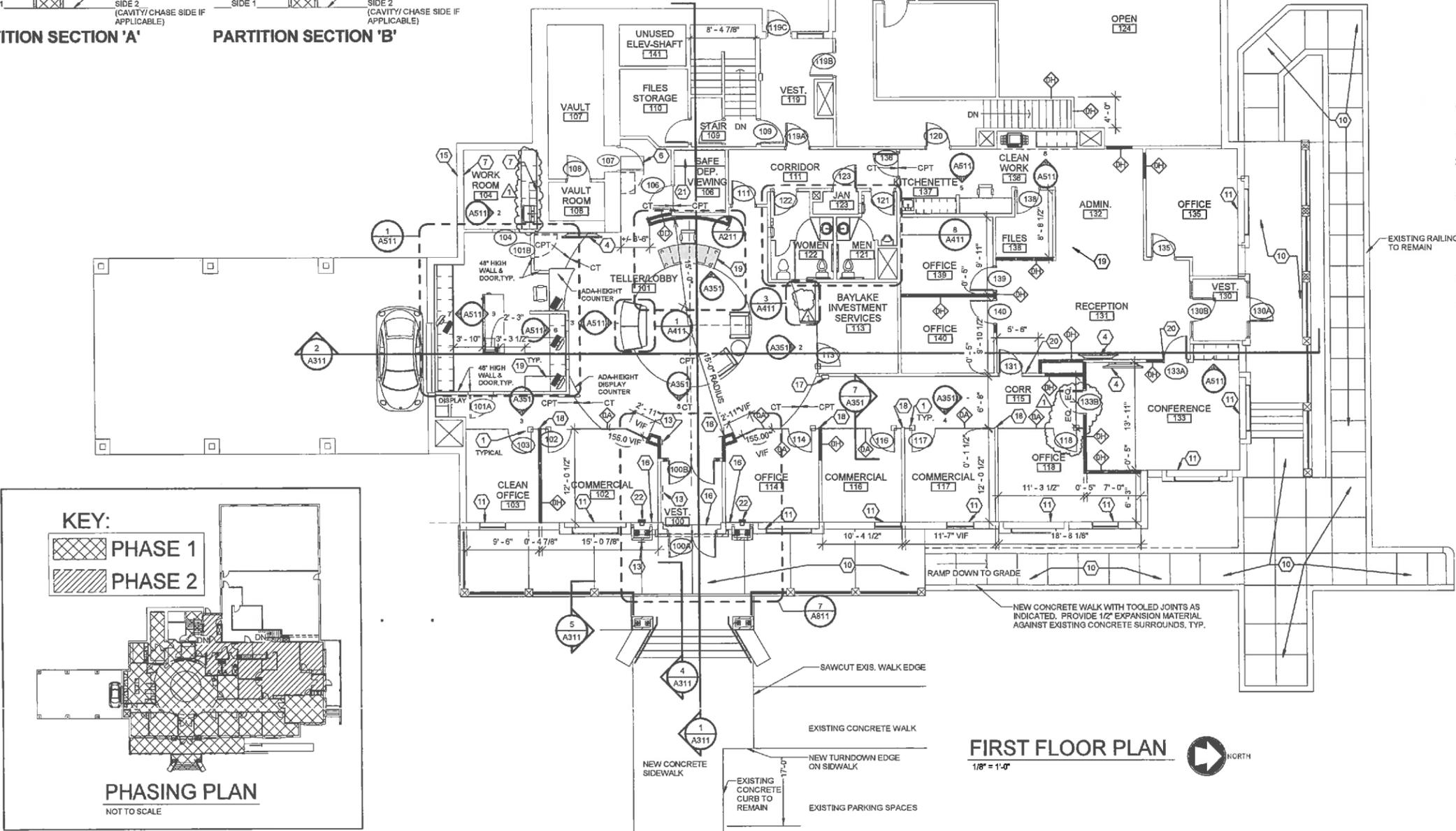
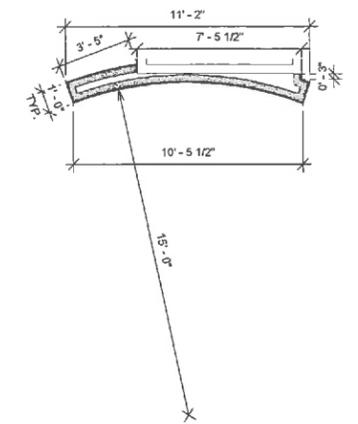
DESIGNED MJM	DRAWN SGK
PROJECT NO. M0013-640122	
DATE NOV. 6, 2015	
SHEET NO. A231	

WALL TYPE SCHEDULE											
MARK	WIDTH	SUBSTRATE MAT.	FINISH SIDE 1 MAT.	FINISH SIDE 1 THICKNESS	FINISH SIDE 2 MAT.	FINISH SIDE 2 THICKNESS	PARTITION SECTION	CAVITY INSULATION	FIRE RATING	U.L. DESIGN NO.	Comments
0A											1/2" TEMPERED GLASS. SEE SHEET A351
0D	4 1/4"	MS	GYP	5/8"			A	SOUND BATT			
0H	4 7/8"	MS	GYP								



SCHEDULE KEY

GYP GYPSUM WALL BOARD REFER TO NOTES FOR TYPE.
 CMU CONCRETE MASONRY UNIT
 MS METAL STUD



GENERAL PLAN NOTES

- DO NOT SCALE FROM DRAWINGS. BRING ANY DISCREPANCIES TO ARCHITECTS' ATTENTION IMMEDIATELY.
- GENERAL CONTRACTOR SHALL COORDINATE LOCATION & QUANTITY OF WORK WITH MECHANICAL, ELECTRICAL, AND PLUMBING CONTRACTORS. G.C. IS ULTIMATELY RESPONSIBLE FOR ALL PATCHING.
- ALL DIMENSIONS ARE CLEAR FROM THE FACE OF FINISHED WALL/PARTITION TO FACE OF EXISTING WALL'S ACTUAL FACE.
- ALL PIPING, CONDUIT, AND RELATED MECHANICAL AND ELECTRICAL ITEMS SHALL BE CONCEALED WITHIN GYPSUM BOARD FURRING AS REQUIRED IN FINISH AREAS WHETHER SHOWN ON DRAWINGS OR NOT, UNLESS NOTED OTHERWISE.
- ACOUSTICAL INSULATION TO BE PROVIDED AT ALL WALL PARTITIONS UNLESS NOTED OTHERWISE.
- PROVIDE METAL PLATE BACKING AND/OR TREATED WOOD BLOCKING IN WALLS WHERE WALL-MOUNTED EQUIPMENT IS SHOWN ON PLANS AND ELEVATIONS. VERIFY HEIGHT AND LENGTH WITH ACTUAL EQUIPMENT.
- SEE SHEET A011 FOR LIFE SAFETY PLAN AND FIRE PARTITION RATINGS.

KEY NOTES

- REMOVE CONCRETE AT GLASS DOOR PIVOT POINT. REINSTALL CONCRETE PER 4/A351.
- VIDEO MONITOR BY OTHERS. PROVIDE ELECTRICAL & DATA CONNECTIONS.
- EXISTING VAULT DOOR TO REMAIN.
- REPAIR GYPSUM BOARD FINISH TO MATCH EXISTING WHERE ITEMS WERE DEMOLISHED.
- REPLACE PAVERS & PAVEMENT SURROUNDS IN THIS AREA WITH CONCRETE. TYPICALLY 3" OF THE EXISTING 12" CONCRETE SURROUND WILL BE REMOVED AND REPLACED VIA SAWCUTS. AREAS DAMAGED BEYOND 3" SAWCUT TO BE PATCHED. VERIFY EXTENTS IN FIELD. SEE DEMO DRAWING ALSO. PROVIDE PICTURE FRAME TOOLED JOINTS WITH BROOM FINISH.
- PROVIDE DRYWALL RETURNS AT HEAD & JAMB. PROVIDE NEW LAMINATE SILL PL-1. PAINT WINDOW FRAMES P1.
- A.D.A. DOOR BUTTON LOCATION ON WALL. CENTER AT 36" A.F.F. PATCH EXTERIOR BRICK AND SUBSTRATE AS REQUIRED WHERE BANK EQUIPMENT WAS REMOVED FROM WALL.
- REPLACE DELAMINATED CONCRETE TOPPING IN THE ENTRY LOBBY AREA (SEE DEMO SHEET). REPLACE WITH NEW CONCRETE TOPPING. FIELD INSPECT AND INSULATE PRECAST CORE ENDS ALONG EAST WALL IF THE CORE ENDS ARE NOT ALREADY INSULATED.
- RELOCATE SALVAGED FIRE EXTINGUISHER CABINET HERE.
- WRAP WALL END IN 3/32 WALL CAP TO MATCH EXTRUDED METAL AT TOP & BOTTOM OF GLAZING.
- ALL CASEWORK AND FURNITURE IS BY OWNER AND IS SHOWN FOR SPATIAL REFERENCE ONLY.
- PROVIDE PUSHKEY ACCESS PAD & ELECTRIC STRIKE AT THIS DOOR.
- PROVIDE PLASTIC LAMINATE COUNTER, 24" DEEP AT 30" HIGH, WITH ONE LAMINATE-COVERED WOOD SUPPORT. SEE ROOM 104 DETAIL, SIMILAR.
- 5/8" GYPSUM BOARD OVER 1 5/8" FURRING AS REQUIRED TO CONCEAL NEW STRUCTURAL COLUMN.



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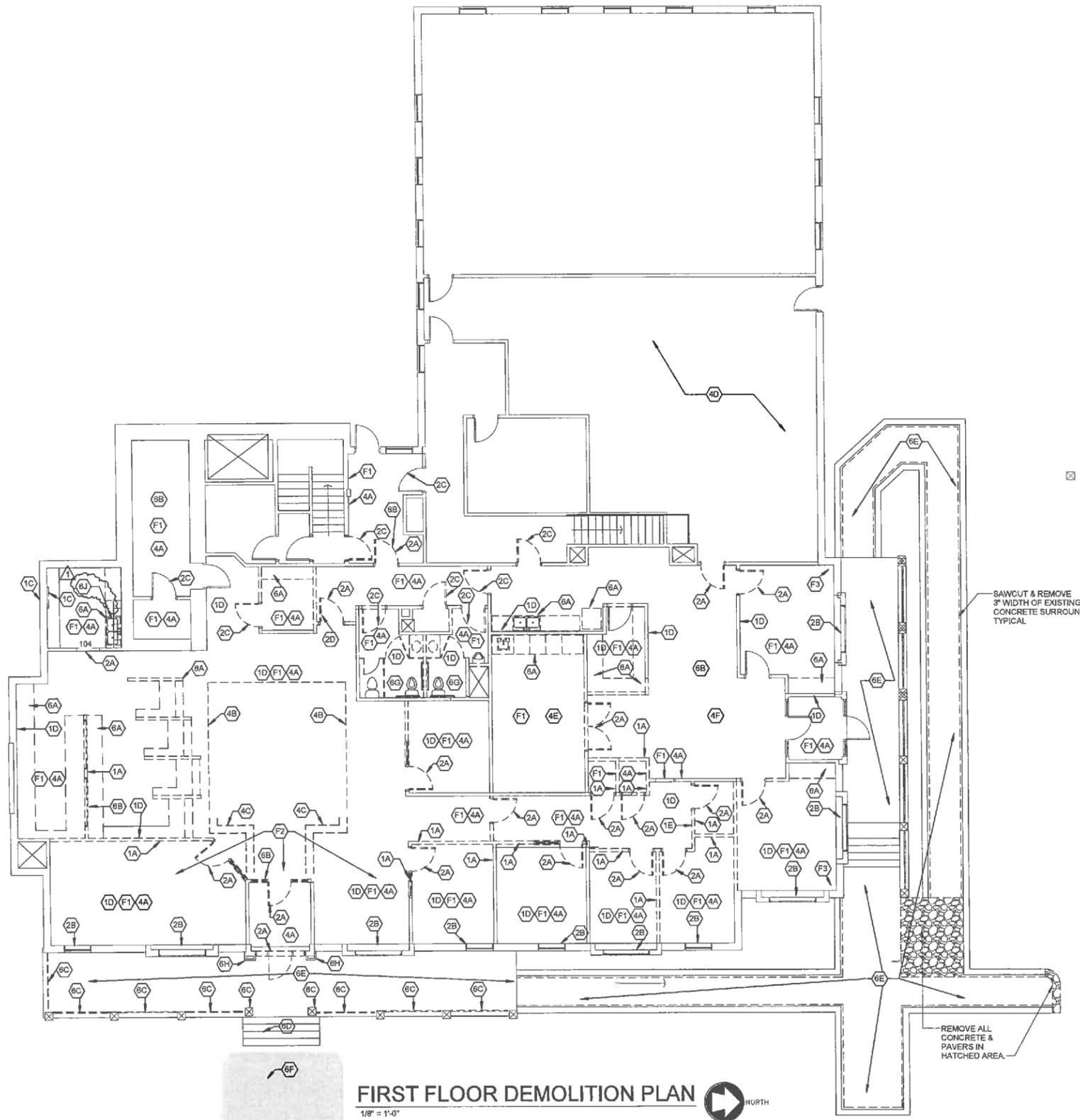
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NO.	DATE	DESCRIPTION
1	10/28/2015	ADDENDUM 1

RENOVATION FOR:
 BAYLAKE BANK 333 S. NICOLET RD. APPLETON, WI 54914
FIRST FLOOR PLAN & WALL TYPES

DESIGNED	DRAWN
MJM	SGK
PROJECT NO. M0018-640122	
DATE NOV. 6, 2015	
SHEET NO. A211	





FIRST FLOOR DEMOLITION PLAN
 1/8" = 1'-0"

GENERAL DEMOLITION NOTES

1. SEE PLUMBING, HVAC AND ELECTRICAL DRAWINGS FOR ADDITIONAL DEMOLITION NOTES. ALL DISCREPANCIES SHOULD BE REPORTED TO THE ARCHITECT.
2. EXISTING BUILDING HAS BEEN SHOWN ACCORDING TO ORIGINAL BUILDING PLANS, FIELD NOTES AND MEASUREMENTS. EXISTING CONDITIONS AND DIMENSIONS SHALL BE FIELD VERIFIED BY CONTRACTORS AND DISCREPANCIES REPORTED TO THE ARCHITECT.
3. EXISTING CONSTRUCTION TO REMAIN SHALL BE PROTECTED FROM DAMAGE DURING DEMOLITION AND CONSTRUCTION.
4. WHERE WALLS OR PARTITIONS ARE INDICATED TO BE REMOVED, REMOVE ENTIRE WALL OR PARTITIONS AS WELL AS DUCTS, PIPING, CONDUITS AND OTHER ELEMENTS IN OR ON THEM WHICH MAY OR MAY NOT BE SPECIFICALLY IDENTIFIED, UNLESS OTHERWISE NOTED. PATCH EXISTING ADJACENT CONSTRUCTION THAT IS TO REMAIN WHERE APPLICABLE. PATCH TO MATCH EXISTING CONSTRUCTION AND FINISH TO MATCH ADJACENT FINISHES. SEE SPECIFICATIONS FOR CONTRACTORS' RESPONSIBILITIES FOR CUTTING AND PATCHING.
5. EXISTING FINISHES TO BE REMOVED SHALL HAVE THE ORIGINAL SUBSTRATE PREPARED TO RECEIVE NEW FINISHES, AS NECESSARY.
6. ALL FIELD VERIFICATION FOR PLUMBING, MECHANICAL AND ELECTRICAL DEMOLITION IS THE CONTRACTORS' RESPONSIBILITY.
7. MAINTAIN AND PROTECT EXISTING UTILITY SERVICES TO REMAIN AND/OR TO BE OPERATIONAL DURING DEMOLITION AND CONSTRUCTION.
8. SCOPE OF DEMOLITION AND REMOVAL WORK SHALL NOT BE LIMITED BY THESE DRAWINGS BUT SHALL INCLUDE ANY AND ALL WORK NECESSARY TO FACILITATE NEW CONSTRUCTION.
9. PROVIDE DUST CONTROL BETWEEN CONSTRUCTION AREAS AND OCCUPIED AREAS AT ALL TIMES.
10. DEMOLITION WORK PERFORMED THAT IS NOT REQUIRED FOR NEW CONSTRUCTION IS TO BE REPLACED AT NO CHARGE TO THE OWNER.
11. ALL SHUTDOWNS OF MECHANICAL, SPRINKLER, FIRE ALARM AND/OR ELECTRICAL SYSTEMS SHALL BE COORDINATED WITH OWNER.
12. GENERAL CONTRACTOR TO COORDINATE ANY DEMOLITION WORK WITH NEW CONSTRUCTION AS SHOWN ON DRAWINGS, INCLUDING PATCHING. REPORT ANY CONFLICTS TO THE ARCHITECT BEFORE DEMOLITION WORK BEGINS.
13. CASEWORK - TURN OVER TO OWNER OR DEMOLISH AS DIRECTED BY OWNER.
14. REFER TO PLUMBING DRAWINGS FOR AREAS OF FLOOR CUTTING AND PATCHING.

DEMOLITION NOTES

WALL DEMOLITION NOTES

- 1A SITE CLEAR EXISTING STUD WALL & WALL BASE AS REQUIRED FOR NEW CONSTRUCTION.
- 1C SITE CLEAR EXISTING WALL CAP AND THROUGH-WALL BANK EQUIPMENT. PREPARE WALL FOR REPAIR OF GYPSUM BOARD AND REPLACEMENT EXTERIOR BRICK.
- 1D SITE CLEAR WALL COVERING IN THIS ROOM.
- 1E REMOVE EXISTING FIRE EXTINGUISHER CABINET. PROTECT & RETAIN FOR REINSTALLATION.

DOOR & WINDOW DEMOLITION NOTES

- 2A SITE CLEAR EXISTING DOOR, HARDWARE AND FRAME, INCLUDING BORROWED LIGHT, IF APPLICABLE.
- 2B SITE CLEAR EXISTING DECORATIVE TRIM AT WINDOW. SITE CLEAR WINDOW GRILLE.
- 2C REMOVE EXISTING DOOR AND HARDWARE. FRAME TO REMAIN.
- 2D SALVAGE EXISTING PUSH BUTTON LOCKSET AND RETURN TO OWNER.

FLOOR DEMOLITION NOTES

- F1 SITE CLEAR EXISTING FLOOR COVERING IN THIS SPACE AND PREP FLOOR FOR NEW COVERING.
- F2 FIELD VERIFY AND DEMO EXISTING DELAMINATED CONCRETE TOPPING. REPLACE TOPPING AS REQUIRED.
- F3 SITE CLEAR FLOOR-MOUNTED ELECTRICAL BOX, CAPPING LINES.

ROOF / CEILING DEMOLITION NOTES

- 4A SITE CLEAR EXISTING SUSPENDED CEILING GRID & TILE IN THIS SPACE.
- 4B SITE CLEAR EXISTING WOOD CROWN MOLDING.
- 4C SITE CLEAR A PORTION OF EXISTING 2-LEVEL SOFFIT. REFER TO SHEETS A211 & A611 FOR EXTENTS.
- 4D EXISTING CEILING TO REMAIN.
- 4E SITE CLEAR EXISTING LIGHTING FIXTURES & RELATED HARDWARE.
- 4F EXISTING CEILING TO REMAIN, REFER TO SHEET A611 FOR EXTENTS.

MISC. NOTES

- 6A SITE CLEAR EXISTING WOOD CABINETS & BUILT-INS. CAP PLUMBING & ELECTRICAL AS REQUIRED.
- 6B TYPICAL: REFER TO HVAC, ELECTRICAL, & PLUMBING SHEETS FOR SPECIFIC DIRECTION REGARDING SECURITY, SAFETY, DATA, AND OTHER DEMOLITION.
- 6C SITE CLEAR DESIGNATED EXTERIOR COLUMNS AND DESIGNATED RAILINGS.
- 6D SITE CLEAR EXISTING MASONRY STEPS.
- 6E SITE CLEAR EXISTING PAVERS & DAMAGED CONCRETE PAVES SURROUNDS IN THIS AREA AND PREPARE SURFACE FOR NEW CONCRETE. TYPICALLY 3" OF THE 12" WIDE CONCRETE SURROUND SHALL BE SAWCUT & REMOVED, EXCEPT WHERE NOTED ON PLAN.
- 6F SITE CLEAR EXISTING PAVERS AND EXISTING CONCRETE WALKS IN THIS SHADED AREA. SAWCUT EXISTING WALKS AS REQUIRED FOR NEW CONCRETE WALKS.
- 6G SITE CLEAR PLUMBING FIXTURES, TOILET PARTITIONS AND LAVATORY/COUNTER IN THIS ROOM AND PREPARE FOR SIMILAR REPLACEMENTS. PROTECT & RETAIN ALL RESTROOM ACCESSORIES AND ADA GRAB BARS FOR REUSE. ADD 16" VERTICAL GRAB BAR. REFER TO SHEET A411.
- 6H SITE CLEAR EXISTING EIFS VENEER ADJACENT & ABOVE STOREFRONT AS REQUIRED FOR NEW BRICK VENEER INSTALLATION.
- 6J NEW SINK AND CASEWORK WILL BE REINSTALLED IN ROOM 104.



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NO.	DATE	DESCRIPTION
1	10/28/2015	ADDENDUM 1

RENOVATION FOR:
BAYLAKE BANK 333 S. NICOLET RD. APPLETON, WI 54914
FIRST FLOOR DEMOLITION PLAN

DESIGNED	DRAWN
MJM	SGK
PROJECT NO. M0018-640122	
DATE NOV. 6, 2015	
SHEET NO. A111	



**Town of Grand Chute
Site Plan Sign Amendment Review
Creative Lynndale LLC, dba Creative Group, Inc.**

To: Plan Commission

From: Michael Patza, Town Planner

Date: January 28th, 2016

Address: 619 N. Lynndale Drive

App. #: SPA1-15-07

REQUEST

1. **Proposed Use(s):** Continued marketing and advertising agency use
2. **Project Description:** Modify current pylon sign, new cabinet will be 38 sq. ft.
3. **Plat/CSM Accurate parcel lines/lot recorded:** Yes

ANALYSIS

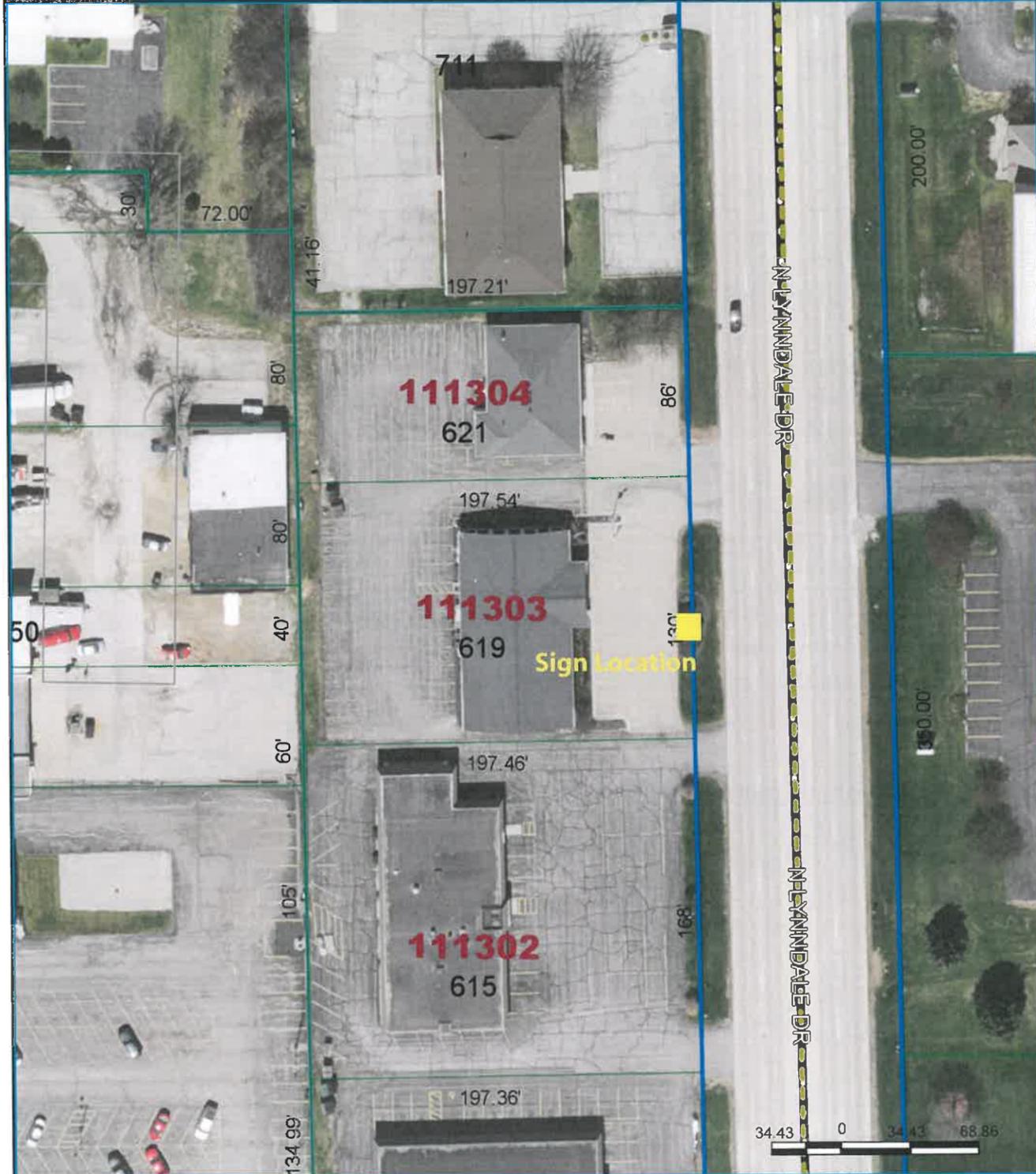
Applicant seeks approval to modify the existing pylon sign. The sign support will be modified and a new cabinet will be installed. The modified sign will be 17' 8" in height and 38 sq. ft. in size. It will incorporate the new logo and graphics that have been developed by Creative Group. All size and dimensional code requirements are met with this request.

RECOMMENDATION

Staff has reviewed and supports Plan Commission approval of the Site Plan Sign Amendment (SPA1-15-07) requested by Creative Lynndale LLC, dba Creative Group, Inc., 619 N. Lynndale Drive, for the modification of an existing pylon sign including replacing the cabinet with a new 38 sq. ft. cabinet.

SPA - 01-15 - 07

619 N. Lynndale Drive



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505 Lawrence Dr., De Pere, WI 54115
920-336-8900 greenbaysigns.com

CLIENT: CREATIVE GROUP
LOCATION: 619 N LYNNDALE DR, APPLETON
DRAWN BY: AMANDA S
SALESPERSON: KELLI L
DATE: 1/8/16
DESIGN #: D9595
PAGE: 4

REVISION LOG:	INTL	DATE	DESCRIPTION
	---	00/00/0000	DESCRIPTION

PYLON SIGN ALTERATIONS

QUANTITY: 1 EXISTING D/F ILLUM PYLON SIGN
NEW LIGHTING: LED (WHITE)
NEW CABINET: FABRICATED ALUM (DEPTH TBD)
FACES: .125" ROUTED ALUM FACES
MATERIAL: WHITE LEXAN
KNOT: DIGITAL PRINT, 1ST SURFACE
VINYL: PREMIUM CLEAR WITH GLOSS LAM
BACKER: WHITE TRANS
COPY: DULITE ACRYLIC (BLACK/WHITE)
REVEALS: FABRICATED ALUM, 6"H WITH ROUTED & BACKED COLOR BARS
OUTER POLES: NEW ALUM SHROUDS, P-1
INNER POLES/WINDOWS: REMOVE
INSTRUCTION: REMOVE EXISTING SIGN. PRODUCE & INSTALL NEW SIGN, REUSING OUTER POLES & FOUNDATION.

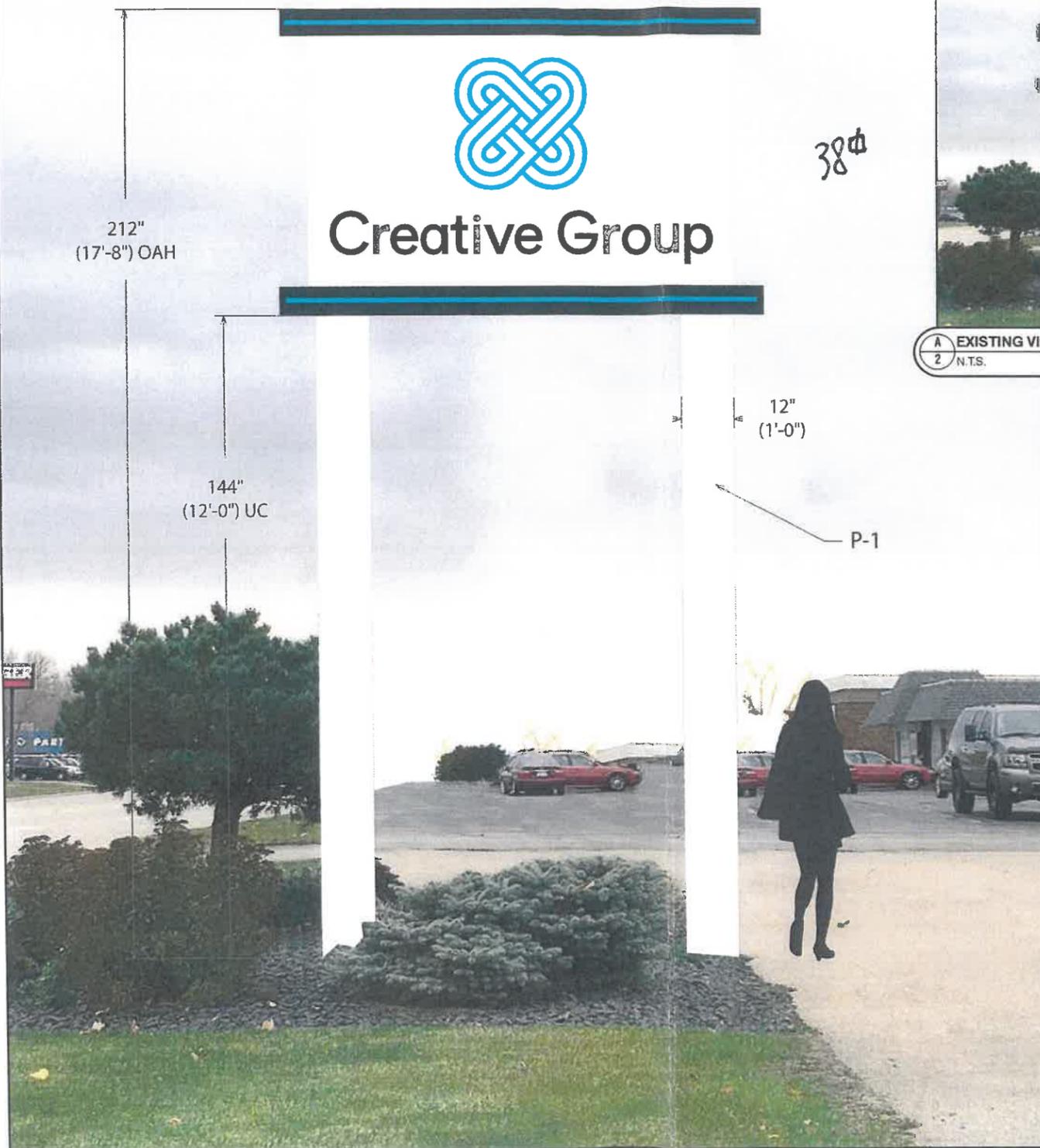
COLORS:

- P-1 WHITE
- P-2 BLACK
- C-3 PMS 3115 C LIGHT BLUE
- V-4 MATTE CLEAR MACTAC W/ AR (ETCHED LOOK)
- A-5 DULITE ACRYLIC (BLACK/WHITE)

CUSTOMER SIGNATURE FOR DESIGN APPROVAL:

DATE

A
1 LOCATION VIEW (AFTER)
SCALE: 3/8" = 1'



A
2 EXISTING VIEW
N.T.S.

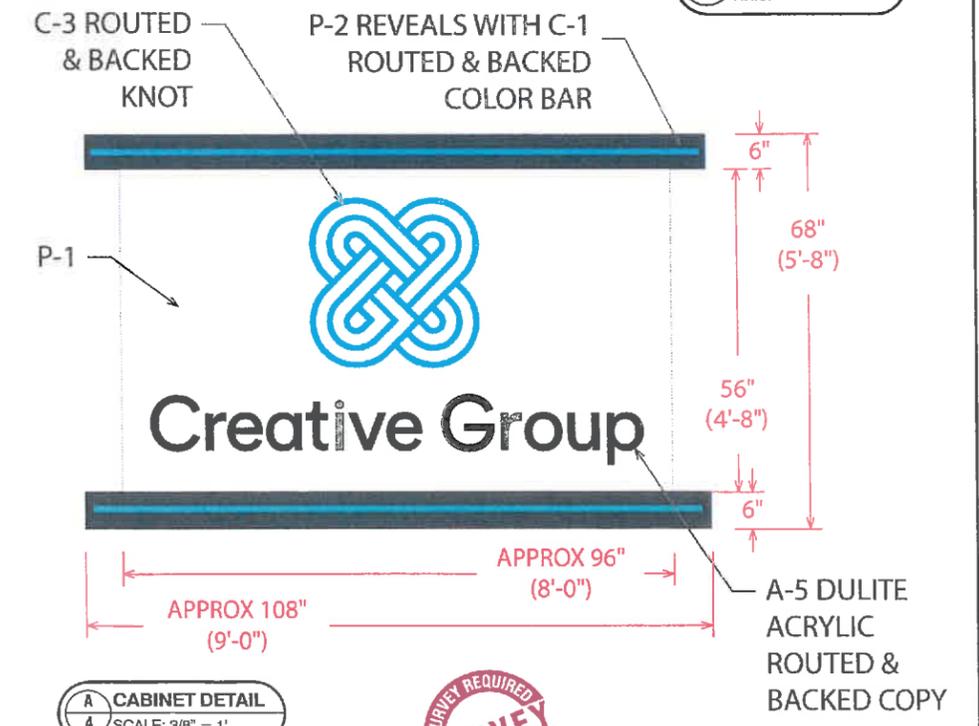


PYLON ALTS: OPT 4

- REMOVE TOPPER, CABINET & REVEAL
- ADD 12" W SHROUDS TO EXISTING OUTER POLES, P-1
- REMOVE INSIDE POLES & ACRYLIC WINDOWS



A
3 NIGHT VIEW
N.T.S.



A
4 CABINET DETAIL
SCALE: 3/8" = 1'



ALL SIZES INCLUDING DEPTH

CONCEPTUAL DRAWING ONLY - NOT FOR FABRICATION PURPOSES (SIZES ARE APROX)

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