



## PLAN COMMISSION AGENDA

March 1, 2016 6:00 p.m.  
Town Hall - 1900 W. Grand Chute Blvd.

1. Roll Call.
2. Pledge of Allegiance.
3. Approval of Agenda.
4. Approval of Minutes – February 18, 2016 meeting.
5. Public Input.
6. Community Development Director's Report.
7. **Public Hearing #1** – Special Exception (SE-04-16) requested by East Wisconsin Savings Bank S.A., dba East Wisconsin Savings Bank, 1501 N. Casaloma Drive, for operation of an electronic message center sign. **Action:** Hear testimony/close public hearing.
8. **Special Exception (SE-04-16)** – Request by East Wisconsin Savings Bank S.A., dba East Wisconsin Savings Bank, 1501 N. Casaloma Drive, for operation of an electronic message center sign. **Action:** Recommend approval/denial of SE-04-16. (TOWN BOARD ACTION 3/15/2016)
9. **Site Plan Amendment (SPA3-00-84)** – Request by East Wisconsin Savings Bank S.A., dba East Wisconsin Savings Bank, 1501 N. Casaloma Drive, to install a new pylon sign, including an electronic message center. **Action:** Approve/deny SPA3-00-84.
10. **Public Hearing #2** – Rezoning (Z-03-16) requested by the WISCO Hotel Group, on behalf of Dennis W. Dietzen and Kelsey Dietzen, etal, to rezone property at 215 S. Maple Hill Drive from C-2 Office Commercial District to CP Planned Commercial District. **Action:** Hear testimony/close public hearing.
11. **Rezoning (Z-03-16)** – Request by the WISCO Hotel Group, on behalf of Dennis W. Dietzen and Kelsey Dietzen, etal, to rezone property at 215 S. Maple Hill Drive from C-2 Office Commercial District to CP Planned Commercial District. **Action:** Recommend approval/denial of Z-03-16. (TOWN BOARD ACTION 3/15/2016)
12. **Public Hearing #3** – Special Exception (SE-05-16) requested by The WISCO Hotel Group, 215 S. Maple Hill Drive, to allow hotel use of a property zoned CP Planned Commercial District. **Action:** Hear testimony/close public hearing.
13. **Special Exception (SE-05-16)** – Request by The WISCO Hotel Group, 215 S. Maple Hill Drive, to allow hotel use of a property zoned CP Planned Commercial District. **Action:** Recommend approval/denial of SE-05-16. (TOWN BOARD ACTION 3/15/2016)
14. **Public Hearing #4** – Special Exception (SE-06-16) requested by M. Blank Properties, LLC, 1120 S. Bluemound Drive, for approval of a Planned Unit Development for single-family condominium homes. **Action:** Hear testimony/close public hearing.

15. **Special Exception (SE-06-16)** – Request by M. Blank Properties, LLC, 1120 S. Bluemound Drive, for approval of a Planned Unit Development for single-family condominium homes. **Action:** Recommend approval/denial of SE-06-16. (TOWN BOARD ACTION 3/15/2016)
16. **Site Plan (SP-03-16)** – Request by City of Appleton, 1850 W. Northland Avenue, for construction of a stormwater detention pond, low flow outlet lift station and associated site improvements. **Action:** Approve/deny SP-03-16.
17. **Certified Survey Map (CSM-05-16)** – Request by The D&D Enterprises Family Limited Partnership, 2595 & 2601 N. McCarthy Road for a lot consolidation CSM with roadway dedication. **Action:** Recommend approval/denial of CSM-05-16. (TOWN BOARD ACTION 3/15/2016)
18. **Affidavit of Correction – Grand Chute West Business Park** – Correction to the Plat of Grand Chute West Business Park, reducing the length of an access restriction along N, Mayflower Drive. **Action:** Recommend approve/denial of the Affidavit of Correction. (TOWN BOARD ACTION 3/15/2016)
19. Adjournment.

A quorum of the Town Board, Park Commission, Police and Fire Commission, Board of Appeals, and Licensing Committee may be present at this meeting. No official action of these bodies will be taken. **Accommodation Notice**-Any person requiring special accommodation who wishes to attend this meeting should contact **(Administration at 832-1573)** at least 48 hours in advance.

## GRAND CHUTE PLAN COMMISSION MINUTES

February 18, 2016

Members Present: Chairman Dave Schowalter, Commissioners Bruce Sherman, Robert Stadel, Julie Hidde, Duane Boeckers, John Weber, Pam Crosby,

Members Absent: Commissioner Vivian Huth

Also Present: James March, Town Administrator; Thomas Marquardt, Public Works Director; Bob Heimann, IT Director; Julie Wahlen, Finance Director/Town Treasurer; Michael Patza, Town Planner; Robert Buckingham, Community Development Director; other interested parties (audience attendance = approx. 10) Supervisors Nooyen and Pleuss.

1. **ROLL CALL.**

Chairman Schowalter opened the meeting at 6:00 p.m.

2. **PLEDGE OF ALLEGIANCE.**

3. **APPROVAL OF AGENDA.**

**Motion (Sherman/Stadel) to approve the agenda.** Motion carried, all voting aye.

4. **APPROVAL OF MINUTES** – JANUARY 19, 2016 MEETING.

**Motion (Hidde/Sherman) to approve the minutes.** Motion carried, all voting aye.

5. **PUBLIC INPUT**

There was no public input.

6. **COMMUNITY DEVELOPMENT DIRECTOR'S REPORT** – (AVAILABLE UPON REQUEST)

7. **PUBLIC HEARING #1** – SPECIAL EXCEPTION (SE-02-16) REQUESTED BY CUSTOM OFFSETS LLC, DBA CUSTOM OFFSETS APPLETON, 1060 N. PERKINS STREET, FOR SALE AND INSTALLATION OF AUTOMOTIVE ACCESSORIES.

Chairman Schowalter opened Public Hearing #1 at 6:02 p.m.

Mandy Wachtendonk spoke on behalf of the applicant, noting that the business currently operates from a leased space on Perkins Street. The business specializes in the sale and installation of aftermarket vehicle accessories, such as lift kits and custom wheels.

**Motion (Hidde/Sherman) to close Public Hearing #1 at 6:04 p.m.** Motion carried, all voting aye.

8. **SPECIAL EXCEPTION (SE-02-16)** – REQUEST BY CUSTOM OFFSETS LLC, DBA CUSTOM OFFSETS APPLETON, 1060 N. PERKINS STREET, FOR SALE AND INSTALLATION OF AUTOMOTIVE ACCESSORIES.

**Motion (Sherman/Crosby) to recommend approval the Special Exception Permit (SE-02-16) requested by Custom Offsets LLC, dba Custom Offsets Appleton, 1060 N. Perkins Street, subject to approval of the Site Plan (SP-01-16) for the project.** Motion carried, all voting aye.

9. **SITE PLAN (SP-01-16)** – REQUEST BY CUSTOM OFFSETS LLC, DBA CUSTOM OFFSETS APPLETON, 1060 N. PERKINS STREET, FOR SITE IMPROVEMENTS ASSOCIATED WITH AN AUTOMOTIVE ACCESSORIES BUSINESS.

**Motion (Stadel/Hidde) to approve the Site Plan (SP-01-16) requested by Custom Offsets LLC, dba Custom Offsets Appleton, 1060 N. Perkins Street, for building and site improvements associated with operation of an automotive accessories business. Motion carried, all voting aye.**

**10. NEIGHBORHOOD INFORMATION MEETING – CONDITIONAL USE PERMIT (CUP-01-16) REQUESTED BY CITY OF APPLETON, TO ALLOW CONSTRUCTION OF A STORMWATER DETENTION POND AND LOW FLOW OUTLET LIFT STATION AT 1850 W. NORTHLAND AVENUE.**

Chairman Schowalter opened the Neighborhood Information Meeting at 6:09 p.m.

Pete Neuberger, City of Appleton Engineer, explained the need for a pond to alleviate flooding problems in neighborhoods south of Northland Avenue and north of Wisconsin Avenue, between the CN rail line and Mason Street. Stormwater will flow by gravity to the new pond and will be released back into the City storm sewer system via gravity and outlet pumping. Additional permitting is required from Outagamie County, the WDNR and the U.S. Army Corp. of Engineers. The pond is planned for construction in 2017.

**Motion (Sherman/Hidde) to close the Neighborhood Information Meeting at 6:10 p.m. Motion carried, all voting aye.**

**11. CONDITIONAL USE PERMIT (CUP-01-16) - REQUEST BY THE CITY OF APPLETON, TO ALLOW CONSTRUCTION OF A STORMWATER DETENTION POND AND LOW FLOW OUTLET LIFT STATION AT 1850 W. NORTHLAND AVENUE.**

Director Buckingham provided further background on the site and the appropriateness of this use, given conditions that likely would prevent it from being more fully developed for business.

**Motion (Stadel/Crosby) to recommend approval of the Conditional Use Permit (CUP-01-16) requested by the City of Appleton to allow construction of a stormwater detention pond and low flow outlet lift station at 1850 W. Northland Avenue.**

Commissioner Sherman stated that he was initially concerned that this site could have been put to a higher and better use, but Director Buckingham's report indicates that the site's limitations probably preclude potential taxable value. He also noted that Director Buckingham has confirmed the City still could be assessed for future road or public infrastructure improvements that would provide benefit to the property.

**Motion to recommend approval of CUP-01-16 carried, all voting aye.**

**12. PUBLIC HEARING #2 – REZONING (Z-01-16) REQUESTED BY THE D&D ENTERPRISES FAMILY LIMITED PARTNERSHIP TO REZONE THE PROPERTY AT 2601 N. MCCARTHY ROAD FROM AGD GENERAL AGRICULTURAL DISTRICT TO IND INDUSTRIAL DISTRICT.**

Chairman Schowalter opened Public Hearing #2 at 6:12 p.m.

Jeremy Wesener spoke on behalf of the applicant, noting that the rezoning is requested to permit expansion of Harley-Davidson on the property.

**Motion (Hidde/Sherman) to close Public Hearing #2 at 6:13 p.m. Motion carried, all voting aye.**

13. **REZONING (Z-01-16)** – REQUEST BY THE D&D ENTERPRISES FAMILY LIMITED PARTNERSHIP TO REZONE THE PROPERTY AT 2601 N. MCCARTHY ROAD FROM AGD GENERAL AGRICULTURAL DISTRICT TO IND INDUSTRIAL DISTRICT.

Planner Patza noted that the requested zoning classification is consistent with the Comprehensive Plan.

**Motion (Hidde/Boeckers) to recommend approval for rezoning the property at 2601 N. McCarthy Road from AGD General Agricultural District to IND Industrial District. (Ordinance O-02-2016)** Motion carried, all voting aye.

14. **PUBLIC HEARING #3** – REZONING (Z-02-16) REQUESTED BY SPIRIT SPE PORTFOLIO 2006-4, LLC TO REZONE THE PROPERTY AT 3800 W. WISCONSIN AVENUE FROM IND INDUSTRIAL DISTRICT TO CR REGIONAL COMMERCIAL DISTRICT.

Chairman Schowalter opened Public Hearing #3 at 6:15 p.m.

Aaron Breitenfeldt, Robert E Lee & Associates, spoke on behalf of the applicant, noting that the zoning change is requested to aid in marketing the sale of the property as a future commercial development site.

**Motion (Hidde/Sherman) to close Public Hearing #3 at 6:16 p.m.** Motion carried, all voting aye.

15. **REZONING (Z-02-16)** – REQUEST BY SPIRIT SPE PORTFOLIO 2006-4, LLC TO REZONE THE PROPERTY AT 3800 W. WISCONSIN AVENUE FROM IND INDUSTRIAL DISTRICT TO CR REGIONAL COMMERCIAL DISTRICT.

Director Buckingham highlighted the benefits of making this zoning change and preparing the site for future commercial use. The requested zoning classification is consistent with the Comprehensive Plan.

**Motion (Hidde/Crosby) to recommend approval for rezoning the property at 3800 W. Wisconsin Avenue from IND Industrial District to CR Regional Commercial District. (Ordinance O- 03-2016)** Motion carried, all voting aye.

16. **PUBLIC HEARING #4** – SPECIAL EXCEPTION (SE-03-16) REQUESTED BY JENNERJOHN REALTY, AUCTIONEERING & APPRAISING LLC, DBA JENNERJOHN AUTO SALES, 3303B W. COLLEGE AVENUE, FOR OPERATION OF AN AUTOMOBILE SALES BUSINESS.

Chairman Schowalter opened Public Hearing #4 at 6:17 p.m.

Tracy Jennerjohn provided information on plans to use their existing business location for online sale of autos. She noted that a very limited number of vehicles for sale (no more than 5 at a time) could be parked on the lot.

**Motion (Hidde/Crosby) to close Public Hearing #4 at 6:18 p.m.** Motion carried, all voting aye.

17. **SPECIAL EXCEPTION (SE-03-16)** – REQUEST BY JENNERJOHN REALTY, AUCTIONEERING & APPRAISING LLC, DBA JENNERJOHN AUTO SALES, 3303B W. COLLEGE AVENUE, TO ALLOW OPERATION OF AN AUTOMOBILE SALES BUSINESS.

**Motion (Stadel/Sherman) to recommend approval of the Special Exception Permit (SE-03-16) requested by Jennerjohn Realty, Auctioneering & Appraising LLC, dba Jennerjohn Auto Sales, 3303B W. College Avenue, to allow operation of an automobile sales business.**

Chairman Schowalter asked that the motion be restated to place a maximum limit of no more than 10 vehicles for sale being parked on the property at any one time.

Commissioners Stadel/Sherman withdrew the previous motion.

**Motion (Stadel/Crosby) to recommend approval of the Special Exception Permit (SE-03-16) requested by Jennerjohn Realty, Auctioneering & Appraising LLC, dba Jennerjohn Auto Sales, 3303B W. College Avenue, to allow operation of an automobile sales business, with the condition that a maximum limit of no more than 10 vehicles for sale be parked on the property at any one time. Motion carried, all voting aye.**

18. **SITE PLAN AMENDMENT (SPA1-00-10)** – REQUEST BY CONNECTIONS LLC, DBA CONNECTIONS, 2171 W. PERSHING STREET, FOR SITE IMPROVEMENTS ASSOCIATED WITH A GROUP DAYCARE CENTER.

**Motion (Hidde/Boeckers) to approve the Site Plan Amendment (SPA1-00-10) requested by Connections LLC, dba Connections, 2171 W. Pershing Street, for site improvements associated with a group day care/autism therapy center, subject to: (1) Town Board approval of Special Exception SE-01-16; and, (2) Future site plan approval for parking expansion of up to 28 stalls if/when applicant's licensing capacity increases. Motion carried, all voting aye.**

19. **SITE PLAN (SP-02-16)** – REQUEST BY ENTERPRISE MOTORCARS, INC., DBA BERGSTROM ENTERPRISE MOTORCARS, 3002 VICTORY LANE, FOR A BUILDING ADDITION, PARKING LOT EXPANSION AND ASSOCIATED SITE IMPROVEMENTS.

**Motion (Sherman/Hidde) to approve the Site Plan (SP-02-16) requested by Enterprise Motorcars, Inc., dba Bergstrom Enterprise Motorcars, 3002 N. Victory Lane, for a building addition, parking expansion and associated site improvements, subject to staff approval of a Landscape Plan. Motion carried, all voting aye.**

20. **SITE PLAN AMDNEMENT (SPA1-00-04)** – BAYLAKE CORP, dba BAYLAKE BANK, 333 S. NICOLET ROAD, FOR CONSTRUCTION OF AN ENTRY PORTAL ADDITION.

**Motion (Hidde/Crosby) to approve the Site Plan Amendment (SPA1-00-04) requested by Baylake Corp, dba Baylake Bank, 333 S. Nicolet Road, for construction an entry portal addition. Motion carried, all voting aye.**

21. **SITE PLAN AMENDMENT (SPA1-15-07)** – CREATIVE LYNNDALE, LLC, DBA CREATIVE GROUP, INC., 619 N. LYNNDALE DRIVE, FOR MODIFICATION OF AN EXISTING PYLON SIGN.

**Motion (Crosby/Hidde) to approve the Site Plan Amendment (SPA1-15-07) requested by Creative Lynndale LLC, dba Creative Group, Inc., 619 N. Lynndale Drive, for the modification of an existing pylon sign, to include replacing the existing cabinet with a new 38 sq. ft. cabinet. Motion carried, all voting aye.**

22. ADJOURNMENT.

**Motion (Stadel/Sherman) to adjourn at 6:28 p.m. Motion carried, all voting aye.**

Respectfully Submitted,

Tracy Olejniczak  
Community Development Secretary

**Town of Grand Chute  
Special Exception Request  
East Wisconsin Savings Bank, S.A., dba East Wisconsin Savings Bank**

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**To:** Plan Commission

**From:** Michael Patza, Town Planner

**Date:** February 25, 2016

**Address:** 1501 N. Casaloma Drive

**App. #: SE-04-16**

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**REQUEST**

1. **Proposed Use:** Retail bank use
2. **Project Description:** Operation of an electronic message center
3. **Plat/CSM Accurate parcel lines/lot recorded:** Yes

**ANALYSIS**

Applicant seeks approval to operate an electronic message center that will be a part of a new pylon sign for its retail bank location. The sign will be a total of 128 sq. ft. in size, including a 61 sq. ft. sign in the upper cabinet with a 67 sq. ft. electronic message center below. The new pylon sign will be 25' in height. The consideration of the Special Exception Permit will establish the right of use for operation of an electronic message center by the applicant, subject to approval of a Site Plan Amendment for the property.

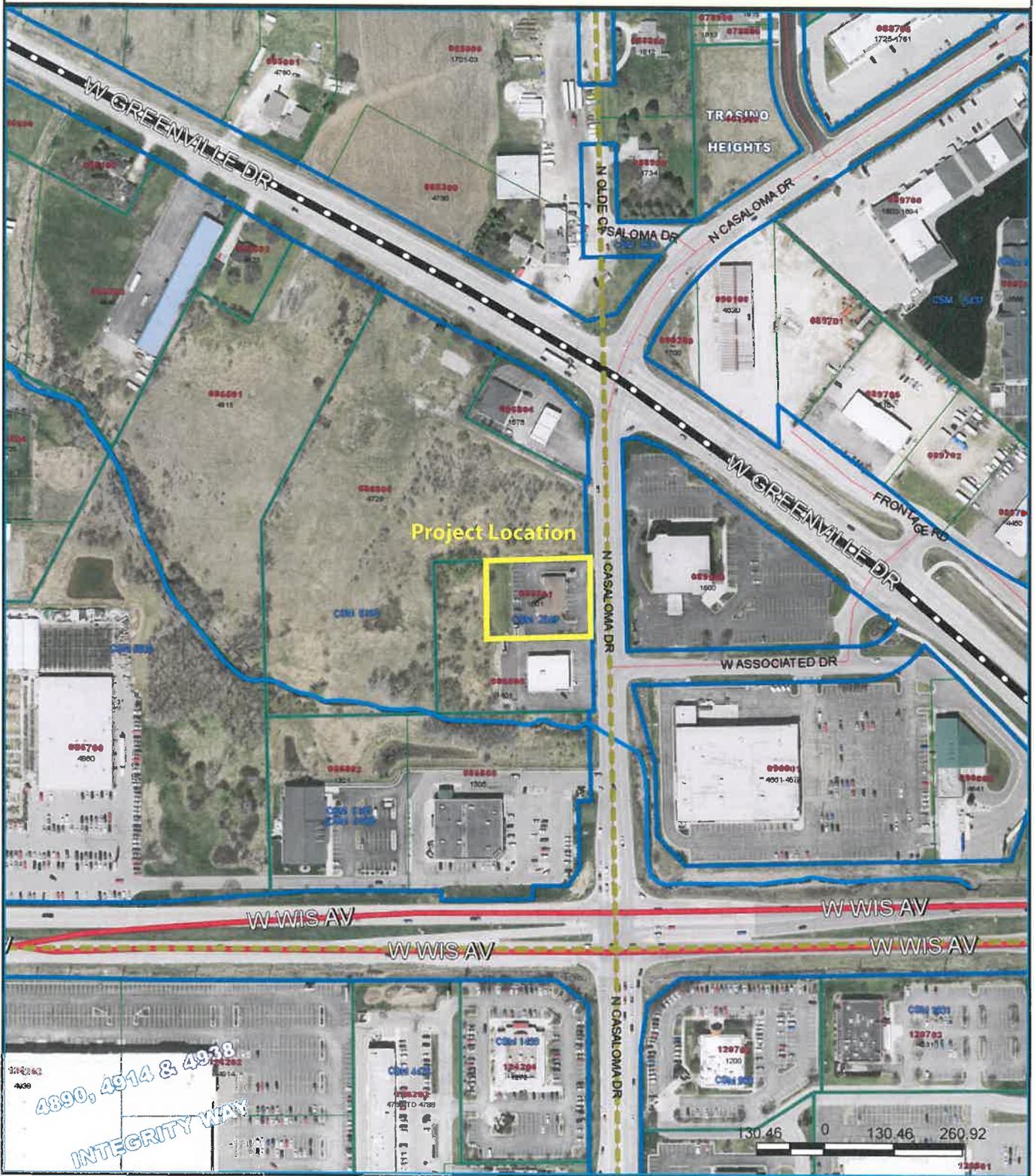
**FINDINGS OF FACT IN GRANTING OF A SPECIAL EXCEPTION**

- a. **The establishment, maintenance or operation of the proposed Special Exception use or structure at the proposed location will not be detrimental or injurious to the use and enjoyment of existing uses on adjacent properties or properties in the vicinity. Yes.**
- b. **The establishment, maintenance or operation of the proposed Special Exception use or structure, alone or in combination with other existing Special Exception uses and structures in the vicinity will not cause traffic hazards. Yes.**
- c. **Adequate provision is made for surface water drainage, ingress and egress to the property, and off-street parking. Yes.**
- d. **Adequate public facilities and services are available for the proposed Special Exception use of structure. Yes.**

**RECOMMENDATION**

Staff has reviewed and supports a Plan Commission recommendation for approval of the Special Exception Permit (SE-04-16) requested by East Wisconsin Savings Bank, S.A., dba East Wisconsin Savings Bank, 1501 N. Casaloma Drive, to allow operation of an electronic message center for its retail bank location, subject to Plan Commission approval of a Site Plan Amendment (SPA3-00-84) for the property.

# SE-04-16 - 1501 N. Casaloma Drive



This map was compiled using data believed to be accurate; however, a degree of error is inherent in all maps. This map was distributed "AS-IS" without warranties of any kind, either expressed or implied, including but not limited to warranties of suitability to a particular purpose or use. No attempt has been made in either the design or production of the maps to define the limits or jurisdiction of any federal, state, or local government. Detailed on-the-



558 Eisenhower Drive, Suite A, Kimberly, WI 54136  
Phone: 920-731-4852 Fax: 920-733-3148

N7255 32<sup>nd</sup> Court, Weyauwega, WI 54983  
Weyauwega Phone: 920-867-4852

February 5, 2016

Grand Chute Town Hal  
1900 W. Grand Chute Boulevard  
Grand Chute, WI 54913-9613

Planning & Economic Development Department:

TLC Sign is applying for the Special Exception Permit so that we can proceed with our clients request to install a double face display electronic message center. The message center will be enclosed in an aluminum 5'H x 12'W x 8"D cabinet. The message center will be accessible through Broadband Wireless, which allows the user to change the information using the Ignite Software.

The message center includes:

- Matrix: 80 lines by 192 columns
- Viewing Angle: 140 degree horizontal/70 degree vertical
- Full Color, 144 Quadrillion Colors
- 19mm pixel pitch

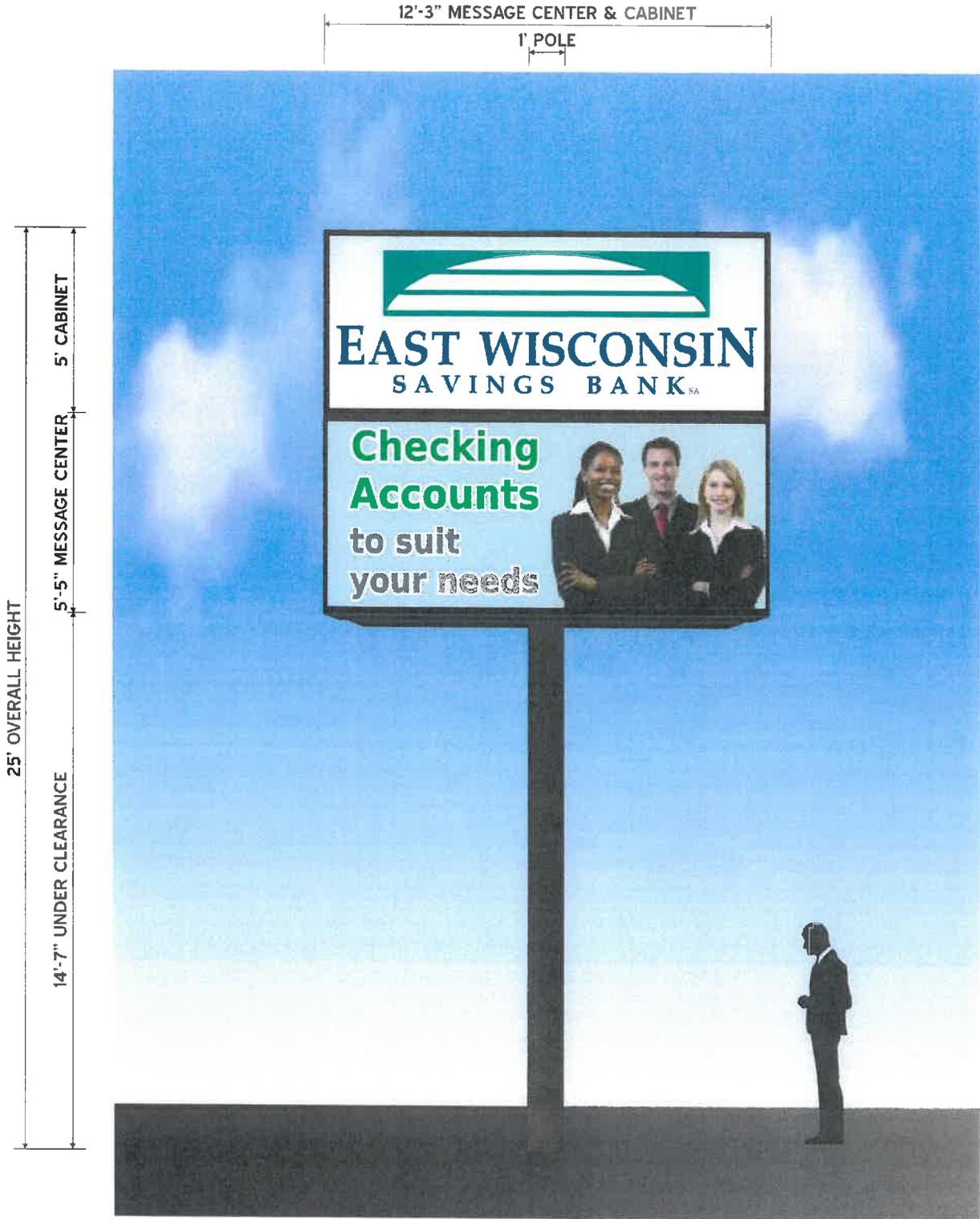
Additional features include:

- Temperature Sensor
- Front Ventilation
- Dimming Capabilities for night viewing or when lower brightness is appropriate.
- Electrical Service & Energy: 120V, 9 amps per face, 18 amps total single phase service
  - \$.78/day approximate energy consumption
- 5 year Manufacture Warranty on all electronics

The multi-tenant property includes a staff of 16 employees at Coldwell Banker-Siewert Realtors, 4 employees at Signature Hair & Nail Studio and 1 employee at 8<sup>th</sup> Street Escape. Combined business hours are approximately 9:00 a.m. – 6:00 p.m. The building currently has 1 vacant space.

Thank you for your time and consideration,

Julie Braun,  
TLC Sign, Inc



**DOUBLE SIDED PYLON SIGN WITH ELECTRONIC MESSAGE CENTER** **QTY: 1**  
 INSTALL NEW DOUBLE SIDED PYLON, INCLUDES: 12" SQUARE POLE, LED ILLUMINATED CABINET, FLAT POLY FACES  
 WITH TRANSLUCENT GRAPHICS AND A WATCHFIRE 19MM FULL COLOR MESSAGE CENTER (BOTH SIDES)  
 80 x 192 LED MATRIX / 5'-5" H x 12'-3" W / 5' H x 12' W VIEWING AREA



**EASTERN WISCONSIN:**  
 O: 920-731-4111 F: 920-733-3148  
 558 EISENHOWER DR.  
 KIMBERLY, WI 54136

**CENTRAL WISCONSIN:**  
 N7255 32ND CT.  
 WEVAUWEGA, WI 54983  
 O: 920-867-4111 F: 800-921-0770  
 1482 F: 920-867-3625

**CLIENT: EAST WISCONSIN SAVINGS BANK** PG. 1 OF 4

ADDRESS: GRAND CHUTE, WI  
 DATE: 12.2.15  
 FILE NAME: 15-0434FCDR  
 REVISED BY:

DESIGNER: KELSAY-ANN HAYES  
 SCALE: 1/4" = 1'-0"  
 REV. DATE:

CUSTOMER SIGNATURE FOR DESIGN APPROVAL

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**Town of Grand Chute  
Site Plan Sign Amendment Review  
East Wisconsin Savings Bank S.A., dba East Wisconsin Savings Bank**

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**To:** Plan Commission

**From:** Michael Patza, Town Planner

**Date:** February 25, 2016

**Address:** 1501 N. Casaloma Drive

**App. #: SPA3-00-84**

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**A. REQUEST**

- 1. Proposed Use(s):** Retail bank use
- 2. Project Description:** Install new pylon sign, including an electronic message center
- 3. Plat/CSM Accurate parcel lines/lot recorded:** Yes.

**B. ANALYSIS**

Applicant seeks approval for a new pylon sign and electronic message center. The sign will be a total of 128 sq. ft. in size, including a 61 sq. ft. sign in the upper cabinet with a 67 sq. ft. electronic message center below. The new pylon sign will be 25' in height. All size and dimensional code requirements are met with this request.

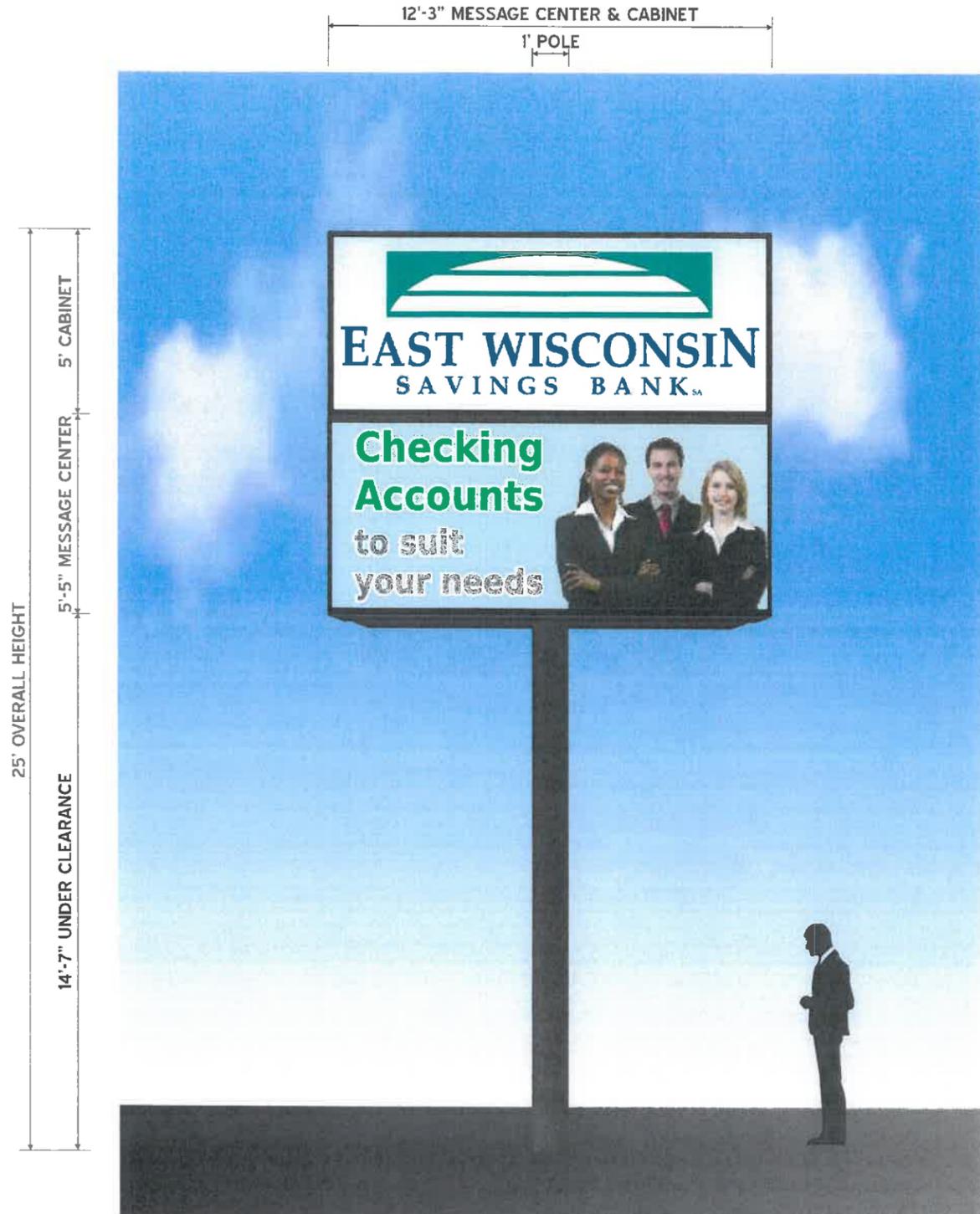
**C. RECOMMENDATION**

Staff has reviewed and supports Plan Commission approval of the Site Plan Amendment (SPA3-00-84) requested by East Wisconsin Savings Bank S.A., dba East Wisconsin Savings Bank, 1501 N. Casaloma Drive for a new pylon sign, including an electronic message center.

# SPA3-00-84 - 1501 N. Casaloma Drive



This map was compiled using data believed to be accurate; however, a degree of error is inherent in all maps. This map was distributed "AS-IS" without warranties of any kind, either expressed or implied, including but not limited to warranties of suitability to a particular purpose or use. No attempt has been made in either the design or production of the maps to define the limits or jurisdiction of any federal, state, or local government. Detailed on-the-



127.25 SQ. FT. PER SIDE

DOUBLE SIDED PYLON SIGN WITH ELECTRONIC MESSAGE CENTER QTY: 1

INSTALL NEW DOUBLE SIDED PYLON, INCLUDES: 12" SQUARE POLE, LED ILLUMINATED CABINET, FLAT POLY FACES WITH TRANSLUCENT GRAPHICS AND A WATCHFIRE 19MM FULL COLOR MESSAGE CENTER (BOTH SIDES) 80 x 192 LED MATRIX / 5'-5" H x 12'-3" W / 5' H x 12' W VIEWING AREA



**EASTERN WISCONSIN:**  
O: 920-731-4111 F: 920-733-3148  
556 EISENHOWER DR.  
KIMBERLY, WI 54136

**CENTRAL WISCONSIN:**  
N7255 32ND CT.  
WEVAUWEGA, WI 54983  
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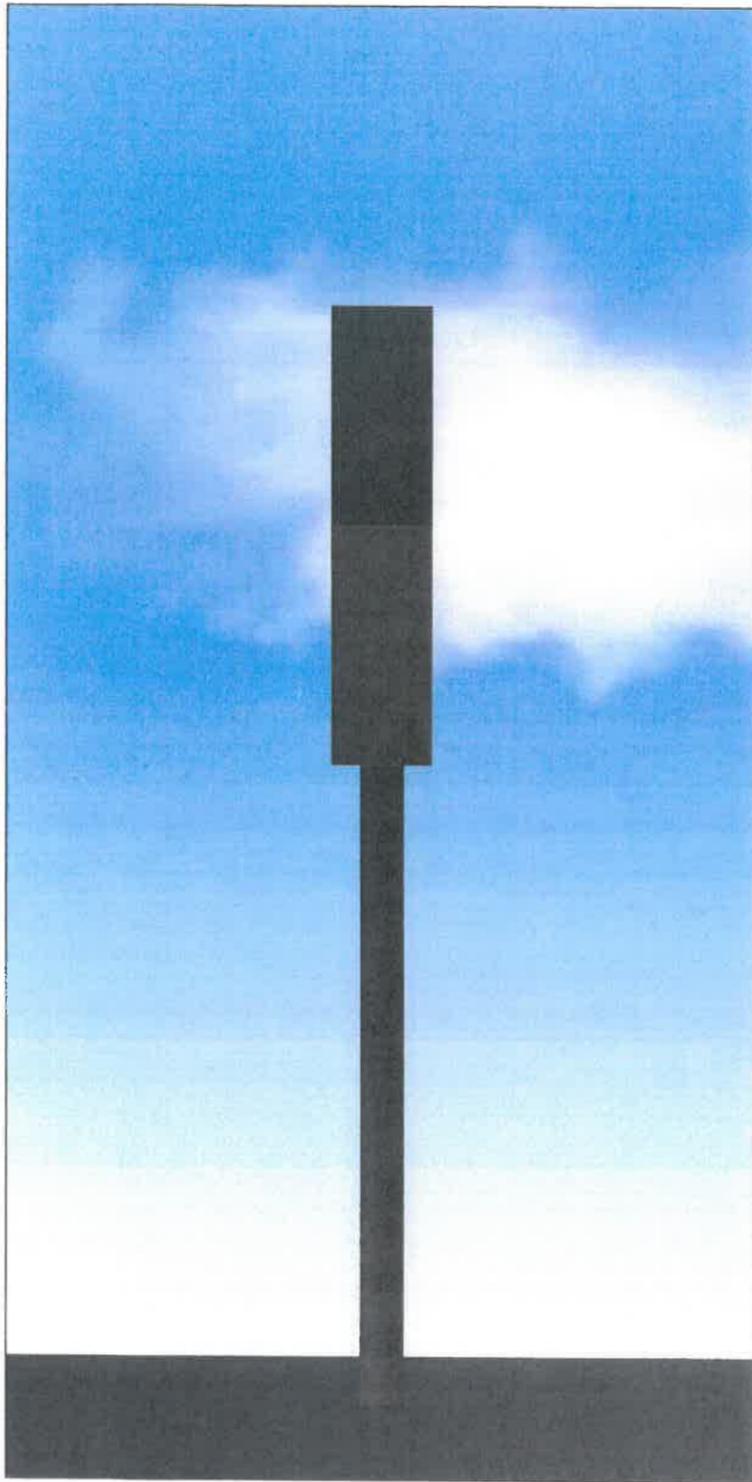
**CLIENT: EAST WISCONSIN SAVINGS BANK** PG: 1 OF 4

ADDRESS: GRAND CHUTE, WI  
DATE: 12.2.15 DESIGNER: KELSAY-ANN HAYES  
FILE NAME: 15-0434FCDR SCALE: 1/4" = 1'-0"  
REVISED BY: REV. DATE:

CUSTOMER SIGNATURE FOR DESIGN APPROVAL

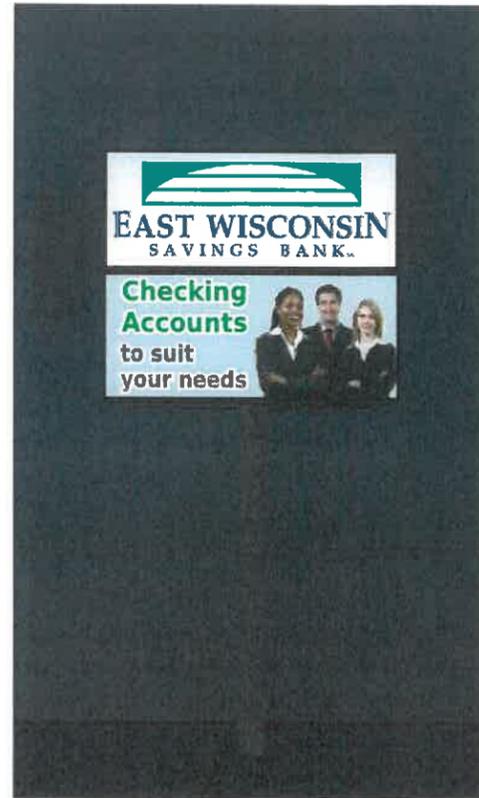
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2'-4" CABINET DEPTH  
 8" MESSAGE CENTER 8" MESSAGE CENTER  
 1' POLE & FLASHING



**SIDE VIEW**  
 FLASHING ADDED TO MESSAGE CENTERS

5' CABINET  
 5'-5" MESSAGE CENTER



**NIGHT VIEW**  
 NOT TO SCALE



**POTENTIAL LOCATIONS OF NEW PYLON**  
 NOT TO SCALE

**TLC Sign**  
 TRUSTED. LOYAL. CREATIVE. | A DIVISION OF TIM'S LIGHTING COMPANY, INC.  
 TLCSIGN.COM

EASTERN WISCONSIN:  
 O: 920-731-4111 F: 920-733-3149  
 558 EISENHOWER DR.  
 KIMBERLY, WI 54136  
 CENTRAL WISCONSIN:  
 N7255 32ND CT  
 WEWAUWEGA, WI 54983  
 O: 920-867-4111 F: 920-867-3625

CLIENT: EAST WISCONSIN SAVINGS BANK PG. 2 OF 4  
 ADDRESS: GRAND CHUTE, WI  
 DATE: 12.2.15 DESIGNER: KELSY-ANN HAYES  
 FILE NAME: 15-0434FCDR SCALE: 1/4" = 1'-0"  
 REVISED BY: REV. DATE:

CUSTOMER SIGNATURE FOR DESIGN APPROVAL

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9'-5 1/4" "EAST WISCONSIN"  
 7'-6 3/8" LOGO  
 6'-11 1/2" "SAVINGS BANK"

3'-4 3/4" OVERALL HEIGHT  
 11" "E"  
 5" "A" 9" "A" 15 3/4" LOGO



LOCATION OF NEW BUILDING SIGN  
 NOT TO SCALE

33.56 TOTAL SQ. FT.  
 94.96 SQ. FT. ALLOWED

**NON-ILLUMINATED BRUSHED ALUMINUM LETTERS** QTY: 1  
 INSTALL NEW NON-ILLUMINATED 1/2" THICK FLAT CUT ALUMINUM METAL LETTERS  
 WITH BRUSHED ALUMINUM FINISH; STUD MOUNTED TO BUILDING



**EASTERN WISCONSIN:**  
 O: 920-731-4116 F: 920-733-3144  
 555 EISENHOWER DR.  
 KIMBERLY, WI 54136  
**CENTRAL WISCONSIN:**  
 N7255 32ND CT.  
 WEVAUWEGA, WI 54983  
 O: 920-867-4116 800-921-0770  
 F: 920-867-3625

**CLIENT:** EAST WISCONSIN SAVINGS BANK **PG:** 3 OF 4  
**ADDRESS:** GRAND CHUTE, WI  
**DATE:** 12.2.15 **DESIGNER:** KELSY-ANN HAYES  
**FILE NAME:** 15-00434FCDR **SCALE:** 3/16"=1'-0"  
**REVISED BY:** **REV. DATE:**

**NOTES:**

**CUSTOMER SIGNATURE FOR DESIGN APPROVAL**  
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10/11

**Town of Grand Chute  
Rezoning Request  
WISCO Hotel Group, on behalf of Dennis W. Dietzen and Kelsey Dietzen, etal**

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**To: Plan Commission**  
**From: Robert Buckingham, Community Development Director**  
**Date: February 25, 2016**  
**Address: 215 S. Maple Hill Drive** **App. #: Z-03-16**

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**REQUEST**

Applicants/owners request the rezoning of this vacant 6.88-acre parcel located at the southwest corner of McCarthy Road/Lawrence Street and S Maple Hill Drive. The request is to rezone from **C-2 Office Commercial District to CP Planned Commercial District** (see attached map). WISCO Hotel Group has an accepted offer to purchase the property and would intend to develop and operate a 121 room Holiday Inn and an 86 room Holiday Inn Express at this location. The rezoning from one commercial classification to another is requested to allow construction of these hotels.

**ANALYSIS**

This property is currently zoned for commercial uses such as office, medical clinic/hospital uses, schools, banks, and churches. The amount of lot area that can be developed with building and parking surface is greater in the C-2 district than in the requested CP district. The landscape surface area and setback requirements are less restrictive in the C-2 district than in the requested CP district. The CP district classification provides greater protection for adjoining properties with larger setbacks, less dense development, and Special Exception approval for all proposed uses (except for office uses). CP does not specify a maximum building height, but requires a greater setback distance for buildings above 4 stories. The proposed hotel buildings are each 4-story structures and the setbacks for each provide far greater offsets than code requires. A conceptual site plan for the project is included in the agenda packet for Special Exception SE-05-16.

The applicant's narrative (attached) provides history in marketing this site for development. After more than 10 years spent trying to market it for office and medical uses, the owner concluded the current zoning classification was a detriment to the sale of the property. The owner considered the possibility of requesting a zoning change to allow multi-family residential use. While property zoning is intended to regulate the development of property, it is not intended that zoning becomes the impediment to an owner's right or ability to develop altogether.

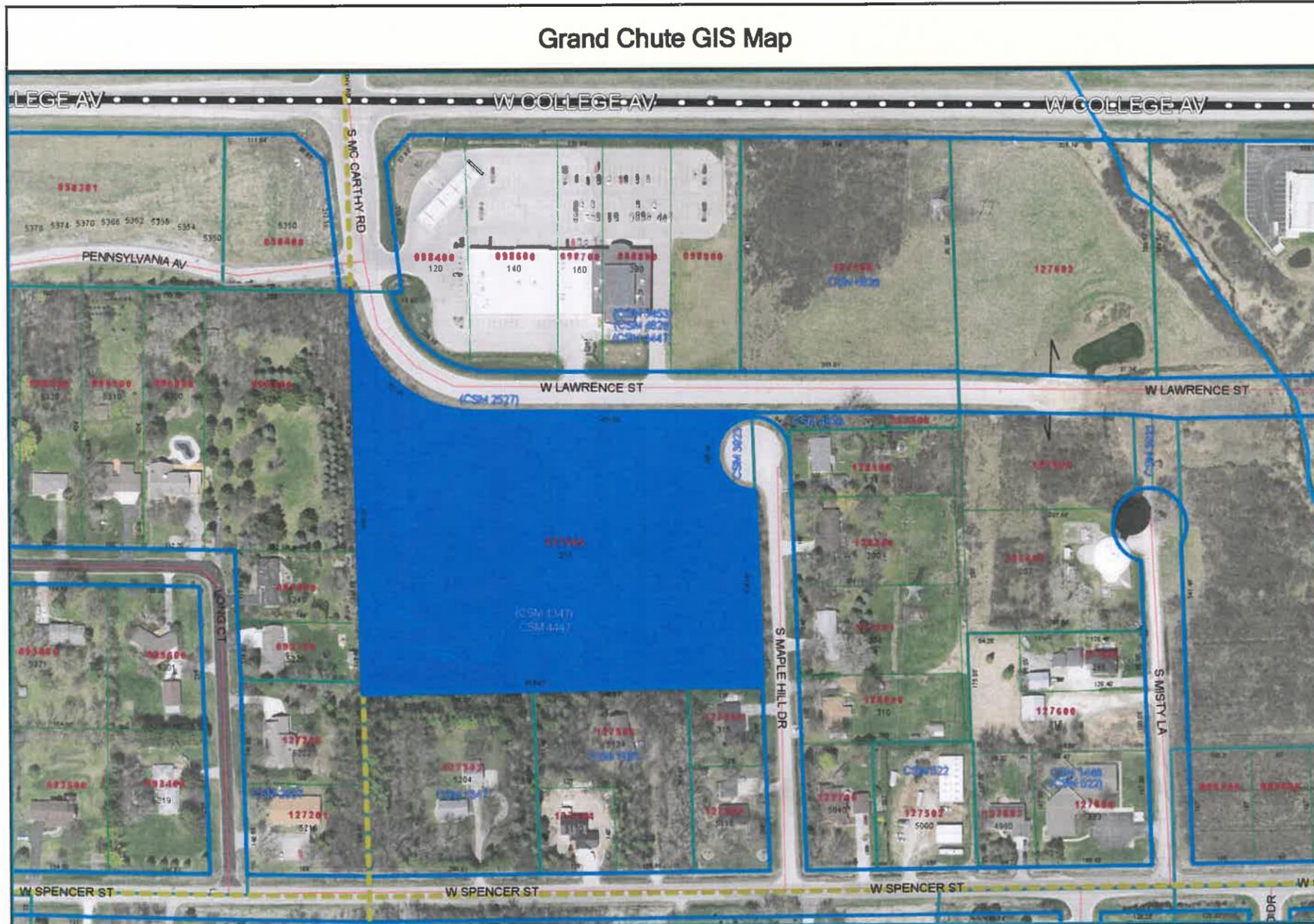
The proposed zoning change to CP Planned Commercial District represents the proper re-positioning of regulations to manage development at this property. The underlying standards of the district are more restrictive and provide the Town more oversight in regulating the development and protecting the interests of adjoining properties. These points are brought to the Commission's attention as evidence that when properly viewing the rezoning request on its merits, without consideration of possible development plans, the requested change provides greater benefits and protections than if the property were to remain in the current zoning classification. The rezoning is consistent with the Comprehensive Plan.

**RECOMMENDATION**

**Staff has reviewed and supports a Plan Commission recommendation to rezone the property at 215 S. Maple Hill Drive from C-2 Office Commercial District to CP Planned Commercial District (Ordinance O-04-2016).**

Z-03-16

Grand Chute GIS Map



This map was compiled using data believed to be accurate; however, a degree of error is inherent in all maps. This map was distributed "AS-IS" without warranties of any kind, either expressed or implied, including but not limited to warranties of suitability to a particular purpose or use. No attempt has been made in either the design or production of the maps to define the limits or jurisdiction of any federal, state, or local government. Detailed on-the-ground surveys



## Request for Zoning Change

Wisco Hotel Group (ownership Entity App Pro II LLC) currently has an accepted offer on a vacant 6.883 acre site located at 215 S. Maple Hill Drive South; Town of Grand Chute Parcel No. 101127505; having a legal description Lot No. 2 of CSM 4447 (hereafter referenced as *the Site*). The site is currently owned by Dennis W. and Kelsey Dietzen. On January 2<sup>nd</sup>, 2016 App Pro II LLC entered into a purchase agreement with the Dietzen's. This offer is contingent upon the necessary approvals in order for Wisco Hotel group to develop a 121 room, 4- story Holiday Inn and an 86 room, 4-story Holiday Inn Express on the site. Wisco Hotel Group is requesting a rezoning of the site from C-2 Office Commercial Office to CP Planned Commercial District in order to allow Wisco Hotels to construct said hotels on the site.

### Site History

The property has been marketed for sale since 2002 by Bomier Properties, a prominent commercial real estate firm in the Fox Valley. Terry Bomier has offered the following history related to the Dietzen site.

*The current owners purchased the property 1/31/2002. Since that time we have actively marketed the property for office use, which as you know, included medical uses as well and we did have a few serious inquiries; however, we've been very unsuccessful over the past 10 years trying to attract an office development for this site. Therefore, we looked at possibly rezoning it back to multi-family and we had more serious inquiries; however nobody came forward because of its current zoning restriction. Because of our extensive marketing, which also included several mailings over the past decade, we believe the zoning is misplaced for this property and should be reconsidered to just general commercial or possibly multi-family.*

### Merits of the Wisco Development Proposal

The construction of two modern Holiday Inn Hotels will take a dormant, undeveloped site and improve it with two attractive commercial buildings consistent with the existing commercial development located between HWY 41 and the Appleton International Airport off College Avenue. The development of the hotels will result in benefits to the Town of Grand Chute including:

1. The creation of new jobs.
2. Real estate tax revenue.
3. Room tax revenues.
4. The location with convenient access off College Avenue in the Town of Grand Chute will make these hotels convenient for Appleton International Airport travelers; guests of the hotel are provided with free shuttle service to and from the airport.
5. Guest at the hotels will frequent restaurants and entertainment areas and other businesses located in the immediate area.
6. The development of the hotels will jump start commercial development along what is now a largely undeveloped area of potential commercial growth on either side of College Avenue in the area of the airport.
7. Other restaurant retail and commercial service developments frequently occur near new hotel developments.

Wisco Hotels are good neighbors. The Wisco Hotels through the Holiday Inn franchise attracts guest who appreciate and want to stay at modern well maintained professionally maintained and managed hotels. All Wisco Hotels utilize attractive areas of green space utilizing both natural occurring woods and planted landscaping to create a pleasant environment for both hotel guests and provides screening for neighboring properties.

The planned development would have the primary ingress and egress from Lawrence Street. Maple Hill Drive would provide a secondary access for emergency and security vehicles. The Lawrence Street access will minimize traffic impacts to the residential properties located adjacent Maple Hill Drive.

The proposed hotels are 4 story buildings serviced by surface parking areas. The footprints and multi-story design of these buildings as well as the areas devoted to surface parking are not dissimilar to what one would expect in an office or medial building development, which was permitted in the existing C-2 Commercial Office Zoning. The proposed use of this site is consistent with the Towns Comprehensive Plan.

The proposed development of the Dietzen site will result in the location of two state of the art Holiday Inn facilities in the Town of Grand Chute. Wisco Hotels looks forward to working with the Town of Grand Chute and our future neighbors in the rezoning and development of this site.

## Wisco Hotel Group

The Wisco Hotel Group has owned and operated hotels in Wisconsin for 37 years. Wisco owns and operates 12 Wisconsin hotels situated in convenient locations across the state and includes:

- Madison (Holiday Inn Hotel and Suites; Baymont Inn & Suites; and Comfort Suites)
- Milwaukee (Candlewood Suites; Holiday Inn Express Hotel and Suites; Comfort Suites Milwaukee Airport; and Fairfield Inn & Suites)
- Appleton (Comfort Suites)
- Oshkosh (Holiday Inn Express Hotel & Suites Oshkosh)
- Fond du Lac (Holiday Inn; Comfort Inn; and Holiday Inn Express)

Wisco Hotel Group locations offer comfortable guestrooms and suites, swimming pools & spas:

- Fitness centers
- Complimentary breakfast at limited service hotels
- Complimentary hi-speed Wi-Fi throughout hotels
- Laundry services & dry cleaning pick-up daily
- Onsite lounges
- Meeting and event facilities
- Conference rooms and executive board rooms
- Game rooms
- Free parking

Wisco hotels are designed to accommodate the professional business traveler, vacationers, extended stay clients, and leisure stay customers. Wisco has recently completed the Lake Winnebago Conference Center addition to the Holiday Inn in Fond du Lac. Also new to Fond du Lac is the recently opened 86 room Holiday Inn Express. This is the first of the new prototype designed Holiday Inn Express facilities in the United States. Wisco Hotels would welcome the opportunity to give any interested party a tour of the new Fond du Lac facilities.

We would invite anyone interested in further information to visit the Wisco Hotel web site at <http://www.wiscohoteles.com>.

12/13

# Town of Grand Chute Special Exception Request WISCO Hotel Group

To: Plan Commission

From: Robert Buckingham, Community Development Director

Date: February 25, 2016

Address: 215 S. Maple Hill Drive

App. #: SE-05-16

## REQUEST

1. **Proposed Use(s):** Hotel
2. **Project Description:** Construct a 4-story, 121 room Holiday Inn and a 4-story, 86 room Holiday Inn Express, along with associated site improvements
3. **Plat/CSM Accurate parcel lines/lot recorded:** Yes

## ANALYSIS

WISCO Hotel Group has an accepted offer to purchase the property and would intend to develop and operate a 121 room Holiday Inn and an 86 room Holiday Inn Express at this location. Under the pending rezoning of the property to CP Planned Commercial District, approval of a Special Exception Permit will establish the right of use for hotel. The conceptual site plan and project narrative from the applicant is attached. Primary access to the development will be from driveways on Lawrence Street. A secondary access on S. Maple Hill Drive will be a gated emergency vehicle-only access point. The buildings and parking areas will provide far greater offsets from adjoining property lines than code requires for 4-story structures in this zoning district. Also, the buildings are positioned in such a way that most nearby residences will view the narrow dimension rather than the lengthy sides of the structures. The developed site will have more total greenspace by area (53%) than building and parking lot surface (47%). Both standards favorably meet or exceed code requirements. This is a wooded site and every effort will be made to retain any viable mature trees along the edges of the property. In any case, Town standards specify dense planting and screening buffers between commercial and residential properties. Staff takes an active role in this design work to ensure that adjoining residential properties receive the benefit of effective sightline screening. The Town also regulates site lighting to ensure that cutoff fixtures are used to prevent light trespass and glare on adjoining properties. Both landscape and site lighting plan approvals are required as part of a final site plan for the project. The applicant will be required to prepare a Traffic Impact Analysis and present the findings with a final site plan for the project. On-site stormwater management will be required and Town Engineer approval of plans will be required as part of a final site plan for the project. The project as presented meets the standards and requirements for approval of a Special Exception Permit to allow hotel use of the property. Approval is contingent on the rezoning of the property to CP Planned Commercial District, and on future approval of a final site plan for the project.

## FINDINGS OF FACT IN GRANTING OF A SPECIAL EXCEPTION

- a. **The establishment, maintenance or operation of the proposed Special Exception use or structure at the proposed location will not be detrimental or injurious to the use and enjoyment of existing uses on adjacent properties or properties in the vicinity.** *Found. Property has been zoned commercial for an extended period of time. The proposed new zoning classification, in combination with the Special Exception/Site Plan approval process provides greater benefits and protections than if the property remained in its current zoning classification.*
- b. **The establishment, maintenance or operation of the proposed Special Exception use or structure, alone or in combination with other existing Special Exception uses and structures in the vicinity will not cause traffic hazards.** *Found. Commercial traffic is restricted to Lawrence Street ingress-egress. A Traffic Impact Analysis is required as part of a final site plan for the project.*

- c. **Adequate provision is made for surface water drainage, ingress and egress to the property, and off-street parking.** *Found. On-site stormwater management is accounted for and must be approved by the Town Engineer. See b. above concerning ingress-egress accommodation. Off-street parking is sufficient for the use and setbacks from property lines is greater than code requires.*
- d. **Adequate public facilities and services are available for the proposed Special Exception use of structure.** *Found. Sewer and water facilities are available to the site. A Traffic Impact Analysis will identify any roadway/traffic control improvements that might be needed.*

#### **RECOMMENDATION**

Staff has reviewed and supports a Plan Commission recommendation for approval of the Special Exception Permit (SE-05-16) requested by WISCO Hotel Group, 215 S. Maple Hill Drive, to allow hotel use of the property, subject to: (1) Town Board approval of Z-03-16, rezoning the property to CP Planned Commercial District; and (2) Plan Commission approval of a final site plan for the project.

## Special Exception Narrative

Wisco Hotel Group requests a special exception permit to allow a hotel use on the vacant 6.883 acre site located at 215 S. Maple Hill Drive South; Town of Grand Chute Parcel No. 101127505; having a legal description Lot No. 2 of CSM 4447. The applicant proposes to develop a 121 room, 4- story Holiday Inn and an 86 room, 4-story Holiday Inn Express serviced by surface parking areas on the site.

The planned development would have the primary ingress and egress from Lawrence Street. Maple Hill Drive would provide a secondary access for emergency and security vehicles. The Lawrence Street access will minimize traffic impacts to the residential properties located adjacent Maple Hill Drive. The owner has agreed to perform a traffic study per WisDOT Traffic Impact Analysis Guidelines at time of the final site plan approval.

### Proposed Site Information

As proposed the hotel development meets or improves upon density requirements and provides significant green space buffers with adjoining residential properties.

- Property Area = 295,888 SF (6.8 acres)
- Density = Building Area: 34,120 SF / 295,888 SF = 11.5%
- Hardscape Ratio = 46.5% (137,723 SF)
- Greenspace Ratio = 53.5% (158,165 SF)

### Merits of the Wisco Development Proposal

The construction of two modern Holiday Inn Hotels will take a dormant, undeveloped site and improve it with two attractive commercial buildings consistent with the existing commercial development located between HWY 41 and the Appleton International Airport off College Avenue. The development of the hotels will result in benefits to the Town of Grand Chute including:

1. The creation of new jobs.
2. Real estate tax revenue.
3. Room tax revenues.
4. The location with convenient access off College Avenue in the Town of Grand Chute will make these hotels convenient for Appleton International Airport travelers; guests of the hotel are provided with free shuttle service to and from the airport.
5. Guest at the hotels will frequent restaurants and entertainment areas and other businesses located in the immediate area.
6. The development of the hotels will jump start commercial development along what is now a largely undeveloped area of potential commercial growth on either side of College Avenue in the area of the airport.
7. Other restaurant retail and commercial service developments frequently occur near new hotel developments.

Wisco Hotels are good neighbors. The Wisco Hotels through the Holiday Inn franchise attracts guest who appreciate and want to stay at modern well maintained professionally maintained and managed hotels. All Wisco Hotels utilize attractive areas of green space utilizing both natural occurring woods and planted landscaping to create a pleasant environment for both hotel guests and provides screening for neighboring properties.

## Wisco Hotel Group

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- Madison (Holiday Inn Hotel and Suites; Baymont Inn & Suites; and Comfort Suites)
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- Appleton (Comfort Suites)
- Oshkosh (Holiday Inn Express Hotel & Suites Oshkosh)
- Fond du Lac (Holiday Inn; Comfort Inn; and Holiday Inn Express)

Wisco Hotel Group locations offer comfortable guestrooms and suites, swimming pools & spas:

- Fitness centers
- Complimentary breakfast at limited service hotels
- Complimentary hi-speed Wi-Fi throughout hotels
- Laundry services & dry cleaning pick-up daily
- Onsite lounges
- Meeting and event facilities
- Conference rooms and executive board rooms
- Game rooms
- Free parking

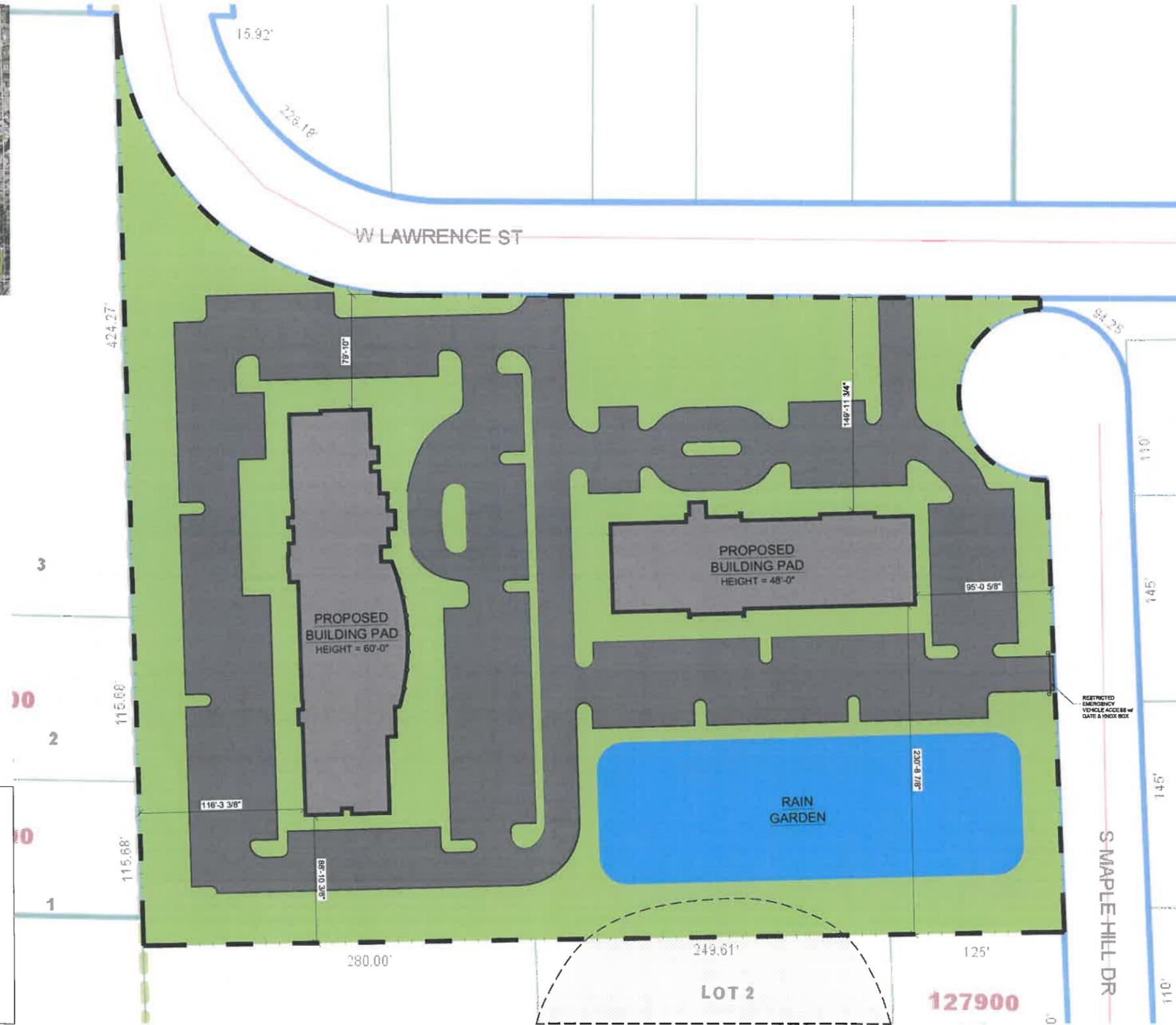
Wisco hotels are designed to accommodate the professional business traveler, vacationers, extended stay clients, and leisure stay customers. Wisco has recently completed the Lake Winnebago Conference Center addition to the Holiday Inn in Fond du Lac. Also new to Fond du Lac is the recently opened 86 room Holiday Inn Express. This is the first of the new prototype designed Holiday Inn Express facilities in the United States. Wisco Hotels would welcome the opportunity to give any interested party a tour of the new Fond du Lac facilities.

We would invite anyone interested in further information to visit the Wisco Hotel web site at <http://www.wiscohoteles.com>.



LOCATION PLAN  
SCALE N.T.S.

SITE INFORMATION:	
PROPERTY AREA:	AREA = 295,888 S.F. (6.8 ACRES)
DENSITY:	BUILDING AREA = 34,120 S.F. (11.5%)
HARDSCAPE RATIO:	47.1% (139,291 S.F.)
GREENSPACE RATIO:	52.9% (156,597 S.F.)
EXISTING ZONING:	C-2: OFFICE COMMERCIAL DISTRICT
PROPOSED ZONING:	CP: PLANNED COMMERCIAL DISTRICT
PROPOSED USE:	HOTEL
SETBACKS:	BUILDING: FRONT = 35' SIDE = 35' REAR = 35'
PARKING REQUIRED:	1 STALL PER UNIT (207 SPACES REQ.) 10 STALLS PER 1,000 S.F. OF MEETING SPACE (17 SPACES REQ.) TOTAL = 224 SPACES REQ.
PARKING PROVIDED:	246 SURFACE SPACES (9 H.C. ACCESSIBLE)



PRELIMINARY  
SITE PLAN  
SCALE 1" = 20'

PRELIMINARY SHEET DATES:

12/08/2015
12/30/2015
02/03/2016
02/16/2016

PRELIMINARY DRAWING - NOT FOR CONSTRUCTION

M+A DESIGN, LLC  
54 East First Street  
Fond du Lac, Wisconsin 54935  
l.petrie@madesignllc.net (920) 922-8170

OWNER:  
Wisco Hotels

New Building For:  
**Proposed Hotel Development**  
Grand Chute, WI

JOB NUMBER:	2015.65
SHEET	C1.0

14/15.

**Town of Grand Chute  
Special Exception Request  
M. Blank Properties, LLC**

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**To:** Plan Commission

**From:** Robert Buckingham, Community Development Director

**Date:** February 25, 2016

**Address:** 1120 S. Bluemound Drive

**App. #: SE-06-16**

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**REQUEST**

1. **Proposed Use:** Planned Unit Development (PUD) residential.
2. **Project Description:** Development of Forestbrook Condominiums, featuring 12 detached single-family homes on a 9.7 acre parcel.
3. **Plat/CSM Accurate parcel lines/lot recorded:** Yes, pending a lot consolidation CSM and a Condo Plat.

**ANALYSIS**

Applicant/owner proposes to develop this property for a residential condominium project, featuring 12 detached single-family homes (See concept plan attached). The topographic and natural features of the property are such that development will be split between 2 pods. On the west side of the site, 6 homes will be built to face S. Bluemound Drive. These homes will access the street from a private road. On the east side of the site, 6 homes will be built with access from a private road to S. Lilas Drive and W. Everett Street. The homes will be 2-bedroom, 2-bath and approximately 1,541 sq. ft. in size. They will feature a 2-stall garage and private entry. Expansion space is provided in the basement of each unit for an additional bedroom, bathroom, and recreation room. Only a portion of the site is currently within the boundaries of Sanitary District #2 (sewer) and a petition to attach the remaining portion is in process. The west pod of homes will be served by Town sewer and water. Due to site topography, it is not viable for Town sewer to serve the east pod. Under the terms of an existing intermunicipal agreement between Grand Chute and Appleton that allows exchange of municipal utility service across corporate boundaries when dictated by engineering practicalities, the City has agreed to provide sanitary sewer to this pod of homes. This pod will receive water service from the Town. On-site stormwater management will be required and Town Engineer approval of plans will be required as part of a site plan for the project. There are streams, wetlands and floodplain areas on the site. The development plan protects these sensitive areas and incorporates them as an asset to the site. In addition to future Town approvals as noted below, a County Conditional Use Permit will be required for grading and filling activities within 300' of a navigable stream. The Town will review this permit application and provide a recommendation to the County.

The PUD designation is requested to proceed with creation of a condominium form of development and ownership. The PUD provides flexibility in building setbacks under condominium form of development and allows use of private roads to access the development. Conceptual review of the site plan has provided evidence that code requirements are met. More detailed review will be undertaken during the approval process for the Condo Plat and Final Site Plan. The property is zoned RMF Multifamily Residential District. It is bordered by multi-family condos and apartments to the north and single-family homes to the south. Introducing a low-density development of 12 single family homes on a 10-acre site is a good outcome for the neighborhood.

**FINDINGS OF FACT IN GRANTING OF A SPECIAL EXCEPTION**

- a. **The establishment, maintenance or operation of the proposed Special Exception use or structure at the proposed location will not be detrimental or injurious to the use and enjoyment of existing uses on adjacent properties or properties in the vicinity.** *Found. Development of single-family condo*

homes on a property zoned for multifamily dwellings provides a lower than expected density within the area.

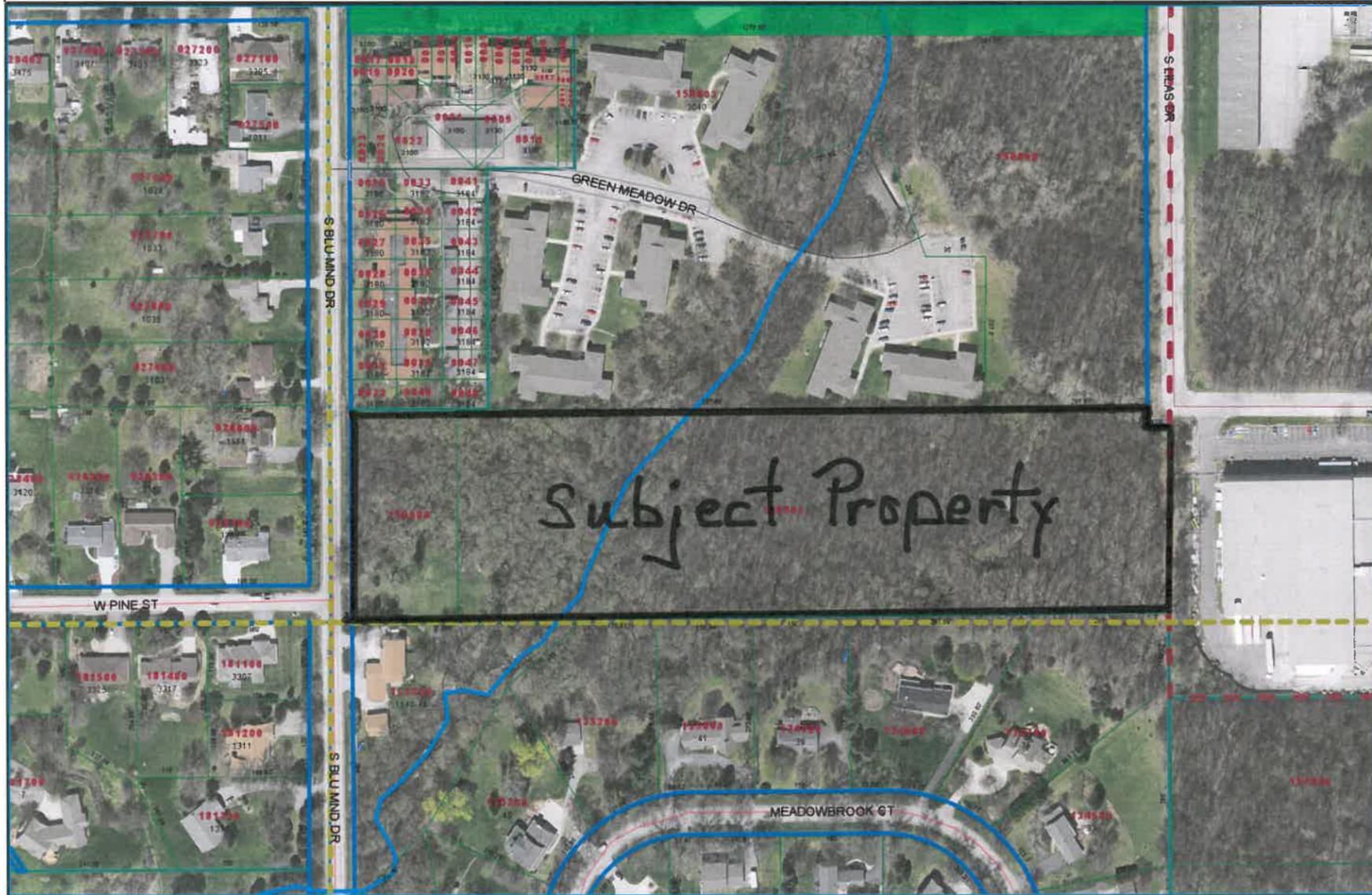
- b. **The establishment, maintenance or operation of the proposed Special Exception use or structure, alone or in combination with other existing Special Exception uses and structures in the vicinity will not cause traffic hazards.** *Found. Low density development served by private road, with one access point to public streets from each pod.*
- c. **Adequate provision is made for surface water drainage, ingress and egress to the property, and off-street parking.** *Found. On-site stormwater management will control both quantity and quality of surface water runoff. Peak flow controls will restrict runoff from the site at levels at or below current conditions. See b. above concerning ingress-egress accommodation. Adequate provision within the development to accommodate parking demand. There is no on-public-street parking allowed to accommodate the development.*
- d. **Adequate public facilities and services are available for the proposed Special Exception use of structure.** *Found. Town water facilities and Town/City sewer facilities are available in sufficient capacity to serve the site.*

#### **RECOMMENDATION**

Staff has reviewed and supports a Plan Commission recommendation for approval of the Special Exception Permit (SE-06-16) requested by M. Blank Properties, LLC, 1120 S. Bluemound Drive, for a Planned Unit Development designation of the Forestbrook Condominiums, subject to the following conditions: (1) Approval of a Condominium Plat and Declaration of Condominium; (2) Approval of a Site Plan for the development; (3) County approval of a Conditional Use Permit; and, (4) Execution of a PUD Agreement for the development.

SE-06-16

Grand Chute GIS Map



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**DESCRIPTION OF THE AMENDMENT REQUEST**

**The request is for having a private drive coming off of Bluemound Drive on the west end of the site, serving 6 units and another private drive coming off of Lilas Drive at Everett Street, on the east side of the site, crossing the stream at one location and will be serving 6 additional units, the site has environmental issues including , streams, wetlands, and floodplain, 20 units are allowed per acre with the current zoning of RMF (Multifamily Residential), and the actual number of units will only be 1.24 units per acre.**

# FORESTBROOK CONDOMINIUMS

TOWN OF GRAND CHUTE, OUTAGAMIE COUNTY, WISCONSIN

ZONING: RMF (Multifamily Residential District)

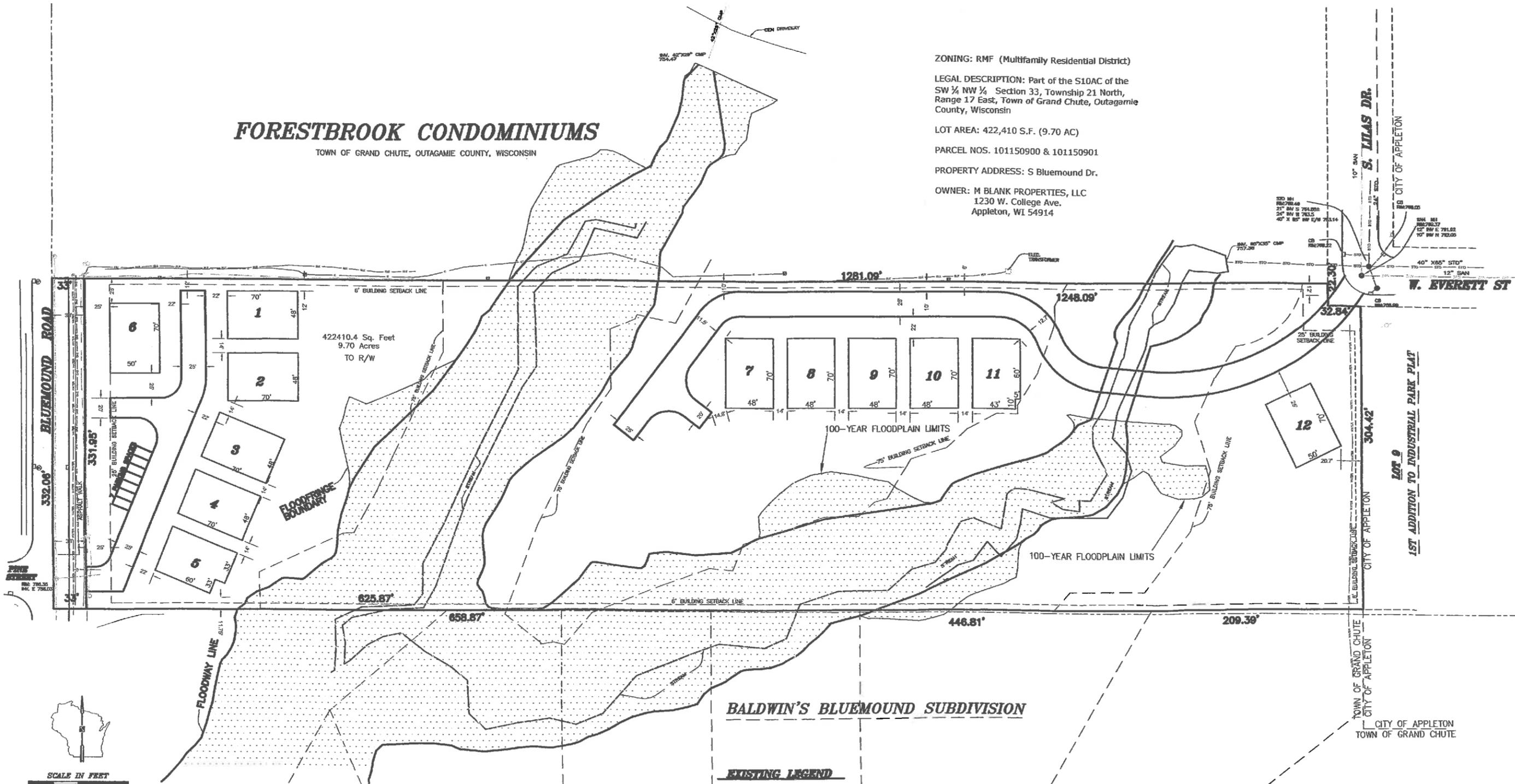
LEGAL DESCRIPTION: Part of the S10AC of the SW 1/4 NW 1/4 Section 33, Township 21 North, Range 17 East, Town of Grand Chute, Outagamie County, Wisconsin

LOT AREA: 422,410 S.F. (9.70 AC)

PARCEL NOS. 101150900 & 101150901

PROPERTY ADDRESS: S Bluemound Dr.

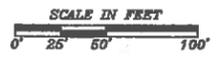
OWNER: M BLANK PROPERTIES, LLC  
1230 W. College Ave.  
Appleton, WI 54914



## BALDWIN'S BLUEMOUND SUBDIVISION

### EXISTING LEGEND

- POWER POLE
- WATER VALVE
- CATCH BASIN
- STORM MANHOLE
- HYDRANT
- SANITARY MANHOLE
- UTILITY PED
- UNDERGROUND GAS LINE
- OVERHEAD POWER LINE
- EXISTING CONTOUR
- UNDERGROUND ELECTRIC
- UNDERGROUND TELEPHONE
- SANITARY SEWER
- WATER MAIN
- STORM SEWER
- 6' HIGH CHAIN LINK FENCE
- TREWARNER CABLE

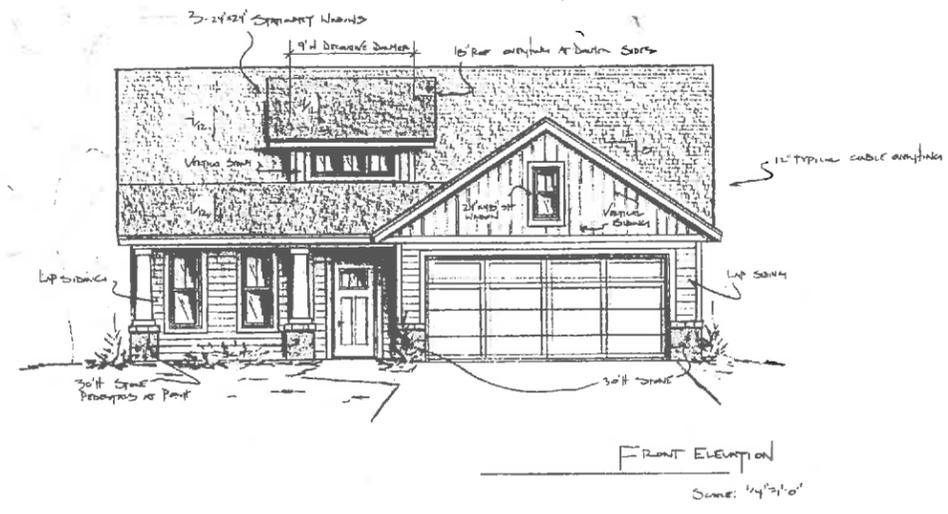
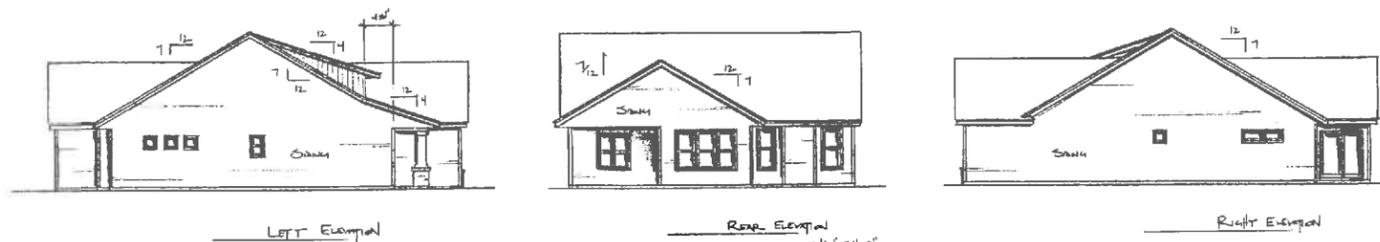


REVISIONS

**SCHULER & ASSOCIATES, INC.**  
LAND SURVEYORS & ENGINEERS  
2711 N. MASON STREET, SUITE 2  
APPLETON, WI 54914-8186 (800) 794-9107

CONCEPTUAL PLAN  
**FORESTBROOK CONDOMINIUMS**  
TOWN OF GRAND CHUTE, OUTAGAMIE COUNTY, WISCONSIN  
FOR: CYPRESS HOMES  
1230 W College Ave, Appleton, WI 54914

DRAWN  
M/JF  
DATE  
02-05-16  
SCALE  
1"=50'  
JOB NO.  
4324  
SHEET  
1  
OF 1 SHEETS



PRELIMINARY  
DESIGN CONCEPT ONLY

PRICING  
THIS PLAN IS NOT FOR  
CONSTRUCTION. IT HAS  
NOT DEVELOPED TO THE  
BIDDING STAGE ONLY.

FINAL  
THE CONTRACT IS NOT  
RELEASED FOR THIS PLAN  
UNLESS THIS BOX HAS BEEN  
CHECKED.

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**DAYTON**  
**DESIGNS**  
**INC.**

1004 S. OLDE ONEIDA ST. APPLETON, WI 54915  
(202) 380-0960 web: daytondesigns.com

**JOB 2391**  
**BY: CYPRESS HOMES**

Revisions

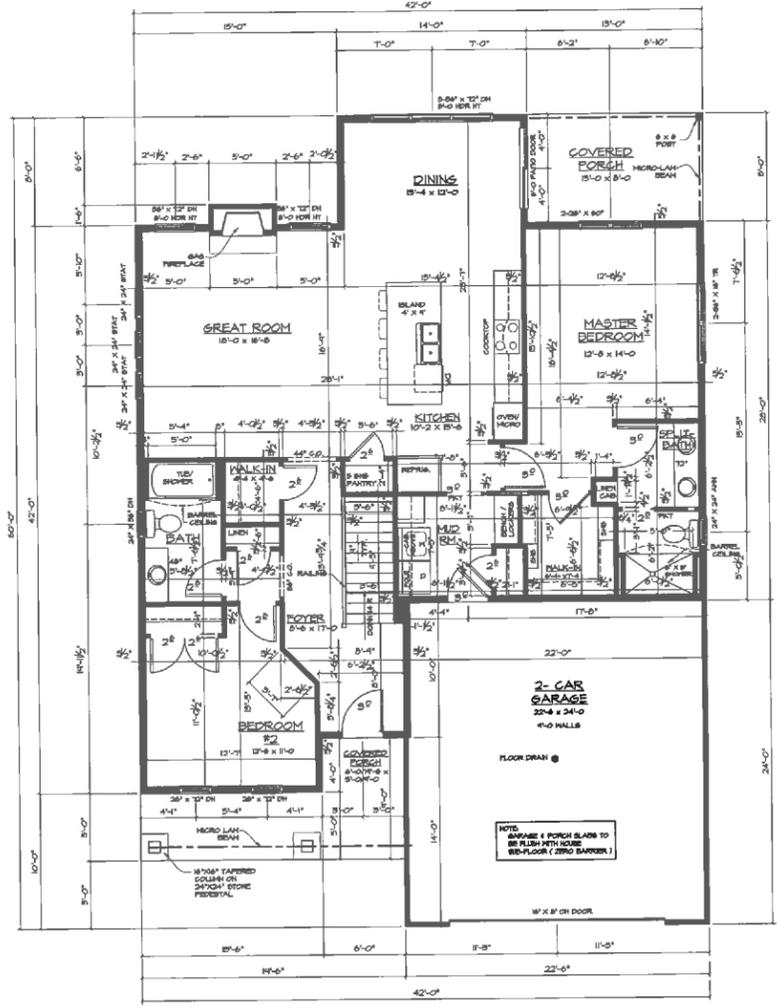
Drawn by  
**DLA, LAB**

Date  
**SEPT. 17,  
2014**

Sheet No.  
**1 OF 3**

This plan was designed and drafted by Dayton Home Design, Inc. to meet average conditions and codes in the State of Missouri at the time it was designed. Because codes and conditions may vary, Dayton Home Design, Inc. cannot warrant compliance with any specific code. It is the responsibility of the purchaser and/or builder of the plan to see that the structure is built in strict compliance with all governing municipal codes. The purchaser and/or builder of the plan releases Dayton Home Design, Inc. and its employees from any claims or lawsuits that may arise during the construction of the structure or engine therefor. Every care and effort are taken in the production of the design and drawings. The drawings are provided as a "best effort" representation of any kind. The drawings may contain errors, omissions, typographical errors, or other inaccuracies. Dayton Home Design, Inc. assumes no responsibility or liability for these errors or omissions and any incident, liability or consequential damages whatsoever arising from the use of the drawings or the information provided therein. These drawings are intended for use by a qualified individual capable of determining the modifications and details required before, during, and after construction.

These Design Note, Roof and Floor Truss systems and related beams and columns have been shown to the best of our knowledge. Prior to construction it is the builder's responsibility to review the design with a local designer and confirm or suggest the revisions necessary to the design. These revisions should be brought to the attention of Dayton Home Design, Inc. and incorporated into the final drawings.



FIRST FLOOR NOTES:  
 4" WALLS & CEILING HEIGHT  
 TYPICAL  
 FINISHED FLOOR ARE AS SHOWN  
 UNFINISHED FLOOR ARE AS SHOWN  
 INTERIOR WALLS ARE 204  
 STAIRS @ 12" UNLESS NOTED  
 EXTERIOR WALLS ARE 204  
 BRICK @ 12" UNLESS NOTED  
 1541 SF

FIRST FLOOR PLAN  
 SCALE: 1/4" = 1'-0"

- PRELIMINARY  
DESIGN CONCEPT ONLY
- PRICING  
THIS PLAN IS NOT FOR CONSTRUCTION. IT HAS BEEN DEVELOPED TO THE SECOND STAGE ONLY.
- FINAL  
THE COPYRIGHT IS NOT RELEASED FOR THIS PLAN UNLESS THIS BOX HAS BEEN CHECKED.

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 DAYTON HOME DESIGN, INC.  
 1004 S. OLDFORDHIDA ST. APPLETON, WI 54915  
 (920)-580-0990 web: daytonhomeplans.com

JOB 2391  
 BY: CYPRESS HOMES

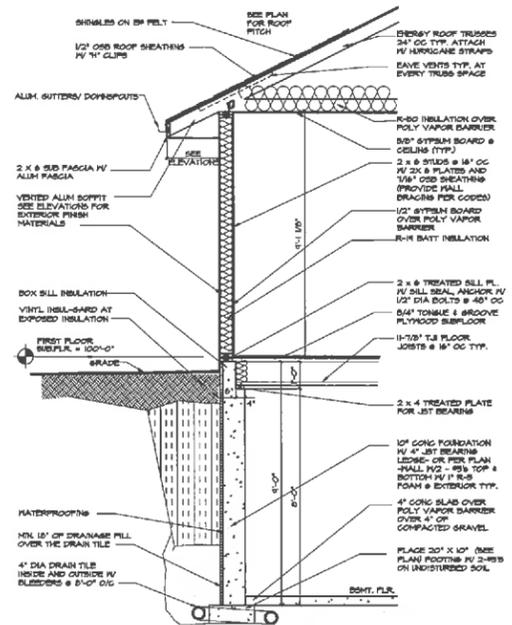
Revisions  
 Drawn by  
 DLA, LAS  
 Date  
 SEPT. 17,  
 2014  
 Sheet No.  
 2 OF 3

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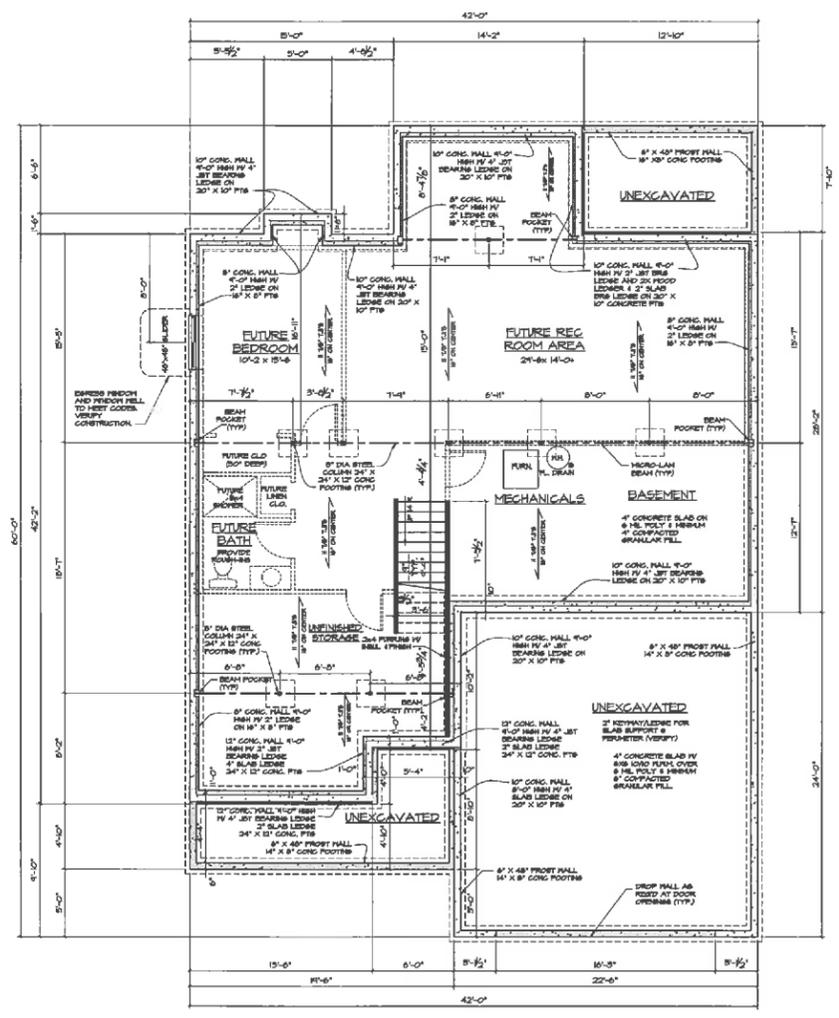
Drawings and notes are taken in the production of this design and drawings. The drawings are provided "as is" without warranty of any kind. The drawings may contain errors, omissions, typographical errors, or other inaccuracies. Dayton Home Design, Inc. assumes no responsibility or liability for these errors or omissions and any incident, direct or consequential damages whatsoever arising from the use of the drawings or the information provided therein.

These drawings are intended for use by a qualified builder capable of determining the modifications and details required before, during, and after construction.

**These Design Notes:**  
Roof and floor truss systems and related beams and columns have been shown to the best of our knowledge. Prior to construction, it is the builder's responsibility to review the design with a local engineer and confirm or suggest the revisions necessary to the design. These revisions should be brought to the attention of Dayton Home Design, Inc. and incorporated into the final drawings.



**WALL SECTION**  
SCALE: 1/2" = 1'-0"



**BASEMENT NOTES:**  
WALLS ARE 4\"/>

**BASEMENT/FOUNDATION PLAN**  
SCALE: 1/4" = 1'-0"

- PRELIMINARY  
DESIGN CONCEPT ONLY
- PRICING  
THIS PLAN IS NOT FOR QUOTATION. IT HAS BEEN DEVELOPED TO THE BIDDING STAGE ONLY.
- FINAL  
THE COPYRIGHT IS NOT RELEASED FOR THIS PLAN UNLESS THIS BOX HAS BEEN CHECKED.

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**DAYTON HOME DESIGN, INC.**  
100 S. OLDFONEDA ST. APPLETON, WI 54915  
(920)-380-0900 web: daytonhomedesign.com

**JOB 2391**  
**BY: CYPRESS HOMES**

Revisions
Drawn by <b>DLA, LAS</b>
Date <b>SEPT. 17, 2014</b>
Sheet No. <b>3 OF 3</b>

**Town of Grand Chute  
Site Plan Review  
City of Appleton**

---

**To:** Plan Commission  
**From:** Michael Patza, Town Planner  
**Date:** February 25, 2016  
**Address:** 1850 W. Northland Avenue

**App. #: SP-03-16**

---

**REQUEST**

- 1. Proposed Use(s):** Regional/neighborhood stormwater pond
- 2. Project Description:** Construction of a wet detention pond, low-flow outlet lift station, and associated site improvements.
- 3. Plat/CSM Accurate parcel lines/lot recorded:** Yes.

**ANALYSIS**

Applicant proposes the construction of a wet detention pond, inlet and outlet sewers, and a low-flow outlet lift station on this 3.6 acre vacant parcel in the Town. The City of Appleton will own and operate this stormwater pond as part of a solution to flooding issues in its W. Wisconsin Avenue drainage basin. The pond will provide peak flow control/flood protection and water quality for a 113-acre drainage basin located between Northland Avenue and Wisconsin Avenue within the city limits.

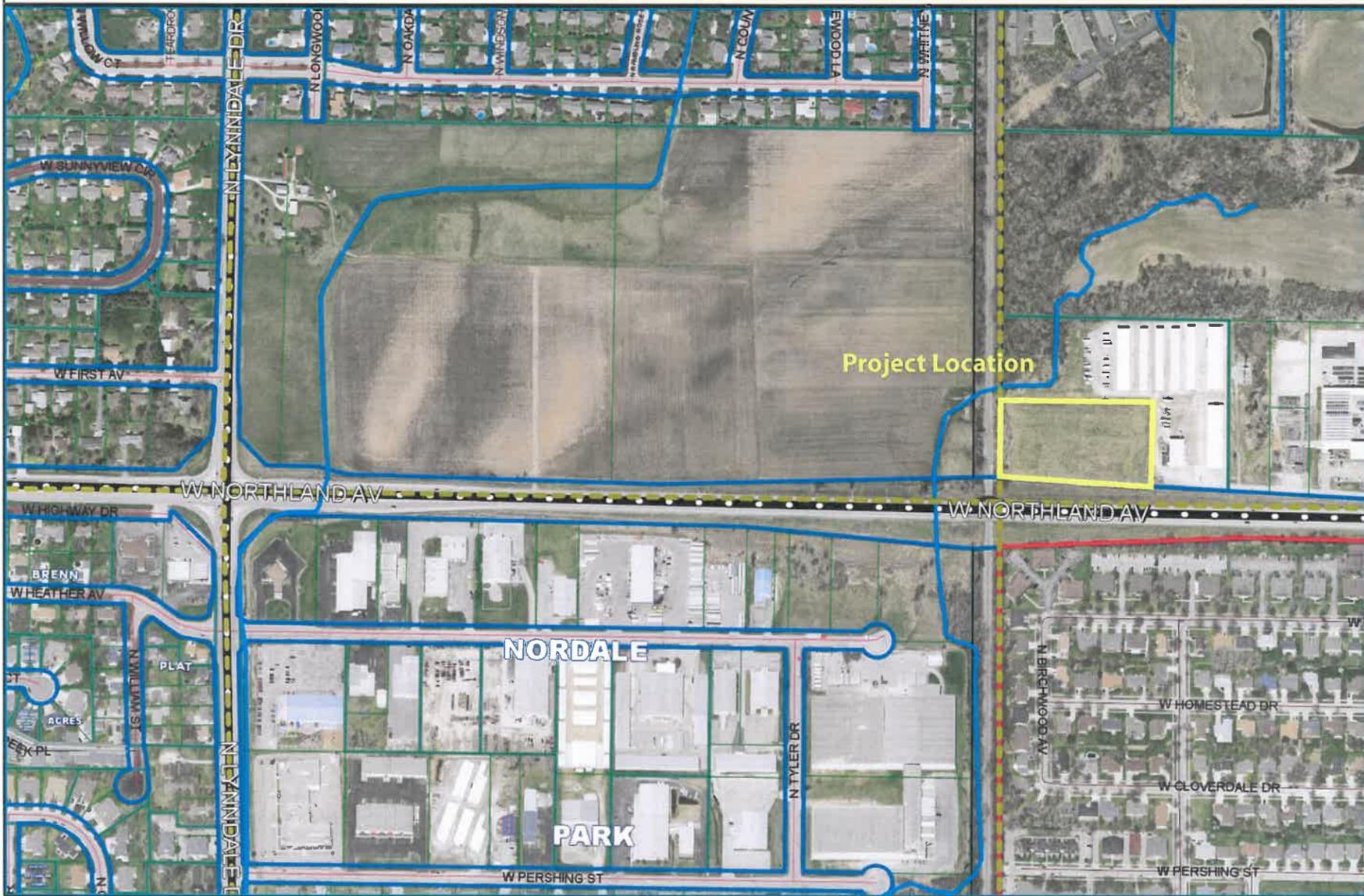
A small utility building will be constructed to house the pumping station for the low-flow lift station. At its February 25, 2016 meeting, the Zoning Board of Appeals granted a variance to allow construction of the lift station structure within the required 55' front yard setback along W. Northland Avenue. The architecture of the building meets code and site lighting a landscape plans for the projects have been approved by staff. Drainage and Erosion Control Plans have been approved by the Town Engineer. Under separate action, the Town Board will consider a Conditional Use Permit for the project. This permit must also be approved by Outagamie County. All other code requirements are met with this request. Construction is planned for 2017.

In addition to Town and County permits, the project requires permits from the WDNR and the U.S. Army Corps of Engineers (USACE).

**RECOMMENDATION**

**Staff has reviewed and supports Plan Commission approval of the Site Plan (SP-03-16) requested by the City of Appleton, for the construction of a stormwater detention pond, low-flow outlet lift station, and associated site improvements at 1850 W. Northland Avenue, subject to Town Board approval of Conditional Use Permit CUP-01-16.**

# SP-03-16 - 1850 W. Northland Avenue



This map was compiled using data believed to be accurate; however, a degree of error is inherent in all maps. This map was distributed "AS-IS" without warranties of any kind, either expressed or implied, including but not limited to warranties of suitability to a particular purpose or use. No attempt has been made in either the design or production of the maps to define the limits or jurisdiction of any federal, state, or local government. Detailed on-the-ground surveys



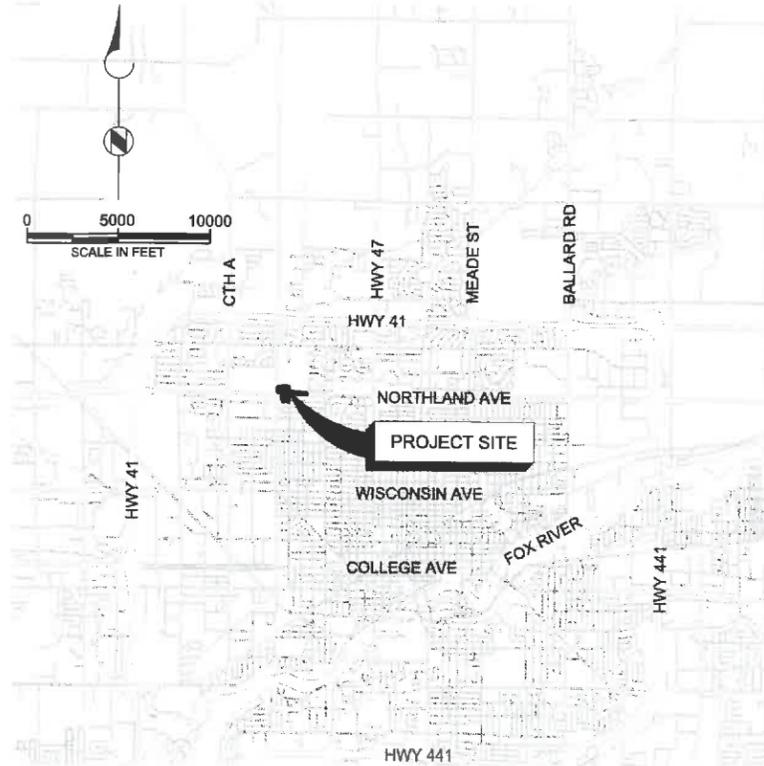
# NORTHLAND AVENUE STORMWATER POND

## CITY OF APPLETON, WI CITY CONTRACT XX-XX

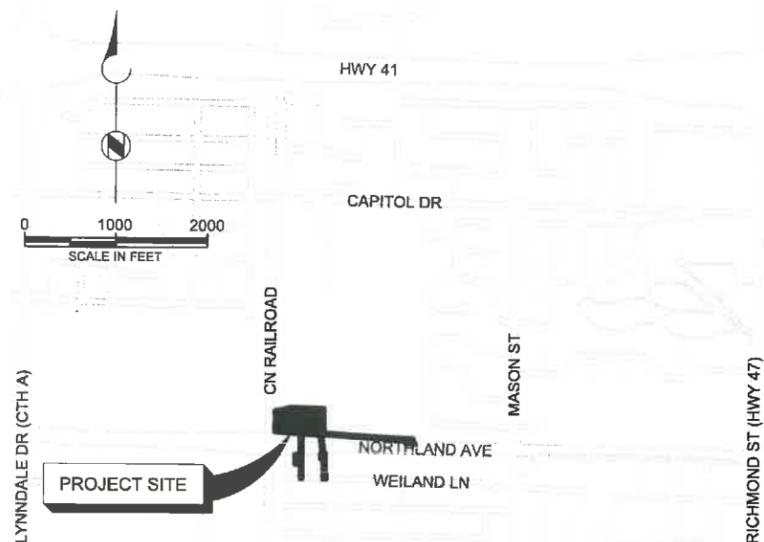
### PERMIT SUBMITTAL DRAWINGS

JANUARY 13, 2016

VICINITY MAP



LOCATION MAP



INDEX OF DRAWINGS

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14	PP-2	OUTLET STORM SEWER PLAN & PROFILE STA 4+00 TO 6+50	42	I-001	INSTRUMENTATION - LEGEND AND SYMBOLS - 1
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24	S-004	STRUCTURAL STANDARD DETAILS 2			
25	S-005	STRUCTURAL STANDARD DETAILS 3			
26	S-101	PUMP STATION - BOTTOM PLAN AND INTAKE PLAN			
27	S-102	PUMP STATION - DISCHARGE PLAN			
28	S-103	PUMP STATION - TOP PLAN			

PREPARED FOR:



CITY OF APPLETON  
100 NORTH APPLETON STREET  
APPLETON, WI  
(920) 832-8474

**Brown AND Caldwell** :

BROWN AND CALDWELL  
250 EAST WISCONSIN AVENUE  
MILWAUKEE, WI 53202  
(414) 273-8800

ENGR P.E. SEAL AND  
STAMP DESIGNATED  
LOCATION

**SURVEY SYMBOLS & ABBREVIATIONS**

**DESIGN SYMBOLS & ABBREVIATIONS**

**GENERAL NOTES**

- CABLE TELEVISION LINE
- ELECTRIC LINE
- 750--- EXISTING MAJOR CONTOUR
- 751--- EXISTING MINOR CONTOUR
- FENCE
- GAS LINE
- GUARD RAIL
- OVERHEAD UTILITY
- PAVEMENT MARKING
- PROPERTY LINE
- RAILROAD TRACKS
- SANITARY SEWER
- STORM SEWER
- STREAM
- TELEPHONE LINE
- TREELINE
- WATER MAIN
- WETLAND BOUNDARY
- CABLE TV PEDESTAL
- CONTROL POINT
- ELECTRIC PEDESTAL
- ELECTRIC TRANSFORMER
- FIRE HYDRANT
- GAS METER
- GAS VALVE
- GUY WIRE
- LIGHT POLE
- MAILBOX
- POT HOLE
- POWER POLE
- PROPERTY IRON
- SANITARY MANHOLE
- SHRUB
- SIGN
- SOIL BORING
- STORM INLET
- STORM MANHOLE
- STORM CATCH BASIN, ROUND
- TELEPHONE MANHOLE
- TELEPHONE PEDESTAL
- TEST PIT
- TREE, DECIDUOUS
- TREE, EVERGREEN
- WATER MANHOLE
- WATER VALVE

- 750--- PROPOSED CONTOUR, MAJOR
- 751--- PROPOSED CONTOUR, MINOR
- EASEMENT, PERMANENT
- EASEMENT, TEMPORARY
- SILT FENCE
- ▣ INLET PROTECTION
- SEDIMENT LOG
- x CLEAR & GRUB EXISTING SHRUB
- X CLEAR & GRUB EXISTING TREE
- PROPOSED STORM SEWER
- ⊙ PROPOSED STORM MANHOLE
- ▣ PROPOSED STORM ENDWALL
- PROPOSED SHRUB
- \* PROPOSED CONIFEROUS TREE
- PROPOSED DECIDUOUS TREE
- ▨ SOIL STABILIZER, TYPE B
- ▨ EROSION MAT, TYPE 1, CLASS A
- ▨ TRACKING PAD
- ▨ RIP-RAP
- ▨ REMOVE & REPLACE EXISTING ASPHALT
- ▨ REMOVE & REPLACE EXISTING CONCRETE
- ▨ REMOVE & REPLACE EXISTING GRAVEL
- ▨ ASPHALT ACCESS ROAD
- ▨ TURF GRASS SEEDING
- ▨ SHORELINE SEEDING
- ▨ SIDE SLOPE SEEDING
- ▨ NO MOW FESCUE SEEDING

1. THE LOCATION OF EXISTING FACILITIES SHOWN ON THE PLAN SHEETS ARE APPROXIMATE. THERE MAY BE OTHER UTILITY FACILITIES WITHIN THE PROJECT AREA THAT ARE NOT SHOWN. THE CONTRACTOR SHALL CONFIRM ALL UNDERGROUND FACILITIES BY REQUESTING AN UNDERGROUND LOCATE THROUGH DIGGERS HOTLINE PRIOR TO WORK. THE CONTRACTOR SHALL ALSO COORDINATE PRIVATE UTILITY LOCATES WITH THE OWNER BEFORE CONSTRUCTION STARTS. DAMAGE TO EXISTING UTILITIES RESULTING FROM THE CONTRACTOR'S NEGLIGENCE SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
2. STORM SEWER SHALL BE PER SECTION 5 OF THE CITY SPECIFICATIONS UNLESS OTHERWISE INDICATED AS TRENCHLESS INSTALLATION ON THE CONSTRUCTION DRAWINGS.
3. STORM SEWER TRENCH SHALL BE PER SECTION 5 AND PLATE 1 FOR BEDDING TYPE OC-1 OF THE CITY SPECIFICATIONS.
4. STORM MANHOLES SHALL BE PER SECTION 5 AND PLATE 3 OF THE CITY SPECIFICATIONS.
5. ALL STATIONING IS ALONG THE HORIZONTAL CENTERLINE OF THE NEW STORM SEWER.
6. PIPE SLOPES ARE CALCULATED FROM CENTER OF MANHOLE.
7. THE NOTE IN THE TITLE BLOCK OF THIS DRAWING WHICH READS "TWO INCHES AT FULL SCALE" APPEARS ON DRAWINGS FOR IDENTIFICATION OF SCALE DISTORTIONS ON HALF SIZE DRAWINGS AND DRAWING REPRODUCTIONS. IT SHALL MEAN THAT THE DRAWING IS FULL SIZE AND THE DRAWING SCALES ACCURATE WHEN THE LENGTH OF THIS LINE IS TWO INCHES. IF THE LENGTH IS OTHER THAN TWO INCHES, DRAWING SCALES MUST BE ADJUSTED ACCORDINGLY.
8. SITE TOPOGRAPHY WAS COMPILED FROM GROUND SURVEYS BY THE CITY OF APPLETON. VERTICAL DATUM IS NGVD29 AND HORIZONTAL DATUM IS NAD83, 1991. HORIZONTAL COORDINATE SYSTEM IS WISCONSIN COUNTY COORDINATES SYSTEM, OUTAGAMIE COUNTY.
9. THE CONTRACTOR SHALL MAKE A REVIEW OF THE SITE TO DETERMINE EXISTING CONDITIONS. ANYTHING NOT SHOWN ON THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER IMMEDIATELY AND SHALL NOT CONSTITUTE GROUNDS FOR AN EXTRA, UNLESS APPROVED BY THE OWNER.
10. THE CONTRACTOR SHALL CONTACT THE OWNER IMMEDIATELY IF ANY CONFLICTS ARE FOUND IN THE CONTRACT DOCUMENTS.
11. ANY AND ALL AREAS NOT SPECIFIED FOR CONSTRUCTION WHICH ARE DISTURBED AND OR DAMAGED BY THE CONTRACTOR SHALL BE RESTORED TO THE STANDARDS OF THE CONTRACT DOCUMENTS TO THE EXISTING LOCATION, ELEVATION AND DIMENSION AND TO THE SATISFACTION OF THE OWNER.
12. THE CONTRACTOR'S CONSTRUCTION MEANS AND METHODS SHALL COMPLY WITH APPLICABLE FEDERAL, STATE AND LOCAL CONSTRUCTION AND SAFETY CODES. WHERE APPLICABLE THE CONTRACTOR SHALL PROVIDE ALL NECESSARY LICENSES AND PERMITS AT ITS OWN EXPENSE UNLESS PREVIOUSLY OBTAINED BY THE OWNER.
13. CONTRACTOR SHALL PROVIDE ALL DEWATERING EQUIPMENT NECESSARY TO KEEP EXCAVATIONS DRY AND SHALL PROVIDE ALL SHEETING, SHORING AND BRACING NECESSARY TO PROTECT ADJACENT STRUCTURES, UTILITIES, EXISTING PAVEMENT, OR TO MINIMIZE TRENCH WIDTH.
14. ALL MATERIAL SHALL BE NEW, UNLESS OTHERWISE NOTED ON THE DRAWINGS.
15. CONTRACTOR SHALL MAINTAIN ACCESS TO THE SITE AT ALL TIMES. ACCESS TO THE SITE IS SHOWN ON THE PLANS.
16. FINISHED GRADE SHOWN ON THE DRAWINGS REFERS TO THE FINAL GRADE AFTER THE INSTALLATION OF FINAL EROSION CONTROL MEASURES AND GROUND TREATMENT.



**DRAFT  
NOT FOR  
CONSTRUCTION  
PERMIT SUBMITTAL  
DRAWINGS**



**NORTHLAND  
AVENUE  
STORMWATER  
POND**

REVISIONS		
REV	DATE	DESCRIPTION

LINE IS 2 INCHES AT FULL SIZE

DESIGNED: #  
DRAWN: #  
CHECKED: #  
CHECKED: #  
APPROVED: #

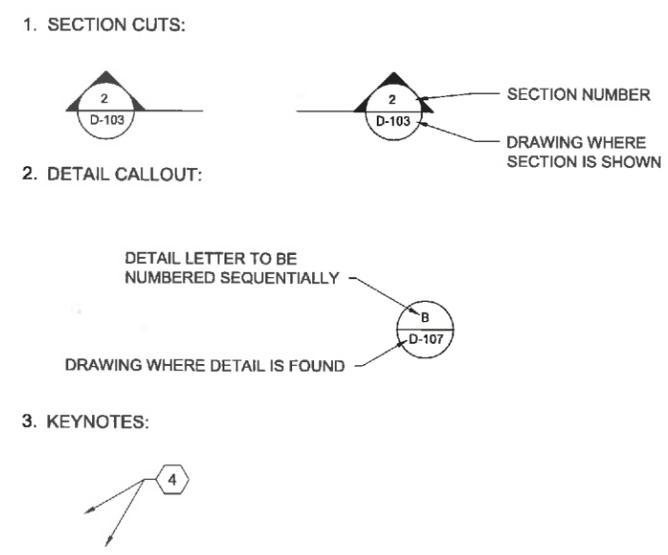
FILENAME: G-01.DWG  
BC PROJECT NUMBER: 147662  
CLIENT PROJECT NUMBER: XX-XX

**CIVIL**

**SYMBOLS,  
ABBREVIATIONS, &  
GENERAL NOTES**

DRAWING NUMBER: **G-1**  
SHEET NUMBER: 2 OF 46

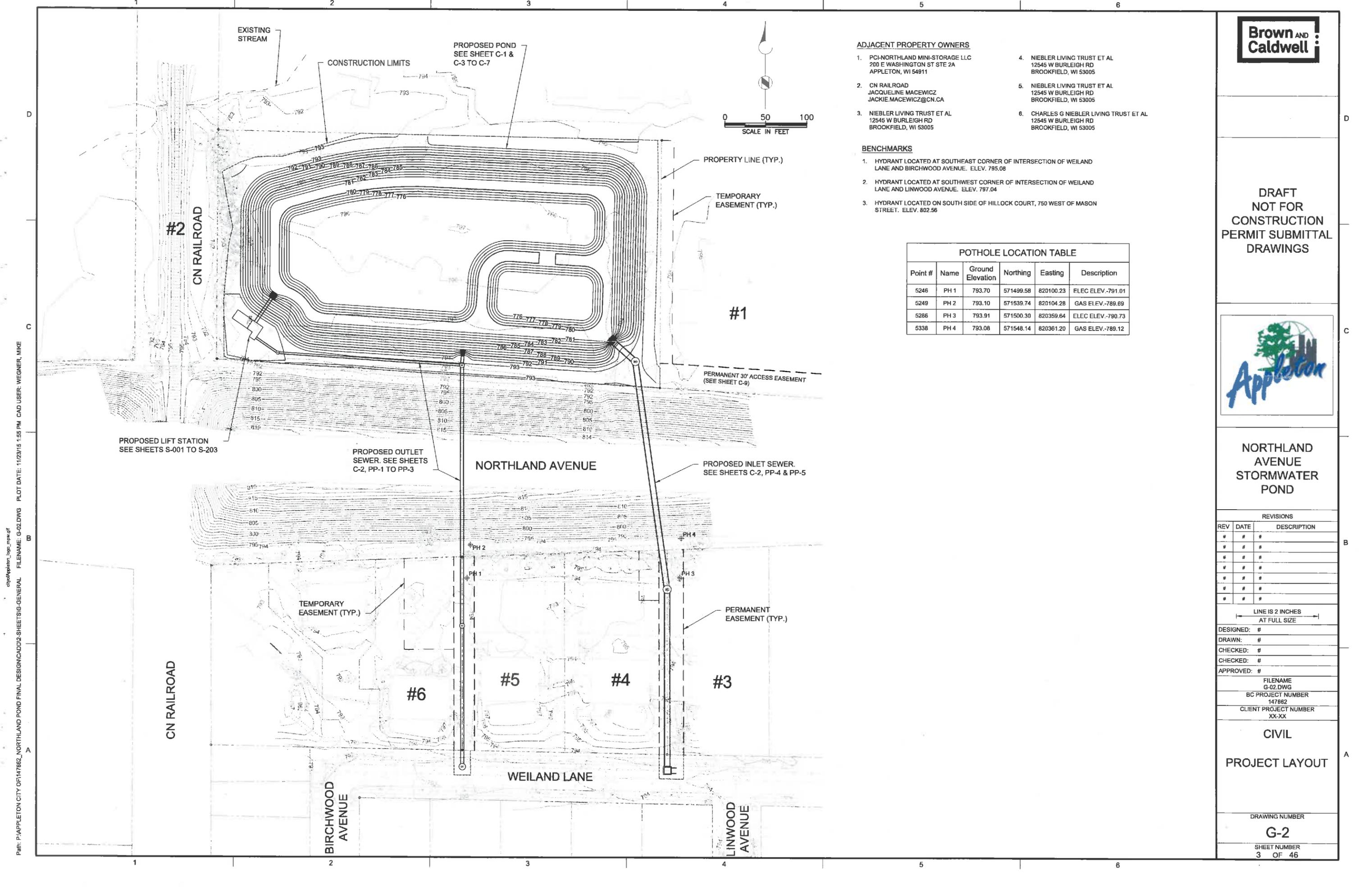
**CROSS REFERENCING SYSTEM**



**DIGGERS HOTLINE**

TOLL FREE (800) 242-8511  
MILWAUKEE AREA (414) 259-1181  
HEARING IMPAIRED TDD (800) 542-2289  
WWW.DIGGERSHOTLINE.COM

P:\17662\CITY OF APPLETON\NORTH LAND POND FINAL DESIGN\CADD\2-SHEETS\G-GENERAL FILENAME: G-01.DWG PLOT DATE: 11/23/15 9:25 AM CAD USER: WEGNER, MIKE



**ADJACENT PROPERTY OWNERS**

- |   |  |
|---|--|
| 1. PCI-NORTHLAND MINI-STORAGE LLC<br>200 E WASHINGTON ST STE 2A<br>APPLETON, WI 54911 | 4. NIEBLER LIVING TRUST ET AL<br>12545 W BURLEIGH RD<br>BROOKFIELD, WI 53005           |
| 2. CN RAILROAD<br>JACQUELINE MACEWICZ<br>JACKIE.MACEWICZ@CN.CA                        | 5. NIEBLER LIVING TRUST ET AL<br>12545 W BURLEIGH RD<br>BROOKFIELD, WI 53005           |
| 3. NIEBLER LIVING TRUST ET AL<br>12545 W BURLEIGH RD<br>BROOKFIELD, WI 53005          | 6. CHARLES G NIEBLER LIVING TRUST ET AL<br>12545 W BURLEIGH RD<br>BROOKFIELD, WI 53005 |

**BENCHMARKS**

- HYDRANT LOCATED AT SOUTHEAST CORNER OF INTERSECTION OF WEILAND LANE AND BIRCHWOOD AVENUE. ELEV. 795.08
- HYDRANT LOCATED AT SOUTHWEST CORNER OF INTERSECTION OF WEILAND LANE AND LINWOOD AVENUE. ELEV. 797.04
- HYDRANT LOCATED ON SOUTH SIDE OF HILLOCK COURT, 750 WEST OF MASON STREET. ELEV. 802.56

**POTHOLE LOCATION TABLE**

Point #	Name	Ground Elevation	Northing	Easting	Description
5246	PH 1	793.70	571499.58	820100.23	ELEC ELEV.-791.01
5249	PH 2	793.10	571539.74	820104.28	GAS ELEV.-789.89
5286	PH 3	793.91	571500.30	820359.64	ELEC ELEV.-790.73
5338	PH 4	793.08	571548.14	820361.20	GAS ELEV.-789.12



DRAFT  
NOT FOR  
CONSTRUCTION  
PERMIT SUBMITTAL  
DRAWINGS



**NORTHLAND AVENUE  
STORMWATER POND**

**REVISIONS**

REV	DATE	DESCRIPTION

LINE IS 2 INCHES  
AT FULL SIZE

DESIGNED: #

DRAWN: #

CHECKED: #

CHECKED: #

APPROVED: #

FILENAME  
G-02.DWG

BC PROJECT NUMBER  
147862

CLIENT PROJECT NUMBER  
XX-XX

**CIVIL  
PROJECT LAYOUT**

DRAWING NUMBER

**G-2**

SHEET NUMBER  
3 OF 46

Path: P:\APPLETON CITY OF\147862\_NORTHLAND POND FINAL DESIGN\CADD\2-SHEETS\G-GENERAL FILENAME: G-02.DWG PLOT DATE: 11/23/15 1:55 PM CAD USER: WEGNER, MIKE  
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**EROSION CONTROL LEGEND**

-  TRACKING PAD 2  
CD-1
-  SOIL STABILIZER, TYPE B
-  EROSION MAT CLASS I URBAN, TYPE A 3  
CD-1
-  RIP-RAP
-  SILT FENCE 1  
CD-1

\*WASHOUT OF ALL CONCRETE TRUCKS SHALL OCCUR AT DESIGNATED "CONCRETE TRUCK WASHOUT AREA." CONCRETE TRUCK WASHOUT SHALL BE CONSTRUCTED IN ACCORDANCE WITH DETAIL. CONTRACTOR SHALL IDENTIFY WASHOUT LOCATION.

11  
CD-3

STANDARD NO.	STANDARD DESCRIPTION
1050	LAND APPLICATION OF ANIONIC POLYACRYLAMIDE
1051	WATER APPLICATION OF POLYMERS
1052	NON-CHANNEL EROSION MAT
1053	CHANNEL EROSION MAT
1054	VEGETATIVE BUFFER FOR CONSTRUCTION SITES
1055	SEDIMENT BALE BARRIER
1056	SILT FENCE
1057	STONE TRACKING PAD AND TIRE WASHING
1058	MULCHING FOR CONSTRUCTION SITES
1059	SEEDING
1060	STORM DRAIN INLET PROTECTION FOR CONSTRUCTION SITES
1061	DE-WATERING
1062	DITCH CHECKS
1063	SEDIMENT TRAP
1064	SEDIMENT BASIN
1066	CONSTRUCTION SITE DIVERSION
1067	GRADING PRACTICES FOR EROSION CONTROL - TEMPORARY
1068	DUST CONTROL
1069	TURBIDITY BARRIERS
1070	SILT CURTAIN

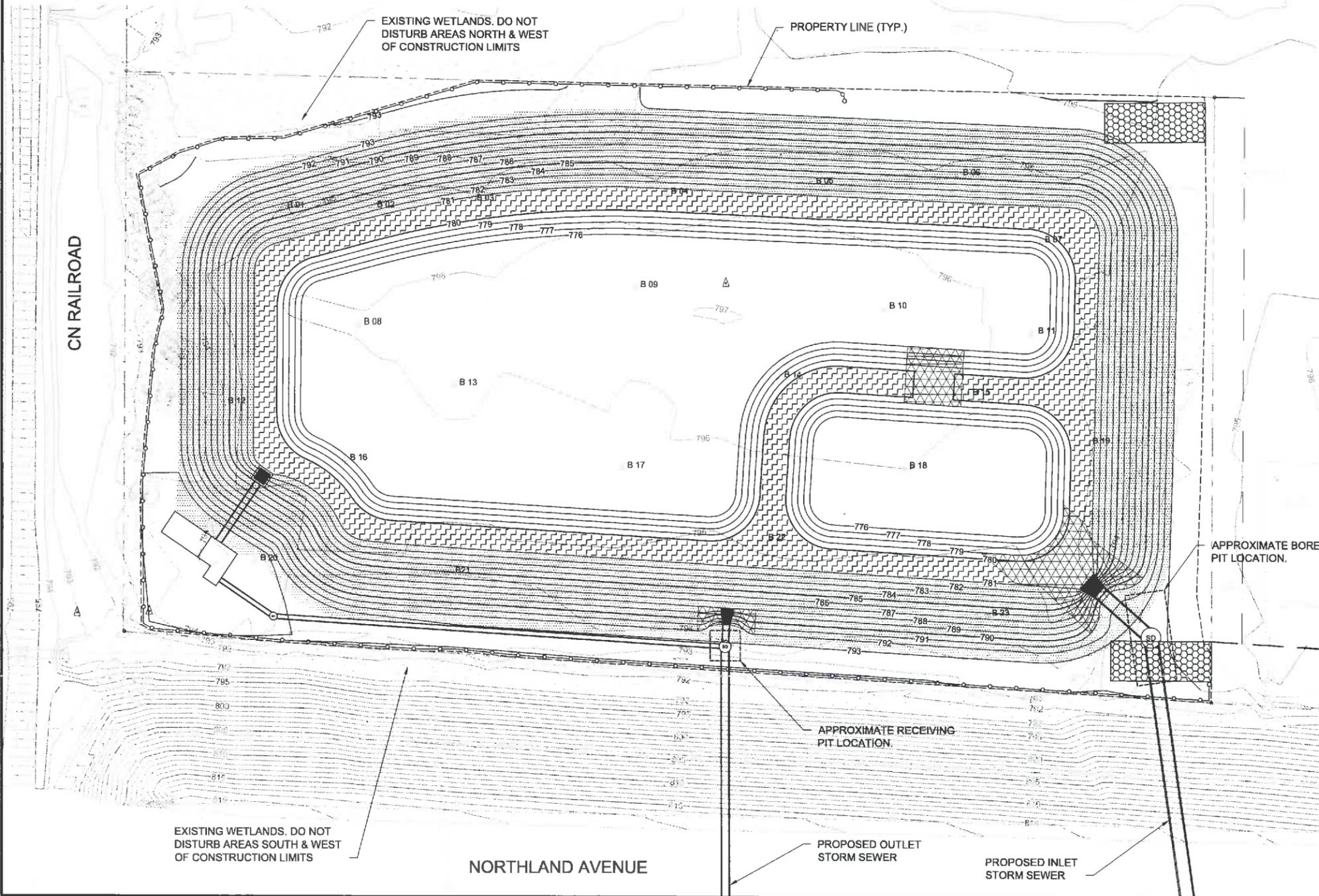
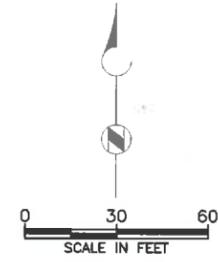
WDNR TECHNICAL STANDARDS CAN BE FOUND AT:  
[http://dnr.wi.gov/topic/Stormwater/standards/const\\_standards.html](http://dnr.wi.gov/topic/Stormwater/standards/const_standards.html)

**EROSION CONTROL NOTES**

- GENERAL**
- SEE SPECIFICATIONS AND WDNR TECHNICAL STANDARDS FOR ADDITIONAL EROSION CONTROL INFORMATION. EROSION CONTROL FACILITIES SHALL BE INSTALLED AND MAINTAINED ACCORDING TO THE TECHNICAL STANDARDS AND CITY SPECIFICATIONS.
  - THIS SUGGESTED EROSION CONTROL PLAN IS INTENDED TO PROVIDE CONCEPTUAL EROSION CONTROL BMPs FOR THE CONTRACTOR'S CONSIDERATION.
  - CONTRACTOR IS RESPONSIBLE FOR SUBMITTING FINAL EROSION CONTROL, DEWATERING, MATERIALS MANAGEMENT AND SEQUENCING PLANS TO THE CITY AND THE WDNR PRIOR TO CONSTRUCTION START.
  - CONTRACTOR SHALL KEEP AND POST A COPY OF ALL PERMITS AND APPROVED PLANS AT THE PROJECT SITE AT ALL TIMES.
  - CONTRACTOR SHALL ALLOW FREE AND UNLIMITED ACCESS TO THE PROJECT SITE AT ANY TIME TO ANY REGULATORY AGENCY EMPLOYEE INSPECTING THE CONSTRUCTION.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR ANY WDNR FINES RESULTING FROM DEVIATION, WITHOUT OWNER APPROVAL, FROM THE CONTRACT DOCUMENTS.
  - SILT FENCE START AND END POINTS ARE INDICATED BY CIRCLES AT EACH END.

- EROSION CONTROL MEASURES**
- CONTRACTOR SHALL INSTALL APPROPRIATE EROSION CONTROL PRACTICES AND MEASURES PRIOR TO COMMENCING LAND DISTURBING ACTIVITIES.
  - CONTRACTOR IS RESPONSIBLE FOR INSTALLING EROSION CONTROL PRACTICES. EROSION CONTROL PRACTICES MAY BE NEEDED THAT ARE NOT SHOWN ON THESE PLANS.
  - AGGREGATE TRACKING PADS SHALL BE INSTALLED AT ALL CONSTRUCTION SITE EXITS TO PREVENT TRACKING OF SOIL. (SEE WDNR TECH STD 1057) SEDIMENT TRACKED ONTO NEARBY STREETS SHALL BE REMOVED IMMEDIATELY.
  - SEDIMENT LADEN DISCHARGES ARE PROHIBITED. DEWATERING PRACTICES MEETING WDNR TECH STD 1061 ARE REQUIRED. SILT FENCE (SEE WDNR TECH STD 1056) SHALL BE PLACED AT THE DOWNSTREAM END OF ALL SURFACE SPREADING DEWATERING AREAS.
  - DEWATERING SYSTEMS SHALL INCLUDE FLOATATION FOR THE PUMP INTAKE HOSE TO PREVENT INTAKE OF SEDIMENT FROM BOTTOM.
  - FLOW SHALL BE MAINTAINED THROUGH THE SITE DURING CONSTRUCTION.
  - SILT FENCE SHALL BE INSTALLED AROUND ANY EXCESS MATERIAL AND TOPSOIL STOCKPILES. (SEE WDNR TECH STD 1056)
  - SILT FENCE SHALL BE SUPPORTED BY ADDITIONAL STAKES OR HAY BALES IN AREAS OF CONCENTRATED FLOW. (SEE WDNR TECH STD 1056)
  - CONTRACTOR SHALL INSTALL TYPE D INLET PROTECTION AT ALL INLETS WITHIN 500 FT OF THE CONSTRUCTION SITE. ALONG THE HAUL ROUTE(S), THE ENGINEER RESERVES THE RIGHT TO REQUIRE THE PROTECTION OF ADDITIONAL STORM SEWER INLETS. (SEE WDNR TECH STD 1060)
  - THE CONTRACTOR SHALL PERFORM STREET SWEEPING DAILY ALONG ALL HAUL ROUTES.
  - SILT FENCE INSTALLATION PERPENDICULAR TO THE CONTOUR SHALL INCLUDE J-HOOKS AS SHOWN ON DETAIL. MEASUREMENT AND PAYMENT ARE INCIDENTAL TO SILT FENCE BIT ITEM.
  - WASHOUT OF ALL CONCRETE TRUCKS SHALL OCCUR AT DESIGNATED "CONCRETE TRUCK WASHOUT AREA." CONCRETE TRUCK WASHOUT SHALL BE CONSTRUCTED IN ACCORDANCE WITH DETAIL.

- MAINTENANCE OF PRACTICES DURING CONSTRUCTION**
- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED AND RECORDED FOR STABILITY AND EFFECTIVENESS OF OPERATION AT LEAST ONCE EVERY WEEK AND WITHIN 24 HOURS OF A RAINFALL EVENT OF 0.5 INCHES OR GREATER. ANY NEEDED REPAIRS SHALL BE MADE IMMEDIATELY TO MAINTAIN THE PRACTICES AS DESIGNED. SEDIMENT CONTROL MEASURES ARE TO BE IN WORKING CONDITION AT THE END OF EACH WORKING DAY.
  - REMOVE SEDIMENT FROM BEHIND SILT FENCE WHEN IT BECOMES A MAXIMUM OF ONE HALF THE FENCE HEIGHT.
  - REMOVE SIDEMENT FROM TYPE D INLET PROTECTION WHEN SEDIMENT HAS ACCUMULATED TO A MAXIMUM OF ONE HALF THE DESIGN DEPTH.
  - FOLLOWING CONSTRUCTION THE POND SHALL BE CLEANED TO REMOVE ANY SEDIMENTS ENTERING FROM THE CONSTRUCTION SITE. FINAL GRADES SHALL MATCH CONSTRUCTION DRAWINGS.



**DRAFT  
NOT FOR  
CONSTRUCTION  
PERMIT SUBMITTAL  
DRAWINGS**



**NORTHLAND  
AVENUE  
STORMWATER  
POND**

REVISIONS		
REV	DATE	DESCRIPTION

LINE IS 2 INCHES  
AT FULL SIZE

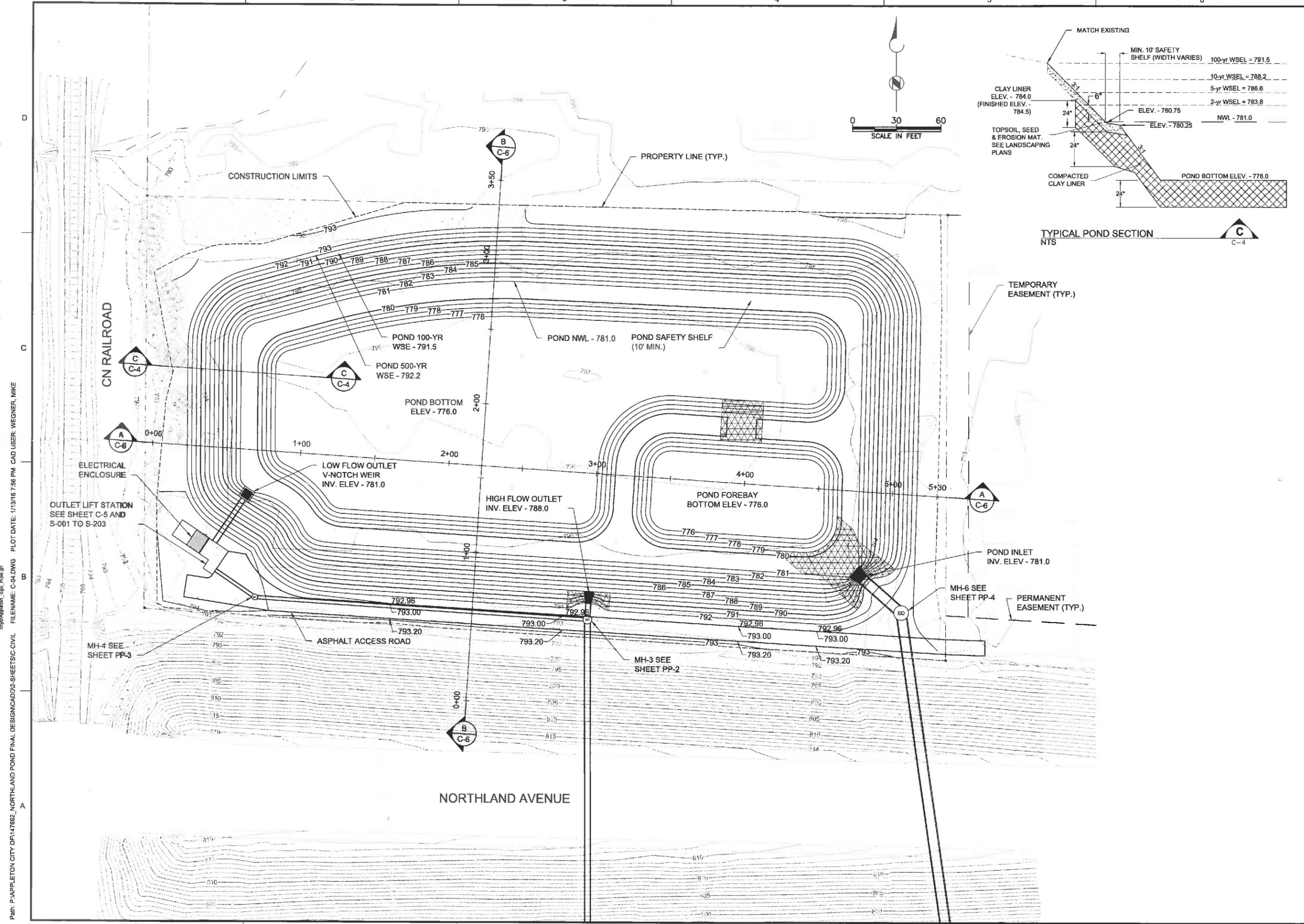
DESIGNED: #  
DRAWN: #  
CHECKED: #  
CHECKED: #  
APPROVED: #

FILENAME  
C-03.DWG  
BC PROJECT NUMBER  
147662  
CLIENT PROJECT NUMBER  
XX-XX

**CIVIL  
POND EROSION  
CONTROL PLAN**

DRAWING NUMBER  
**C-3**  
SHEET NUMBER  
6 OF 46

Path: P:\APPLETON CITY DR\147662\_NORTHLAND POND FINAL DESIGN\CADD\2-SHEETS\CIVIL FILENAME: C-03.DWG PLOT DATE: 11/23/15 2:36 PM CAD USER: WEGNER, MIKE



DRAFT  
NOT FOR  
CONSTRUCTION  
PERMIT SUBMITTAL  
DRAWINGS



NORTHLAND  
AVENUE  
STORMWATER  
POND

REVISIONS		
REV	DATE	DESCRIPTION

LINE IS 2 INCHES  
AT FULL SIZE

DESIGNED: #  
DRAWN: #  
CHECKED: #  
CHECKED: #  
APPROVED: #

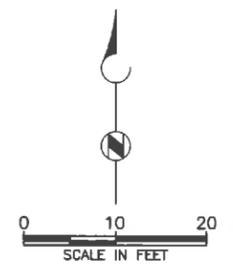
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C-04.DWG  
BC PROJECT NUMBER  
147862  
CLIENT PROJECT NUMBER  
XX-XX

CIVIL  
POND GRADING  
PLAN

DRAWING NUMBER  
**C-4**  
SHEET NUMBER  
7 OF 46

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P:\147682\_NORTHLAND POND\_FINAL DESIGN\CADD\2-SHEETS\CIVIL FILENAME: C-05\_PUMPSTATIONGRADING.DWG PLOT DATE: 1/13/16 8:08 PM CAD USER: WEGNER, MIKE



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NOT FOR  
CONSTRUCTION  
PERMIT SUBMITTAL  
DRAWINGS



NORTHLAND  
AVENUE  
STORMWATER  
POND

REVISIONS		
REV	DATE	DESCRIPTION
#	#	#
#	#	#
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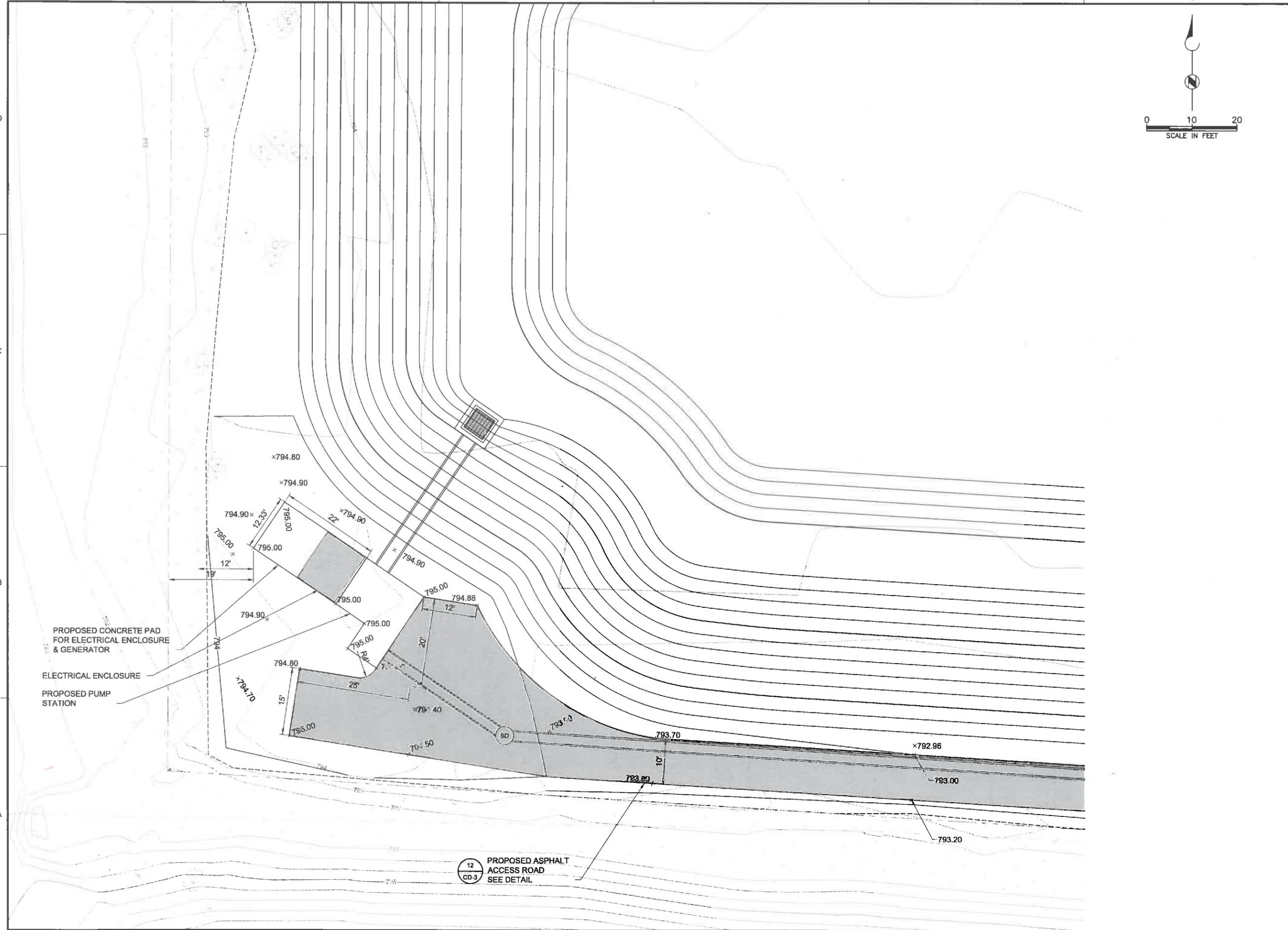
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BC PROJECT NUMBER: 147682

CLIENT PROJECT NUMBER: XX-XX

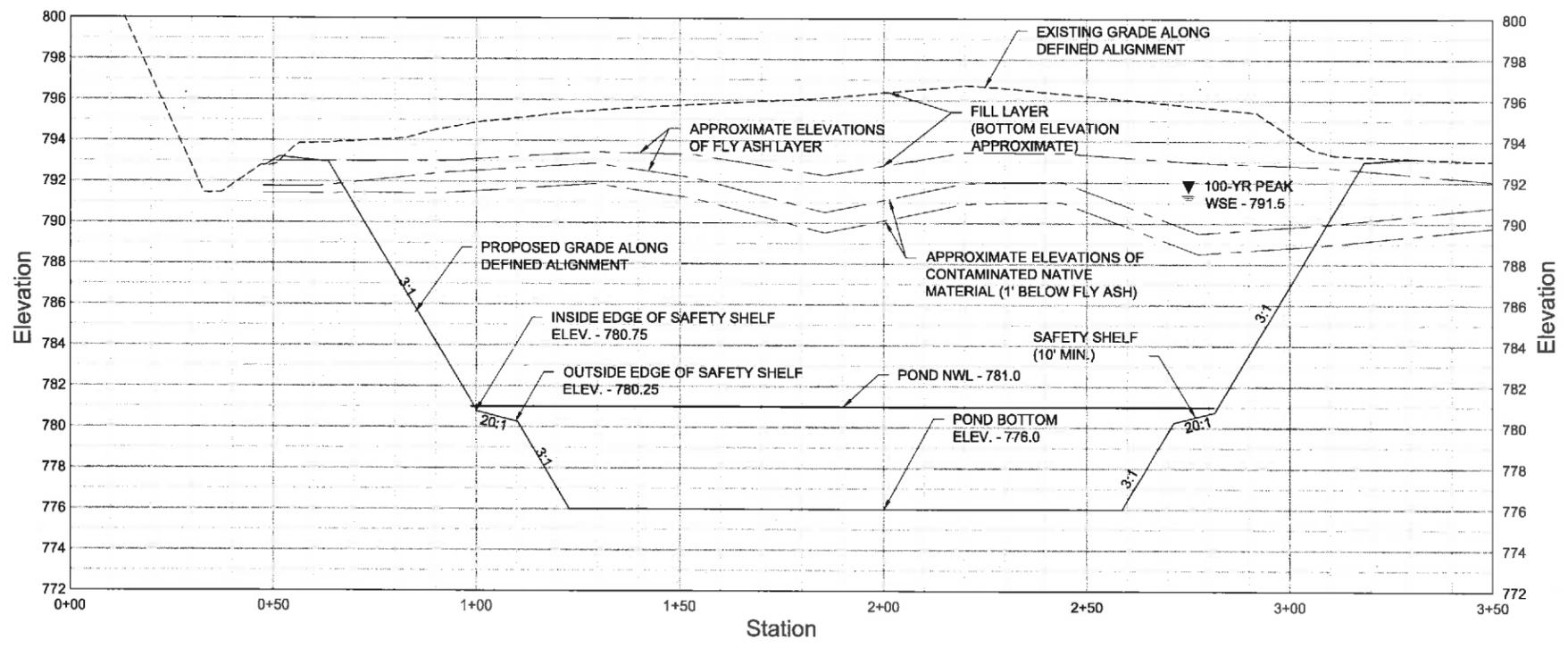
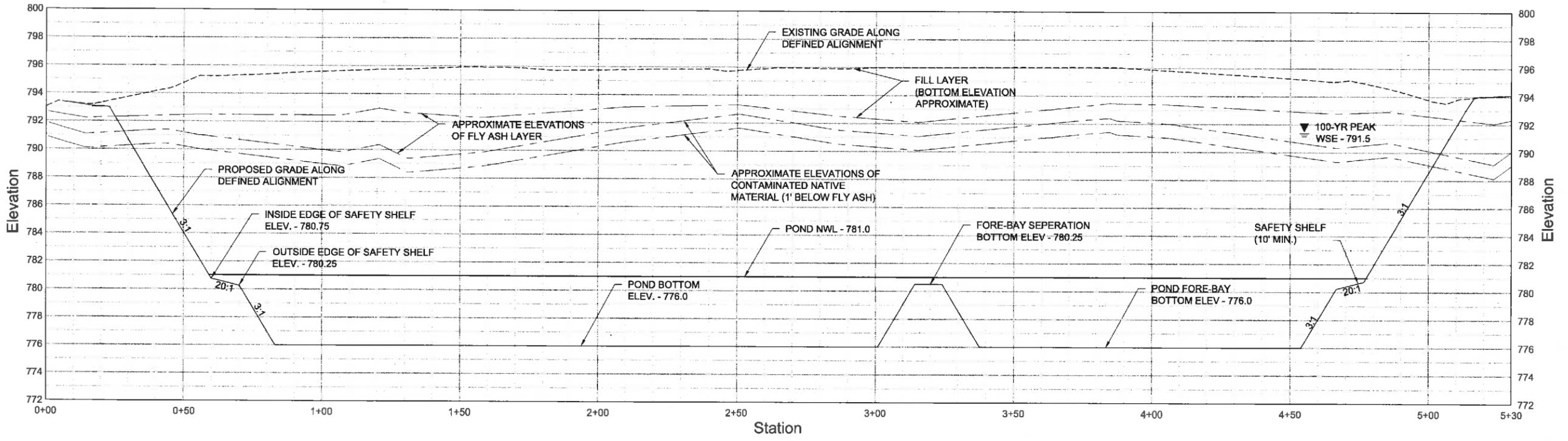
CIVIL  
  
LIFT STATION  
GRADING PLAN

DRAWING NUMBER  
**C-5**  
SHEET NUMBER  
8 OF 46



PROPOSED ASPHALT  
ACCESS ROAD  
SEE DETAIL

Path: P:\APPLETON CITY OF\147662\_NORTHLAND POND FINAL DESIGN\CADD\2-SHEETS\CIVIL FILENAME: C-06.DWG PLOT DATE: 11/20/15 12:21 PM CAD USER: WEGNER, MIKE  
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CONSTRUCTION  
PERMIT SUBMITTAL  
DRAWINGS**



**NORTHLAND  
AVENUE  
STORMWATER  
POND**

REVISIONS		
REV	DATE	DESCRIPTION
#	#	#
#	#	#
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#	#	#

LINE IS 2 INCHES AT FULL SIZE

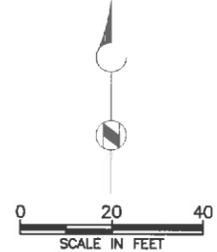
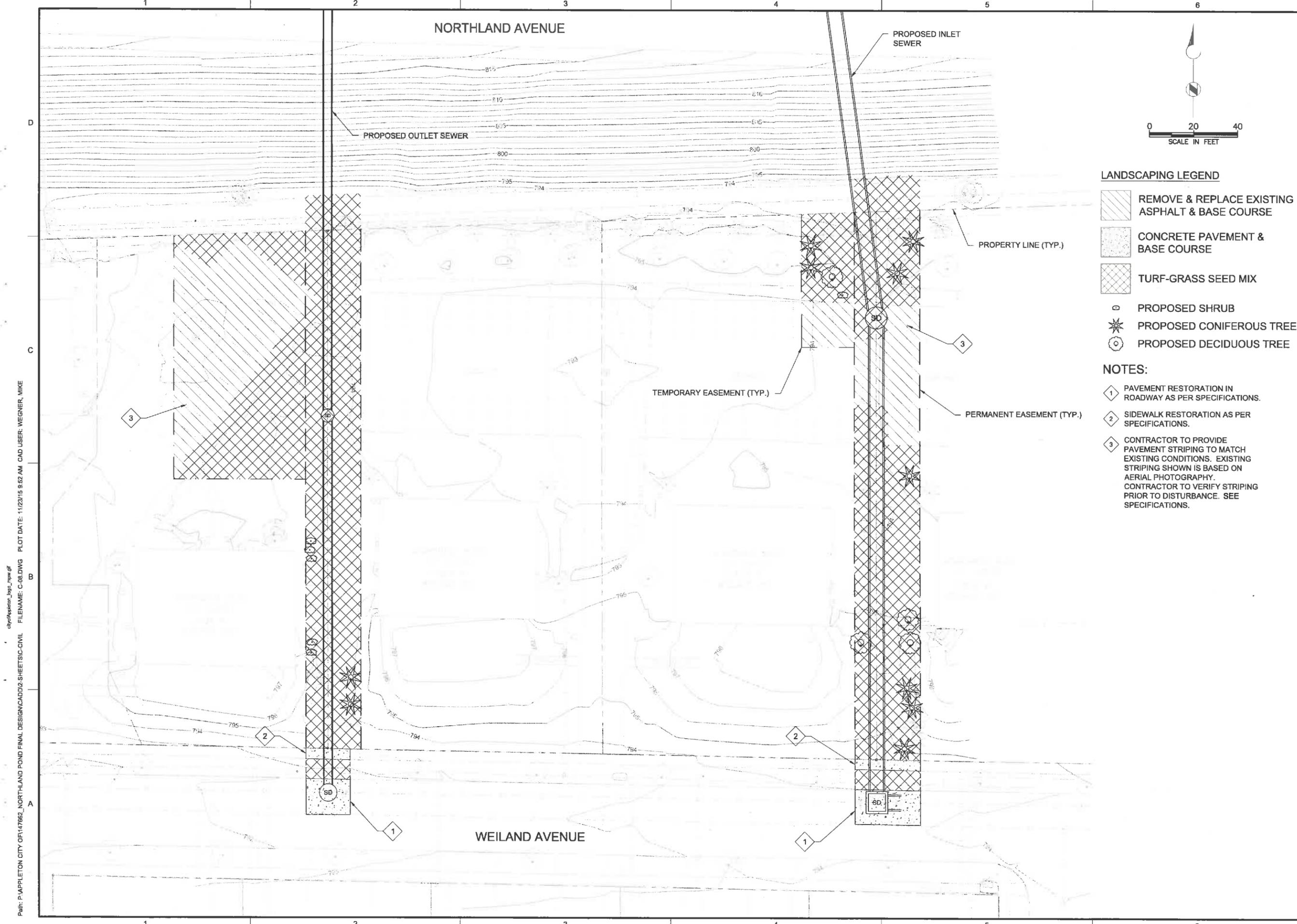
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 APPROVED: #

FILENAME: C-06.DWG  
 BC PROJECT NUMBER: 147662  
 CLIENT PROJECT NUMBER: XX-XX

**CIVIL  
POND CROSS  
SECTIONS**

DRAWING NUMBER  
**C-6**  
 SHEET NUMBER  
9 OF 46





**LANDSCAPING LEGEND**

-  REMOVE & REPLACE EXISTING ASPHALT & BASE COURSE
-  CONCRETE PAVEMENT & BASE COURSE
-  TURF-GRASS SEED MIX
-  PROPOSED SHRUB
-  PROPOSED CONIFEROUS TREE
-  PROPOSED DECIDUOUS TREE

**NOTES:**

- 1 PAVEMENT RESTORATION IN ROADWAY AS PER SPECIFICATIONS.
- 2 SIDEWALK RESTORATION AS PER SPECIFICATIONS.
- 3 CONTRACTOR TO PROVIDE PAVEMENT STRIPING TO MATCH EXISTING CONDITIONS. EXISTING STRIPING SHOWN IS BASED ON AERIAL PHOTOGRAPHY. CONTRACTOR TO VERIFY STRIPING PRIOR TO DISTURBANCE. SEE SPECIFICATIONS.

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NOT FOR  
CONSTRUCTION  
PERMIT SUBMITTAL  
DRAWINGS**



**NORTHLAND  
AVENUE  
STORMWATER  
POND**

REVISIONS		
REV	DATE	DESCRIPTION

DESIGNED: #  
DRAWN: #  
CHECKED: #  
CHECKED: #  
APPROVED: #

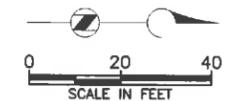
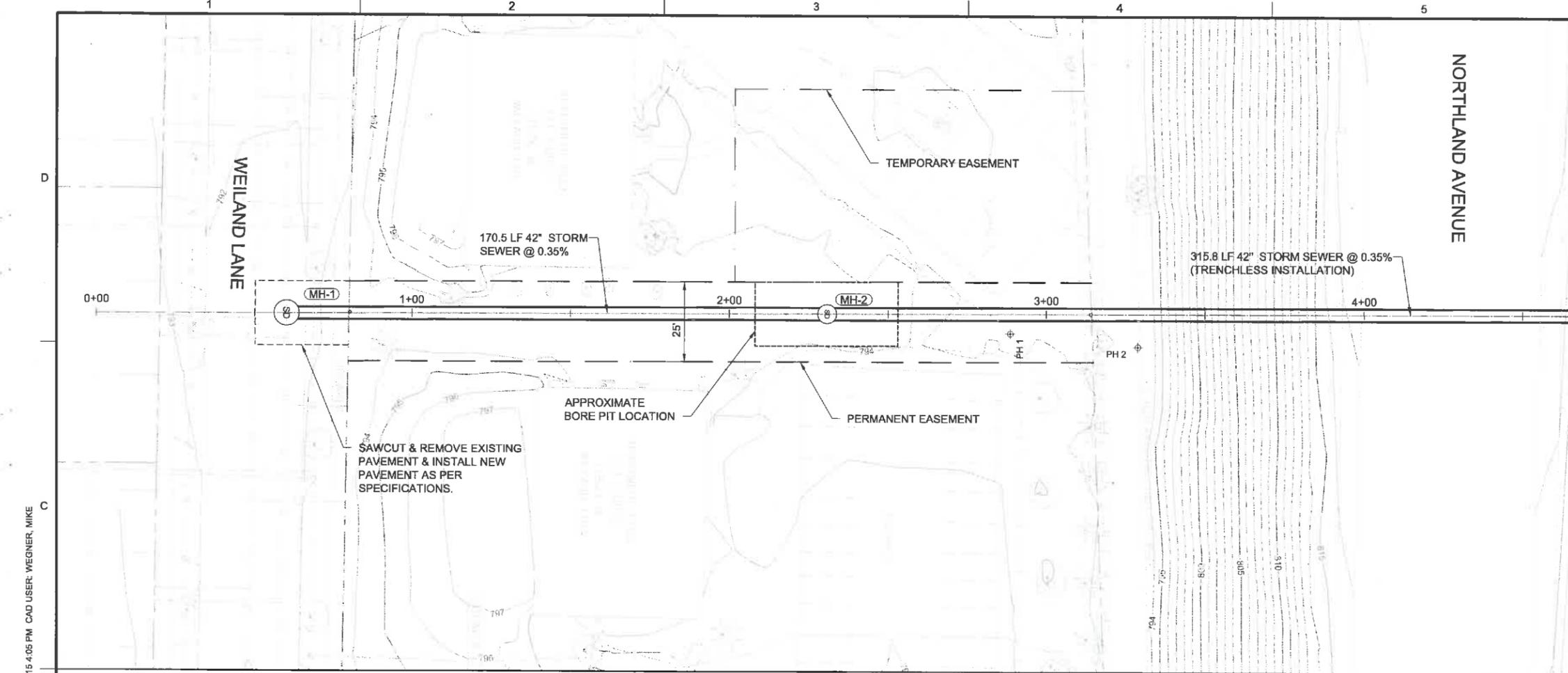
FILENAME: C-08.DWG  
BC PROJECT NUMBER: 147662  
CLIENT PROJECT NUMBER: XX-XX

**CIVIL  
STORM SEWER  
RESTORATION PLAN**

DRAWING NUMBER  
**C-8**  
SHEET NUMBER  
11 OF 46

Path: P:\APPLETON CITY OF\147662\_NORTHLAND POND FINAL DESIGN\CADD\SHEETS\CIVIL FILENAME: C-08.DWG PLOT DATE: 11/23/15 9:52 AM CAD USER: WEGNER, MIKE





**NOTES:**

- 1 EXISTING UTILITIES TO BE RELOCATED BY OTHERS PRIOR TO CONSTRUCTION.
- 2 CONTRACTOR TO VERIFY LOCATION & ELEVATION OF EXISTING UTILITIES. IF NEEDED, CONTRACTOR TO COORDINATE WITH OWNER & UTILITY TO RELOCATE.
- 3 EXISTING ABANDONED WATER MAIN. SEE SHEET C-2.
- 4 CONSTRUCT 42-INCH STORM SEWER USING TRENCHLESS INSTALLATION.



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CONSTRUCTION  
PERMIT SUBMITTAL  
DRAWINGS



NORTHLAND  
AVENUE  
STORMWATER  
POND

REVISIONS		
REV	DATE	DESCRIPTION

LINE IS 2 INCHES  
AT FULL SIZE

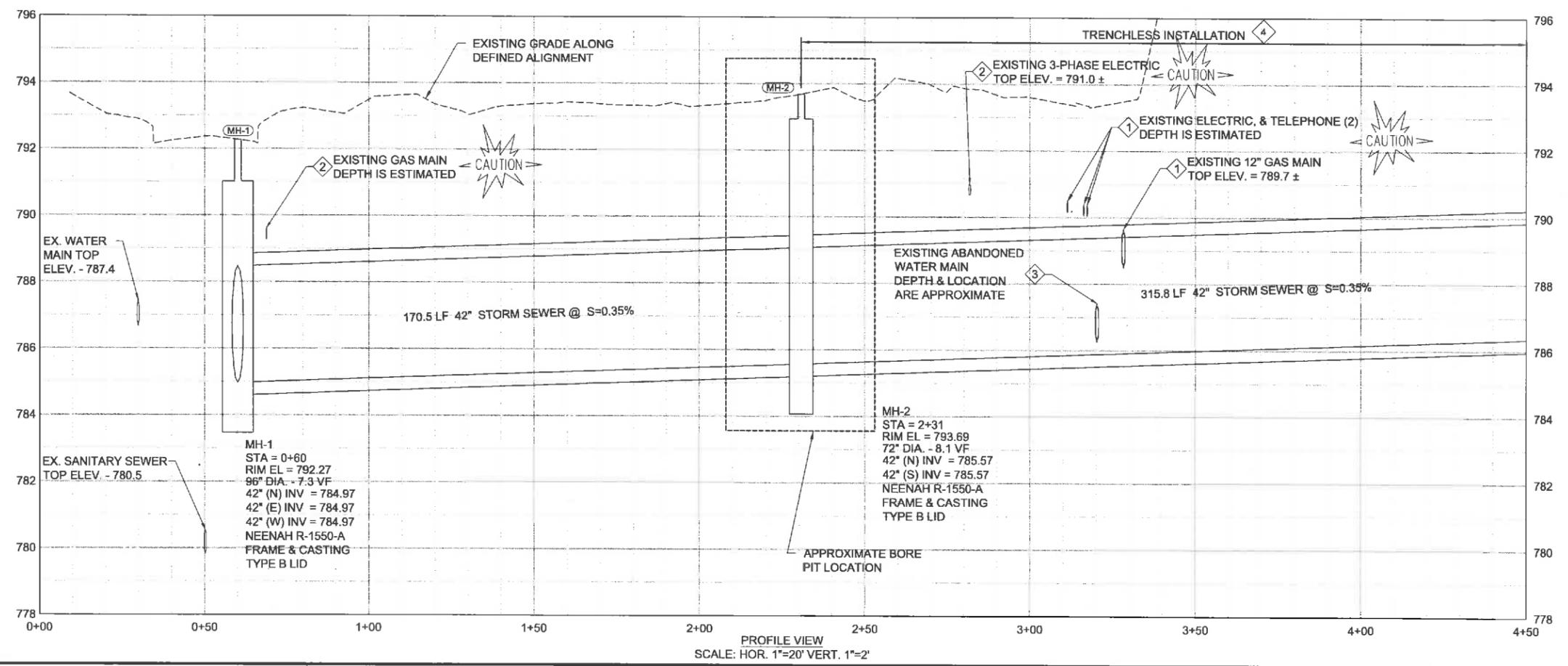
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PP-01-OUTLET.DWG  
BC PROJECT NUMBER  
147662  
CLIENT PROJECT NUMBER  
XX-XX

CIVIL

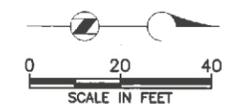
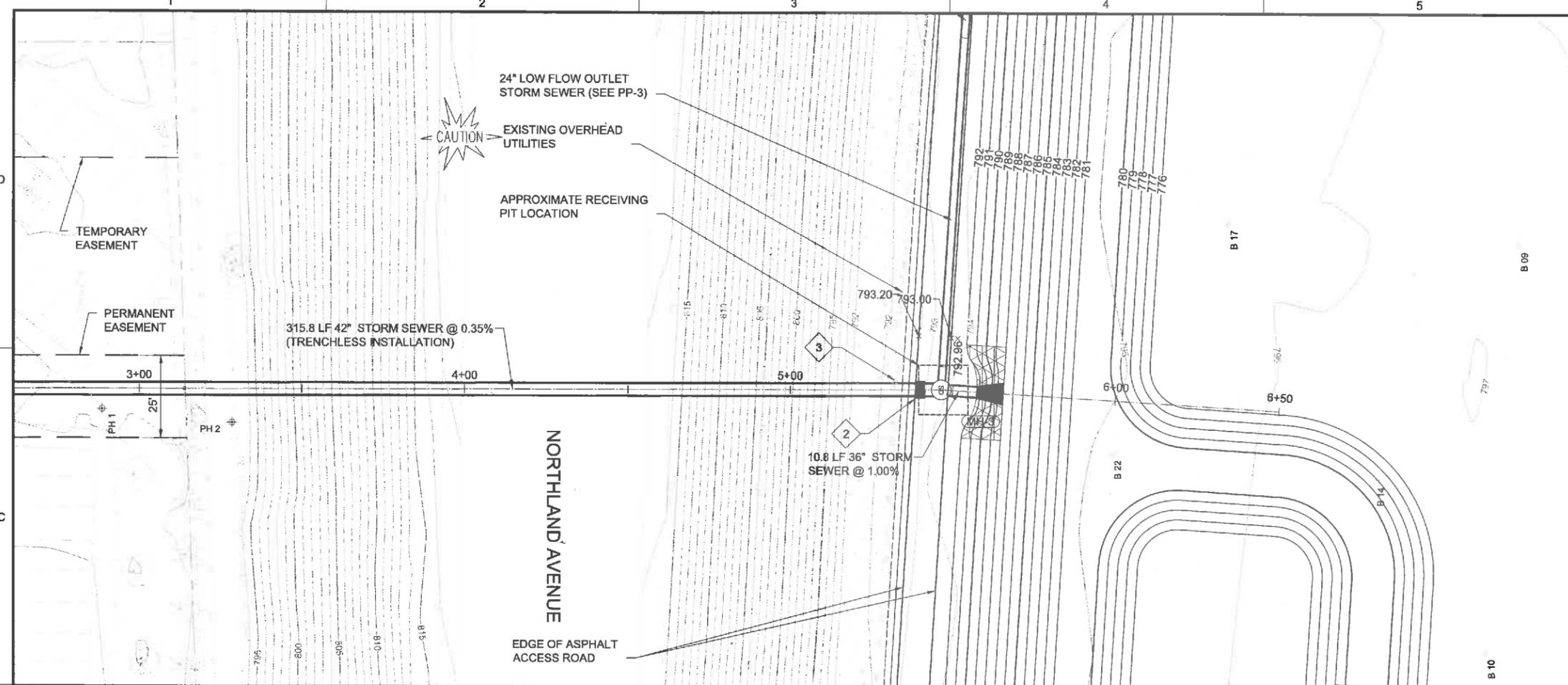
OUTLET STORM  
SEWER PLAN &  
PROFILE  
STA 0+00 TO 4+00

DRAWING NUMBER  
**PP-1**  
SHEET NUMBER  
13 OF 46



Plot: P:\APPLETON CITY OF\147662\_NORTHLAND POND FINAL DESIGN\CADD\0-SHEETS\CIVIL FILENAME PP-01-OUTLET.DWG PLOT DATE: 11/23/15 4:05 PM CAD USER: WEGNER, MIKE  
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- NOTES:**
- 1 CONSTRUCT 42-INCH STORM SEWER USING TRENCHLESS INSTALLATION.
  - 2 ANTI-SEEP COLLAR (SEE DETAIL)
  - 3 CONTRACTOR SHALL NOT ENTER WETLANDS. CONTRACTOR MUST MAINTAIN STABILITY OF RECEIVING PIT TO ENSURE WETLANDS REMAIN INTACT.



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CONSTRUCTION  
PERMIT SUBMITTAL  
DRAWINGS**



**NORTHLAND  
AVENUE  
STORMWATER  
POND**

REVISIONS		
REV	DATE	DESCRIPTION

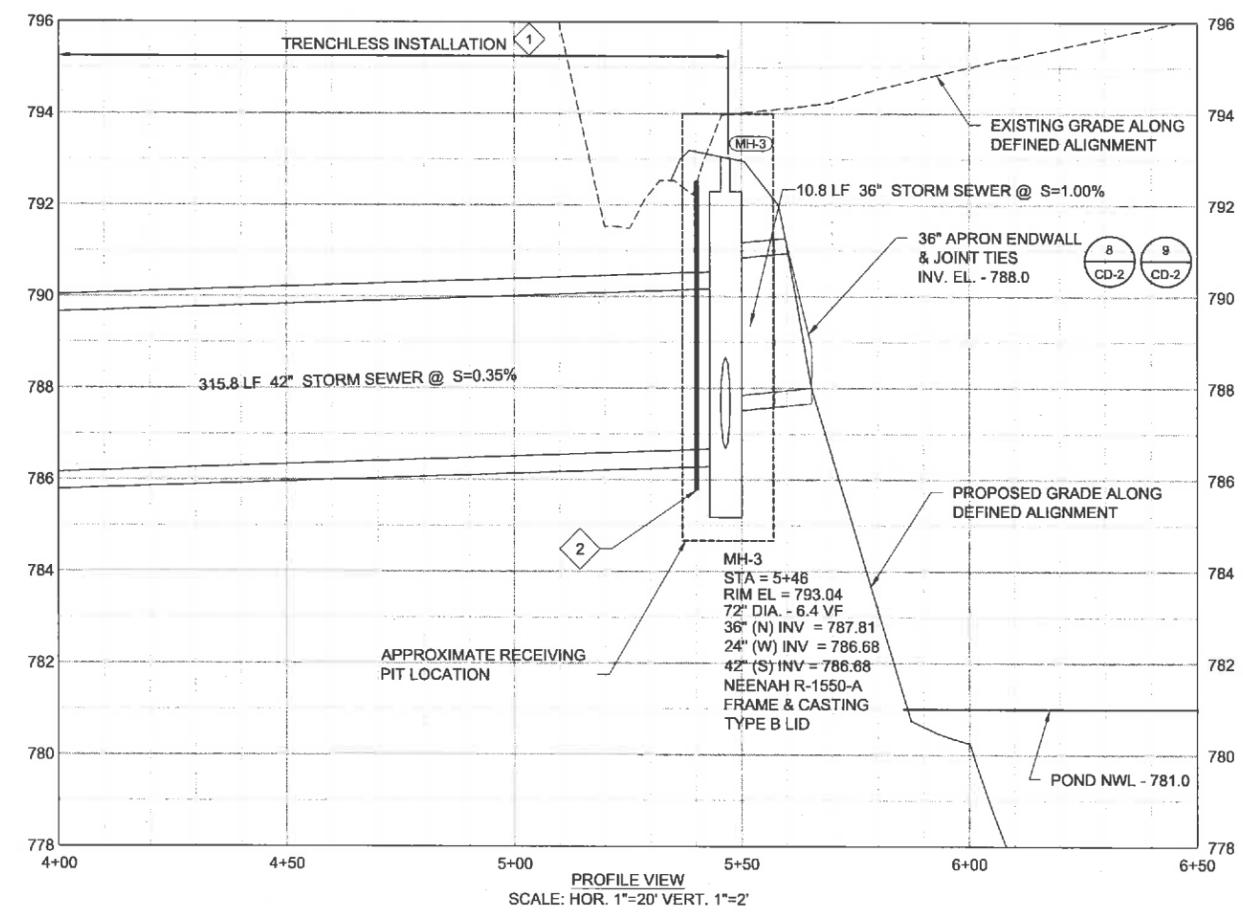
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CHECKED: #  
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APPROVED: #

FILENAME  
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BC PROJECT NUMBER  
147662  
CLIENT PROJECT NUMBER  
XX-XX

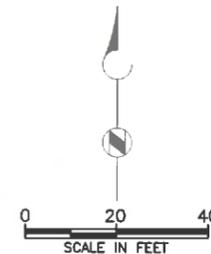
**CIVIL**

**OUTLET STORM  
SEWER PLAN &  
PROFILE  
STA 4+00 TO 6+50**

DRAWING NUMBER  
**PP-2**  
SHEET NUMBER  
14 OF 46



cityofAppleton\_logo\_new.gif



**NOTES:**

- 1 ANTI-SEEP COLLAR SEE DETAIL
- 10 CD-2

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CONSTRUCTION  
PERMIT SUBMITTAL  
DRAWINGS**



**NORTHLAND  
AVENUE  
STORMWATER  
POND**

REVISIONS		
REV	DATE	DESCRIPTION

LINE IS 2 INCHES AT FULL SIZE

DESIGNED: #  
DRAWN: #  
CHECKED: #  
CHECKED: #  
APPROVED: #

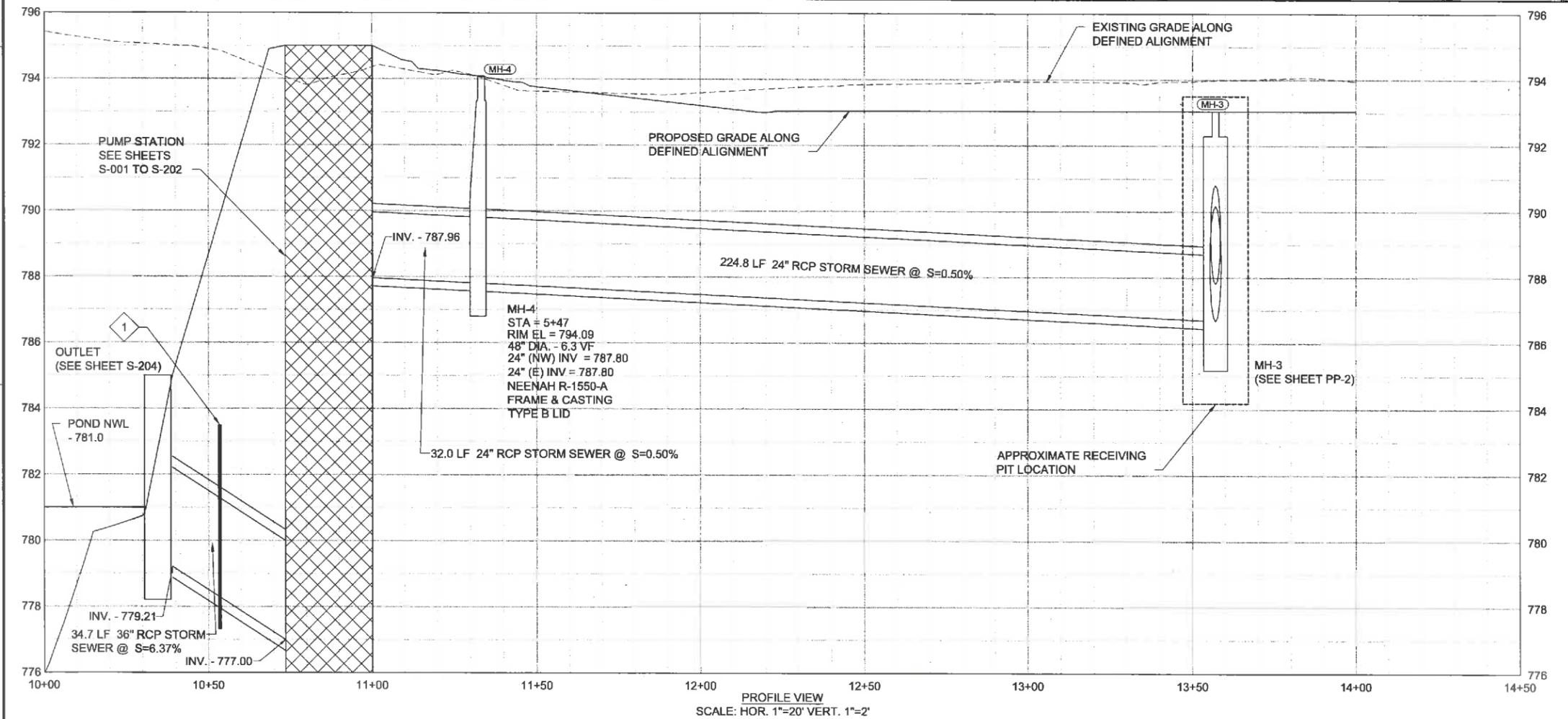
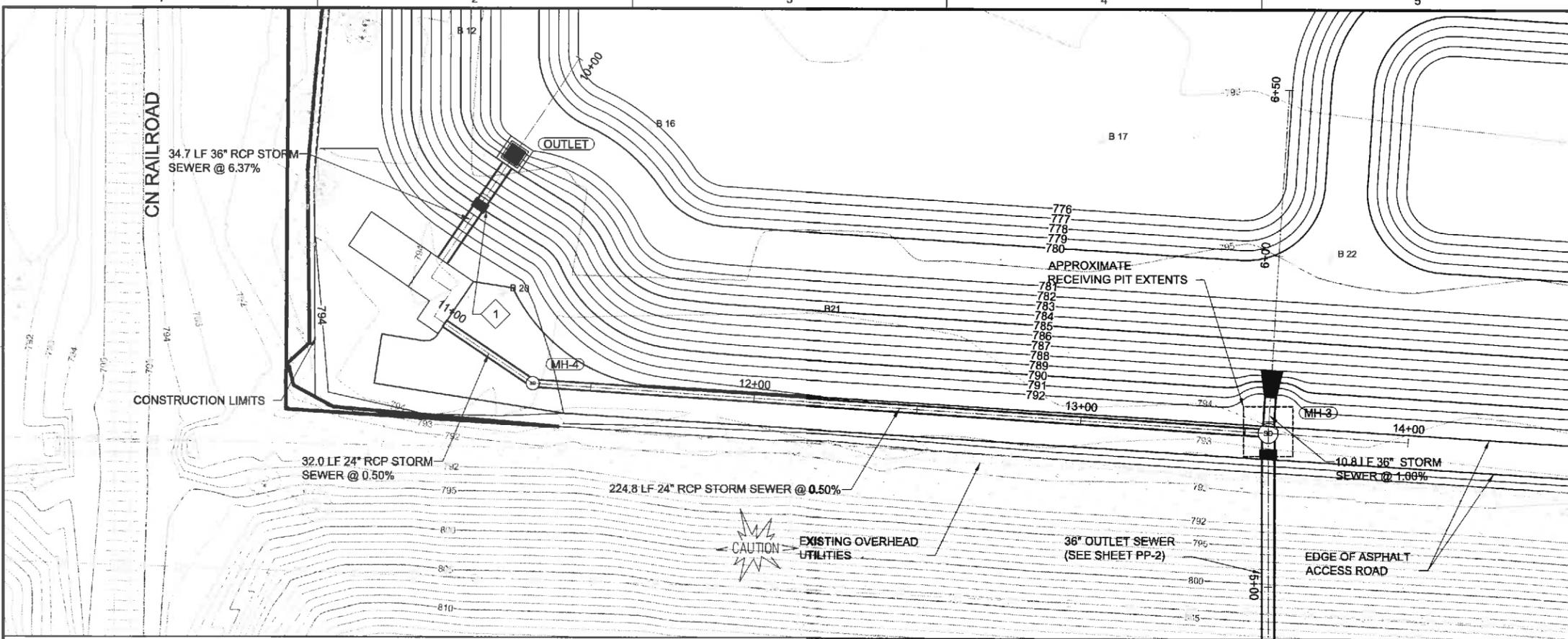
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BC PROJECT NUMBER: 147662  
CLIENT PROJECT NUMBER: XX-XX

**CIVIL**

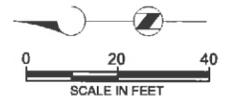
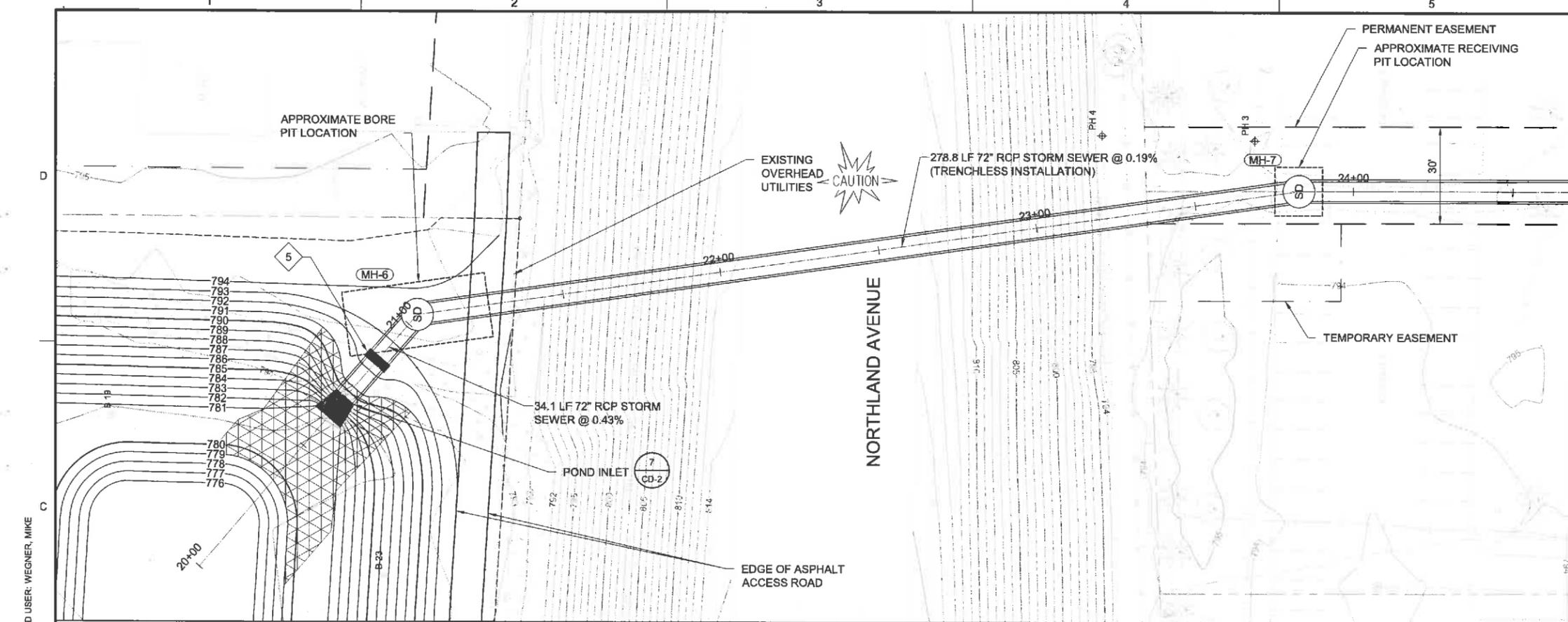
**OUTLET STORM  
SEWER PLAN &  
PROFILE**

**STA 10+00 TO 14+50**

DRAWING NUMBER  
**PP-3**  
SHEET NUMBER  
15 OF 46



Path: P:\APPLETON CITY OF\147662\_NORTHLAND POND FINAL DESIGN\CADD\2-SHEETS\CIVIL FILENAME: PP-03-OUTLET.DWG PLOT DATE: 11/23/15 4:54 PM CAD USER: WEGNER, MIKE  
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- NOTES:**
- 1 EXISTING UTILITIES TO BE RELOCATED BY OTHERS PRIOR TO CONSTRUCTION.
  - 2 CONTRACTOR TO VERIFY LOCATION & ELEVATION OF EXISTING UTILITIES. IF NEEDED, CONTRACTOR TO COORDINATE WITH OWNER & UTILITY TO RELOCATE.
  - 3 EXISTING ABANDONED WATER MAIN. SEE SHEET C-2.
  - 4 CONSTRUCT 72-INCH STORM SEWER USING TRENCHLESS INSTALLATION.
  - 5 ANTI-SEEP COLLAR SEE DETAIL 10  
CD-2



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CONSTRUCTION  
PERMIT SUBMITTAL  
DRAWINGS**



**NORTHLAND  
AVENUE  
STORMWATER  
POND**

REVISIONS

REV	DATE	DESCRIPTION

LINE IS 2 INCHES  
AT FULL SIZE

DESIGNED: #  
DRAWN: #  
CHECKED: #  
CHECKED: #  
APPROVED: #

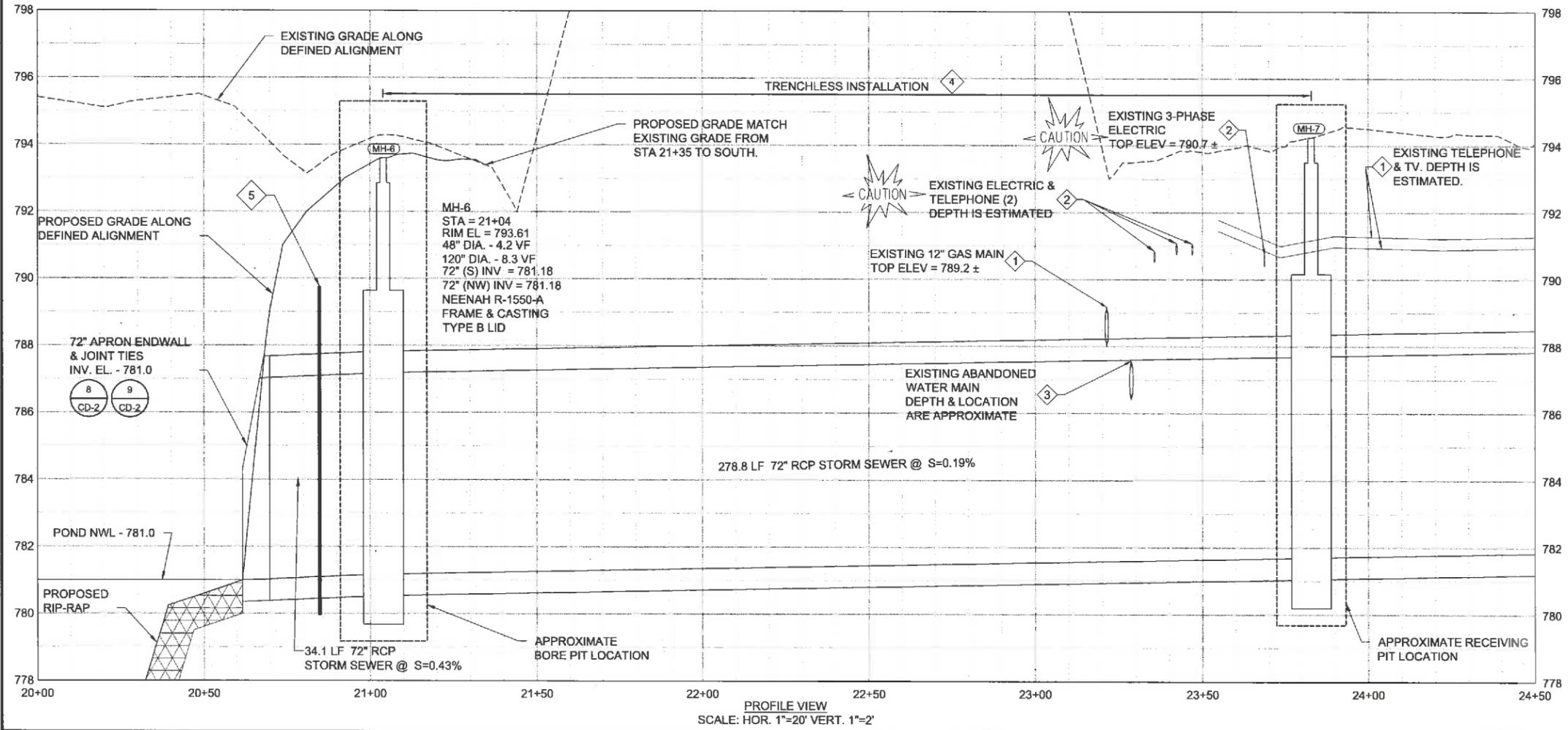
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PP-04-INLET.DWG  
BC PROJECT NUMBER  
147662  
CLIENT PROJECT NUMBER  
XX-XX

**CIVIL**

**INLET STORM  
SEWER PLAN &  
PROFILE  
STA 20+00 TO 24+00**

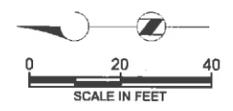
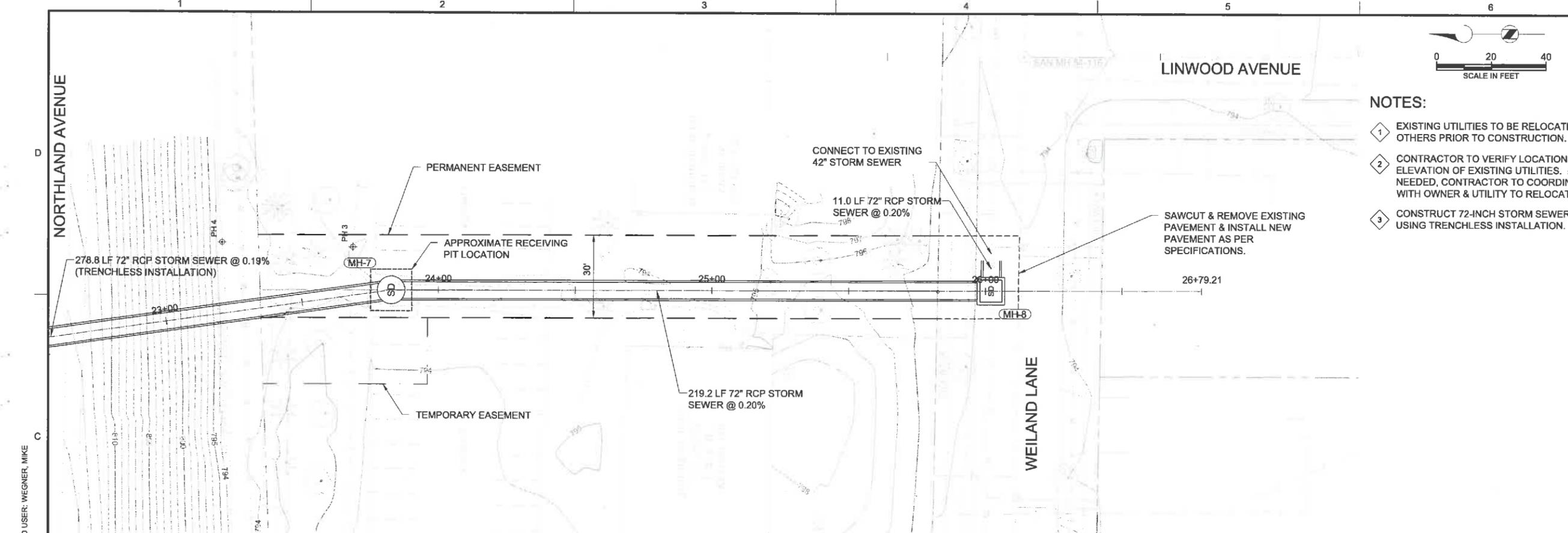
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**PP-4**  
SHEET NUMBER  
16 OF 46

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MH-7  
 STA = 23+83  
 RIM EL = 794.25  
 48" DIA. - 4.2 VF  
 120" DIA. - 8.3 VF  
 72" (S) INV = 781.70  
 72" (N) INV = 781.70  
 NEENAH R-1550-A  
 FRAME & CASTING  
 TYPE B LID

PROFILE VIEW  
SCALE: HOR. 1"=20' VERT. 1"=2'



- NOTES:**
- 1 EXISTING UTILITIES TO BE RELOCATED BY OTHERS PRIOR TO CONSTRUCTION.
  - 2 CONTRACTOR TO VERIFY LOCATION & ELEVATION OF EXISTING UTILITIES. IF NEEDED, CONTRACTOR TO COORDINATE WITH OWNER & UTILITY TO RELOCATE.
  - 3 CONSTRUCT 72-INCH STORM SEWER USING TRENCHLESS INSTALLATION.

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CONSTRUCTION  
PERMIT SUBMITTAL  
DRAWINGS**



**NORTHLAND  
AVENUE  
STORMWATER  
POND**

REVISIONS		
REV	DATE	DESCRIPTION

DESIGNED: #  
DRAWN: #  
CHECKED: #  
CHECKED: #  
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PP-05-INLET.DWG  
BC PROJECT NUMBER  
147662  
CLIENT PROJECT NUMBER  
XX-XX

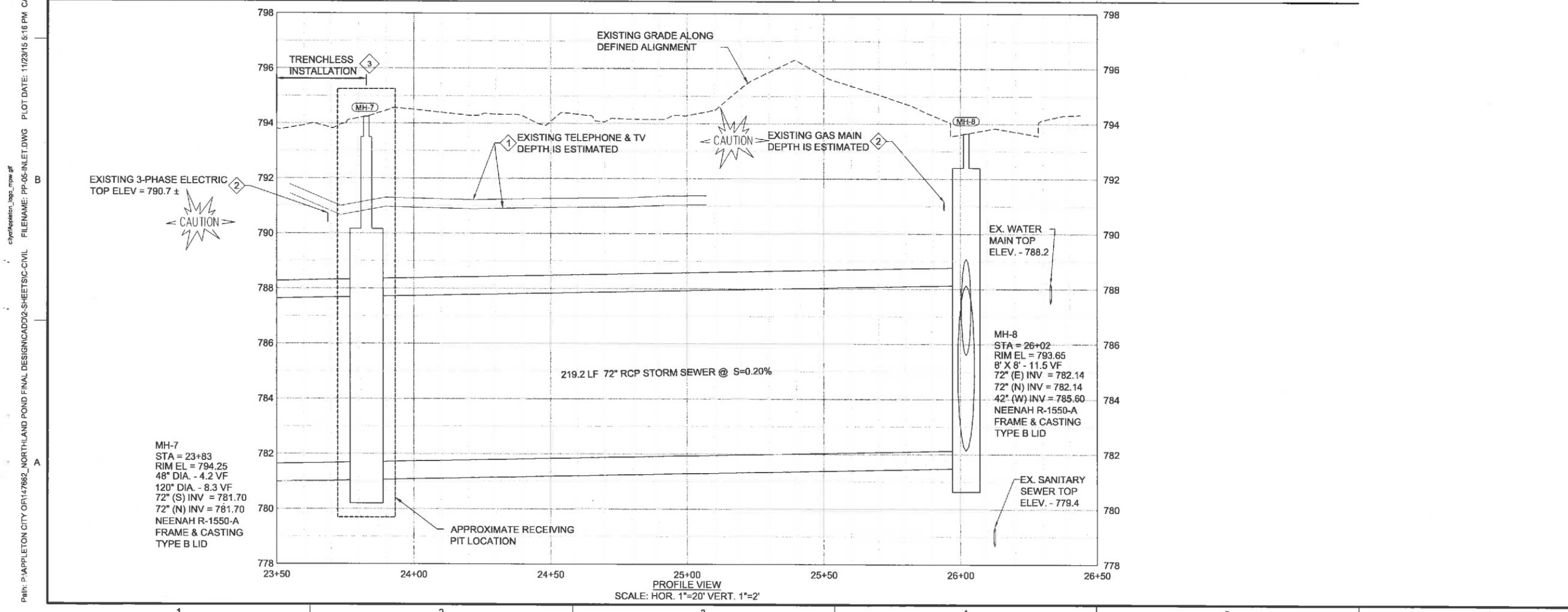
**CIVIL**

**INLET STORM  
SEWER PLAN &  
PROFILE  
STA 24+00 TO 26+50**

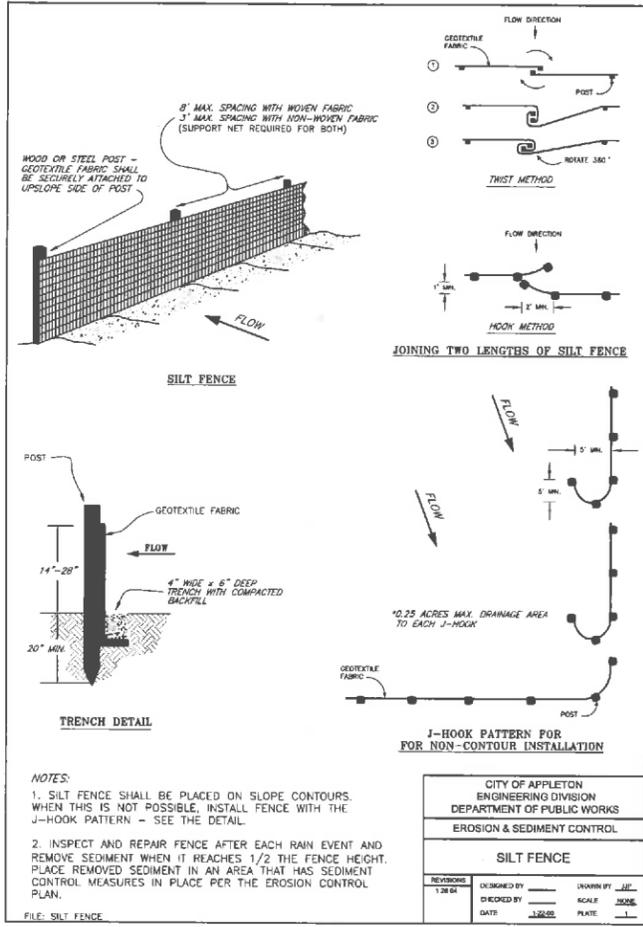
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**PP-5**

SHEET NUMBER  
17 OF 46

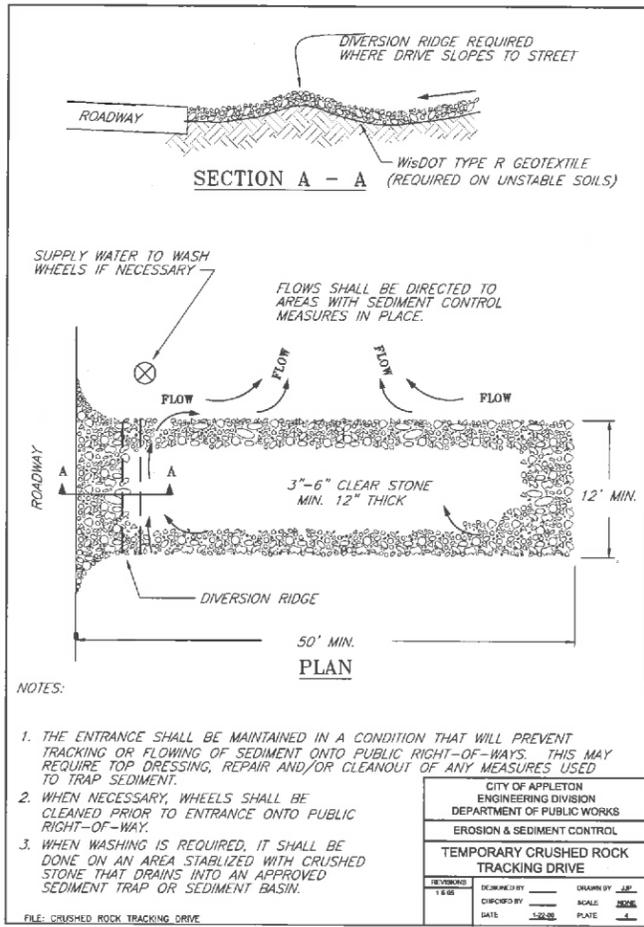


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 chert@appleton\_1000\_mnw.plt



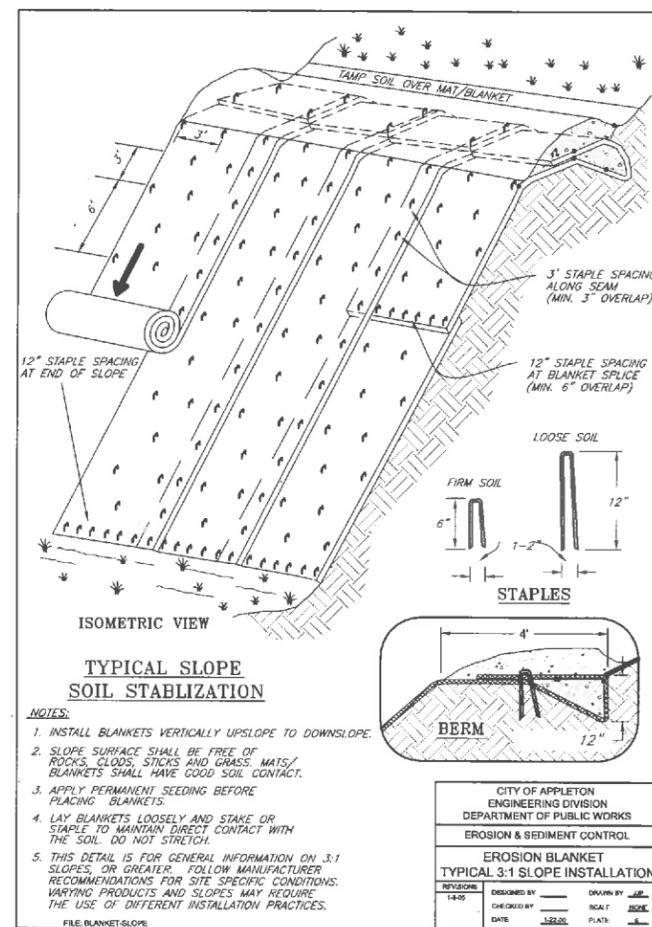
**SILT FENCE**  
DETAIL 1  
NTS

CITY OF APPLETON ENGINEERING DIVISION DEPARTMENT OF PUBLIC WORKS EROSION & SEDIMENT CONTROL			
<b>SILT FENCE</b>			
REVISIONS	DESIGNED BY	DRAWN BY	J.P.
1-28-04			
	CHECKED BY	SCALE	AS SH.
	DATE	1-28-04	PLATE



**TRACKING PAD**  
DETAIL 2  
NTS

CITY OF APPLETON ENGINEERING DIVISION DEPARTMENT OF PUBLIC WORKS EROSION & SEDIMENT CONTROL			
<b>TEMPORARY CRUSHED ROCK TRACKING DRIVE</b>			
REVISIONS	DESIGNED BY	DRAWN BY	J.P.
	CHECKED BY	SCALE	AS SH.
	DATE	1-28-04	PLATE



**EROSION MAT**  
DETAIL 3  
NTS

CITY OF APPLETON ENGINEERING DIVISION DEPARTMENT OF PUBLIC WORKS EROSION & SEDIMENT CONTROL			
<b>EROSION BLANKET TYPICAL 3:1 SLOPE INSTALLATION</b>			
REVISIONS	DESIGNED BY	DRAWN BY	J.P.
1-28-04			
	CHECKED BY	SCALE	AS SH.
	DATE	1-28-04	PLATE

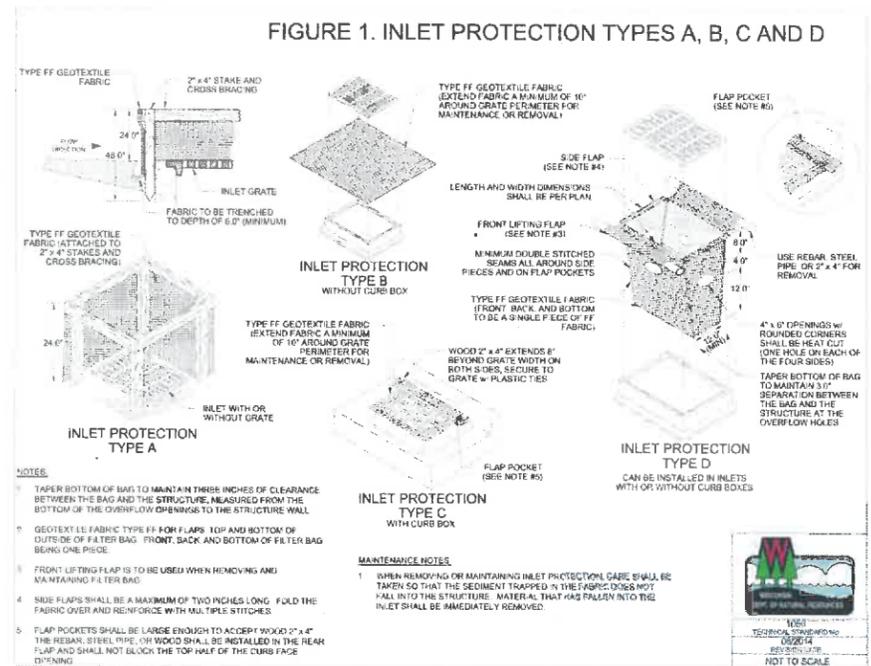


**DRAFT NOT FOR CONSTRUCTION PERMIT SUBMITTAL DRAWINGS**



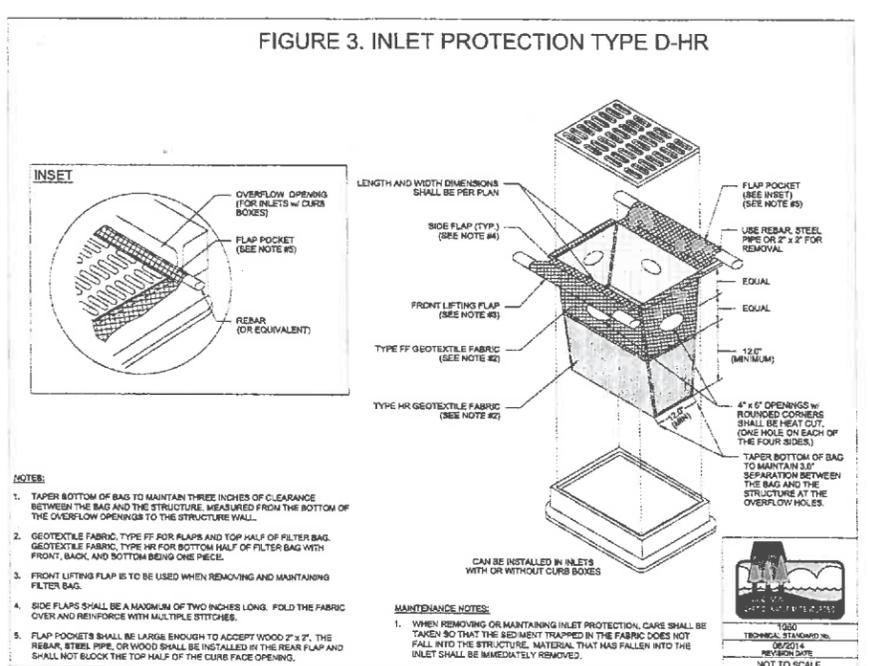
**NORTHLAND AVENUE STORMWATER POND**

PART: P:\APPLETON CITY OF 147662\_NORTHLAND POND FINAL DESIGN\CADD\2-SHEETS\CIVIL FILENAME: CD-1.DWG PLOT DATE: 11/23/15 3:02 PM CAD USER: WEGNER, MIKE



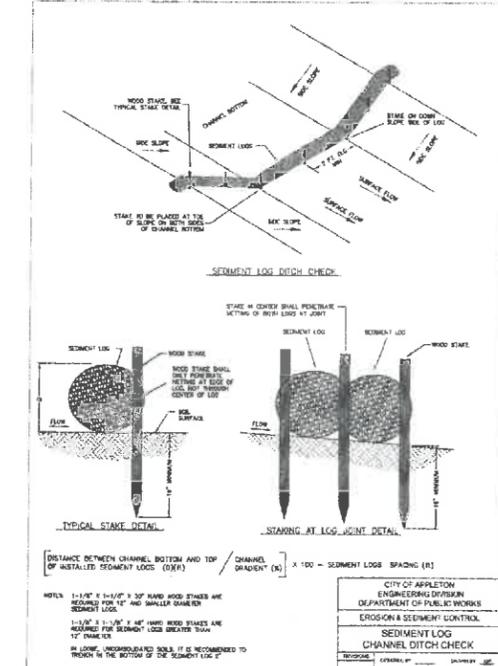
**INLET PROTECTION, TYPE B**  
DETAIL 4  
NTS

CITY OF APPLETON ENGINEERING DIVISION DEPARTMENT OF PUBLIC WORKS EROSION & SEDIMENT CONTROL			
<b>INLET PROTECTION TYPE B</b>			
REVISIONS	DESIGNED BY	DRAWN BY	J.P.
	CHECKED BY	SCALE	AS SH.
	DATE	1-28-04	PLATE



**INLET PROTECTION, TYPE D-HR**  
DETAIL 5  
NTS

CITY OF APPLETON ENGINEERING DIVISION DEPARTMENT OF PUBLIC WORKS EROSION & SEDIMENT CONTROL			
<b>INLET PROTECTION TYPE D-HR</b>			
REVISIONS	DESIGNED BY	DRAWN BY	J.P.
	CHECKED BY	SCALE	AS SH.
	DATE	1-28-04	PLATE



**SEDIMENT LOG**  
DETAIL 6  
NTS

CITY OF APPLETON ENGINEERING DIVISION DEPARTMENT OF PUBLIC WORKS EROSION & SEDIMENT CONTROL			
<b>SEDIMENT LOG CHANNEL DITCH CHECK</b>			
REVISIONS	DESIGNED BY	DRAWN BY	J.P.
	CHECKED BY	SCALE	AS SH.
	DATE	1-28-04	PLATE

REVISIONS		
REV	DATE	DESCRIPTION

LINE IS 2 INCHES AT FULL SIZE

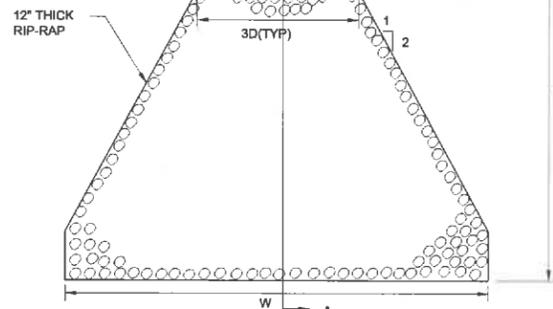
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DRAWN:  
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CHECKED:  
APPROVED:

FILENAME: CD-1.DWG  
BC PROJECT NUMBER: 147662  
CLIENT PROJECT NUMBER: XX-XX

**CIVIL CONSTRUCTION DETAILS I**

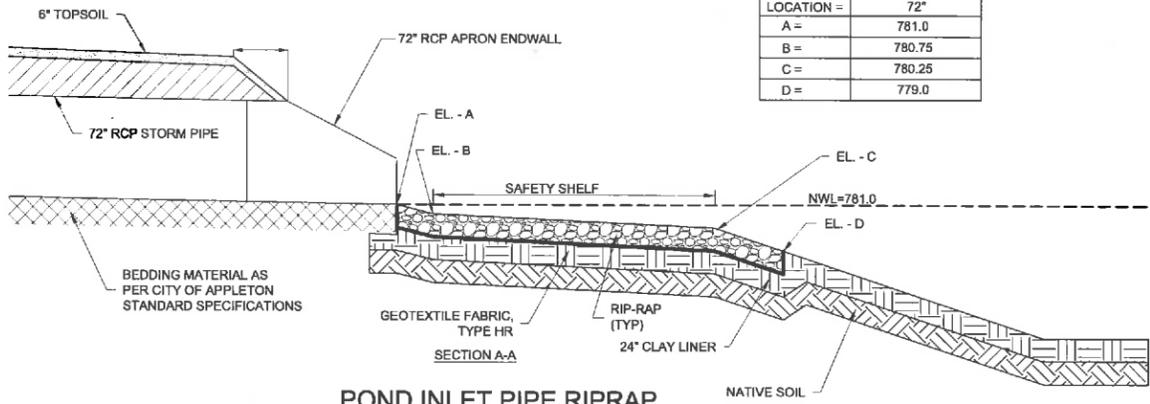
DRAWING NUMBER: **CD-1**  
SHEET NUMBER: 18 OF 46

ENDWALL DIA. =	72"
L (ft) =	20'
W (ft) =	35'



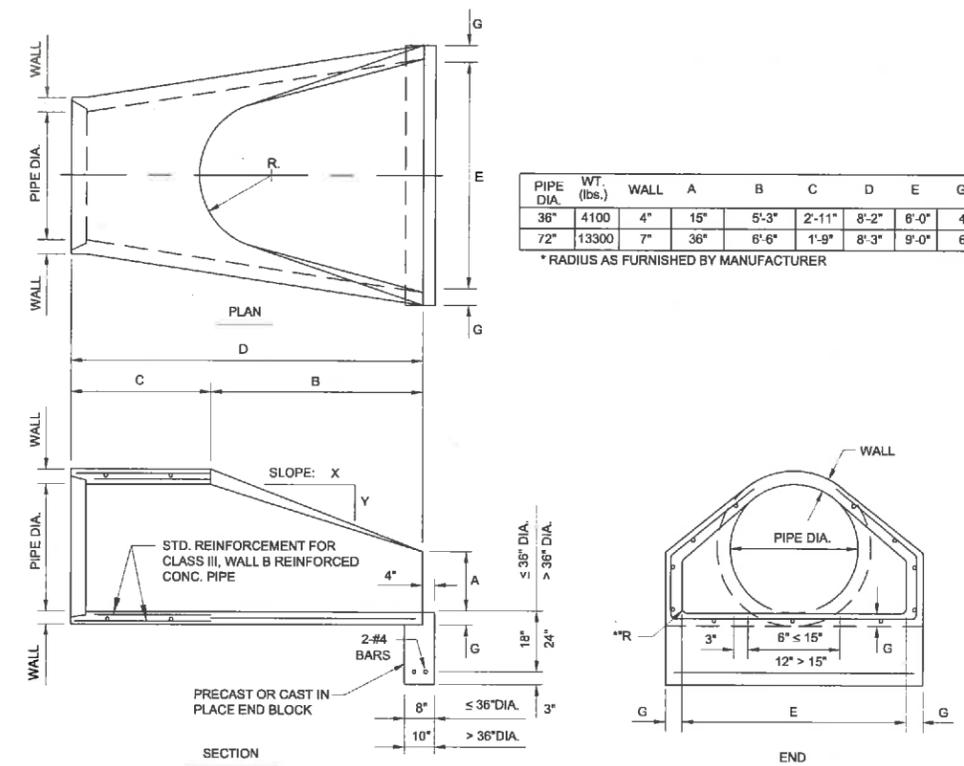
NOTE: REFER TO RIP-RAP SUMMARY TABLE FOR L & W DIMENSIONS.

ENDWALL LOCATION =	72"
A =	781.0
B =	780.75
C =	780.25
D =	779.0



POND INLET PIPE RIPRAP

DETAIL 7  
PP 4  
NTS



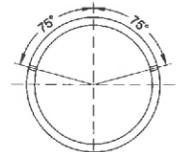
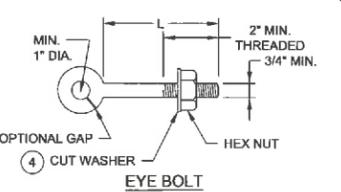
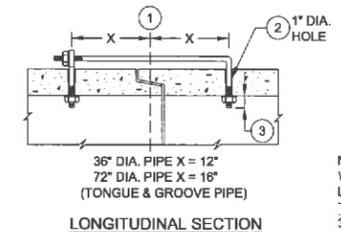
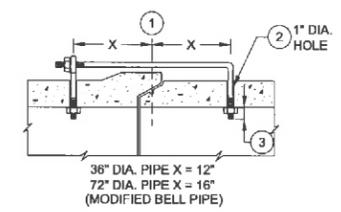
PIPE DIA.	WT. (lbs.)	WALL	A	B	C	D	E	G	R	SLOPE
36"	4100	4"	15"	5'-3"	2'-11"	8'-2"	6'-0"	4"	*	3:1
72"	13300	7"	36"	6'-6"	1'-9"	8'-3"	9'-0"	6"	*	2:1

\* RADIUS AS FURNISHED BY MANUFACTURER

NOTE: JOINT TIE ENDWALLS AND TWO UPSTREAM PIPE SECTIONS TOGETHER FOR ALL PIPE DIAMETERS. SEE DETAIL.

RCP APRON ENDWALL

DETAIL 8  
VARIES  
NTS

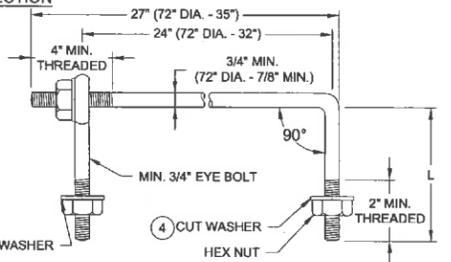


PIPE SIZE	L = LENGTH
36"	TONGUE & GROOVE PIPE 5 1/2"
72"	MODIFIED BELL PIPE 7"
72"	CONTRACTOR TO VERIFY

EYE BOLT DIMENSION TABLE

PLACEMENT OF (2) CAST-IN-PLACE INSERTS OR HOLES DURING FABRICATION FOR PIPE SECTIONS REQUIRING THE RODS

TRANSVERSE SECTION



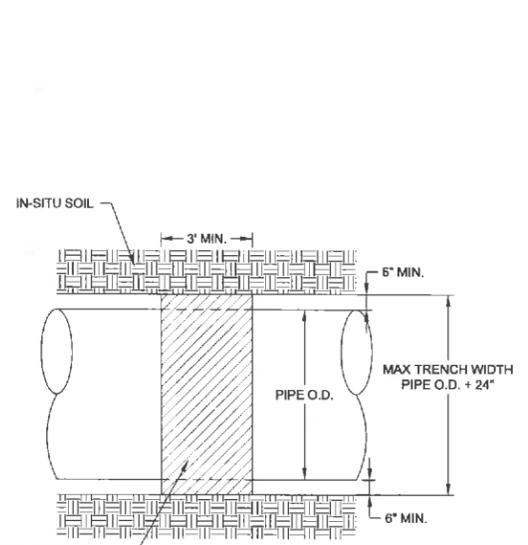
EYE BOLT AND TIE ROD

UNLESS OTHERWISE STATED IN THE CONTRACT, THE MATERIALS, FABRICATIONS AND WORK NECESSARY TO TIE REINFORCED CONCRETE PIPE WILL BE CONSIDERED INCIDENTAL TO OTHER ITEMS OF WORK.

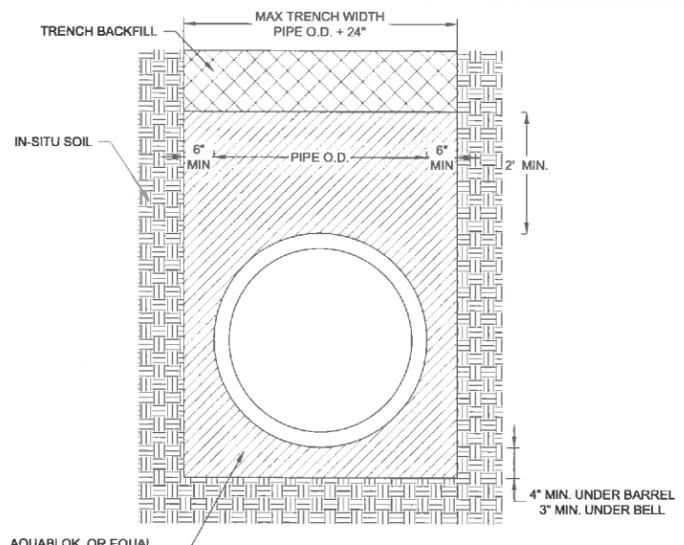
- 1 CENTERLINE OF TONGUE AND GROOVE OR BELL AND SPIGOT JOINTS
- 2 HOLES SHALL BE CAST-IN-PLACE OR DRILLED. FOR 36" DIA PIPE 12" FROM CENTERLINE OF TONGUE & GROOVE. FOR 72" DIA PIPE 16" FROM CENTERLINE OF TONGUE & GROOVE.
- 3 BOLT PROJECTION INSIDE OF PIPE SHALL NOT EXCEED 2".
- 4 FOR 72" DIA. PIPE REPLACE CUT WASHER WITH PLATE WASHER, 4"x4"x1/4"

JOINT TIE

DETAIL 9  
VARIES  
NTS



TOP VIEW



SECTION VIEW

NOTE: PIPE COVER, BEDDING, AND BACKFILL AS SPECIFIED

ANTI-SEEP COLLAR

DETAIL 10  
VARIES  
NTS



DRAFT  
NOT FOR  
CONSTRUCTION  
PERMIT  
SUBMITTAL  
DRAWINGS



NORTHLAND  
AVENUE  
STORMWATER  
POND

REVISIONS		
REV	DATE	DESCRIPTION

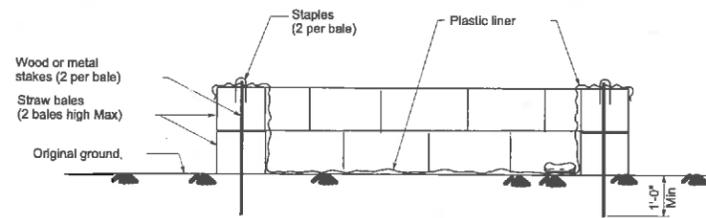
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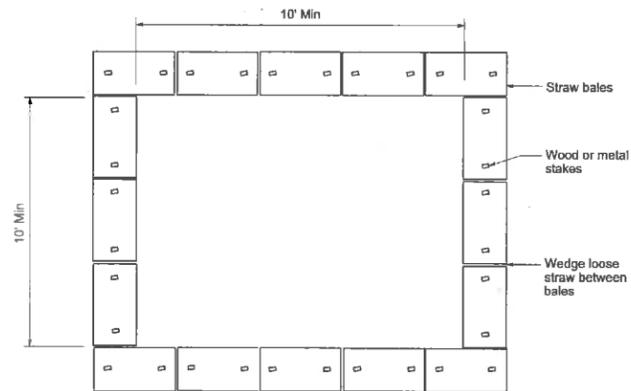
CIVIL  
CONSTRUCTION  
DETAILS II

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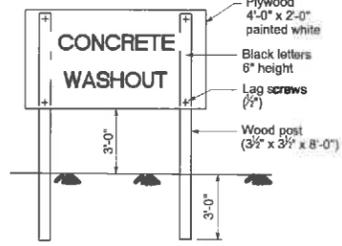
SECTION VIEW



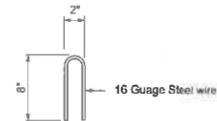
PLAN VIEW

TEMPORARY CONCRETE WASHOUT FACILITY

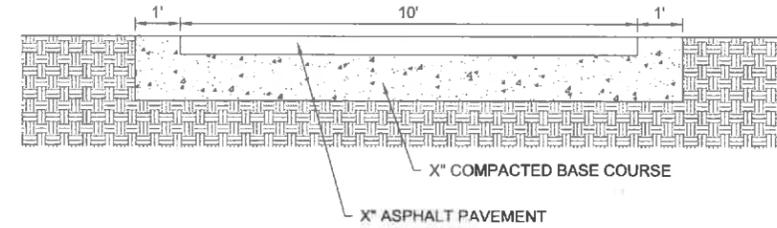
DETAIL 11  
NTS VARIES



CONCRETE WASHOUT SIGN DETAIL



STAPLE DETAIL



ASPHALT ACCESS ROAD

DETAIL 12  
NTS VARIES



DRAFT  
NOT FOR  
CONSTRUCTION  
PERMIT  
SUBMITTAL  
DRAWINGS



NORTHLAND AVENUE  
STORMWATER  
POND

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CIVIL  
CONSTRUCTION  
DETAILS III

DRAWING NUMBER  
**CD-3**  
SHEET NUMBER  
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TABLE 1 REQUIRED SPECIAL INSPECTIONS - STRUCTURAL SYSTEMS				
SYSTEM OR MATERIAL	REQUIRED INSPECTION	FREQUENCY OF INSPECTION		REMARKS
		CONTINUOUS	PERIODIC	
SOILS	VERIFY EXCAVATIONS ARE EXTENDED TO PROPER DEPTH AND HAVE REACHED PROPER MATERIAL		X	
	VERIFY SOIL MATERIALS BELOW FOOTINGS ARE ADEQUATE TO ACHIEVE DESIGN BEARING CAPACITY		X	
	PRIOR TO PLACEMENT OF CONTROLLED FILL, OBSERVE SUBGRADE AND VERIFY THAT SITE HAS BEEN PREPARED PROPERLY		X	
	PERFORM CLASSIFICATION AND TESTING OF CONTROLLED FILL MATERIALS		X	SEE TABLE 2
	VERIFY USE OF PROPER MATERIALS, DENSITIES AND LIFT THICKNESSES DURING PLACEMENT AND COMPACTION OF CONTROLLED FILL	X		SEE TABLE 2
CONCRETE	INSPECT FORMWORK FOR LOCATION AND DIMENSIONS OF MEMBER BEING FORMED		X	
	VERIFY MATERIAL FOR REINFORCEMENT		X	CONTRACTOR TO SUBMIT CERTIFIED MILL TEST REPORTS
	REINFORCING STEEL PLACEMENT		X	
	INSPECT ANCHORS TO BE CAST IN CONCRETE	X		PRIOR TO AND DURING CONCRETE PLACEMENT
	INSPECT POST-INSTALLED CONCRETE ANCHORS	X		INSPECTION TO CONFORM TO IBC AND TO ANCHOR MANUFACTURER'S RECOMMENDATIONS AND ICC REPORTS
	VERIFY USE OF REQUIRED CONCRETE MIX DESIGN(S)		X	
	AT THE TIME FRESH CONCRETE IS SAMPLED TO FABRICATE SPECIMENS FOR STRENGTH TESTS, PERFORM SLUMP AND AIR CONTENT TESTS, AND TEMPERATURE OF CONCRETE	X		CONTINUOUS DURING PREPARATION OF SAMPLES
	CONCRETE PLACEMENT	X		
	INSPECTION FOR MAINTENANCE OF CURING PROCEDURES AND TEMPERATURE		X	VERIFY APPROPRIATE CURING METHOD HAS BEEN IMPLEMENTED AFTER EACH POUR
	VERIFY IN-SITU CONCRETE STRENGTH PRIOR TO REMOVAL OF SHORES AND FORMS FROM STRUCTURAL SLABS AND BEAMS		X	
GROUTING FOR EQUIPMENT MOUNTING	X			

**STRUCTURAL DEFERRED SUBMITTALS (IBC 2009 SECTION 107.3.4.2)**

SDS 1 THE CONTRACTOR SHALL SUBMIT DRAWINGS AND CALCULATIONS BEARING THE SEAL OF A PROFESSIONAL ENGINEER LICENSED IN WISCONSIN TO THE ENGINEER FOR REVIEW. STRUCTURAL DEFERRED SUBMITTALS INCLUDE:  
 1. PRECAST-PRESTRESSED CONCRETE SITE STRUCTURES AND VAULTS.  
 2. ANCHOR BOLTS FOR MAJOR EQUIPMENT ANCHORAGE.  
 3. CONSTRUCTION SHORING.

TABLE 2 REQUIRED TESTING FOR SPECIAL INSPECTIONS			
SYSTEM OR MATERIAL	TESTING		REMARKS
	CODE OR STANDARD REFERENCE	FREQUENCY	
GEOTECHNICAL			
PREPARED SUBGRADE DENSITY	ASTM D1557	EACH 300 SF OF PREPARED SUBGRADE	PER GEOTECHNICAL REPORT
FILL IN-PLACE DENSITY	ASTM D1557	EACH 300 SF OF EACH LIFT PLACED EACH DAY	PER GEOTECHNICAL REPORT
CONCRETE			
CONCRETE COMPRESSIVE STRENGTH	ASTM C31, ASTM C39, ASTM C172	SEE SPECIFICATION 03300	
CONCRETE SLUMP	ASTM C143	WHENEVER CYLINDERS ARE CAST	
CONCRETE AIR CONTENT	ASTM C231	WHENEVER CYLINDERS ARE CAST	
CONCRETE TEMPERATURE	ASTM C1064	WHENEVER CYLINDERS ARE CAST	
GROUT COMPRESSIVE STRENGTH	ASTM C942 (CEMENTITIOUS) ASTM C579 (EPOXY)		TEST 2" CUBES FOR EACH GROUT PLACEMENT

**QUALITY ASSURANCE NOTES**

1. THE QUALITY OF THE WORKMANSHIP AND THE QUALITY OF THE MATERIALS OF CONSTRUCTION ARE GOVERNED BY THE INTERNATIONAL BUILDING CODE, IBC 2009 EDITION.
2. ALL NEW STRUCTURES AND MODIFICATIONS TO EXISTING STRUCTURES TO BE CONSTRUCTED AS A PART OF THIS PROJECT ARE CLASSIFIED AS OCCUPANT CATEGORY II, STORM WATER TREATMENT FACILITY, IN ACCORDANCE WITH THE IBC. THE STRUCTURES ARE CLASSIFIED AS SEISMIC DESIGN CATEGORY B.
3. TO ASSURE THE QUALITY OF THE CONSTRUCTION OF THIS PROJECT, STRUCTURAL TESTS AND SPECIAL INSPECTION WILL BE PERFORMED IN ACCORDANCE WITH IBC, CHAPTER 17.
4. WHERE FREQUENCY OF INSPECTION IS SPECIFIED TO BE CONTINUOUS, THE SPECIAL INSPECTOR IS EXPECTED TO BE PRESENT IN THE AREA WHERE THE WORK IS BEING PERFORMED AND PROVIDING FULL-TIME OBSERVATION OF THE WORK REQUIRING SPECIAL INSPECTION.
5. WHERE FREQUENCY OF INSPECTION IS SPECIFIED TO BE PERIODIC, THE SPECIAL INSPECTOR IS EXPECTED TO BE PRESENT IN THE AREA WHERE THE WORK HAS BEEN OR IS BEING PERFORMED AT INTERMITTENT TIMES AND AT THE COMPLETION OF THE WORK (PRIOR TO THE NEXT CONSTRUCTION TASK).
6. SPECIAL INSPECTIONS ARE IN ADDITION TO INSPECTIONS BY THE BUILDING OFFICIALS. CONSTRUCTION IS SUBJECT TO INSPECTION BY THE BUILDING OFFICIAL. COORDINATE WITH BUILDING DEPARTMENT TO DETERMINE REQUIRED INSPECTIONS.
7. CONTRACTOR SHALL PROVIDE ACCESS TO THE WORK FOR REQUIRED INSPECTIONS. CONTRACTOR SHALL PROVIDE NOTIFICATION IN ADVANCE OF REQUIRED INSPECTION AND TESTING.
8. AN INDEPENDENT TESTING COMPANY RETAINED BY THE OWNER AND APPROVED BY THE BUILDING OFFICIAL WILL PROVIDE INSPECTIONS AND TESTING IN ACCORDANCE WITH TABLE 1 AND TABLE 2.



**CITY OF APPLETON  
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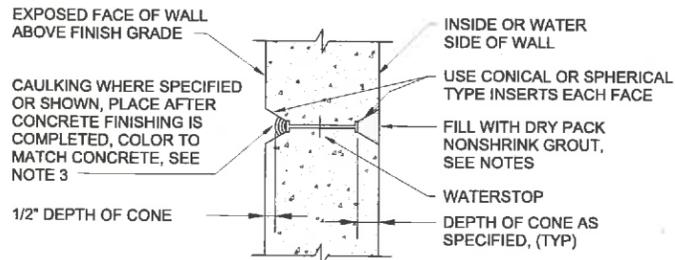
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CLIENT PROJECT NUMBER

**STRUCTURAL  
NOTES 2**

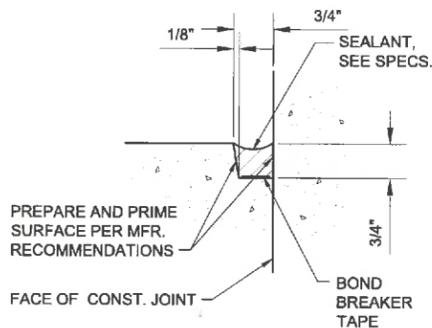
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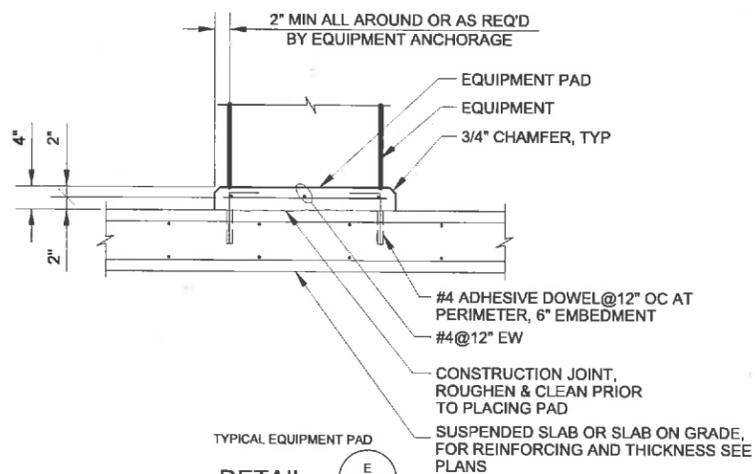
- NOTES:**
- FOR FORM TIE HOLES ON OUTSIDE FACE OF WALL BELOW GRADE, FILL WITH NONSHRINK GROUT, (DRY PACK).
  - THE SPACING OF FORM TIES ON EXPOSED PORTIONS OF WALLS SHALL BE APPROXIMATELY EQUAL HORIZONTALLY AND VERTICALLY AND SHALL BE UNIFORM IN EACH DIRECTION.
  - WHERE CAULKING IS NOT SPECIFIED OR SHOWN, DRY PACK EXTERIOR TIE HOLES WITH NONSHRINK GROUT WITH COLOR OF GROUT TO MATCH COLOR OF CONCRETE AS CLOSE AS POSSIBLE.



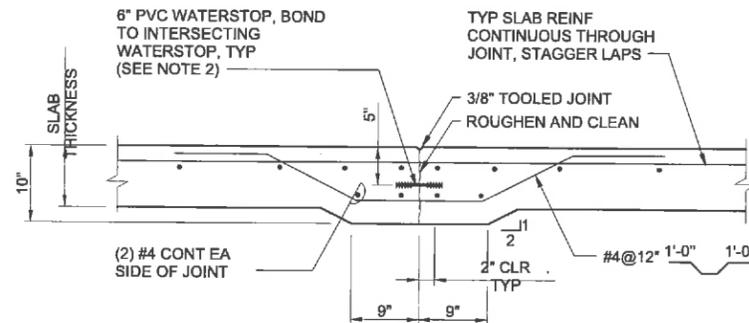
FORM SNAP-TIE HOLE  
**DETAIL A**  
NO SCALE



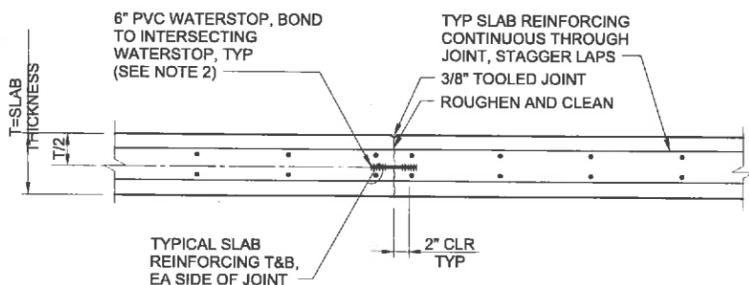
SEALANT GROOVE  
**DETAIL D**  
NO SCALE



TYPICAL EQUIPMENT PAD  
**DETAIL E**  
NO SCALE



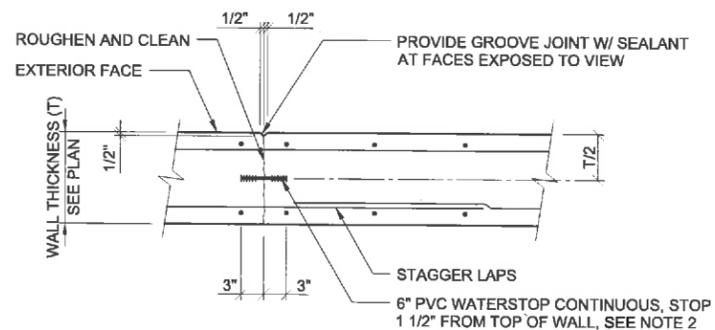
- NOTES:**
- 10" THICKENED SLAB AND ADDITIONAL #4 REQUIRED ONLY AT JOINTS WITH WATERSTOPS.
  - FOR SLABS 10" THICK OR GREATER, NO THICKENING REQUIRED.



- NOTES:**
- ALL REINFORCING SHALL BE CONTINUOUS THROUGH JOINT.
  - WATERSTOP REQUIRED AT BELOW GRADE SLABS.

**DOUBLE MAT OF REINFORCING**  
TYPICAL SLAB CONSTRUCTION JOINT

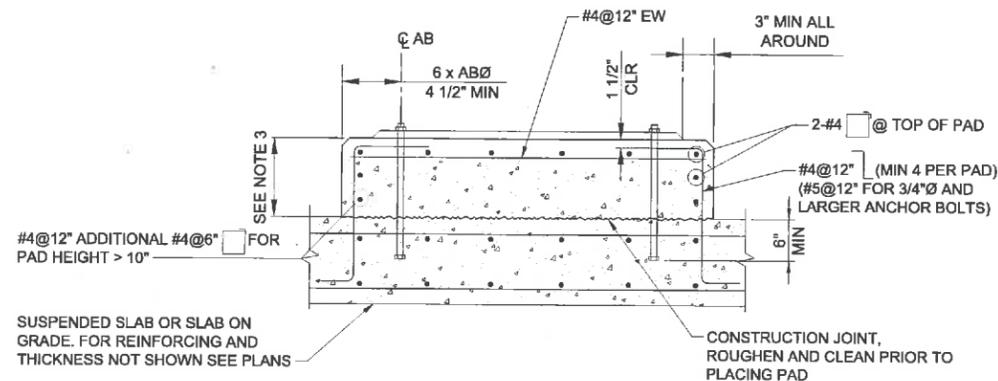
**DETAIL B**  
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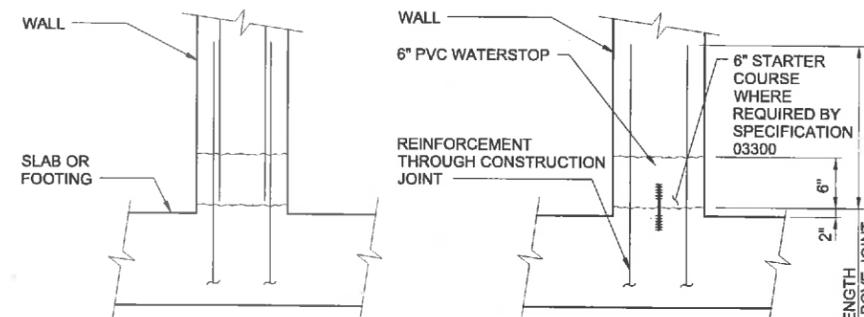
- NOTES:**
- ALL REINFORCING SHALL BE CONTINUOUS THROUGH JOINT.
  - WATERSTOP REQUIRED AT PUMP STATION WALLS.

**TYPICAL VERTICAL WALL CONSTRUCTION JOINT**

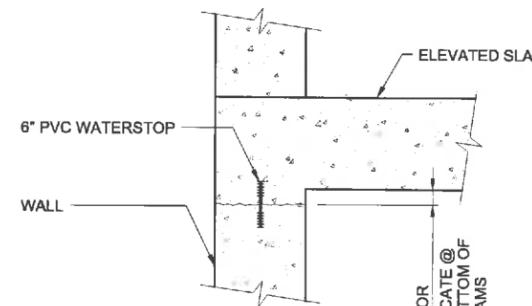
**DETAIL F**  
SCALE: NONE



- NOTES:**
- PAD SIZE SHALL BE MINIMUM INDICATED OR AS SHOWN ON THE PLANS OR AS INDICATED BY THE MANUFACTURER AND APPROVED BY THE ENGINEER.
  - COORDINATE LOCATION OF ELECTRICAL CONDUIT AND DRAINAGE PIPING PENETRATIONS WITHIN THE EQUIPMENT PAD. STUB UP PENETRATIONS ON THE SAME SIDE OF THE EQUIPMENT AS REQUIRED FOR CONNECTION TO EQUIPMENT. EQUIPMENT DRAINS SHALL BE LOCATED AS REQUIRED FOR DRAINAGE FROM EQUIPMENT. EQUIPMENT PAD SHALL BE CONFIGURED ACCORDINGLY.
  - HEIGHT OF PADS SHALL BE MINIMUM REQUIRED FOR ANCHOR BOLT CLEARANCE TO KEEP ANCHOR BOLT ABOVE SUPPORTING SLAB. WHERE EQUIPMENT OR PIPING ELEVATION REQUIRE A PAD HEIGHT LESS THAN THE MINIMUM SHOWN, USE ANCHOR BOLT EMBEDDED INTO BASE SLAB.



**TYPICAL JOINT WITHOUT WATERSTOP**  
**JOINT WITH PVC WATERSTOP**



**WALL/ELEVATED SLAB JOINT WITH PVC WATERSTOP**

**TYPICAL HORIZONTAL CONSTRUCTION JOINT**  
**DETAIL G**  
SCALE: NONE



**CITY OF APPLETON  
NORTHLAND POND**

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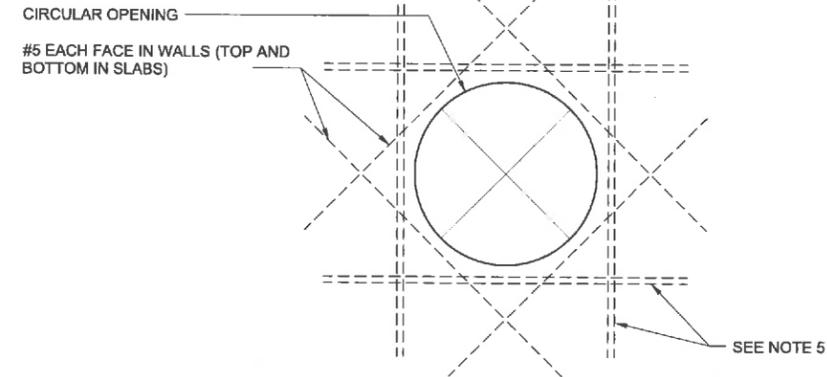
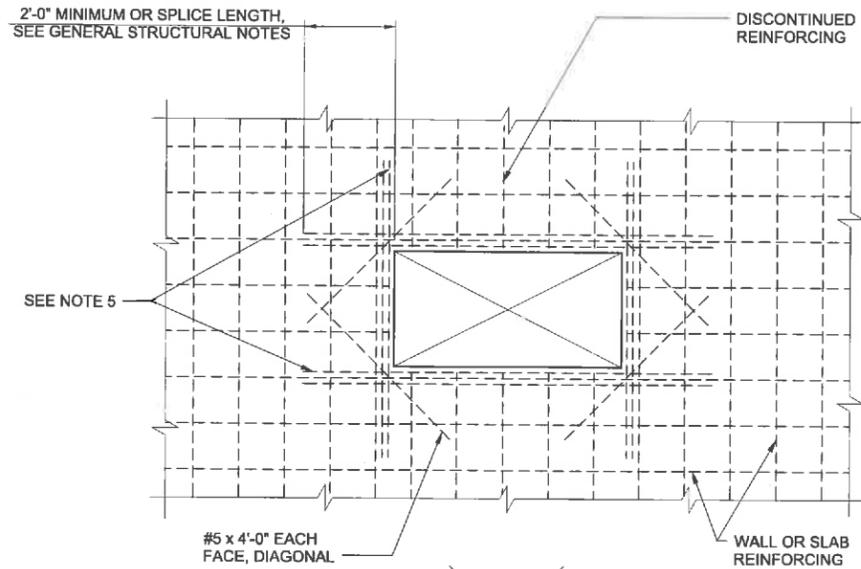
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CLIENT PROJECT NUMBER  
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STANDARD DETAILS  
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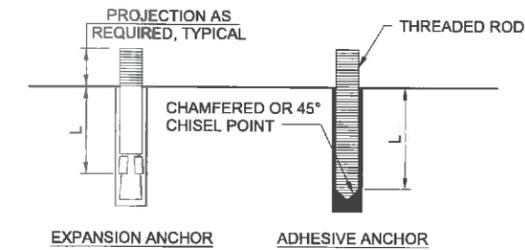
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2'-0" MINIMUM OR SPLICE LENGTH, SEE GENERAL STRUCTURAL NOTES



OPENING REINFORCING  
**DETAIL** (A) VAR  
NO SCALE



MINIMUM EMBEDMENT LENGTH, L		
DIAMETER	EXPANSION ANCHOR	ADHESIVE ANCHOR
3/8"	3 1/2"	4 1/2"
1/2"	4 3/4"	6"
5/8"	5 1/2"	7 1/2"
3/4"	6 1/2"	9"
7/8"	-	10 1/2"
1"	-	12"

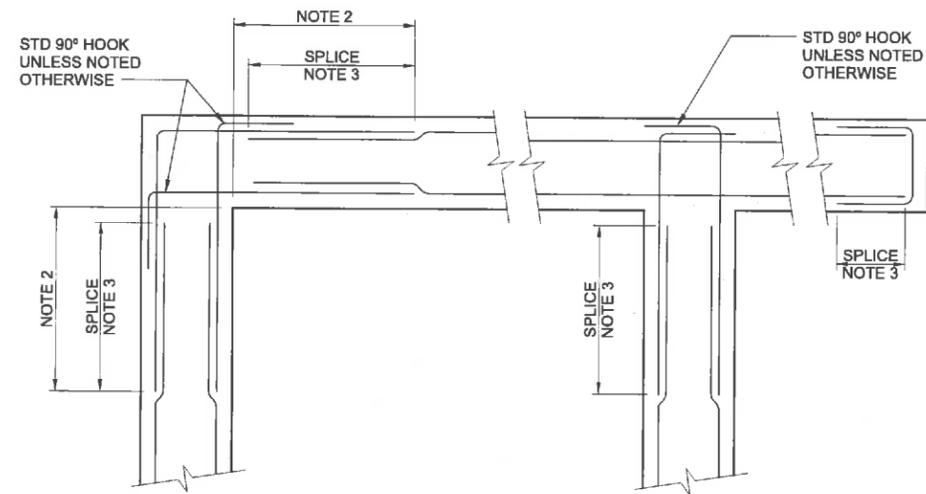
CONCRETE ANCHORS  
**DETAIL** (B) VAR  
NO SCALE

NOTES:

1. MINIMUM EMBEDMENT LENGTH PER SCHEDULE UNLESS INDICATED OTHERWISE ON DRAWINGS.
2. CONFORM TO ICC EVALUATION SERVICE REPORT (ES REPORT) REQUIREMENTS AND MANUFACTURER'S RECOMMENDATIONS FOR INSTALLATION.
3. THREADED RODS SHALL BE TYPE 316 STAINLESS STEEL MATERIAL UNLESS INDICATED OTHERWISE ON THE DRAWINGS.
4. ADHESIVE ANCHOR EMBEDMENT LENGTHS ARE BASED ON HILTI HIT-RE 500-SD ADHESIVE IN 4000 PSI CONCRETE. SUBMIT ICC ES REPORT FOR ALTERNATE PRODUCTS.
5. EXPANSION ANCHOR EMBEDMENT LENGTHS ARE BASED ON HILTI KWIK BOLT TZ STAINLESS STEEL ANCHORS IN 4000 PSI NORMAL WEIGHT CONCRETE. SUBMIT ICC EVALUATION SERVICE REPORT (ES REPORT) FOR ALTERNATE PRODUCTS.
6. HOLE DIAMETER SHALL BE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.

NOTES:

1. THIS DETAIL APPLIES TO UP TO 3'-0" MAXIMUM DIMENSION FOR RECTANGULAR OPENINGS AND UP TO 3'-0" DIAMETER FOR CIRCULAR OPENINGS.
2. AT OPENINGS 12" OR LESS, NO ADDITIONAL #5 DIAGONAL REINFORCING IS REQUIRED UNLESS NOTED OTHERWISE. REINFORCING SHALL BE OFFSET, STILL MAINTAINING REQUIRED SPACING, TO ALLOW FOR OPENING WHERE PRACTICAL, OR CUT AT THE OPENING AND ADDITIONAL REINFORCING ADDED PER NOTE 5.
3. OPENINGS ARE NOT ALL SHOWN ON STRUCTURAL DRAWINGS. PROVIDE OPENINGS IN ACCORDANCE WITH MECHANICAL, AND OTHER CONTRACT DRAWINGS.
4. ADDITIONAL REINFORCEMENT MAY BE OMITTED ONLY WHERE OPENINGS IS FRAMED BY BEAMS OR WALLS.
5. ADDITIONAL REINFORCING (4) SIDES OF OPENING EQUAL TO NUMBER AND SIZE OF DISCONTINUOUS REINFORCING. WHERE AN ODD NUMBER OF REBAR ARE DISCONTINUOUS, PROVIDE (ODD NO. +1)/2 EACH SIDE OF OPENING.

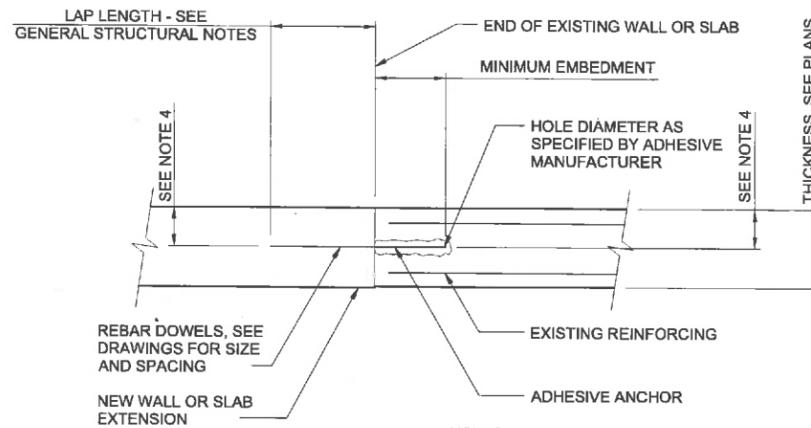


NOTES:

DOUBLE MAT REINFORCING

1. UNLESS NOTED OTHERWISE, SIZE AND SPACING OF CORNER OR INTERSECTION REINFORCING SHALL MATCH HORIZONTAL REINFORCING SHOWN IN SPECIFIC SECTIONS OR DETAILS. VERTICAL REINFORCING NOT SHOWN FOR CLARITY.
2. UNLESS NOTED OTHERWISE, BAR SPLICE SHALL BE LOCATED OUTSIDE OF CORNER OR INTERSECTION AREA TO AVOID CONGESTION. CONTRACTORS OPTION TO PROVIDE SINGLE BENT BAR IN LIEU OF SPLICE CONFIGURATION AT ONE END ONLY.
3. SEE GENERAL STRUCTURAL NOTES FOR SPLICE LENGTH. HORIZONTAL WALL BARS SHALL BE CONSIDERED TOP BARS FOR DEVELOPMENT AND SPLICE LENGTHS.

TYPICAL HORIZONTAL WALL REINFORCING  
**DETAIL** (C) VAR  
NO SCALE

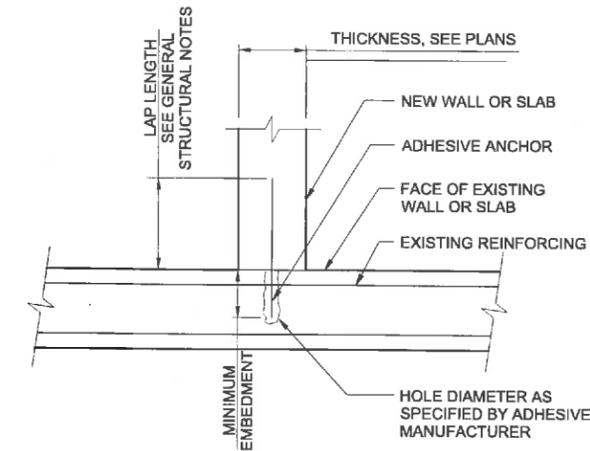


DOWEL SIZE	MINIMUM EMBEDMENT
#3	5"
#4	7"
#5	8"
#6	10"
#7	12"
#8	14"
#9	16"

NOTES:

1. EMBEDMENT LENGTHS IN TABLE ARE BASED ON DOWELS SET WITH HILTI HIT-RE 500-SD ADHESIVE ANCHOR SYSTEM. PROVIDE EMBEDMENT LENGTH PER TABLE UNLESS NOTED OTHERWISE ON DRAWINGS. SUBMIT ICC EVALUATION SERVICE REPORT (ES REPORT) IF ALTERNATE PRODUCT IS PROPOSED.
2. DOWELS SHALL BE SET IN ACCORDANCE WITH MANUFACTURER'S PUBLISHED INSTALLATION INSTRUCTIONS AND ICC ES REPORT ESR-2322.
3. SPECIAL INSPECTION IS REQUIRED FOR ALL DOWELS SET WITH ADHESIVE. SPECIAL INSPECTION SHALL BE IN ACCORDANCE WITH ICC ES REPORT ESR-2322 AND IBC 2009.
4. LOCATE DOWELS CENTERED IN WALL OR SLAB UNLESS NOTED OTHERWISE ON DRAWINGS. WHERE 2 ROWS OF DOWELS ARE INDICATED, STAGGER SPACING AND LOCATE ALTERNATING DOWELS AT MINIMUM EDGE DISTANCE FROM OPPOSITE FACES.

REBAR DOWELS SET WITH ADHESIVE  
**DETAIL** (D) VAR  
NO SCALE



**Brown AND Caldwell**



CITY OF APPLETON  
NORTHLAND POND

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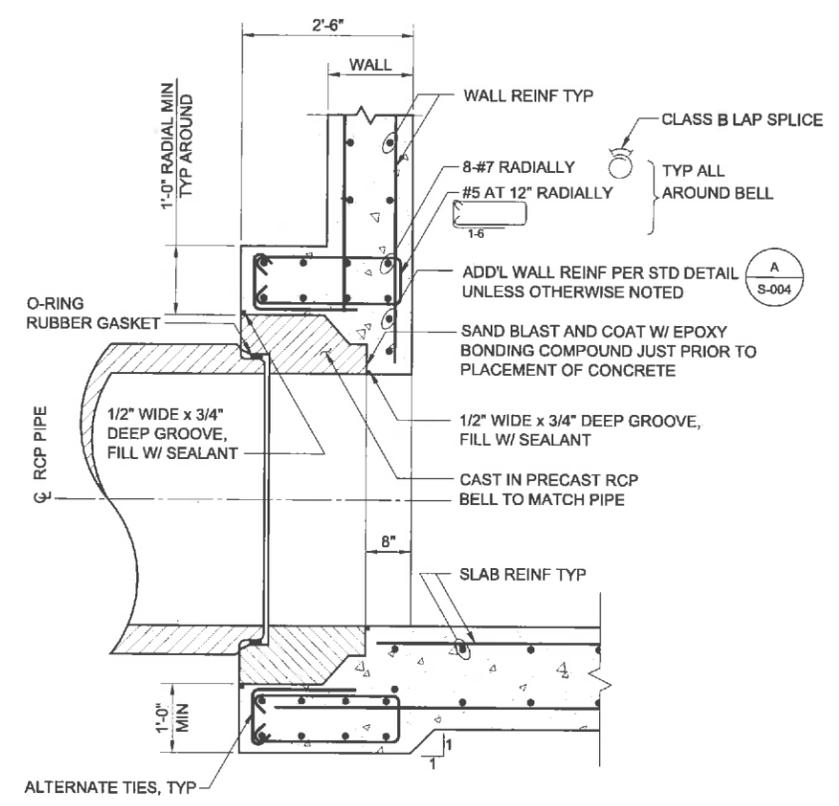
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**STRUCTURAL**  
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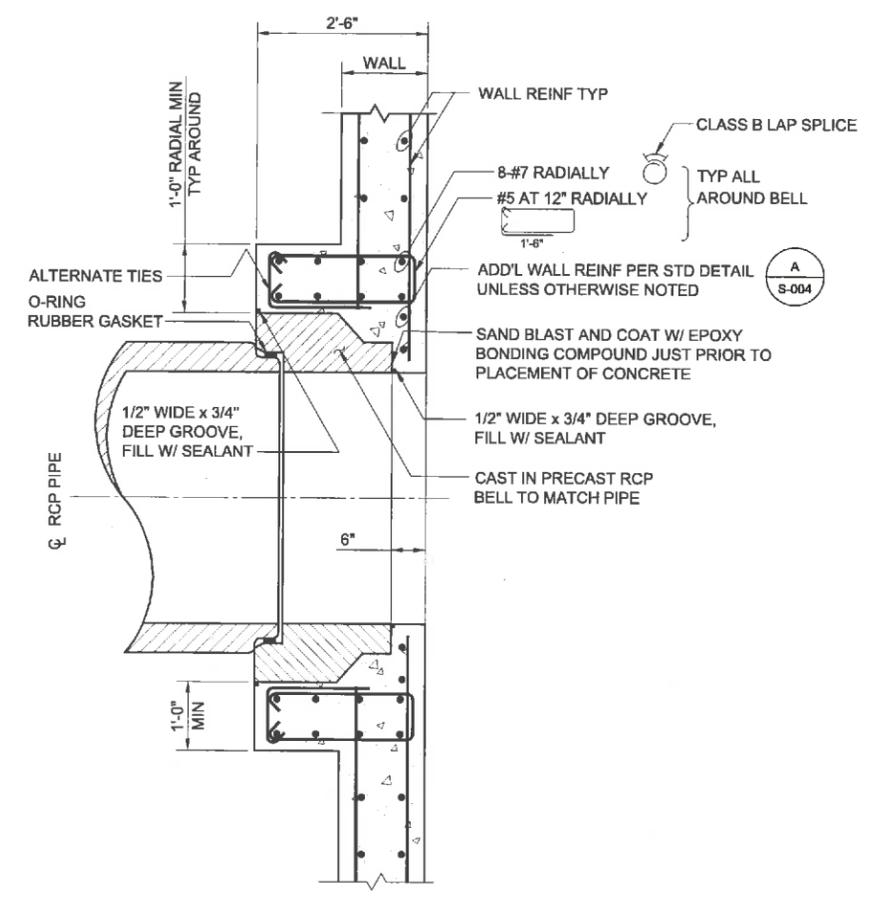
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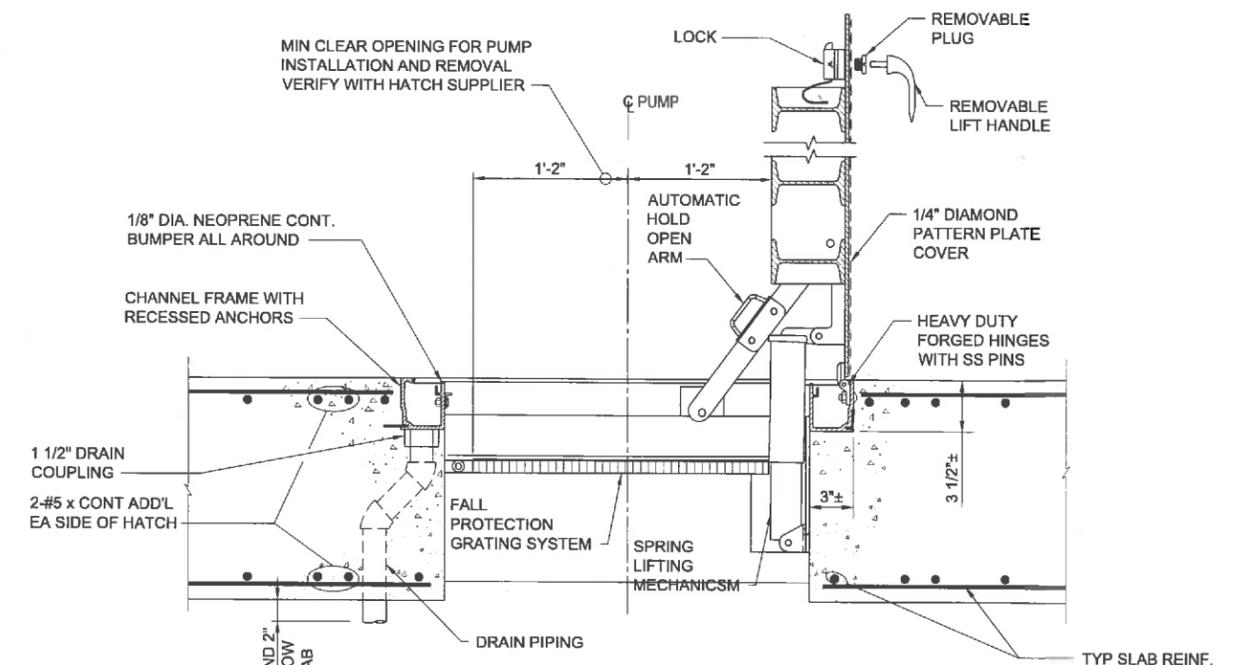
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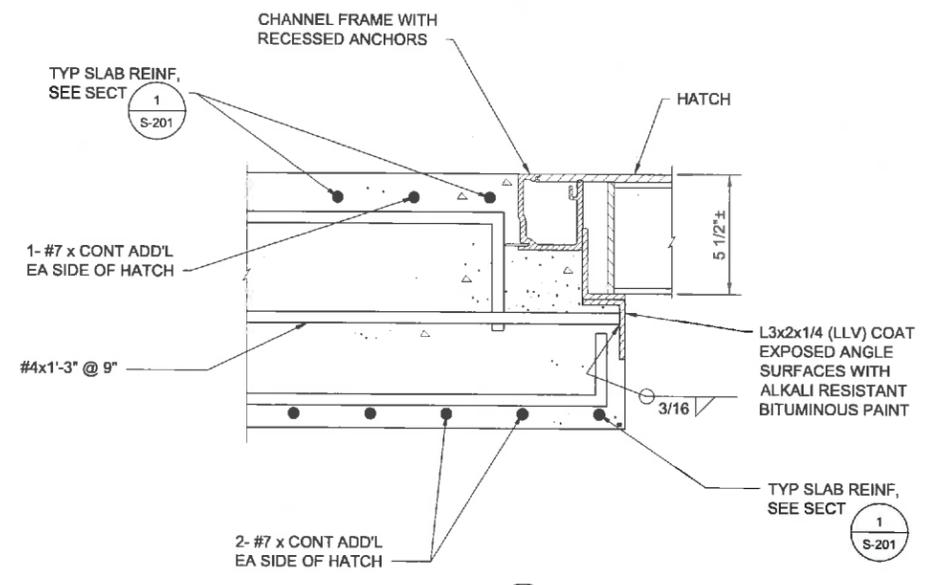
PIPE JOINT AT BASE SLAB  
**DETAIL A**  
 SCALE: NO SCALE



PIPE JOINT AT WALL  
**DETAIL B**  
 SCALE: NO SCALE



NOTE:  
 COORDINATE ALL DIMENSIONS REQUIRED FOR ACCESS HATCH INSTALLATION WITH HATCH SUPPLIER.  
**DETAIL C**  
 NO SCALE



**DETAIL D**  
 SCALE: NO SCALE



**CITY OF APPLETON  
 NORTHLAND POND**

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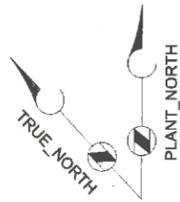
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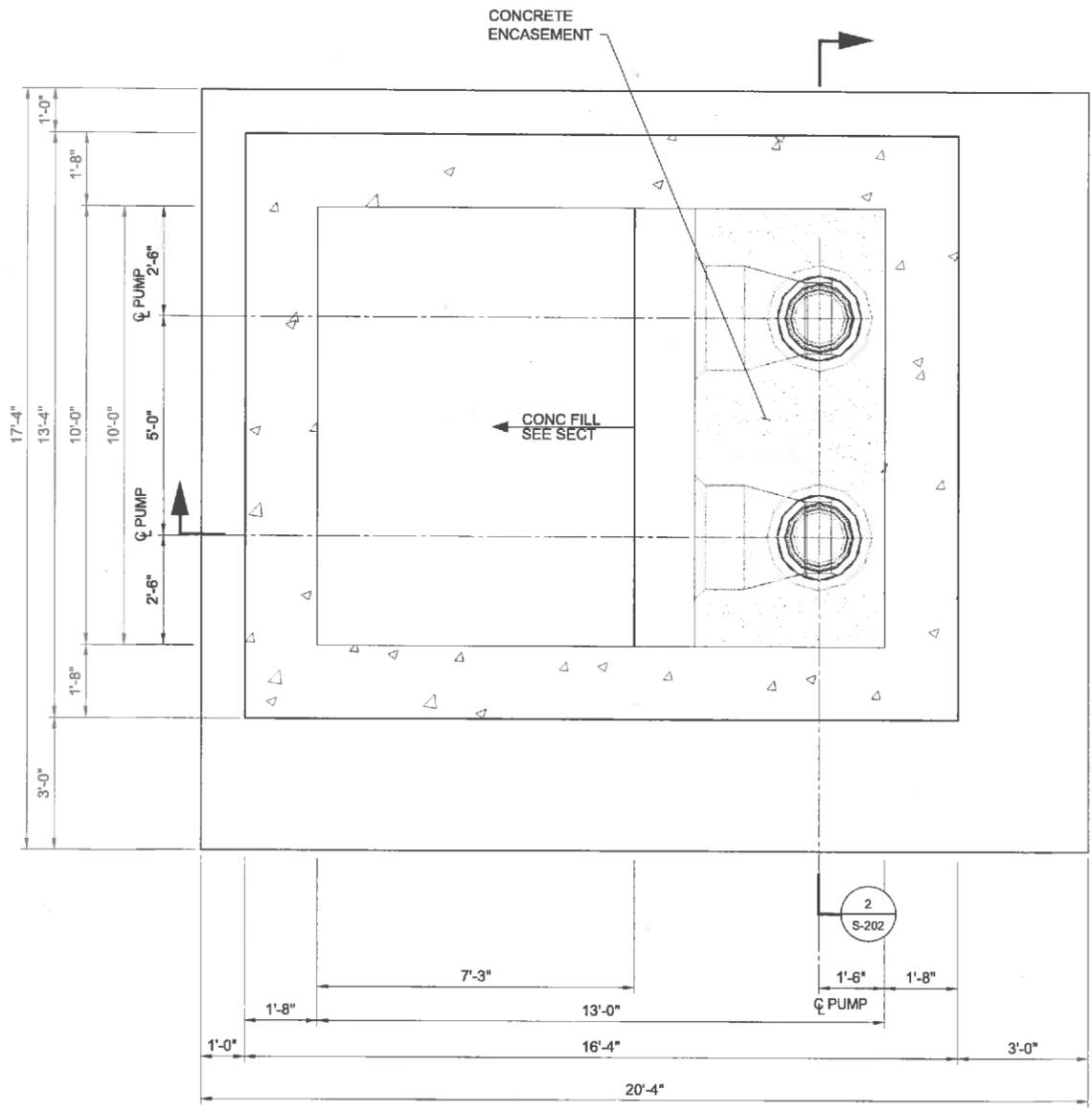
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**STRUCTURAL  
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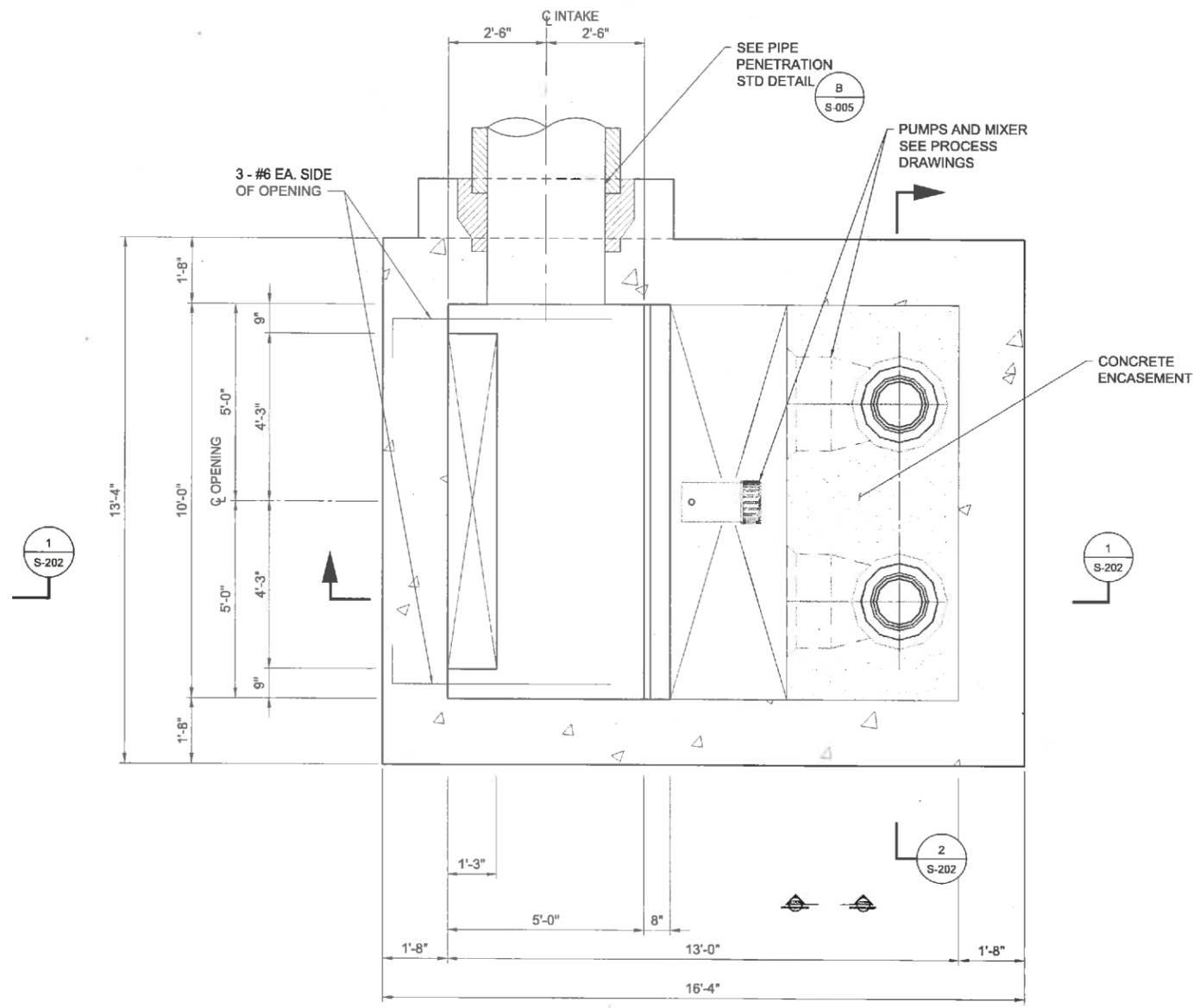
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 SHEET NUMBER  
 25 OF 46



Path: \\BCMILF01\PROJECTS\APPLETON CITY OF\147662\_NORTHLAND POND FINAL DESIGN\CADD\2-SHEETS\STRUCTURAL FILENAME: S-101.DWG PLOT DATE: 1/4/16 1:50 PM CAD USER: RICKETTS, PHIL



AT EL 773.00  
**BOTTOM PLAN**  
SCALE: 1/2" = 1'-0"



AT EL 776.17  
**INTAKE PLAN**  
SCALE: 1/2" = 1'-0"



CITY OF APPLETON  
NORTHLAND POND

REVISIONS		
REV	DATE	DESCRIPTION

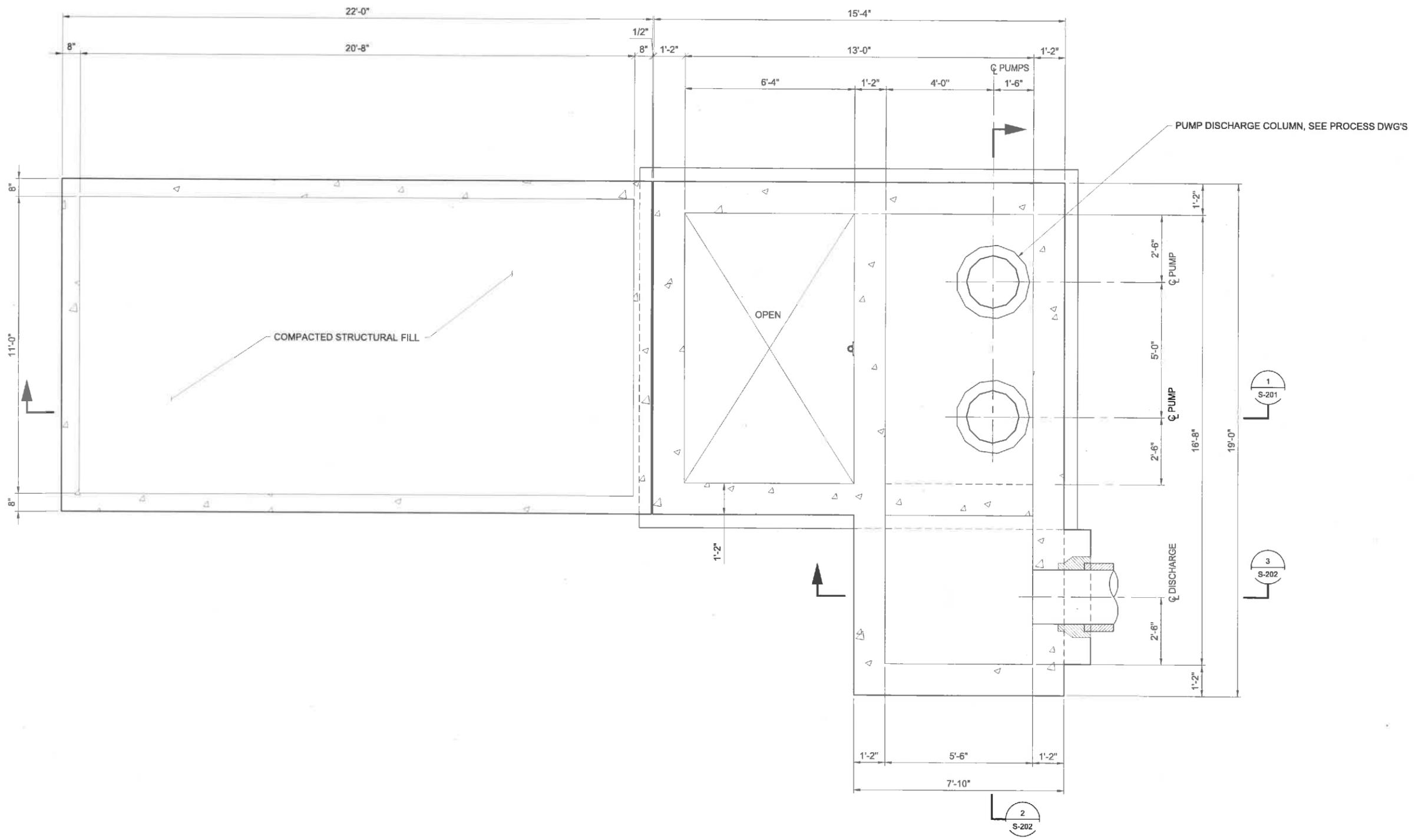
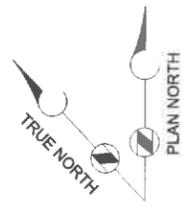
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APPROVED: \_\_\_\_\_

FILENAME: S-101.DWG  
BC PROJECT NUMBER: 147662  
CLIENT PROJECT NUMBER: \_\_\_\_\_  
CLIENT PROJECT NUMBER: \_\_\_\_\_

**STRUCTURAL**  
**PUMP STATION -**  
**BOTTOM PLAN AND**  
**INTAKE PLAN**

DRAWING NUMBER: **S-101**  
SHEET NUMBER: 26 OF 46

Path: \\BCMIL\FP01\PROJECTS\APPLETON CITY OF 147662\_NORTHLAND POND FINAL DESIGN\CADD2-SHEETS\STRUCTURAL FILENAME: S-102.DWG PLOT DATE: 1/4/16 1:50 PM CAD USER: RICKETTS, PHIL



PLAN AT 790.00  
DISCHARGE PLAN  
SCALE: 1" = 20'



CITY OF APPLETON NORTHLAND POND



CITY OF APPLETON  
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REVISIONS		
REV	DATE	DESCRIPTION

LINE IS 2 INCHES  
AT FULL SIZE

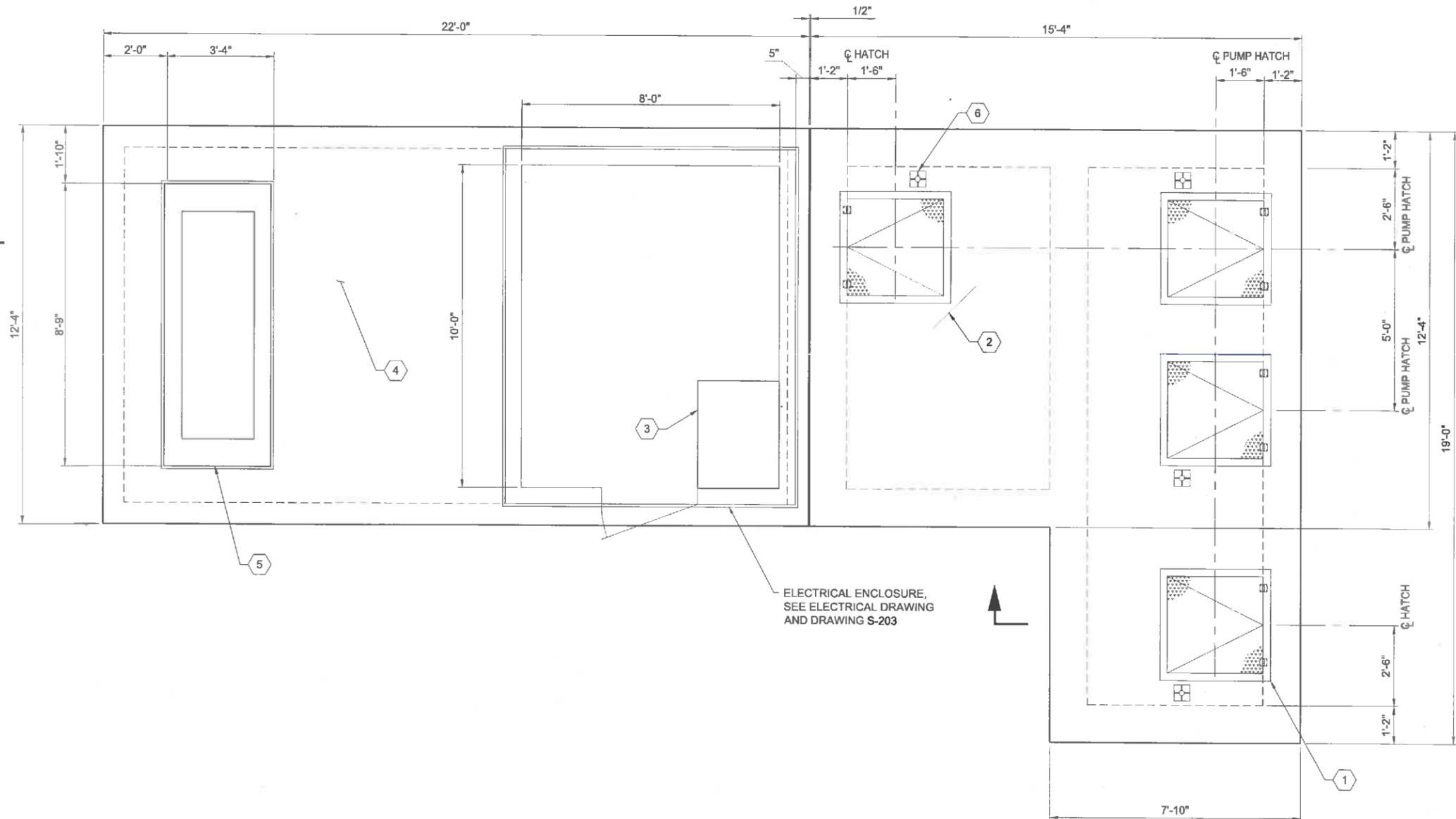
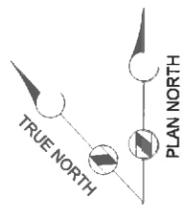
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FILENAME  
S-102.DWG  
BC PROJECT NUMBER  
147662  
CLIENT PROJECT NUMBER  
CLIENT PROJECT NUMBER

**STRUCTURAL**  
**PUMP STATION -**  
**DISCHARGE PLAN**

DRAWING NUMBER  
**S-102**  
SHEET NUMBER  
27 OF 46

Path: \\BGMILLF01\PROJECTS\APPLETON CITY DF\147662\_NORTHLAND POND FINAL DESIGN\CADD\2-SHEETS\STRUCTURAL FILENAME: S-103.DWG PLOT DATE: 1/1/16 1:51 PM CAD USER: RICKETTS, PHIL



NORTHLAND PUMP STATION  
 TOP PLAN AT EL 795.00  
 SCALE: 1/2" = 1'-0"

**GENERAL NOTES:**

1. ALL ACCESS HATCHES SHALL BE DESIGNED FOR AASHTO H-20 WHEEL LOAD.

**KEY NOTES:**

- ① 36"X36" ACCESS HATCH, TYP. SEE DETAIL B/S-005.
- ② (1) - #5 - 4'-0" T&B, DIAGONAL AT CORNERS OF HATCH OPENINGS, (TYPICAL 8 PLACES).
- ③ EQUIPMENT PAD, SEE DETAIL C/S-003, COORDINATE REQUIREMENTS WITH ELECTRICAL.
- ④ ELECTRICAL EQUIPMENT AREA COORDINATE REQUIRED PENETRATIONS THROUGH SLAB WITH ELECTRICAL.
- ⑤ ELECTRICAL GENERATOR PAD, SEE DETAIL B/S-003 FOR PAD, COORDINATE SIZE, HEIGHT, AND LOCATION WITH ELECTRICAL DRAWINGS AND ELECTRICAL GENERATOR REQUIREMENTS
- ⑥ FIXED DAVIT BASE (TYP). COORDINATE LOCATION WITH ENGINEER. INSTALL IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. SEE SPECIFICATION SECTION 05505.



**Brown AND Caldwell**

CITY OF APPLETON NORTHLAND POND



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REVISIONS		
REV	DATE	DESCRIPTION

LINE IS 2 INCHES AT FULL SIZE

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 APPROVED:

FILENAME  
 S-103.DWG  
 BC PROJECT NUMBER  
 147662  
 CLIENT PROJECT NUMBER  
 CLIENT PROJECT NUMBER

**STRUCTURAL**  
  
**PUMP STATION - TOP PLAN**

DRAWING NUMBER  
**S-103**  
 SHEET NUMBER  
 28 OF 46



CITY OF APPLETON  
NORTHLAND POND

REVISIONS		
REV	DATE	DESCRIPTION

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S-201.DWG

BC PROJECT NUMBER  
147662

CLIENT PROJECT NUMBER

CLIENT PROJECT NUMBER

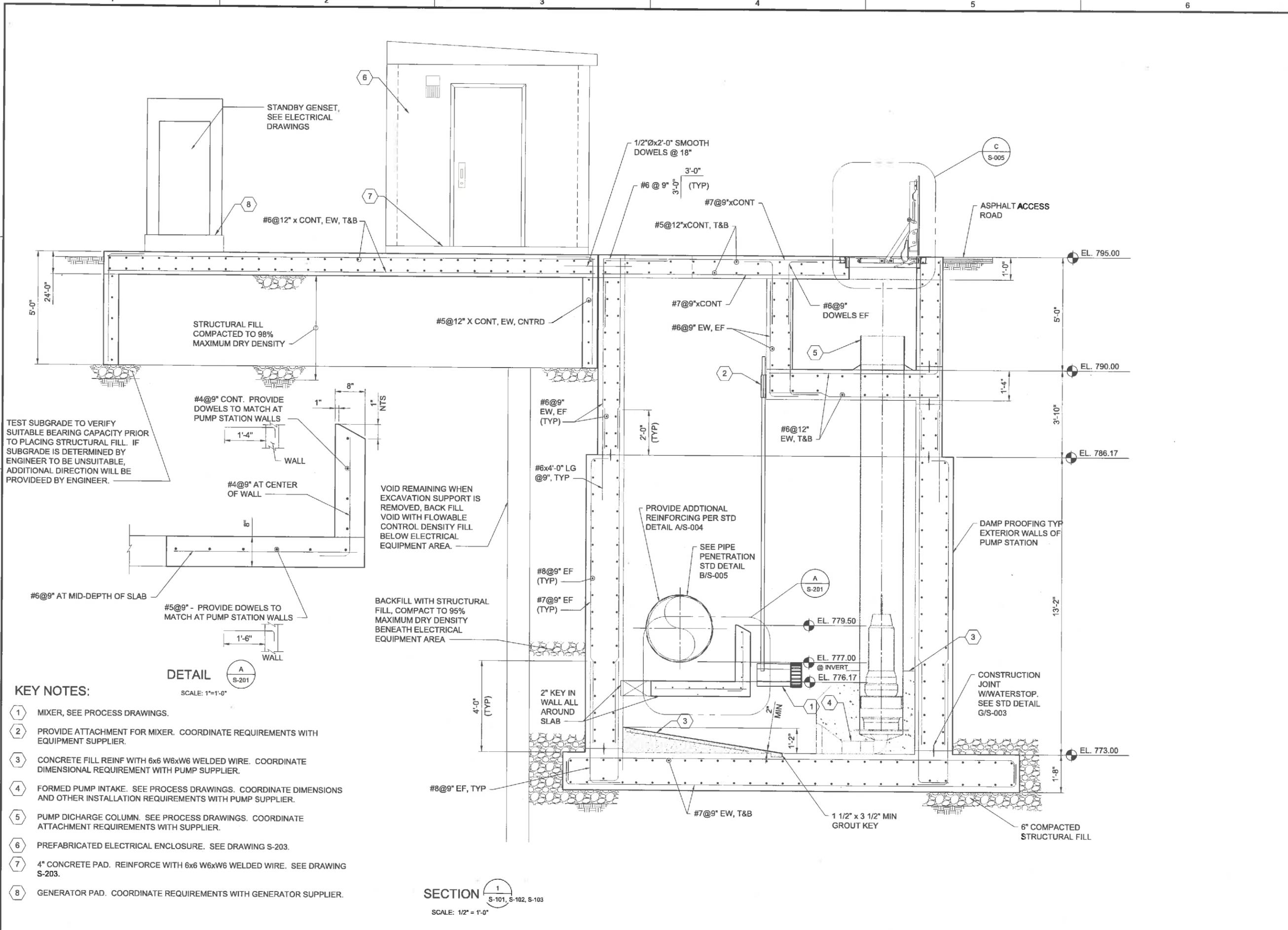
**STRUCTURAL**  
**PUMP STATION -**  
**SECTIONS 1**

DRAWING NUMBER

**S-201**

SHEET NUMBER

29 OF 46



TEST SUBGRADE TO VERIFY SUITABLE BEARING CAPACITY PRIOR TO PLACING STRUCTURAL FILL. IF SUBGRADE IS DETERMINED BY ENGINEER TO BE UNSUITABLE, ADDITIONAL DIRECTION WILL BE PROVIDED BY ENGINEER.

**DETAIL**  
SCALE: 1"=1'-0"

**SECTION**  
SCALE: 1/2" = 1'-0"

- KEY NOTES:**
- 1 MIXER, SEE PROCESS DRAWINGS.
  - 2 PROVIDE ATTACHMENT FOR MIXER. COORDINATE REQUIREMENTS WITH EQUIPMENT SUPPLIER.
  - 3 CONCRETE FILL REINF WITH 6x6 W6xW6 WELDED WIRE. COORDINATE DIMENSIONAL REQUIREMENT WITH PUMP SUPPLIER.
  - 4 FORMED PUMP INTAKE. SEE PROCESS DRAWINGS. COORDINATE DIMENSIONS AND OTHER INSTALLATION REQUIREMENTS WITH PUMP SUPPLIER.
  - 5 PUMP DISCHARGE COLUMN. SEE PROCESS DRAWINGS. COORDINATE ATTACHMENT REQUIREMENTS WITH SUPPLIER.
  - 6 PREFABRICATED ELECTRICAL ENCLOSURE. SEE DRAWING S-203.
  - 7 4" CONCRETE PAD. REINFORCE WITH 6x6 W6xW6 WELDED WIRE. SEE DRAWING S-203.
  - 8 GENERATOR PAD. COORDINATE REQUIREMENTS WITH GENERATOR SUPPLIER.

Path: \\BCKMILFP01\PROJECTS\APPLETON CITY OF 147662\_NORTHLAND POND FINAL DESIGN\CADD\2-SHEETS\STRUCTURAL FILENAME: S-201.DWG PLOT DATE: 1/4/16 1:52 PM CAD USER: RICKETTS, PHIL

Path: \\BGMILFP01\PROJECTS\APPLETON CITY OF 147662\_NORTHLAND POND FINAL DESIGN\CADD\2-SHEETS\STRUCTURAL FILENAME: S-202.DWG PLOT DATE: 1/4/16 1:52 PM CAD USER: RICKETTS, PHIL



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NORTHLAND POND

REVISIONS		
REV	DATE	DESCRIPTION

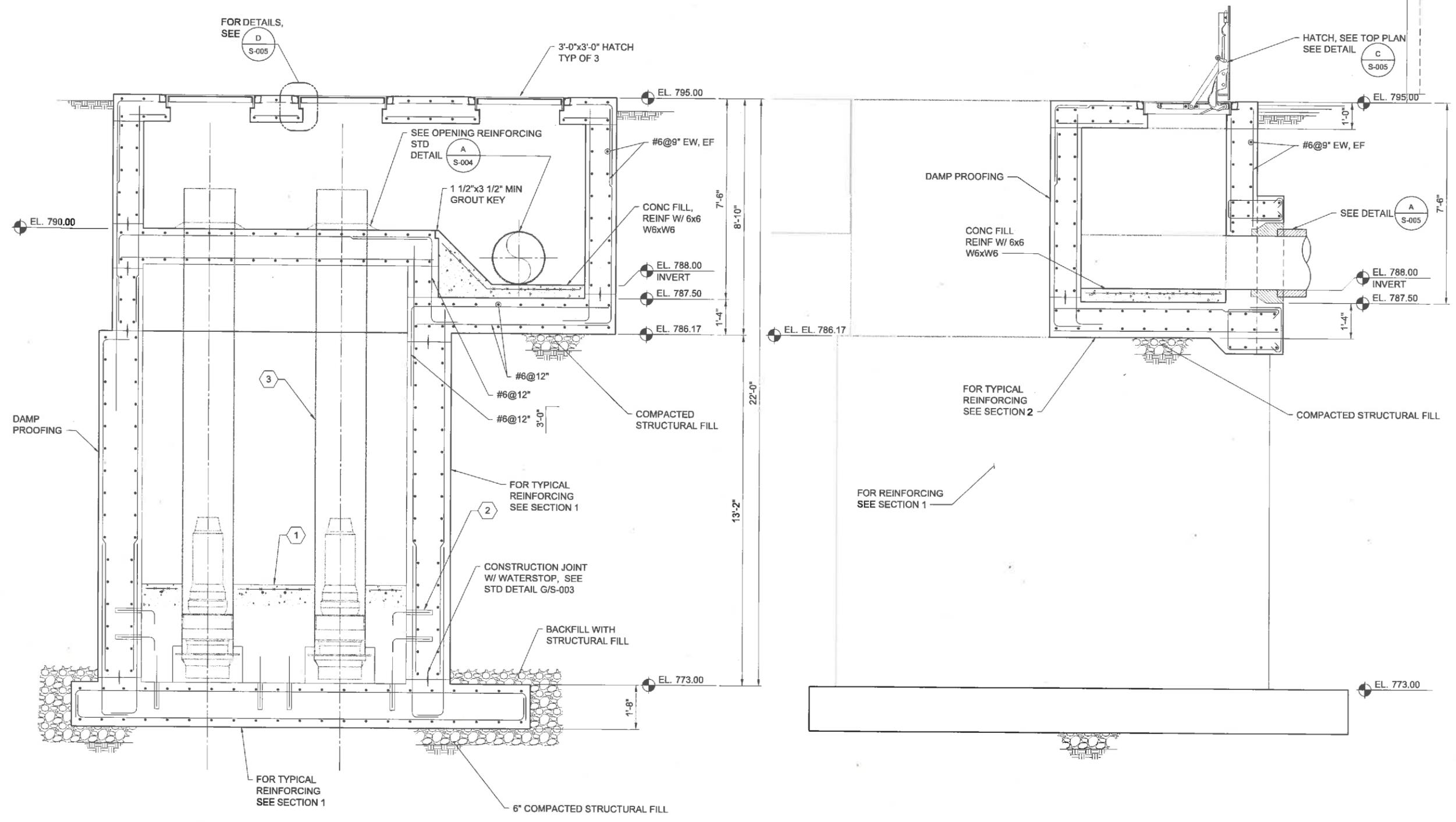
LINE IS 2 INCHES AT FULL SIZE

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APPROVED:

FILENAME: S-202.DWG  
BC PROJECT NUMBER: 147662  
CLIENT PROJECT NUMBER: CLIENT PROJECT NUMBER

**STRUCTURAL**  
**PUMP STATION - SECTIONS 2**

DRAWING NUMBER  
**S-202**  
SHEET NUMBER  
30 OF 46

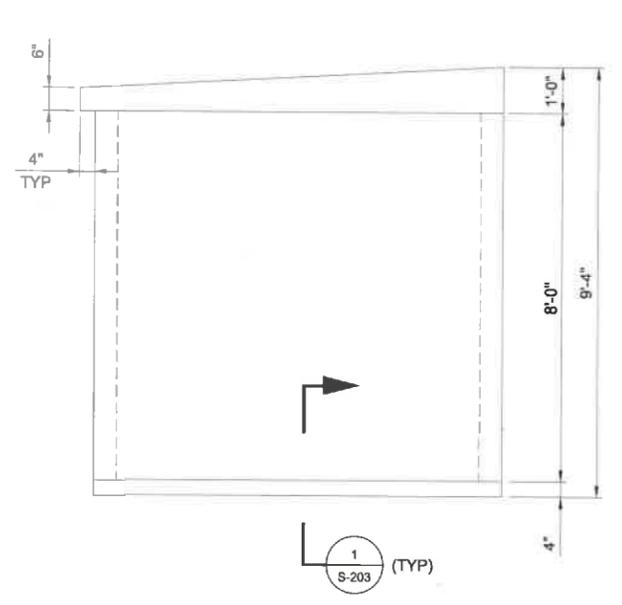


**SECTION 2**  
S-101, S-102, S-103  
SCALE: 1/2" = 1'-0"

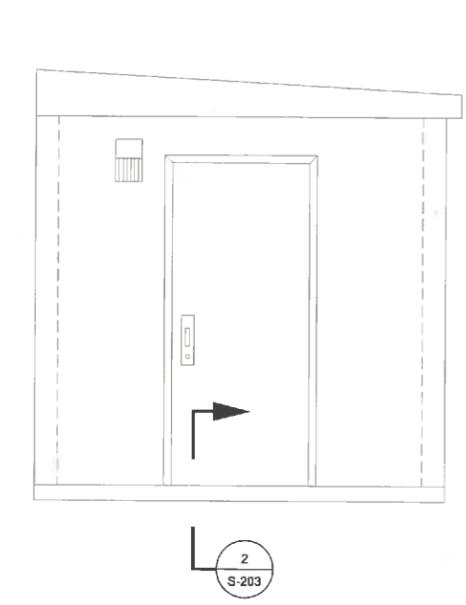
- KEY NOTES:**
- ① FORMED PUMP INTAKE/CONCRETE FILL. COORDINATE REQUIREMENTS WITH PUMP SUPPLIER. REINFORCEMENT EXPOSED VIEW FACES OF CONCRETE FILL WITH 6x6 W6xW6.
  - ② #4 ADHESIVE DOWELS TO PUMP STATION WALLS AND BASE SLAB AS SHOWN. 12 REQUIRED. SEE STANDARD DETAIL D/S-004.
  - ③ PUMP DISCHARGE COLUMNS.

**SECTION 3**  
S-101, S-102, S-103  
SCALE: 1/2" = 1'-0"

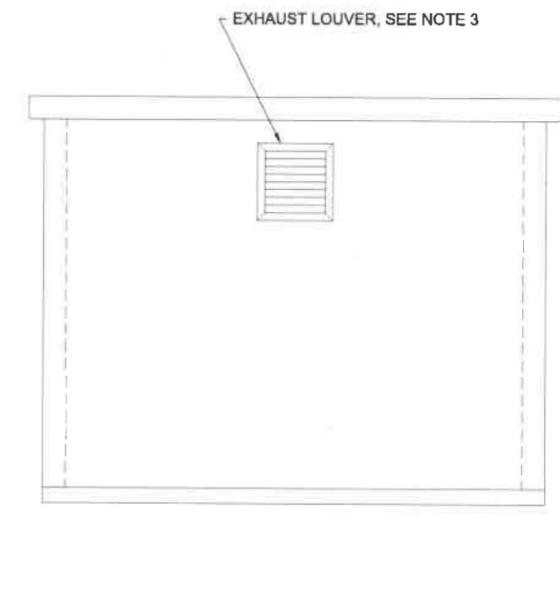
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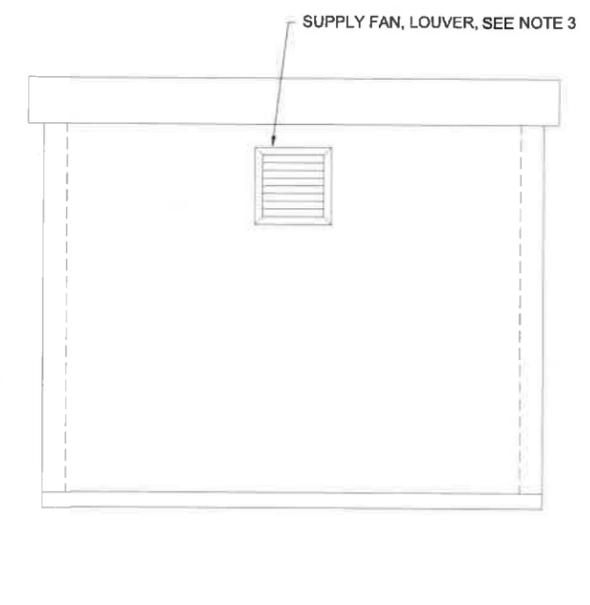
NORTH  
ELEVATION  
1/2"=1'-0"



SOUTH  
ELEVATION  
1/2"=1'-0"



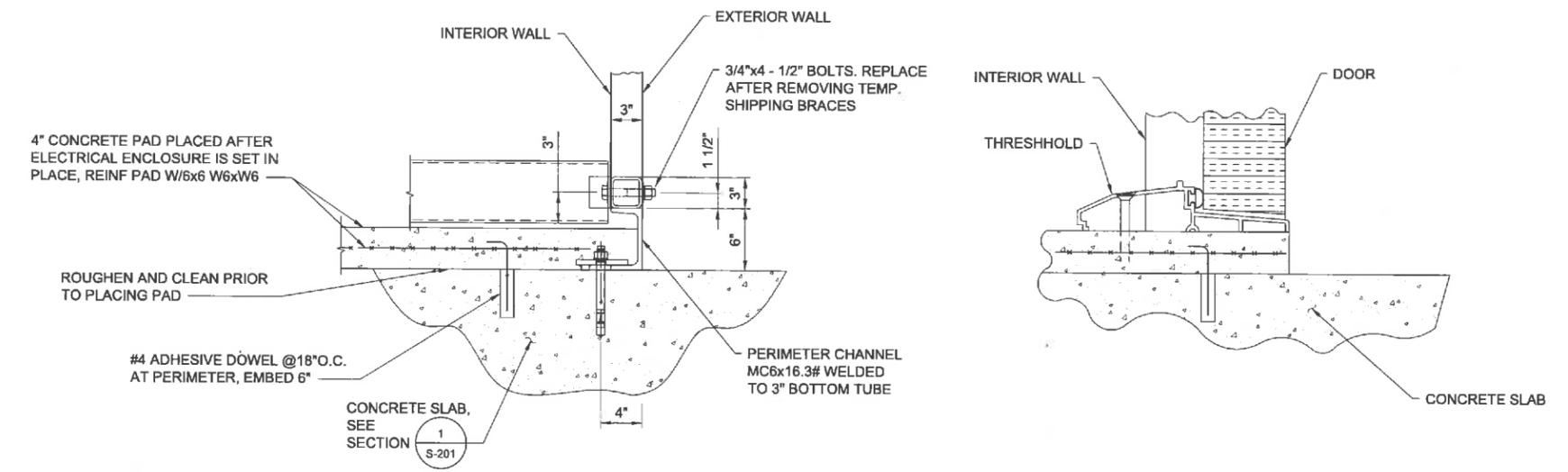
EAST  
ELEVATION  
1/2"=1'-0"



WEST  
ELEVATION  
1/2"=1'-0"

NOTES:

1. CONTRACTOR TO CONFIRM SIZE AND LOCATION OF OPENINGS REQUIRED FOR WALL PIPING AND FLOOR PENETRATIONS.
2. PROVIDE PREFABRICATED ELECTRICAL EQUIPMENT ENCLOSURE. REFERENCE SPECIFICATION SECTION 16922.
3. LOCATE FAN AND LOUVER TO AVOID INTERFERENCE WITH ELECTRICAL EQUIPMENT.



SECTION 1  
S-201  
SCALE: NO SCALE

SECTION 2  
S-203  
SCALE: NO SCALE



CITY OF APPLETON NORTHLAND POND



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NORTHLAND POND

REVISIONS		
REV	DATE	DESCRIPTION

LINE IS 2 INCHES AT FULL SIZE

DESIGNED:  
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FILENAME  
S-203.DWG  
BC PROJECT NUMBER  
147662  
CLIENT PROJECT NUMBER  
CLIENT PROJECT NUMBER

STRUCTURAL  
ELECTRICAL  
EQUIPMENT  
ENCLOSURE

DRAWING NUMBER  
**S-203**  
SHEET NUMBER  
31 OF 46

Path: \\BCKMILF01\PROJECTS\APPLETON CITY OR\147662\_NORTHLAND POND FINAL DESIGN\CADD\2-SHEETS\STRUCTURAL FILENAME: S-203.DWG PLOT DATE: 1/4/16 1:53 PM CAD USER: RICKETTS, PHIL

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CITY OF APPLETON NORTHLAND POND



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REVISIONS		
REV	DATE	DESCRIPTION

LINE IS 2 INCHES AT FULL SIZE

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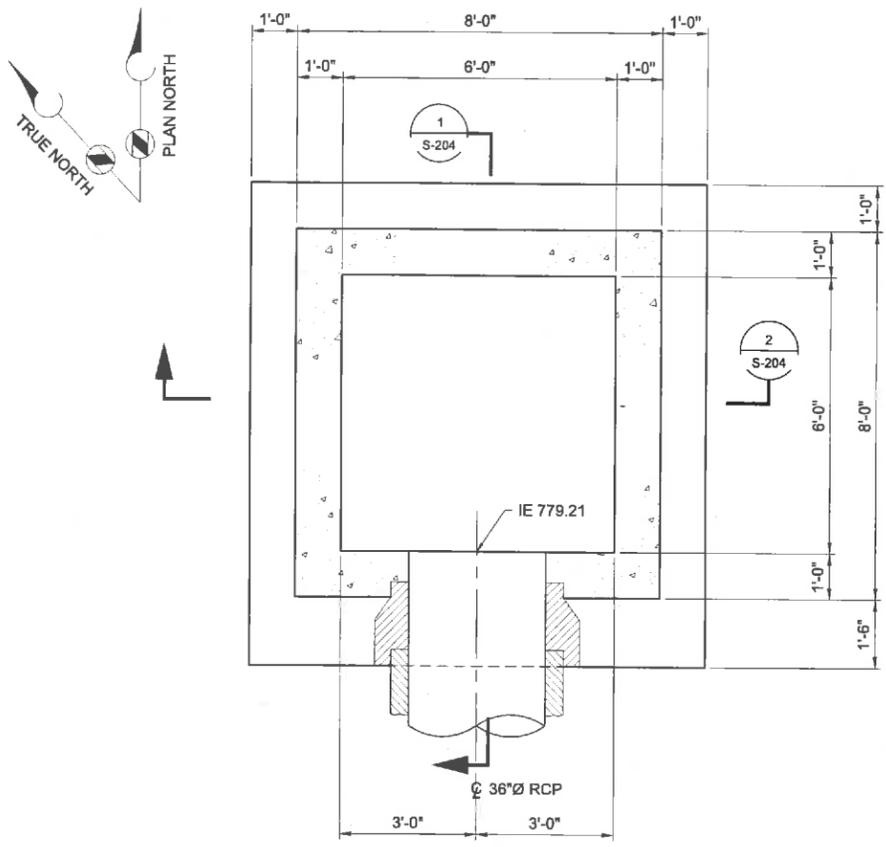
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 BC PROJECT NUMBER  
 147662  
 CLIENT PROJECT NUMBER  
 CLIENT PROJECT NUMBER

**STRUCTURAL**

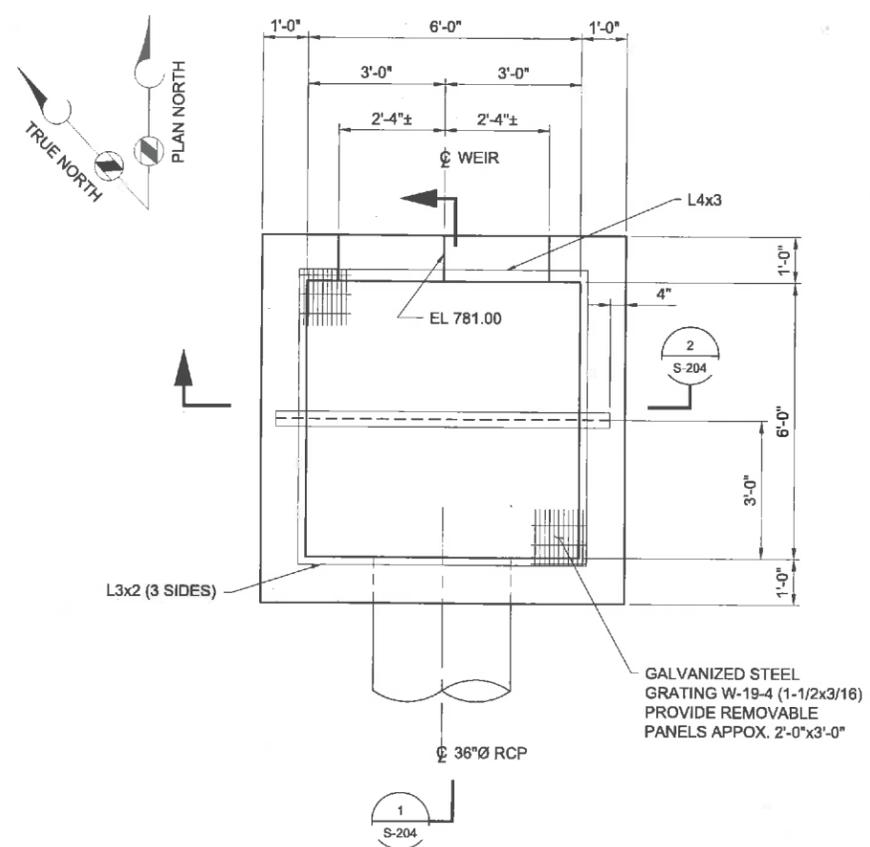
**OUTLET STRUCTURE - PLANS AND SECTIONS**

DRAWING NUMBER  
**S-204**

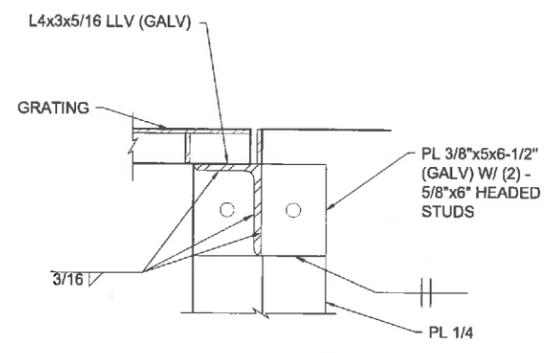
SHEET NUMBER  
32 OF 46



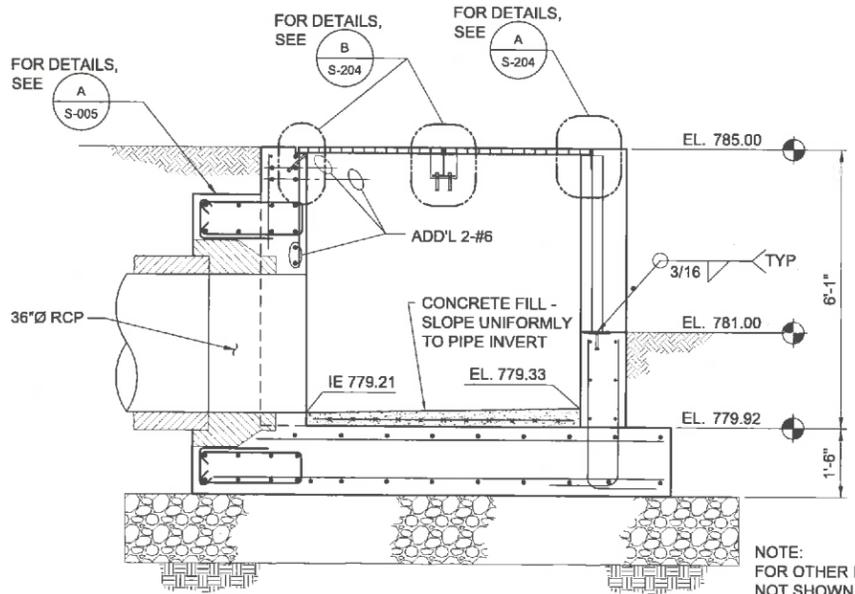
**BOTTOM PLAN AT EL 778.92**  
SCALE: 1/2" = 1'-0"



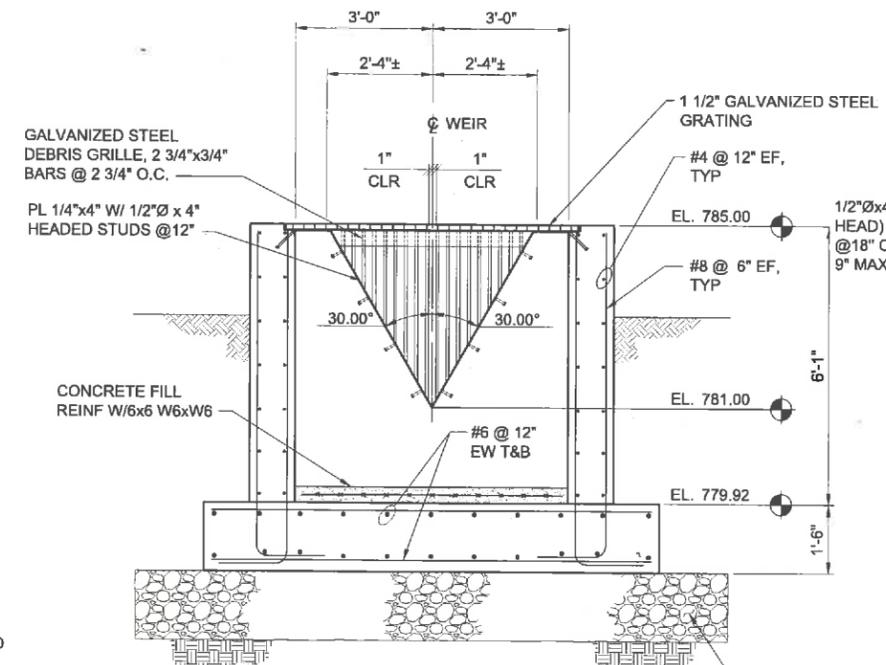
**TOP PLAN AT EL 785.00**  
SCALE: 1/2" = 1'-0"



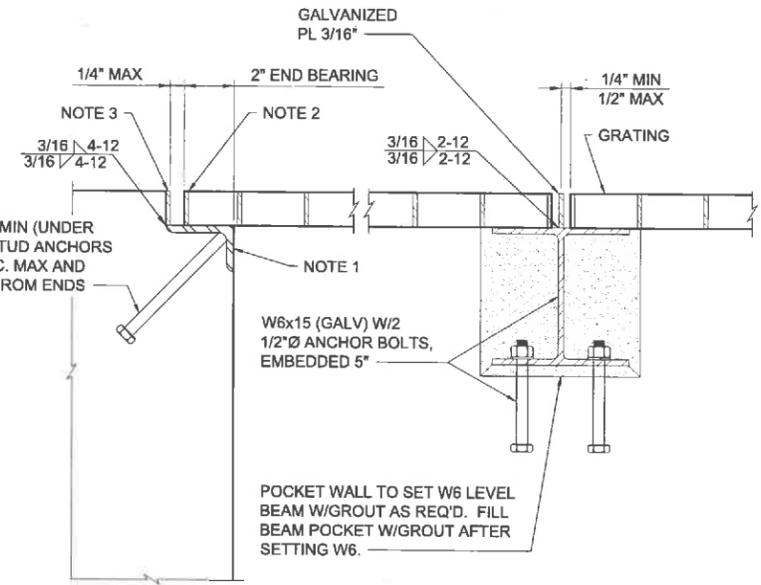
**DETAIL A**  
SCALE: 3" = 1'-0"



**SECTION 1**  
SCALE: 1/2" = 1'-0"



**SECTION 2**  
SCALE: 1/2" = 1'-0"



**DETAIL B**  
SCALE: 3" = 1'-0"

- NOTES:
- GALVANIZED L3x2x1/4 (LLH) MITER AND WELD CORNERS.
  - END EDGE BAND 1/4" LESS THAN DEPTH OF GRATING TYPICAL AT BEARING SEATS.
  - CONTINUOUS FLAT BAR 1/4"xDEPTH OF GRATING WELD CORNERS.

Path: \\BDCM\LF01\PROJECTS\APPLETON CITY OF\147662\_NORTHLAND POND FINAL DESIGN\CADD\DC-SHEETS\ELECTRICAL FILENAME: E-001.DWG PLOT DATE: 12/16 11:56 AM CAD USER: AGUILAR, GEORGE

### RACEWAYS

HH23 MANHOLE (MH), HANDHOLE (HH), PULLBOX (PB)

JB1900 JUNCTION BOX. OPTIONAL IDENTIFIER

TB-1301 TERMINAL BOX. OPTIONAL IDENTIFIER

HOME RUN EXPOSED - SEE PANELBOARD, SWITCHBOARD, OR MCC SCHEDULE FOR CIRCUIT INFORMATION

EXAMPLE: HOME TO PANELBOARD PBD-1900, CIRCUITS 1, 3, AND 5

HOME RUN CONCEALED - SEE PANELBOARD, SWITCHBOARD, OR MCC SCHEDULE FOR CIRCUIT INFORMATION

EXAMPLE: HOME TO PANELBOARD PBD-1900, CIRCUITS 1, 3, AND 5

CABLE TRAY MODIFIERS:  
 CTS - 24VDC OR LESS  
 CTC - 120V CONTROL CONDUCTORS  
 CTP - 600V POWER CONDUCTORS

CABLE #4/0 AND LARGER SHALL NOT BE STACKED VERTICALLY

WHEN TWO TRAY MODIFIERS IDENTIFY A SINGLE TRAY, THE CONTRACTOR MAY USE DIVIDER OR INSTALL SEPARATE TRAYS (CTC/CTS)

CABLE TRAY WITH COVER MODIFIER, AS ABOVE

P 05P1100 RACEWAY IDENTIFIER

RACEWAY EXPOSED MODIFIERS FOR RACEWAY TYPE:  
 H - POWER (ABOVE 600V)  
 P - POWER  
 C - CONTROL  
 S - SIGNAL  
 D - DATA  
 F - FIBER OPTIC  
 PC - POWER AND CONTROL  
 X - SPARE

RACEWAY CONCEALED

RACEWAY TURNED TOWARD THE VIEWER

RACEWAY TURNED DOWN

CONDUIT CAPPED

DB 05P1100 DUCT BANK IDENTIFIER (OPTIONAL)

DB --- DUCT BANK, DIRECT BURIED

CDB --- DUCT BANK, CONCRETE ENCASED

RC --- DUCTBANK, REINFORCED CONCRETE ENCASED

OHE --- OVERHEAD POWER LINE

### DISTRIBUTION EQUIPMENT

APPROXIMATE SHAPE AND SCALE REPRESENTED WHERE POSSIBLE. HOWEVER, EXACT SIZE AND NUMBER OF SECTIONS IS ESTIMATED

FLOOR-STANDING DISTRIBUTION ASSEMBLY, SUCH AS A SWITCHBOARD, TRANSFORMER, OR MOTOR CONTROL CENTER

MCC-1200 EQUIPMENT DESIGNATION (EXAMPLE)

WALL-MOUNTED DISTRIBUTION ASSEMBLY, SUCH AS PANELBOARD, MOTOR STARTER PANEL, OR TERMINAL CABINET

PBD-1900 EQUIPMENT DESIGNATION (EXAMPLE)

### LIGHTING

FIXTURE IDENTIFIER:

NUMBER OF FIXTURES (SHOWN ONLY WHEN REQUIRED FOR CLARITY)

FIXTURE TYPE. TYPE APPLIES TO ALL FIXTURES OF THE SAME SHAPE WITHIN A ROOM OR AREA.

MOUNTING:  
 L = POLE R = RECESSED  
 G = GROUND S = SURFACE  
 P = PENDANT W = WALL

MOUNTING HEIGHT, FLOOR TO BOTTOM OF FIXTURE UON. AHAP= AS HIGH AS POSSIBLE. AD= ABOVE DOOR.

NUMBER OF LAMPS/LAMP WATTAGE

CONTROL: PHOTOCELL, SWITCH, CONTACTOR

LIGHTING FIXTURE SHAPES AND SCALE ARE REPRESENTED WHERE POSSIBLE. THE EXAMPLES SHOWN BELOW ARE TYPICAL APPLICATIONS

RECESSED FLUORESCENT FIXTURE

SUSPEND PENDANT MOUNTED FIXTURE

SURFACE MOUNTED FIXTURE

NS EMERGENCY LIGHTING FIXTURES, FIXTURES WITH EMERGENCY BALLASTS, AND FIXTURES IDENTIFIED WITH AN 'NS' SHALL BE PROVIDED WITH NON-SWITCHED POWER SOURCE

FLUORESCENT FIXTURE WITH EMERGENCY BATTERY PACK

LIGHT FIXTURE

WALL MOUNTED FIXTURE

DIRECTIONAL LIGHT

POLE MOUNTED AREA LIGHT

EMERGENCY LIGHTING UNIT SELF CONTAINED

### LIGHTING CONTINUED

#### EXIT LIGHTS:

SURFACE ON CEILING

WALL MOUNTED

WITH DIRECTIONAL ARROWS

3a

CIRCUIT IDENTIFIER: WHEN SHOWN ADJACENT TO FIXTURE IDENTIFIES CIRCUIT NUMBER AND SWITCH. EXAMPLE: CIRCUIT 3, CONTROLLED BY SWITCH a

PC PHOTO CELL

OS OCCUPANCY SENSOR

#### WIRING DEVICES

#### SWITCHES:

UNLESS OTHERWISE NOTED, ALL SWITCHES ARE WALL MOUNTED

TOGGLE SWITCH, SINGLE POLE

GANGED SWITCHES IN COMMON BOX WITH COMMON WALL PLATE

SUPERSCRIP INDICATES CIRCUIT CONTROLLED: a, b, c, ETC. MAY BE COMBINED WITH CIRCUIT NUMBER. EXAMPLE: 1a, 4b, ETC

SUBSCRIPT MODIFIER INDICATES:  
 2 = DOUBLE POLE  
 3 = THREE WAY  
 4 = FOUR WAY  
 K = KEY OPERATED  
 MC = MOMENTARY CONTACT, THREE POSITION  
 MS = MANUAL (MOTOR) STARTER OR SWITCH WITH OVERLOADS  
 R = RHEOSTAT (DIMMER, SPEED CONTROL)  
 O = OCCUPANCY SWITCH DIMMER

#### RECEPTACLES:

DUPLEX RECEPTACLE

RECEPTACLE MODIFIERS:  
 WP = WEATHER PROOF

GFI = GROUND FAULT CIRCUIT INTERRUPTER

H = HAZARDOUS AREA-EXPLOSION PROOF

EXPLOSION PROOF, CLASS 1, DEAD FRONT, 45° ANGLE, TWO GANG

RECESSED FLOOR RECEPTACLE-- ANY RECEPTACLE INSIDE A SQUARE

SURFACE FLOOR RECEPTACLE-- ANY RECEPTACLE INSIDE A TRIANGLE

GANGED RECEPTACLES-- IN COMMON BOX, WITH COMMON WALL PLATE

RECEPTACLE, CLOCK HANGER

RECEPTACLE, DUPLEX ON EMERGENCY

480V RECEPTACLE

240V RECEPTACLE

### GROUNDING

GROUND ROD

GROUND ROD WITH GROUND WELL

GROUND CONNECTION, COMPRESSION TYPE, EXOTHERMIC. SEE SPECIFIC

GROUNDING CONDUCTOR

GROUND CONNECTION

GROUND CONNECTION TO STRUCTURAL REINFORCEMENT

LIGHTNING ROD/AIR TERMINAL

### MOTORS AND EQUIPMENT

MOTOR STARTER, INDIVIDUAL. NOT LOCATED IN AN MCC OR SIMILAR GROUP ASSEMBLY

COMBINATION MOTOR STARTER. NOT LOCATED IN AN MCC OR SIMILAR GROUP ASSEMBLY

DISCONNECT SWITCH, NON-FUSED EXAMPLE: 60 AMP

DISCONNECT SWITCH, FUSED EXAMPLE: 100 AMP, 2P, 80 AMP FUSES

MOTOR

SOLENOID VALVE

HEATER

THERMOSTAT

WATER HEATER

FIELD INSTRUMENT

LOCAL CONTROL STATION

LCP-0001 EQUIPMENT DESIGNATION

CONTROL PANEL, VFD, RVSS, APPROXIMATE SHAPE AND SCALE.

### AREA IDENTIFICATION

CI-D1 HAZARDOUS AREA CLASSIFICATION

CI-D2 HAZARDOUS AREA CLASSIFICATION

### TELEPHONE & COMMUNICATION SYSTEMS

UNLESS OTHERWISE NOTED, TELEPHONE OUTLETS SHALL BE MOUNTED AT SAME HEIGHT AS THE RECEPTACLES. VERIFY

EXTERNAL LINE OR PLANT PHONE SYSTEM OUTLET

OPTIONAL MODIFIERS:  
 A = ATTENDANT'S CONSOLE  
 F = FUTURE INSTRUMENT  
 J = JACK, PLUG-IN TYPE  
 W = WALL INSTRUMENT

BELL

OUTLET, DATA COMMUNICATION

SECURITY CAMERA

SPEAKER

AUDIBLE HORN

STROBE LIGHT (BLUE SHOWN)

ELECTRONIC CARD SWIPE

SMOKE DETECTOR

RATE-OF-RISE DETECTOR

### CIRCUIT IDENTIFICATION

MODIFIER

EQUIPMENT NUMBER

SUFFIX

X XXXXXXXX -A

NOTE:  
 MODIFIERS FOR CABLE TYPE INCLUDE:  
 H - POWER (ABOVE 600V)  
 P - POWER  
 C - CONTROL  
 S - SIGNAL  
 D - DATA  
 F - FIBER OPTIC  
 PC - POWER AND CONTROL  
 X - SPARE

SUFFIX:  
 A - LETTER TO CREATE UNIQUE ID

EXAMPLE 1: P101-1: 3 #2/0, #6G, 2"C FOR CIRCUIT P101: THREE NO. 2/0 CONDUCTORS, ONE NO. 6 AWG GROUND WIRE IN A 2" CONDUIT

EXAMPLE 2: SES-2: 2[3 #1/0, #6G, 1 1/2"C] FOR SES-2: TWO PARALLEL RUNS OF THREE NO. 1/0 CONDUCTORS, ONE NO. 6 AWG GROUND IN 1 1/2" CONDUIT

EXAMPLE 3: C111: 2-1 PR #16S, 1"C FOR CONTROL CIRCUIT: TWO SIGNAL CABLES OF #16 AWG TWISTED SHIELDED PAIR IN 1" C.

VND, 1"C VENDOR CABLE, 1" CONDUIT BY CONTRACTOR) TYP

### GENERAL NOTES:

- SYMBOLS AND ABBREVIATION DRAWINGS ARE GENERAL IN NATURE. SOME SYMBOLS SHOWN HEREON MAY NOT BE USED ON THE CONTRACT DRAWINGS
- SYMBOLS ARE ARRANGED ON SPECIFIC DRAWINGS AND IN CATEGORIES FOR CONVENIENCE ONLY; SYMBOLS MAY BE USED ON ANY OF THE CONTRACT DRAWINGS
- IDENTIFICATIONS (ID), SIZES, RATINGS, LOCATIONS AND SIMILAR INFORMATION SHOWN ASSOCIATED WITH SYMBOLS ARE OPTIONAL; EXAMPLES OF SUCH INFORMATION ARE SHOWN WITH SOME SYMBOLS FOR CLARITY



CITY, STATE (ONLY IF REQUIRED)



CITY OF APPLETON  
NORTHLAND POND

REVISIONS		
REV	DATE	DESCRIPTION

LINE IS 2 INCHES AT FULL SIZE

DESIGNED: \_\_\_\_\_

DRAWN: \_\_\_\_\_

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APPROVED: \_\_\_\_\_

FILENAME  
E-001.DWG  
BC PROJECT NUMBER  
147622  
CLIENT PROJECT NUMBER  
CLIENT PROJECT NUMBER

## ELECTRICAL LEGEND AND SYMBOLS - 1

DRAWING NUMBER  
**E-001**  
SHEET NUMBER  
33 OF 46

Path: \\BOML\FP01\PROJECTS\APPLETON CITY DFY147622\_NORTHLAND POND FINAL DESIGN\CAD\2-SHEETS\ELECTRICAL FILENAME: E-002.DWG PLOT DATE: 10/8/15 2:41 PM CAD USER: SCHRUPPE, WILLIAM

CONTROL DIAGRAM SYMBOLS

GENERAL	
	CONDUCTORS CONNECTED
	CONDUCTORS NOT CONNECTED
	TERMINAL POINT FOR EXTERNAL CONNECTIONS
	EXISTING EQUIPMENT (SCREENED)
INDICATING LIGHTS	
INDICATING LIGHTS L = LENS COLOR: A = AMBER, B = BLUE, G = GREEN, R = RED, W = WHITE	
	PUSH TO TEST. TEST VOLTAGE TERMINAL SHOWN
PUSHBUTTONS	
	HS-XXXX PUSHBUTTON, MOMENTARY CONTACT, NORMALLY OPEN
	HS-XXXX PUSHBUTTON, MOMENTARY CONTACT, NORMALLY CLOSED
	HS-XXXX PUSHBUTTON WITH MUSHROOM HEAD, EMERGENCY STOP,
SELECTOR SWITCHES	
	HS-XXXX 2 POSITION MAINTAINED CONTACT X = CONTACTS CLOSED O = CONTACTS OPEN
	HS-XXXX 2 POSITION SPRING RETURNED TO RIGHT O = CONTACTS OPENED X = CONTACTS CLOSED
	HS-XXXX 3 POSITION MAINTAINED CONTACT X = CONTACTS CLOSED O = CONTACTS OPENED
CONTROL RELAYS	
	OPERATING COIL FUNCTION: CR = CONTROL RELAY, U = UNLATCH, L = LATCH
	OVERLOAD RELAY
	OUTPUT CONTACTS. LINE NUMBER OF RELAY COIL SHOWN (OPTIONAL)

INPUT SWITCHES		
NORMALLY OPEN	NORMALLY CLOSED	INITIATING VARIABLE
SS	SS	SPEED
TS	TS	TEMPERATURE
WS	WS	FORCE OR TORQUE
ZS	ZS	POSITION (LIMIT)
FS	FS	FLOW
LS	LS	LEVEL
PS	PS	PRESSURE
TIMING RELAYS		
ON or OFF DELAY RANGE: SEC/MIN SET: SEC/MIN		
TR3	TR3	DELAY ON COIL ENERGIZATION (ON DELAY)
TR3	TR3	DELAY ON COIL DE-ENERGIZATION (OFF DELAY)
CONTACTORS		
ID	OPERATING COILS	
C = CONTACTOR, LIGHTING OR GENERAL USE F = FAST OR FORWARD M = MAIN OR LINE 1M = FIRST MAIN OR WYE 2M = SECOND MAIN OR DELTA R = RUN OR REVERSE S = SLOW OR START IC = ISOLATION CONTROL		
ID	MAIN CONTACTS	
SIZE X	MAIN CONTACTS AIR BREAK, NEMA SIZE OPTIONAL	
M	VACUUM CONTACTOR, NEMA SIZE OPTIONAL	
SIZE 3		

MISCELLANEOUS	
	FUSE WITH SIZE AND OPTIONAL IDENTIFICATION
	FUSE WITH BLOWN FUSE INDICATOR
	CONTROL TRANSFORMER PRIMARY AND SECONDARY SHOWN SIZE AS SHOWN OR AS SPECIFIED
	CURRENT TRANSFORMER. PRIMARY TURNS RATIO SHOWN (OPTIONAL)
	RESISTOR
	RECTIFIER
	SURGE OR ARC SUPPRESSOR
	CAPACITOR
	CONNECTOR
	INCOMING LINE POWER SUPPLY
	DRAWOUT MECHANISM
	SOLENOID VALVE
	BUS DUCT
	GROUND CONNECTION
	POTENTIOMETER
	METER WITH ALPHA IDENTIFIERS: H = ELAPSED TIME A = AMMETER V = VOLTMETER
	BATTERY
	SHIELDED CABLE
	LOCATED IN FIELD
	AC TERMINAL BLOCK
	DC TERMINAL BLOCK
	PLC I/O POINTS DO = DIGITAL OUT SIGNAL DI = DIGITAL IN SIGNAL AO = ANALOG OUT SIGNAL AI = ANALOG IN SIGNAL

ONE LINE DIAGRAM SYMBOLS	
	TRIP FRAME
	POWER CIRCUIT BREAKER (AIR, OIL, OR GAS) FRAME AND TRIP SETTING AND OPTIONAL I.D. SHOWN
	CIRCUIT BREAKER WITH ADJUSTABLE ELECTRONIC TRIP OVER BREAKER FRAME SIZE. SOLID STATE TRIP FEATURES SHOWN: L = LONG DELAY S = SHORT DELAY I = INSTANTANEOUS G = GROUND FAULT
	CIRCUIT BREAKER (TYPE: MCP = MOTOR CIRCUIT PROTECTOR OR 3P = 3-POLE THERMAL MAGNETIC TRIP)
	FUSED SWITCH: FUSE RATING AND POLES SHOWN MODIFIERS: CLF = CURRENT LIMITING FUSE DE = DUAL ELEMENT F = CLASS F E = E RATED
	FUSE. 100 AMP CLASS "F" SHOWN
	POWER TRANSFER SWITCH. DESIGNATION, AMP RATING AND CONFIGURATION SHOWN MTS = MANUAL TRANSFER SWITCH ATS = AUTOMATIC TRANSFER SWITCH SUSE = SUITABLE FOR USE AS SERVICE ENTRANCE
	AIR BREAK CONTACTOR, FVNR U.O.N. NEMA SIZE 1 INDICATED FVR = FULL VOLTAGE, REVERSING STARTER 2S2W = TWO SPEED, TWO WINDING STARTER
	METERING (ANSI/IEEE FUNCTIONS AS SPECIFIED) POWER MONITOR (PM) POWER QUALITY MONITOR (HARMONIC ANALYSIS) (PQM) MOTOR MONITOR AND PROTECTION RELAY (MPR) FEEDER PROTECTION RELAY (FPR)
	PACKAGED EQUIPMENT OR NON-MOTOR LOAD. KVA, KW, AMPS AS NOTED.
	VARIABLE FREQUENCY DRIVE, (VFD) NORMAL DUTY UON. HP IS INDICATED IF DIFFERENT THAN DRIVEN LOAD HP. ##AMPS=RATED CONTINUOUS AMPS
	REDUCED VOLTAGE SOLID STATE STARTER
	SURGE PROTECTION DEVICE
	ANSI C37.2 DEVICE. QUANTITIES SHOWN.

	GENERATOR WITH WINDING CONFIGURATION VOLTAGE, POWER, FREQUENCY SHOWN. POWER FACTOR OPTIONAL
	MOTOR, HORSEPOWER SHOWN
	POWER FACTOR CORRECTION CAPACITOR. KVAR RATING INDICATED
	POTHEAD
	STRESS CONE
	INDICATES THAT ALL OR PART OF CONDUIT MAYBE ROUTED IN DUCT BANK OR UNDERGROUND
	PORTABLE CABLE
	CABLE BUS
	BUS CONDUCTOR
	CABLE CONDUCTOR
	SURGE ARRESTOR
	LIGHTNING ARRESTOR AND GROUND
	TEST DEVICE
	DISCONNECT OR ISOLATING SWITCH. 200 AMP SHOWN
	POWER TRANSFORMER. VOLTAGES, SIZE, IMPEDANCE SHOWN
	ISOLATION TRANSFORMER. VOLTAGES, SIZE, IMPEDANCE SHOWN
	POTENTIAL TRANSFORMER. PT QUANTITY (3) AND VOLTAGES SHOWN
	CURRENT TRANSFORMER. CT QUANTITY AND 250:5 TURNS RATIO SHOWN
WINDING CONFIGURATIONS:	
	DELTA
	WYE (GROUNDED)
	KIRK KEY INTERLOCK
	NEUTRAL GROUNDING RESISTOR. AMPS/TIME RATING SHOWN

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**APPLETON**

**CITY OF APPLETON  
NORTHLAND POND**

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 CHECKED: \_\_\_\_\_  
 APPROVED: \_\_\_\_\_

FILENAME: E-002.DWG  
 BC PROJECT NUMBER: 147622  
 CLIENT PROJECT NUMBER: \_\_\_\_\_  
 CLIENT PROJECT NUMBER: \_\_\_\_\_

**ELECTRICAL**

**LEGEND AND SYMBOLS - 2**

DRAWING NUMBER: **E-002**  
 SHEET NUMBER: 34 OF 46

ABBREVIATIONS

NOTES:

1. ABBREVIATIONS SHOWN ON ELECTRICAL DRAWINGS ARE IN ACCORDANCE WITH ASME STANDARD Y14.38A
2. ABBREVIATIONS ON THIS SHEET ARE IN ADDITION TO THE ABBREVIATIONS DEFINED ON OTHER DRAWINGS.
3. ABBREVIATIONS HERE IN SHALL TAKE PRECEDENCE IN CASE OF CONFLICT.
4. ABBREVIATIONS ARE NOT EQUIPMENT NUMBERING PREFIXES LISTED ON OTHER DRAWINGS.

GENERAL NOTES:

NTS: INCLUDE SPECIFIC CONTRACT/PROJECT NOTES HERE.

A, AMP	AMP(S), AMPERE(S)	HPS	HIGH PRESSURE SODIUM	OIS	OPERATOR INTERFACE STATION
AC	ALTERNATING CURRENT	HTR	HEATER	OT	OIL TIGHT
AFF	ABOVE FINISHED FLOOR	HV	HIGH VOLTAGE	OWS	OPERATOR WORKSTATION
AHAP	AS HIGH AS POSSIBLE	HVAC	HEATING, VENTILATION, AND AIR CONDITIONING	P	POLE, PHASE
AIC	AMPS INTERRUPTING CAPACITY, SYMM.	HZ	HERTZ (CYCLES PER SECOND)	PBD	PANEL BOARD
AL	ALUMINUM	ICOM	INTERCOM	PB	PUSHBUTTON, PULLBOX
ARCH	ARCHITECT(URAL)	ID	INSIDE DIAMETER	PCP	PROCESS CONTROL PANEL
ASYM	ASYMMETRICAL	IMC	INTERMEDIATE METAL CONDUIT	PF	POWER FACTOR
ATS	AUTOMATIC TRANSFER SWITCH	INCAND	INCANDESCENT	PH	PHASE
AUTO	AUTOMATIC	INTLK	INTERLOCK	PLC	PROGRAMMABLE LOGIC CONTROLLER
AUX	AUXILIARY	INST	INSTANTANEOUS	PMM	POWER METERING MODULE
AWG	AMERICAN WIRE GAUGE	I/O	INPUT-OUTPUT	PNL	PANEL
BC	BARE COPPER	IPB	INSTRUMENT PULLBOX	PP	POWER PANEL
BLDG	BUILDING			PR	PAIR
BOT	BOTTOM			PRI	PRIMARY
C	CONDUCTOR, CONDUIT	JB	JUNCTION BOX	PT	POTENTIAL TRANSFORMER
CB	CIRCUIT BREAKER	KCMIL	1000 CIRCULAR MIL	PVC	POLYVINYL CHLORIDE
CKT	CIRCUIT	KV	KILOVOLT	PWR	POWER
CLG	CEILING	KVA	KILOVOLT-AMPERE	QSB	QUARTZ STANDBY
CM	CENTIMETERS	KVAR	KILOVOLT-AMPERE REACTIVE	RCPT	RECEPTACLE
CND	CONDUIT	KW	KILOWATT	REF	REFERENCE
CNTL	CONTROL	KWH	KILOWATT-HOUR	REQD	REQUIRED
C.O.	CONDUIT ONLY, SPARE	L	LONG	RE STL	REINFORCING STEEL
CONC	CONCRETE	LC	LIGHTING CONTACTOR	RMS	ROOT MEAN SQUARE
CPT	CONTROL POWER TRANSFORMER	LCP	LOCAL CONTROL PANEL	RTD	RESISTANCE TEMPERATURE DETECTOR
CT	CURRENT TRANSFORMER	LCS	LOCAL CONTROL STATION	RTU	REMOTE TERMINAL UNIT
CU	COPPER	LED	LIGHT EMITTING DIODE	RVSS	REDUCED VOLTAGE SOLID STATE STARTER
DB	DUCT BANK, DIRECT BURIAL	LHH	LOW VOLTAGE HANDHOLE	SA	SURGE ARRESTOR
DC	DIRECT CURRENT, DATA CABLE	LMH	LOW VOLTAGE MANHOLE	SCR	SILICON CONTROLLED RECTIFIER
DCU	DISTRIBUTED CONTROL UNIT	LP	LIGHTING PANEL	SD	SMOKE DETECTOR
DET	DETAIL	LT	LONG TIME LIGHTING	SEC	SECONDARY
DIAG	DIAGRAM	LV	LOW VOLTAGE	SEL	SELECTOR
DISC	DISCONNECT	M	METER	SHH	SIGNAL HANDHOLE
DWG	DRAWING	MA	MILLIAMPERE	SMH	SIGNAL MANHOLE
EA	EACH	MBS	MANUAL BYPASS SWITCH	SPEC	SPECIFICATION
EC	EMPTY CONDUIT	MCC	MOTOR CONTROL CENTER	SPD	SURGE PROTECTION DEVICE
ECP	EQUIPMENT CONTROL PANEL	MCP	MOTOR CIRCUIT PROTECTOR	SPKR	SPEAKER
EDB	ELECTRICAL DUCTBANK	MPC	MINI POWER CENTER	ST	SHORT TIME
EG	ENGINE GENERATOR SET	MECH	MECHANICAL	STP	SHIELDED TWISTED PAIR
EL	ELEVATION	MFR	MANUFACTURE(R)	SUB	SUBSTATION
ELEC	ELECTRICAL	MH	MANHOLE, METAL HALIDE	SW	SWITCH
EMH	ELECTRICAL MANHOLE	MIC	MICROPHONE	SWBD	SWITCHBOARD
EMER	EMERGENCY	MIS	MANAGEMENT	SWGR	SWITCHGEAR
ENCL	ENCLOSURE/ENCLOSED	MISC	MISCELLANEOUS	SYMM	SYMMETRICAL
EPB	ELECTRICAL PULLBOX	MM	MILLIMETER	SYS	SYSTEM
ETM	ELAPSED TIME METER	MMH	MEDIUM VOLTAGE MANHOLE	TB	TERMINAL BOX
EP	EXPLOSION PROOF	MOV	MOTOR OPERATED VALVES	TEL	TELEPHONE
EQUIP	EQUIPMENT	MTS	MANUAL TRANSFER SWITCH	TEMP	TEMPERATURE
EX	EXISTING	MV	MILLIVOLT, MEDIUM VOLTAGE	TFR	TRANSFORMER
FDR	FEEDER	MVMC	MEDIUM VOLTAGE MOTOR CONTROL	TRI	TRIAD
FL	FLUORESCENT	N/A	NOT APPLICABLE	TV	TELEVISION
FLA	FULL LOAD AMPS	N.C.	NORMALLY CLOSED	TVSS	TRANSIENT VOLTAGE SURGE SUPPRESSOR
FLEX	FLEXIBLE CONDUIT	NEUT,N	NEUTRAL	TYP	TYPICAL
F.O.	FAIL OPEN	NF	NON-FUSED	U/G	UNDERGROUND
FO	FIBER OPTIC	NIC	NOT IN CONTRACT	UON	UNLESS OTHERWISE NOTED
FUT	FUTURE	N.O.	NORMALLY OPEN	UPS	UNINTERRUPTABLE POWER SUPPLY
GDR	GROUNDING RESISTOR	NO.	NUMBER	V	VOLT
GEC	GROUND ELECTRODE CONDUCTOR	NOM	NOMINAL	VA	VOLTAMPERE
GF	GROUND FAULT	NP	NAMEPLATE	VAR	VOLTAMPERE REACTIVE
GFI	GROUND FAULT INTERRUPTER	NTS	NOT TO SCALE	VC	VACUUM CONTACTOR
GND, G	GROUND	OC	ON CENTER	VCP	VENDOR CONTROL PANEL
GRS	GALVANIZED RIGID STEEL	OCC	OPERATION CONTROL CENTER	VND	VENDOR
H	HIGH	OD	OUTSIDE DIAMETER	W	WATT, WIRE, WIDE
HGT	HEIGHT	OH	OVERHEAD	W/	WITH
HH	HANDHOLE			W/O	WITHOUT
HID	HIGH INTENSITY DISCHARGE			WW	WIREWAY
HMI	HUMAN MACHINE INTERFACE			WG	WITH GROUND
HP	HORSEPOWER			WP	WEATHERPROOF
				XFMR	TRANSFORMER
				XMTR	TRANSMITTER
				XP	EXPLOSION PROOF
				Z	IMPEDANCE

1. THE ELECTRICAL DRAWINGS USE THE ONE LINE DIAGRAMS AND RISER DIAGRAMS AND PANEL SCHEDULES IN CONJUNCTION WITH SHOWING THE LOCATION OF THE ELECTRICAL/INSTRUMENTATION SOURCES AND LOADS/DEVICES SHOWN ON THE PLAN DRAWINGS TO DEPICT THE WORK. THE CONTRACTOR SHALL USE THESE DOCUMENTS TO DETERMINE AND PROVIDE THE NECESSARY RACEWAY AND WIRING SYSTEM FOR EACH CIRCUIT. ALL INDOOR RACEWAY SHALL BE RUN (IMBEDDED, EXPOSED) AND ROUTED BY THE CONTRACTOR, UNLESS OTHERWISE NOTED. THE TYPE OF RACEWAY AND WIRE USED SHALL BE AS SPECIFIED.
2. IF EQUIPMENT SUPPLIED BY MANUFACTURER HAS A LARGER LOAD THAN INDICTED ON THE SINGLE LINE DIAGRAM, THE CONSTRUCTION MANAGER SHALL BE NOTIFIED. THE CABLE, CONDUIT AND ELECTRICAL EQUIPMENT SHALL BE SIZED AS REQUIRED, TO ACCOMMODATE THE HIGHER VALUE.
3. IN AREAS WHERE THERE ARE OVERHEAD BRIDGE CRANES, HOISTS, ETS., OR WHERE EQUIPMENT IS LIFTED AND MOVED FOR MAINTENANCE OR REPLACEMENT, NO CONDUITS SHALL BE RUN OVERHEAD THAT WILL INTERFERE WITH THE OPERATION OF THE EQUIPMENT OR ACCESS TO EQUIPMENT.
4. THE LOCATION OF THE CONTROL STATIONS SHOWN ON THE PLAN DRAWINGS ARE DIAGRAMMATIC ONLY. THE ACUTAL LOCATION SHALL BE COORDINATED IN THE FIELD WITH THE CONSTRUCTION MANAGER AND ADJACENT EQUIPMENT SUCH AS PIPING, PROCESS EQUIPMENT, ETC.
5. THE CONTRACTOR SHALL COORDINATE WITH THE STRUCTURAL AND MECHANICAL DRAWINGS FOR CONDUIT STUB UP AND TERMINATION LOCATIONS.

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REVISIONS		
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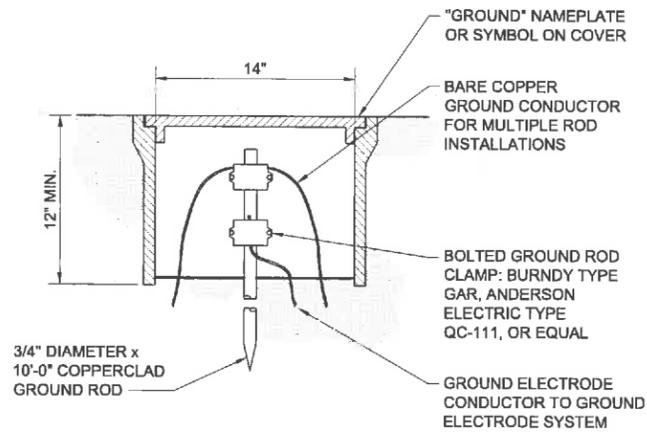
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BC PROJECT NUMBER: 147622  
CLIENT PROJECT NUMBER: CLIENT PROJECT NUMBER

**ELECTRICAL  
LEGEND AND  
SYMBOLS - 3**

DRAWING NUMBER  
**E-003**  
SHEET NUMBER  
35 OF 46

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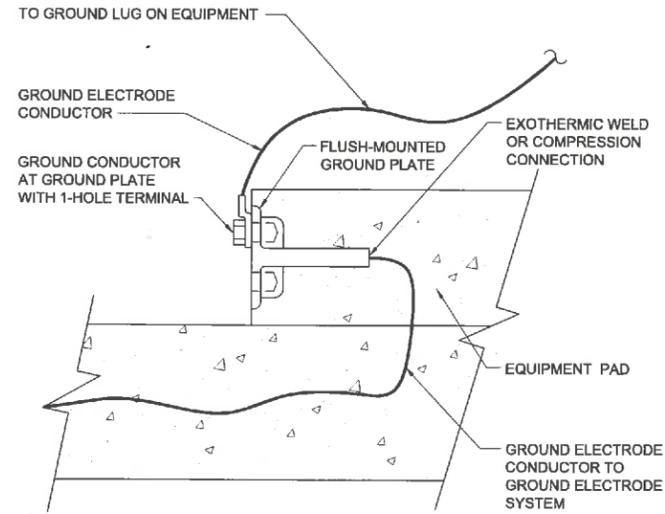


- NOTES:
- TEST WELL OF CONCRETE, PVC, OR FRP MATERIAL.
  - H-20 LOAD RATED COVER FOR TEST WELL IN TRAFFIC AREA.

GROUND ELECTRODE TEST WELL

DETAIL A

NO SCALE

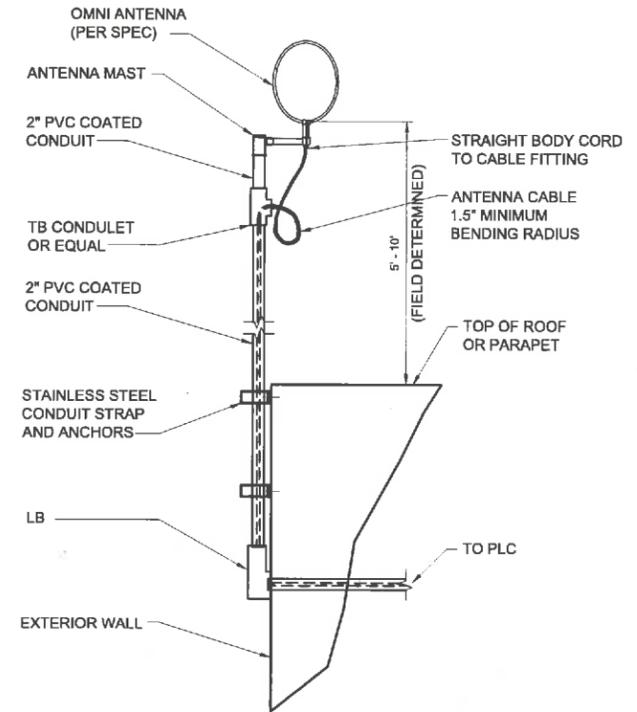


- NOTE:
- REQUIRED AT ELECTRICAL EQUIPMENT PADS.

EQUIPMENT GROUNDING  
GROUND PLATE IN SLAB

DETAIL B

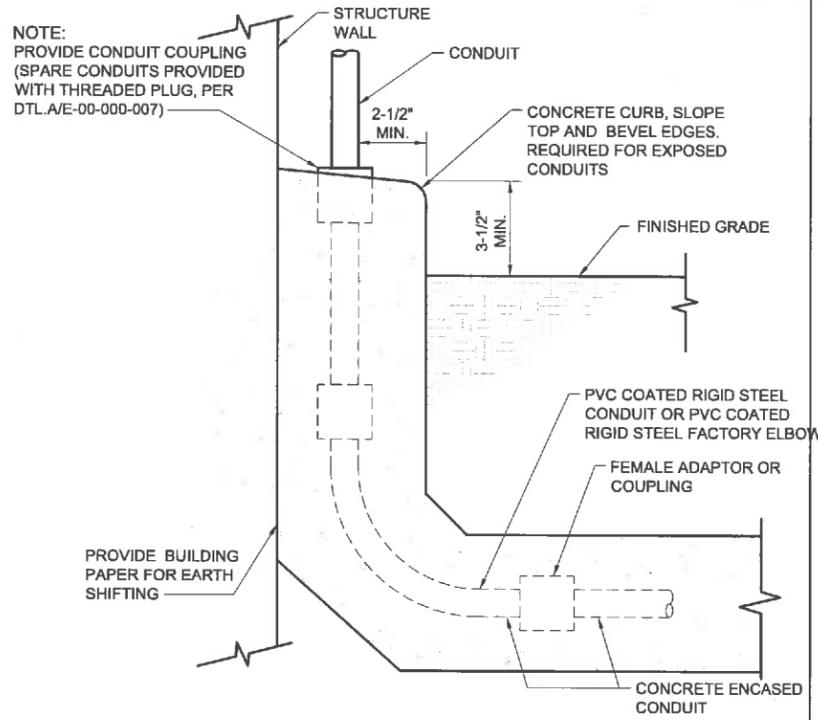
NO SCALE



OMNI ANTENNA MOUNTING DETAIL

DETAIL C  
TYP

SCALE: NONE



UNDERGROUND DUCTBANKS  
CURB AT WALL / STRUCTURE

DETAIL D

NO SCALE

- NOTES:
- WHEN REQUIRED, PROVIDE 12" OF LIQUID TIGHT FLEXIBLE CONDUIT FOR CONNECTION TO EQUIPMENT RIGIDLY ATTACHED TO STRUCTURE TO PROVIDE 1" DIFFERENTIAL MOVEMENT IN ALL DIRECTIONS.



CITY, STATE (ONLY IF REQUIRED)



CITY OF APPLETON  
NORTHLAND POND

REVISIONS		
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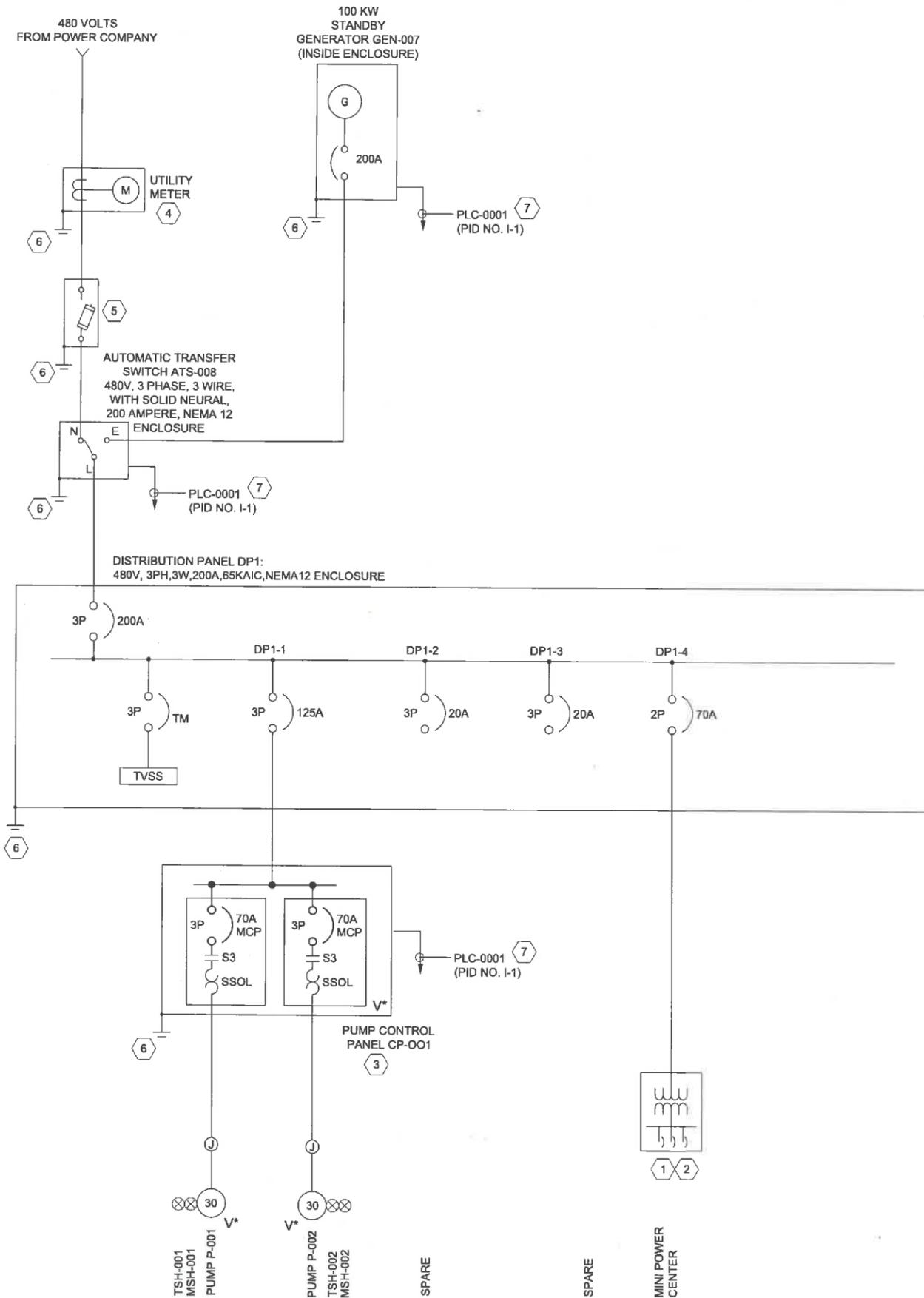
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147822  
CLIENT PROJECT NUMBER  
CLIENT PROJECT NUMBER

**ELECTRICAL**  
  
**STANDARD AND  
MISCELLANEOUS  
DETAILS**

DRAWING NUMBER  
**E-004**  
SHEET NUMBER  
36 OF 46

Path: \\BCCMILF01\PROJECTS\APPLETON CITY OF\147662\_NORTHLAND POND FINAL DESIGN\CADD\2-SHEETS\E-ELECTRICAL FILENAME: E-010.DWG PLOT DATE: 12/28/15 7:14 PM CAD USER: AGUILAR, GEORGE  
 c:\appletone\l\_insp\_mpa.dwg



**GENERAL NOTES:**

1. SEE DWG E-101 FOR PROPOSED LOCATION OF STANDBY GENERATOR ENCLOSURE WITH 100KW GENERATOR.
2. SEE DWG E-101 FOR PROPOSED LOCATION OF ELECTRICAL ENCLOSURE WITH ELECTRICAL POWER DISTRIBUTION EQUIPMENT, PLC AND PROCESS EQUIPMENT CONTROL PANELS.
- 3.

**KEY NOTES:**

1. MINI-POWER CENTER: 25-KVA, SINGLE PHASE, 480-120/240 VOLT, WITH PRIMARY AND SECONDARY CIRCUIT BREAKERS, TWELVE (12) 20A/1P BRANCH CIRCUIT BREAKERS, AND NEMA 1 ENCLOSURE.
2. MINI-POWER CENTER SHALL SUPPLY 120 VAC LOADS TO INCLUDE LIGHTS, RECEPTACLES, CONTROL DEVICES, HVAC, GENERATOR ACCESSORIES, AND MIXER. SEE DWG E-011 ONE LINE DIAGRAM WITH CIRCUIT INFORMATION AND WORK REQUIRED.
3. CONTROL PANEL SHALL BE FURNISHED BY THE PUMP VENDOR IN ACCORDANCE WITH SECTION XXXX.
4. PROVIDE METER BASE AND SOCKET IN ACCORDANCE WITH POWER COMPANY REQUIREMENTS.
5. DISCONNECT SWITCH: HEAVY DUTY TYPE, FUSIBLE, 600 VOLT, 3 PHASE, WITH NEMA 12 ENCLOSURE AND SERVICE ENTRANCE LABEL. PROVIDE WITH 200 AMPERE FUSES.
6. EXTEND A #4/0 CU GROUND TO GROUND GRID SYSTEM SHOWN ON DWG E-101 AND BOND PER NEC 250.
7. SEE PLC-001 CONTROL ONE LINE DIAGRAM FOR CIRCUIT INFORMATION.

**LEGEND:**

- V\* = VENDOR PACKAGE
- C\* = CONTRACTOR



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NORTHLAND POND

REVISIONS		
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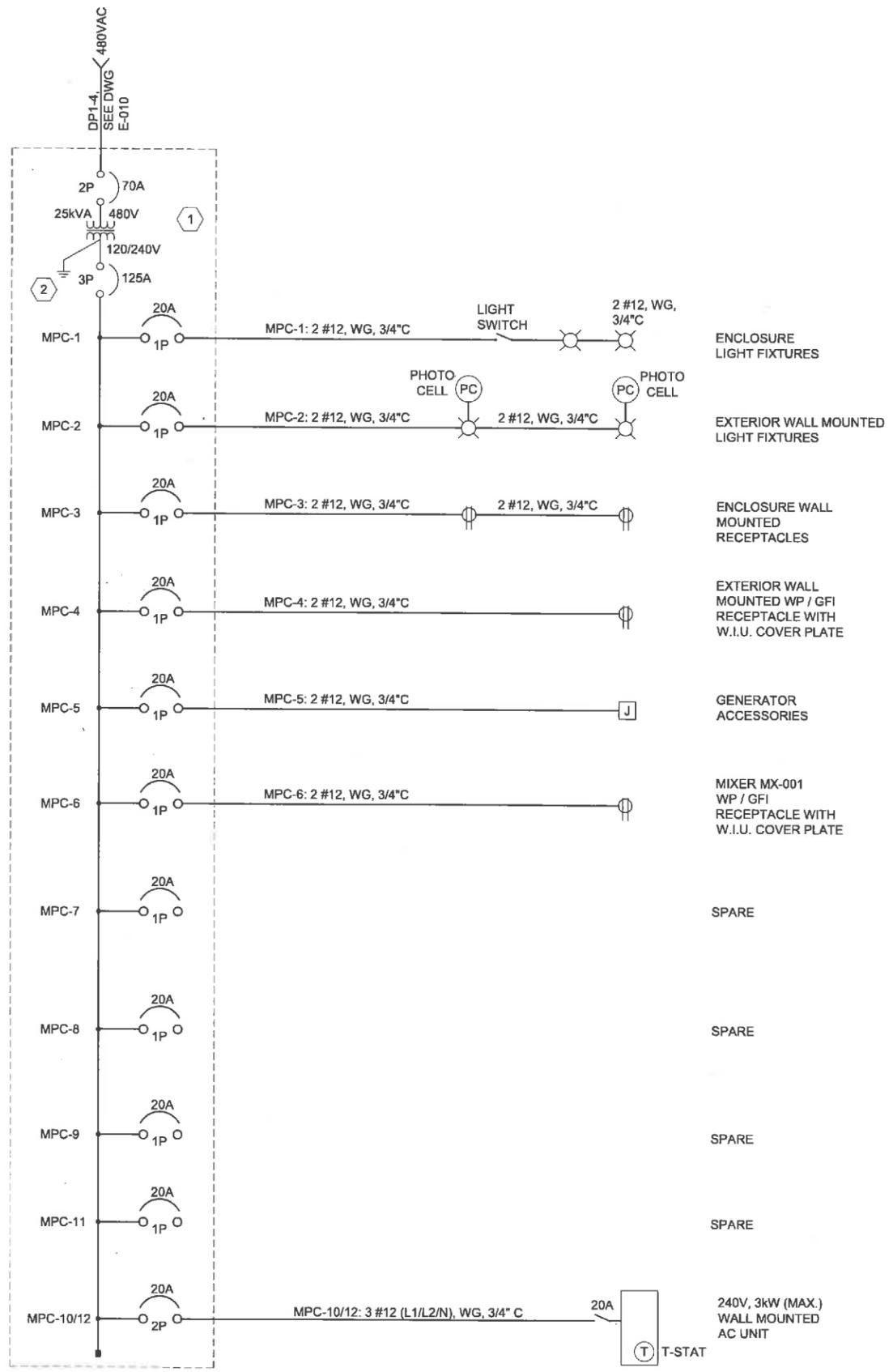
**ELECTRICAL**  
  
**PUMP STATION  
POWER ONE LINE  
DIAGRAM**

DRAWING NUMBER

**E-010**

SHEET NUMBER  
37 OF 46

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- GENERAL NOTES:**
1. FIELD ROUTE CONDUIT RACEWAYS WITH CIRCUITS. FIELD DETERMINE EXACT ROUTING AND ELEVATIONS.
  2. SEE DWG E-101 FOR PROPOSED LOCATION OF ELECTRICAL ENCLOSURE WITH ELECTRICAL EQUIPMENT.
  - 3.

- KEY NOTES:**
- 1 MINI-POWER CENTER: SQUARE D # MPZ25S40FSS MINI-POWER CENTER OR EQUAL.
  - 2 EXTEND A #2/0 CU GROUNDING CONDUCTOR AND BOND TO GROUND GRID SYSTEM SHOWN ON DWG E-101. INSTALL PER NEC 250.



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CITY OF APPLETON  
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REVISIONS		
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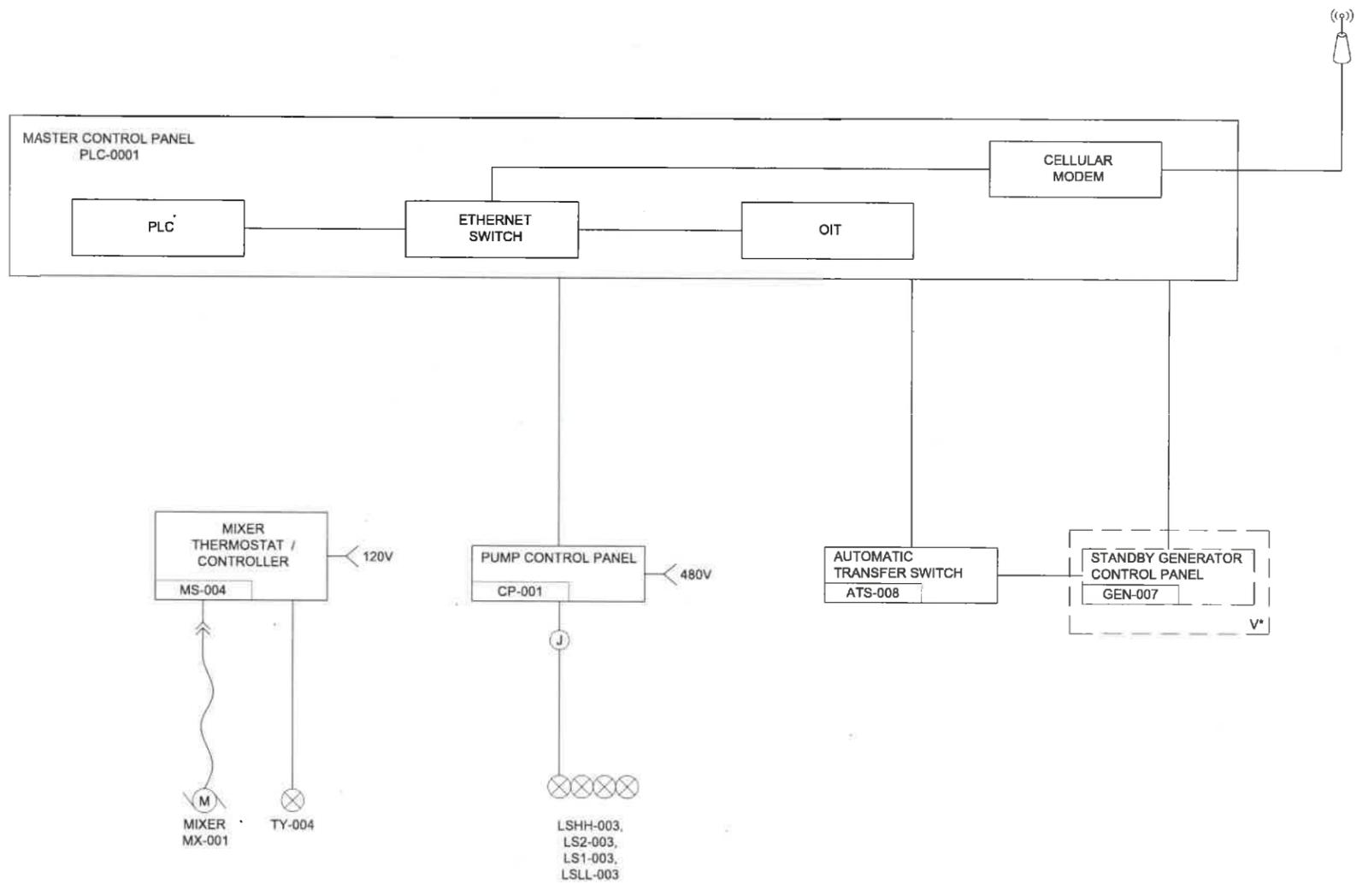
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E-011.DWG  
BC PROJECT NUMBER  
147622  
CLIENT PROJECT NUMBER  
CLIENT PROJECT NUMBER

**ELECTRICAL**  
**MISCELLANEOUS**  
**ONE LINE DIAGRAM**  
**AND DETAILS**

DRAWING NUMBER  
**E-011**  
SHEET NUMBER  
38 OF 46

Path: \\BCMILEP01\PROJECTS\APPLETON CITY OF\147682\_NORTHLAND POND FINAL DESIGN\CADD\SHEETS\ELECTRICAL FILENAME: E-020.DWG PLOT DATE: 1/16/16 2:16 PM CAD USER: AGUILAR, GEORGE



**GENERAL NOTES:**

1. TXT.

**KEY NOTES:**

① TXT

**LEGEND:**

V\* = VENDOR PACKAGE

C\* = CONTRACTOR



CITY, STATE (ONLY IF REQUIRED)



CITY OF APPLETON  
NORTHLAND POND

REVISIONS		
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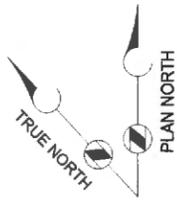
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FILENAME  
E-020.DWG  
BC PROJECT NUMBER  
147622  
CLIENT PROJECT NUMBER  
CLIENT PROJECT NUMBER

**ELECTRICAL**  
  
**PLC-0001 CONTROL  
ONE LINE DIAGRAM**

DRAWING NUMBER  
**E-020**  
SHEET NUMBER  
39 OF 46



**GENERAL NOTES:**

1. SEE DWG E-010 PUMP STATION POWER ONE LINE DIAGRAM FOR ELECTRICAL WORK REQUIRED.
2. SEE PUMP STATION PID DWG #-1.

**KEY NOTES:**

1. ELECTRICAL GENERATOR PAD, SEE DETAIL B / S-003 FOR PAD, COORDINATE SIZE, HEIGHT, AND LOCATION WITH GENSET SUPPLIED.
2. ELECTRICAL ENCLOSURE PAD, SEE DETAIL B / S-003 FOR PAD, COORDINATE SIZE, HEIGHT, AND LOCATION WITH PUMP STATION STRUCTURE AND ELECTRICAL ENCLOSURE SUPPLIED.
3. SEE DWG E-102 FOR WORK REQUIRED AT MIXER AND PUMP LEVEL.
4. STATION ANTENNA, SEE DWG E-004 FOR DETAIL AND DWG E-020 FOR PLC CONTROL ONE LINE DIAGRAM DETAILS



CITY OF APPLETON NORTHLAND POND



CITY OF APPLETON  
NORTHLAND POND

**REVISIONS**

REV	DATE	DESCRIPTION

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CHECKED:

APPROVED:

FILENAME

E-101.DWG

BC PROJECT NUMBER

147662

CLIENT PROJECT NUMBER

CLIENT PROJECT NUMBER

**ELECTRICAL**

**PUMP STATION -**

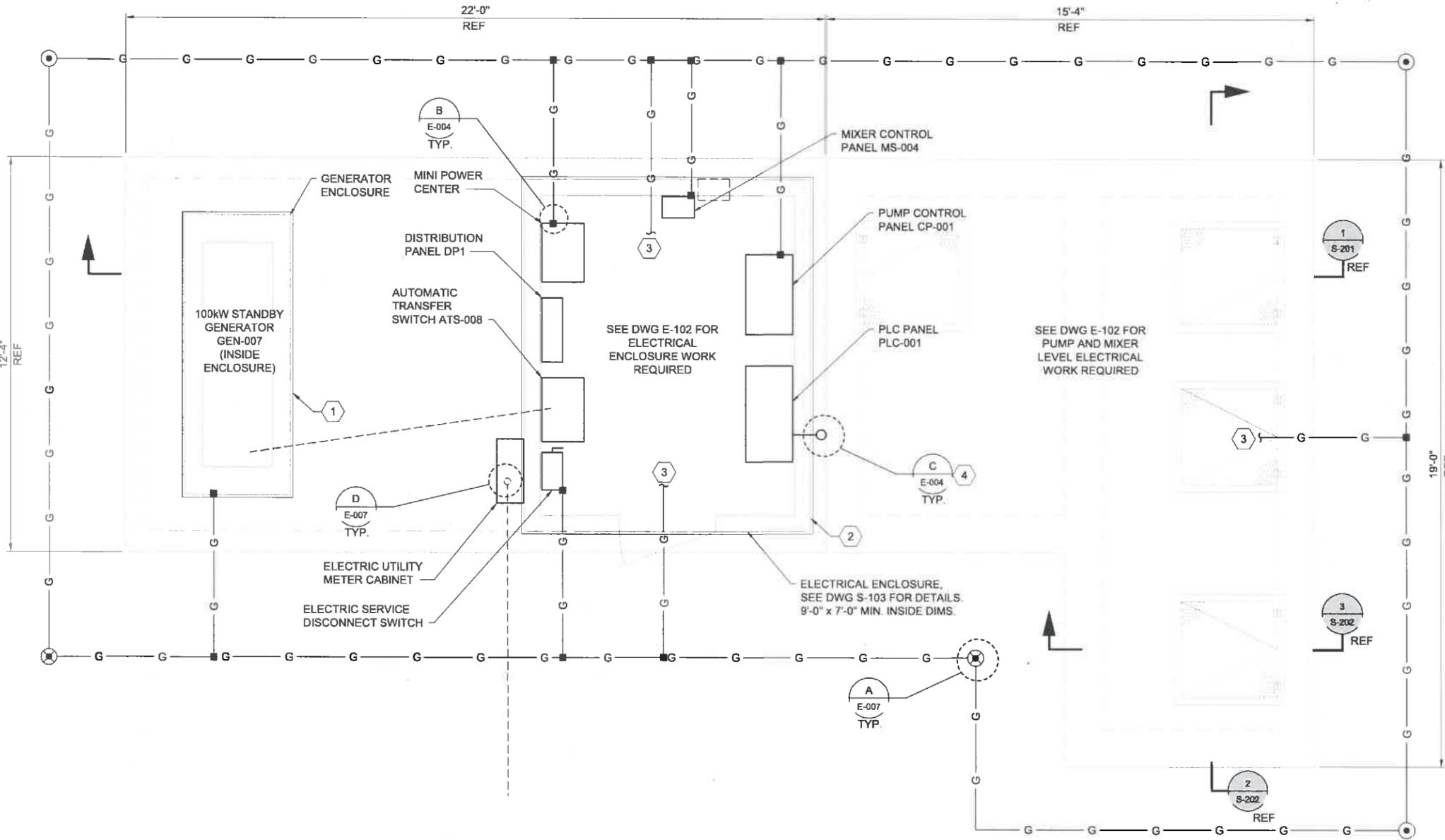
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DRAWING NUMBER

**E-101**

SHEET NUMBER

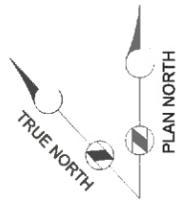
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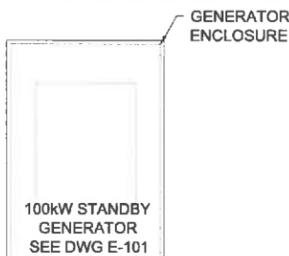
NORTHLAND PUMP STATION  
TOP PLAN AT EL 795.00  
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ELECTRICAL WIRING DEVICES AND LIGHT FIXTURES SEE MPC ONE LINE DIAGRAM DWG E-011 FOR CIRCUIT INFORMATION (TYPICAL)



ELECTRICAL EQUIPMENT SEE DWG E-101 FOR DETAILS

PUMP CONTROL PANEL CP-001

+24" WP / GFI / W.I.U.

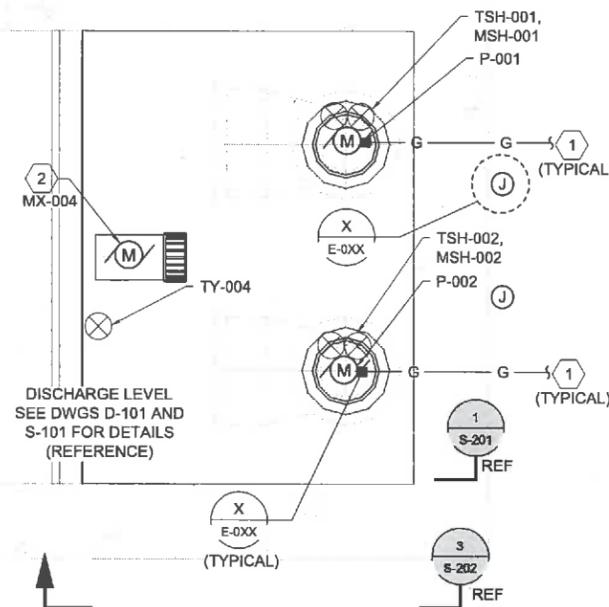
DISCHARGE LEVEL SEE DWGS D-101 AND S-101 FOR DETAILS (REFERENCE)

ELECTRICAL SERVICE EQUIPMENT. SEE STATION POWER ONE LINE DIAGRAM DWG E-010 FOR CIRCUIT INFORMATION AND DETAILS

ELECTRIC UTILITY METER CABINET

+24" WP / GFI / W.I.U.

ELECTRICAL ENCLOSURE, SEE DWG S-103 FOR DETAILS. 9'-0" x 7'-0" MIN. INSIDE DIMENSIONS. SEE SECTION 16XXX FOR REQUIREMENTS. INSTALL PER ENGINEER ACCEPTED SUBMITTAL DRAWINGS.



**GENERAL NOTES:**

1. ELECTRICAL EQUIPMENT AND INSTRUMENTATION SHOWN IS APPROXIMATE. BEFORE WORK BEGINS FIELD VERIFY LOCATIONS, AND MAKE ADJUSTMENTS REQUIRED TO ELECTRICAL WIRING.
2. SEE PROCESS MECHANICAL EQUIPMENT DWGS AND STRUCTURAL DWGS FOR PROPOSED LOCATION OF PROCESS EQUIPMENT AND STRUCTURES.
3. SEE PID DWG I-1 FOR DETAILS.

**KEY NOTES:**

- 1 #4/0 GROUND EXTENDS TO GROUND GRID SYSTEM. SEE DWG E-101 FOR GROUND GRID SYSTEM AND WORK REQUIRED.
- 2 MIXER LOCATED INSIDE INTERMEDIATE PLAN LEVEL, SEE DWG D-101.
- 3 20A, 120VAC, TWIST LOCK RECEPTACLE WITH MATCHING MIXER PLUG. PROVIDE REQUIRED PLUG, RECEPTACLE, WIRING AND APPEARANCES FOR MIXER EQUIPMENT SUPPLIED. BEFORE ROUGH-IN PHASE BEGIN, COORDINATE ALL REQUIREMENTS FOR A COMPLETE INSTALLATION.
- 4 WALL MOUNTED AC UNIT. FIELD DETERMINE EXACT LOCATION BEFORE WORK BEGINS.
- 5 20A, 240VAC, RECEPTACLE FOR VENDOR PROVIDED WALL MOUNTED AC UNIT. PROVIDE MATCHING PLUG, COORDINATE ALL WORK REQUIRED AND PROVIDE INSTALLATION.



CITY OF APPLETON NORTHLAND POND



CITY OF APPLETON NORTHLAND POND

**REVISIONS**

REV	DATE	DESCRIPTION

LINE IS 2 INCHES AT FULL SIZE

DESIGNED:

DRAWN:

CHECKED:

CHECKED:

APPROVED:

FILENAME: E-102.DWG  
 BC PROJECT NUMBER: 147662  
 CLIENT PROJECT NUMBER: CLIENT PROJECT NUMBER

**ELECTRICAL PUMP STATION - TOP PLAN**

DRAWING NUMBER

**E-102**

SHEET NUMBER  
41 OF 46

**POWER AND CONTROL DISCHARGE LEVEL AND TOP PLAN**

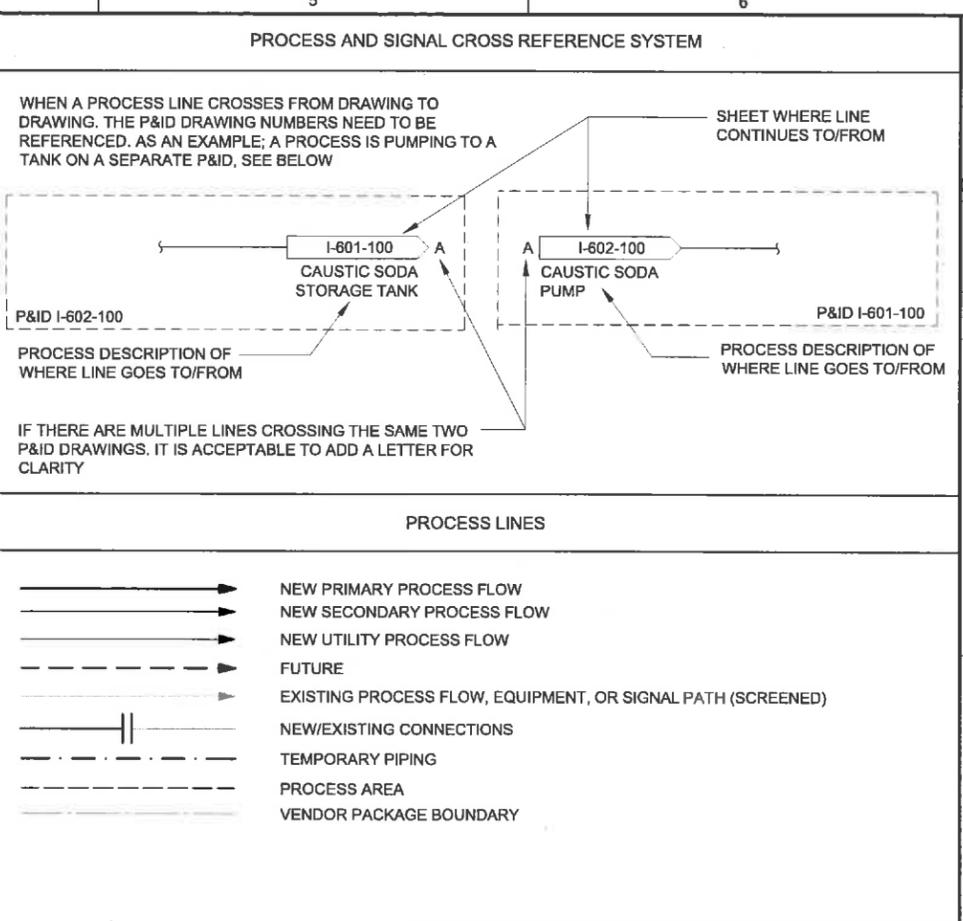
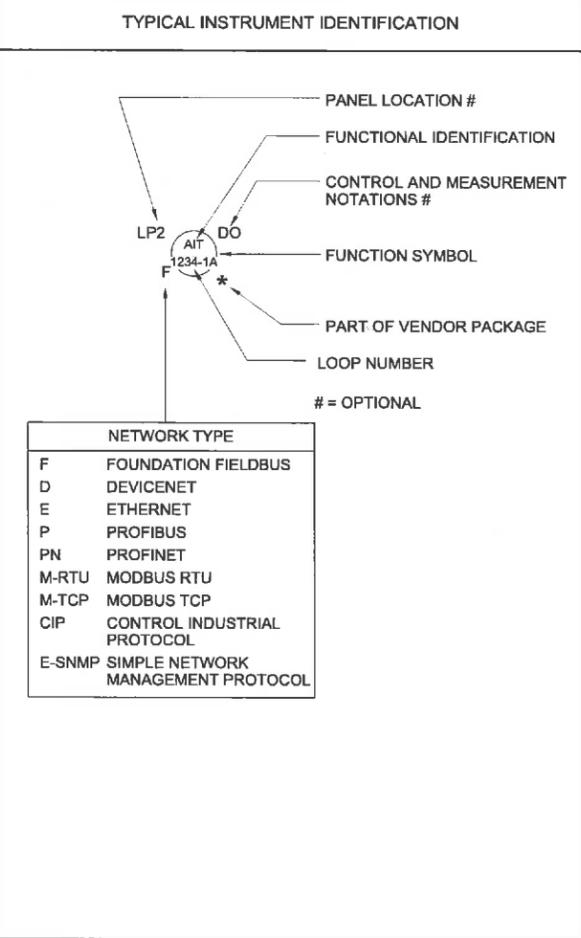
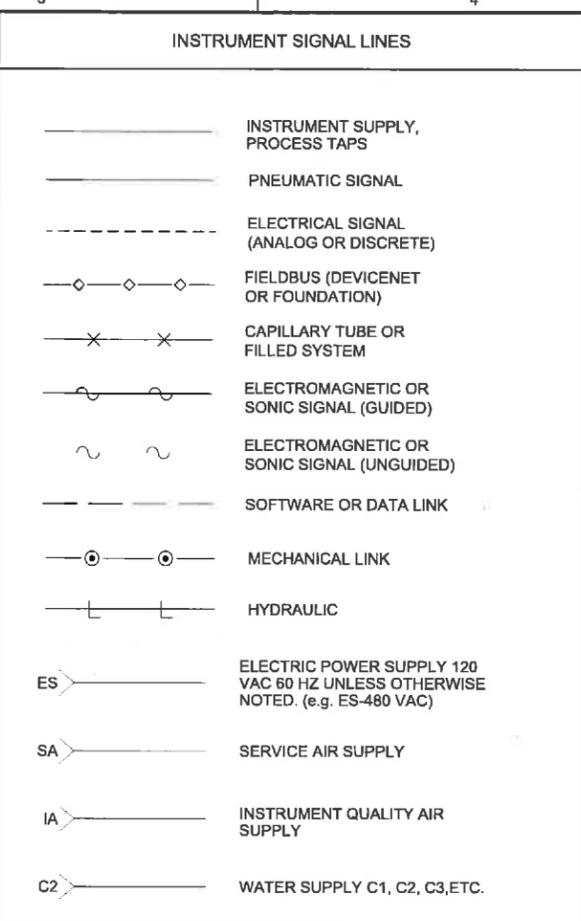
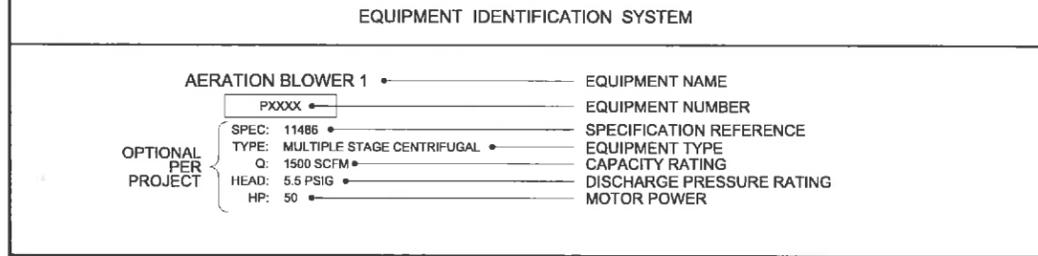
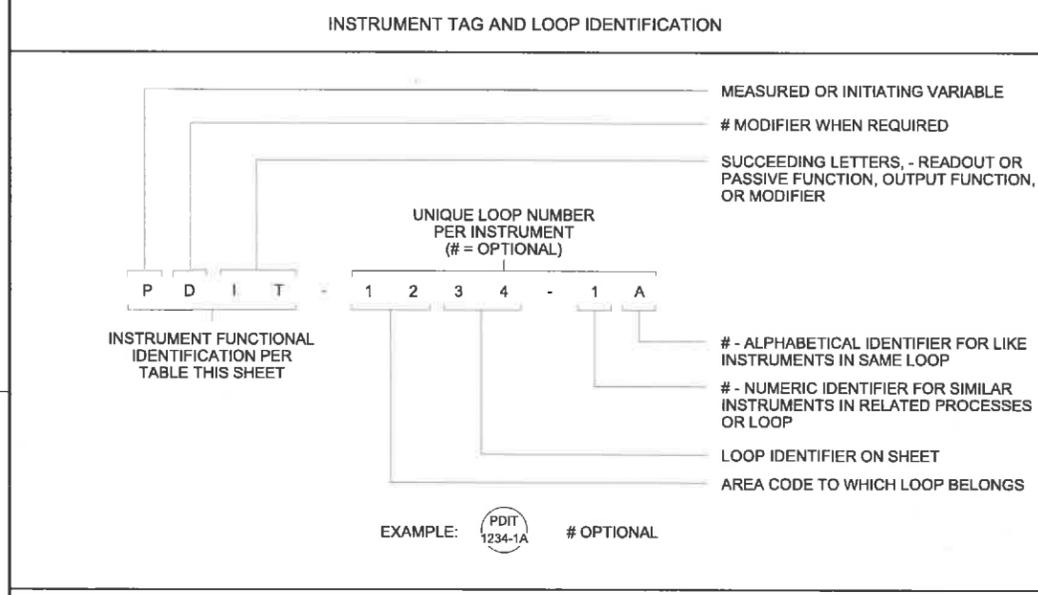
SCALE: 1/2" = 1'-0"



SCALE: 1/2" = 1'-0"

Plot Date: 1/17/16 10:34 AM CAD User: AGUILAR, GEORGE  
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 City of Appleton, Dept. of Public Works  
 Path: N:\BCM\147762\PROJECTS\APPLETON CITY OF 147762\_NORTHLAND POND\_FINAL DESIGN\CAD\147762-SHEETS\INSTRUMENTATION

FUNCTIONAL IDENTIFICATION					
VARIABLE	MEASURED OR INITIATING VARIABLE DESCRIPTION	MODIFIER	READOUT OR PASSIVE FUNCTION	OUTPUT FUNCTION	MODIFIER
A	ANALYSIS		ALARM		
B	BURNER, COMBUSTION				
C	CONDUCTIVITY			CONTROL	CLOSE
D	DENSITY, SPECIFIC GRAVITY	DIFFERENTIAL			DEVIATION
E	VOLTAGE, SOLENOID		PRIMARY ELEMENT		
F	FLOW, FLOW RATE	RATIO			
G	FIRE, SMOKE		GLASS		
H	HAND				HIGH
I	CURRENT		INDICATE		
J	POWER		SCAN		
K	TIME, SCHEDULE	TIME RATE OF CHANGE		CONTROL STATION	
L	LEVEL		LIGHT		LOW
M	MOISTURE, HUMIDITY, MOTION	MOMENTARY			MIDDLE, INTERMEDIATE
N	EQUIPMENT STATUS				
O	DISSOLVED OXYGEN		ORIFICE		OPEN
P	PRESSURE, VACUUM		POINT (TEST) CONNECTION		
Q	QUANTITY	INTEGRATE, TOTALIZE			
R	RADIATION		RECORD		RUN
S	SPEED, FREQUENCY	SAFETY		SWITCH	STOP
T	TEMPERATURE			TRANSMIT	
U	MULTIVARIABLE		MULTIFUNCTION	MULTIFUNCTION	MULTIFUNCTION
V	VIBRATION, MECHANICAL ANALYSIS			VALVE, DAMPER, LOUVER	
W	WEIGHT, FORCE, TORQUE		WELL, PROBE		
X	UNCLASSIFIED	X AXIS			
Y	EVENT, STATE OR PRESENCE	Y AXIS		AUXILIARY DEVICES	
Z	POSITION, DIMENSION	Z AXIS		DRIVER, ACTUATOR, FINAL CONTROL ELEMENT	



**CONTROL AND MEASUREMENT NOTATIONS**

ACK	ACKNOWLEDGE	OCA	OPEN/CLOSE/AUTO
AM	AUTO/MAN	OCP	PURGE VALVE OP/CL/PC
BYP	BYPASS	OL	OVERLOAD
CL	CLOSE	OP	OPEN
CL2	CHLORINE	OSC/LP	OPEN/STOP/CLOSE WITH LOCAL/REMOTE SELECT
CMAT	COMPUTER/MANUAL/AUTO/TRACKING	PA	PAUSE
COMB	COMBUSTIBLE GAS	PAL	LOW PRESSURE
CP	CONTROL POWER	PB	PUSH BUTTON
COND	CONDUCTIVITY	pH	pH
DEC	DECREASE	POT	POTENTIOMETER
DO	DISSOLVED OXYGEN	RDY	READY
ESP	EMERGENCY STOP	REV	REVERSE
FWD	FORWARD	RNG	RUNNING
F/R	FORWARD/REVERSE	ROF	REVERSE/OFF/FORWARD
F/S	FAST/SLOW	RST	RESET
HLOA	HIGH/LOW/OFF/AUTO	SO2	SULFUR DIOXIDE
HOA	HAND/OFF/AUTO	SP	STOP
HOAL	HAND/OFF/AUTO/LOCAL	ST	START
HOR	HAND/OFF/REMOTE	TCP	TEST/CLOSE/PC
INC	INCREASE	T/S	TEST/NORMAL/SILENCE
JOA	JOG/OFF/AUTO	TBL	TROUBLE
LL	LEAD/LAG		
LOR	LOCAL/OFF/REMOTE		
LOS	LOCKOUT STOP		
L/R	LOCAL/REMOTE		
M/A LS	MAN/AUTO LOADING STATION		

**GENERAL NOTES:**

- THIS DRAWING IS GENERAL IN NATURE. SOME SYMBOLS AND IDENTIFICATIONS SHOWN HEREON MAY NOT BE USED ON THE CONTRACT DRAWINGS.
- SYMBOLS ARE ARRANGED ON SPECIFIC DRAWINGS AND IN CATEGORIES FOR CONVENIENCE ONLY; SYMBOLS MAY BE USED ON ANY OF THE CONTRACT DRAWINGS.

**Brown AND Caldwell**

CITY, STATE (ONLY IF REQUIRED)

**CITY OF APPLETON  
NORTHLAND POND**

REVISIONS		
REV	DATE	DESCRIPTION

LINE IS 2 INCHES AT FULL SIZE

DESIGNED:  
 DRAWN:  
 CHECKED:  
 CHECKED:  
 APPROVED:

FILENAME: I-001.DWG  
 BC PROJECT NUMBER: 147622  
 CLIENT PROJECT NUMBER: CLIENT PROJECT NUMBER

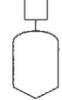
**INSTRUMENTATION**

**LEGEND AND SYMBOLS - 1**

DRAWING NUMBER: **I-001**  
 SHEET NUMBER: 42 OF 46

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1		2		3		4		5		6	
MISCELLANEOUS SYMBOLS		EQUIPMENT PREFIXES									
	MCC (MOTOR CONTROL/STARTER)	F	FAN								
	PURGE OR FLUSHING DEVICE	MX	MIXER								
	RESET FOR LATCH-TYPE OPERATOR	P	PUMP								
	SEAL WATER CONTROL UNIT	GEN	GENERATOR								
	INTERLOCKING OR CONTROL FUNCTION	UH	UNIT HEATER								
	INTRINSIC SAFETY BARRIER										
	DISCRETE INPUT										
	DISCRETE OUTPUT										
	ANALOG INPUT										
	ANALOG OUTPUT										
	CAMERA (CCTV)										

1		2		3		4		5		6	
MISCELLANEOUS SYMBOLS		FUNCTION SYMBOLS									
	MOTOR (ACTUATOR, VALVE, GATE OR EQUIPMENT)		SHARED DISPLAY, PROCESS CONTROL SYSTEM								
	ENGINE		SOFTWARE FUNCTIONALITY								
	EJECTOR, PNEUMATIC		FIELD OR PANEL DEVICE								
	GENERATOR	LOCATION AND ACCESSIBILITY MODIFIERS FOR FUNCTION SYMBOLS									
					STAND ALONE DEVICE, OPERATOR ACCESSIBLE						
					LOCATED ON FRONT OF PANEL OR CONSOLE, OPERATOR ACCESSIBLE						
					LOCATED IN REAR OF PANEL OR CONSOLE, OPERATOR INACCESSIBLE						

1		2		3		4		5		6	
MISCELLANEOUS SYMBOLS		EQUIPMENT PREFIXES									
				INTEGRAL INSTRUMENT		CLOSE COUPLED INSTRUMENT		SEPARATE OR REMOTE MOUNTED INSTRUMENT			
				SEPARATE OR REMOTE MOUNTED INSTRUMENT		SEPARATE OR REMOTE MOUNTED INSTRUMENT		SEPARATE OR REMOTE MOUNTED INSTRUMENT		MULTI VARIABLE INSTRUMENT	
				SEPARATE OR REMOTE MOUNTED INSTRUMENT		SEPARATE OR REMOTE MOUNTED INSTRUMENT		SEPARATE OR REMOTE MOUNTED INSTRUMENT		SINGLE VARIABLE INSTRUMENT	
				FLANGE OR ELEMENT TAPS		PIPE TAPS		COMBINATION TAPS			

1		2		3		4		5		6	
MISCELLANEOUS SYMBOLS		FUNCTION SYMBOLS									
				FLANGE OR ELEMENT TAPS		PIPE TAPS		COMBINATION TAPS		GENERAL NOTES:	
										1. THIS DRAWING IS GENERAL IN NATURE. SOME SYMBOLS AND IDENTIFICATIONS SHOWN HEREON MAY NOT BE USED ON THE CONTRACT DRAWINGS. 2. SYMBOLS ARE ARRANGED ON SPECIFIC DRAWINGS AND IN CATEGORIES FOR CONVENIENCE ONLY; SYMBOLS MAY BE USED ON ANY OF THE CONTRACT DRAWINGS.	



BUSINESS NAME (ONLY IF REQUIRED)  
 REGISTRATION NUMBER (ONLY IF REQUIRED)  
 CITY, STATE (ONLY IF REQUIRED)

EXAMPLE BC PROJECT TITLE  
 LIMIT 5 18  
 CHARACTER ROWS  
 88888888888888888888

REVISIONS		
REV	DATE	DESCRIPTION

LINE IS 2 INCHES AT FULL SIZE

DESIGNED: \_\_\_\_\_  
 DRAWN: \_\_\_\_\_  
 CHECKED: \_\_\_\_\_  
 CHECKED: \_\_\_\_\_  
 APPROVED: \_\_\_\_\_

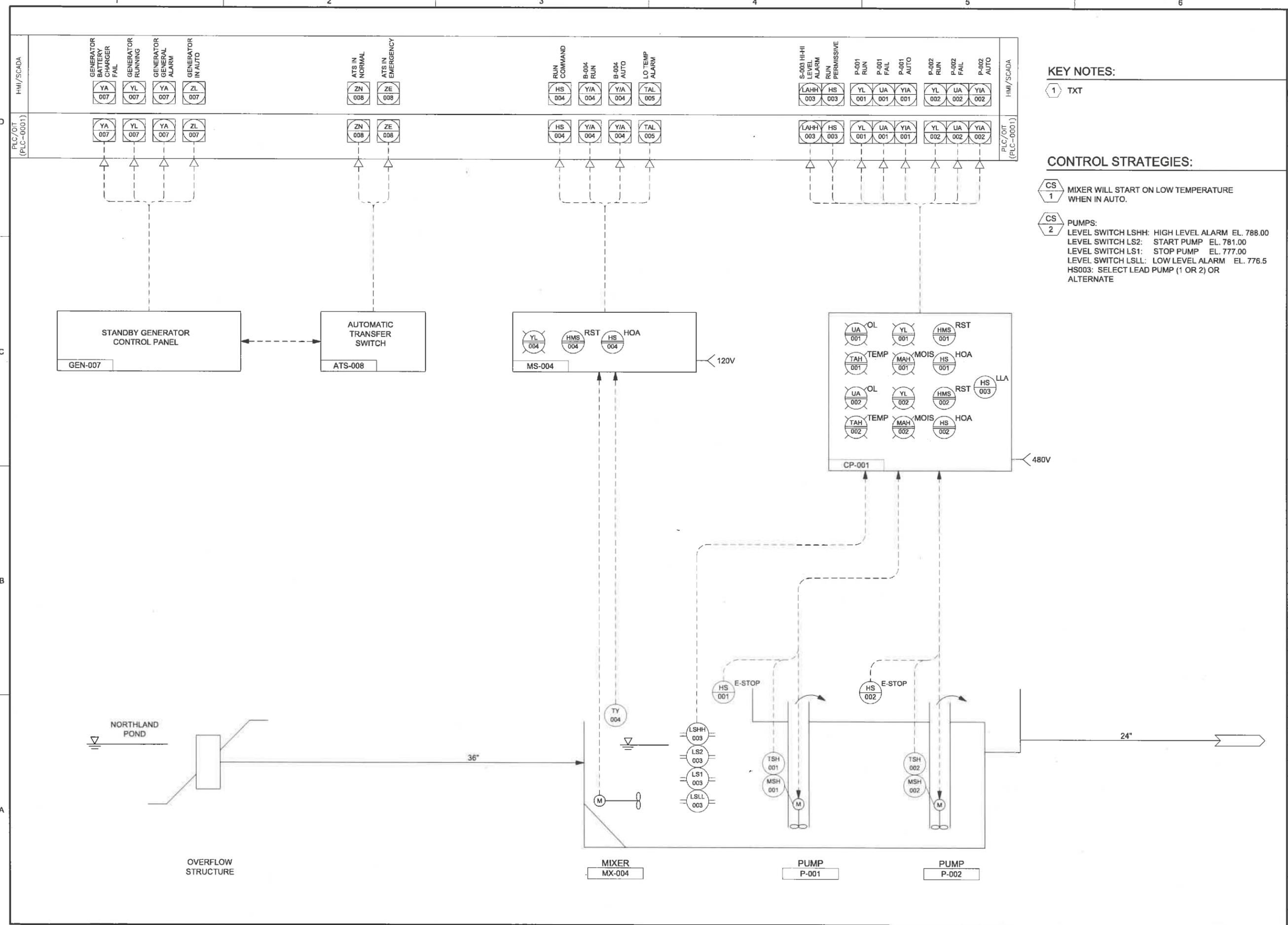
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BC PROJECT NUMBER	000000
CLIENT PROJECT NUMBER	
CLIENT PROJECT NUMBER	

INSTRUMENTATION

LEGEND AND SYMBOLS - 2

DRAWING NUMBER	I-002
SHEET NUMBER	43 OF 46

Path: \\BDCMIL\FP01\PROJECT\SAMPLETON CITY OF 147622\_NORTHLAND POND\_FINAL\_DESIGN\CAD\22-SHEETS\INSTRUMENTATION FILENAME: I-010.DWG PLOT DATE: 1/4/18 10:32 AM CAD USER: AGUILAR, GEORGE



**KEY NOTES:**

1 TXT

**CONTROL STRATEGIES:**

- CS 1 MIXER WILL START ON LOW TEMPERATURE WHEN IN AUTO.
- CS 2 PUMPS:  
 LEVEL SWITCH LSHH: HIGH LEVEL ALARM EL. 788.00  
 LEVEL SWITCH LS2: START PUMP EL. 781.00  
 LEVEL SWITCH LS1: STOP PUMP EL. 777.00  
 LEVEL SWITCH LSL: LOW LEVEL ALARM EL. 776.5  
 HS003: SELECT LEAD PUMP (1 OR 2) OR ALTERNATE



CITY, STATE (ONLY IF REQUIRED)



CITY OF APPLETON  
NORTHLAND POND

REVISIONS		
REV	DATE	DESCRIPTION

LINE IS 2 INCHES AT FULL SIZE

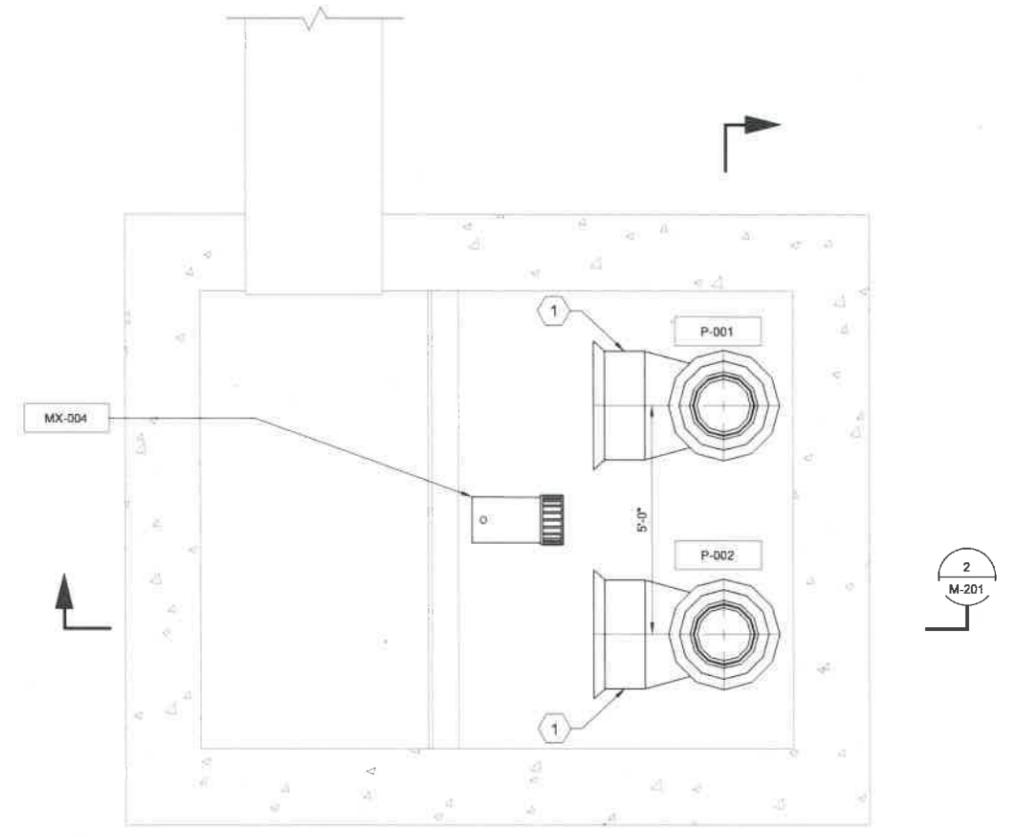
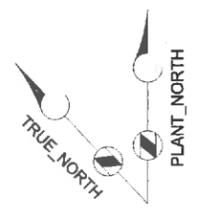
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 DRAWN:  
 CHECKED:  
 CHECKED:  
 APPROVED:

FILENAME: I-010.DWG  
 BC PROJECT NUMBER: 147622  
 CLIENT PROJECT NUMBER:

**INSTRUMENTATION**  
  
**PROCESS AND INSTRUMENTATION DIAGRAM-PUMPS**

DRAWING NUMBER  
**I-010**  
 SHEET NUMBER  
 44 OF 46

Path: N:\BOMIL\PROJECTS\APPLETON CITY OF\147622\_NORTHLAND POND FINAL DESIGN\CADD\2-SHEETS\PROCESS FILENAME: D-101.DWG PLOT DATE: 11/24/15 7:22 AM CAD USER: PAVLISICH, RAYMOND



NORTHLAND PUMP STATION  
 INTERMEDIATE PLAN  
 SCALE: 1/2" = 1'-0"

**KEY NOTES:**  
 1 FORMED SUCTION INTAKE (FSI).  
 DIMENSIONS BY PUMP MANUFACTURER.



CITY, STATE (ONLY IF REQUIRED)



CITY OF APPLETON  
 NORTHLAND POND

REVISIONS		
REV	DATE	DESCRIPTION

LINE IS 2 INCHES  
 AT FULL SIZE

DESIGNED:  
 DRAWN:  
 CHECKED:  
 CHECKED:  
 APPROVED:

FILENAME  
 D-101.DWG  
 BC PROJECT NUMBER  
 147622  
 CLIENT PROJECT NUMBER  
 CLIENT PROJECT NUMBER

**PROCESS  
 PLAN**

DRAWING NUMBER  
**D-101**  
 SHEET NUMBER  
 45 OF 46

Path: \\BCMILFP01\PROJECTS\APPLETON CITY OF\147622\NORTHLAND POND FINAL DESIGN\CADD\2-SHEETS\ID-PROCESS FILENAME: D-201.DWG PLOT DATE: 11/24/15 7:25 AM CAD USER: PAVLISICH, RAYMOND

**KEY NOTES:**

- ① FORMED SUCTION INTAKE (FSI). DIMENSIONS BY PUMP MANUFACTURER.
- ② ACCESS HATCH. SEE STRUCTURAL.



CITY, STATE (ONLY IF REQUIRED)



**CITY OF APPLETON  
NORTHLAND POND**

REVISIONS		
REV	DATE	DESCRIPTION

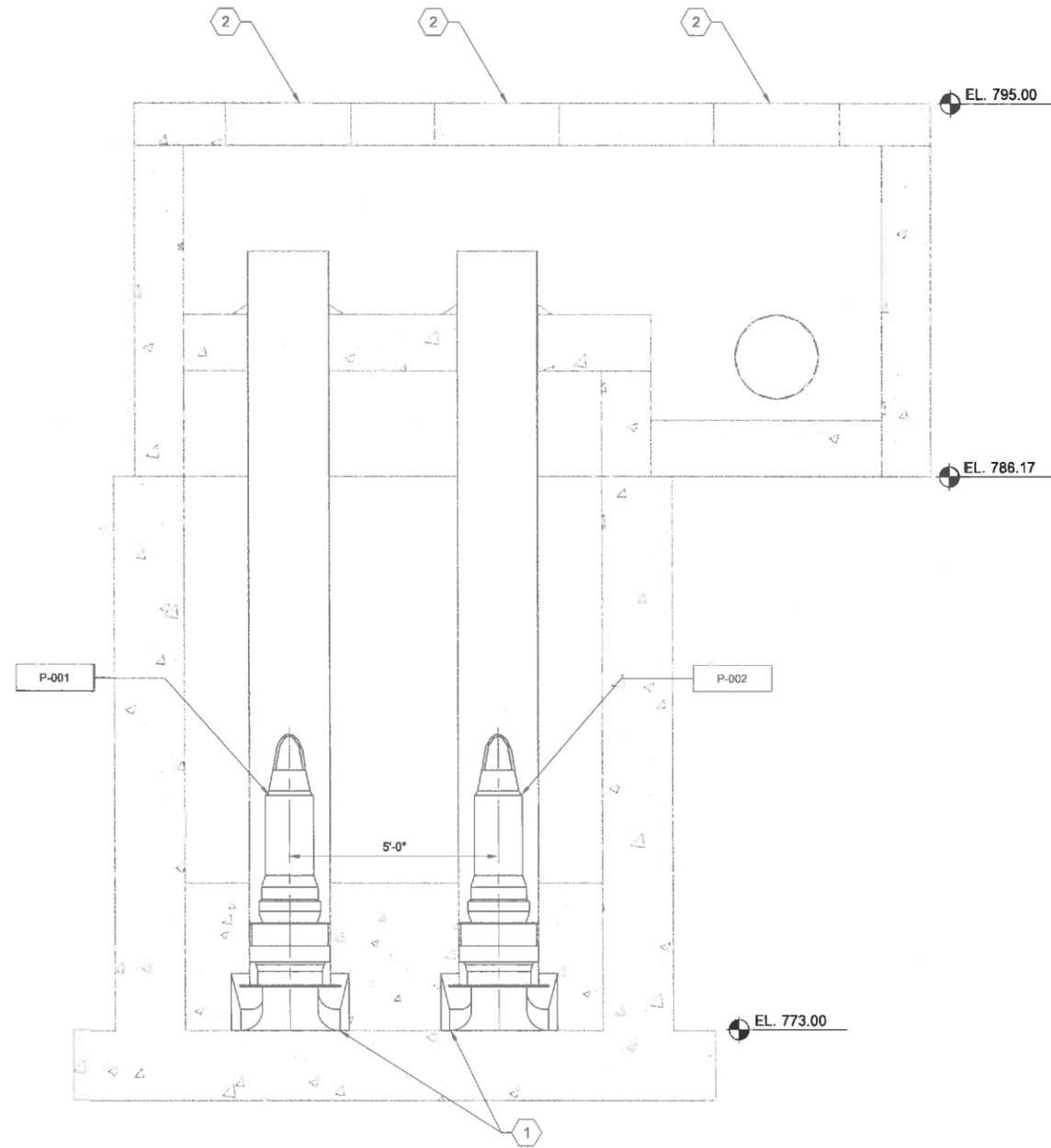
LINE IS 2 INCHES AT FULL SIZE

DESIGNED:  
DRAWN:  
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CHECKED:  
APPROVED:

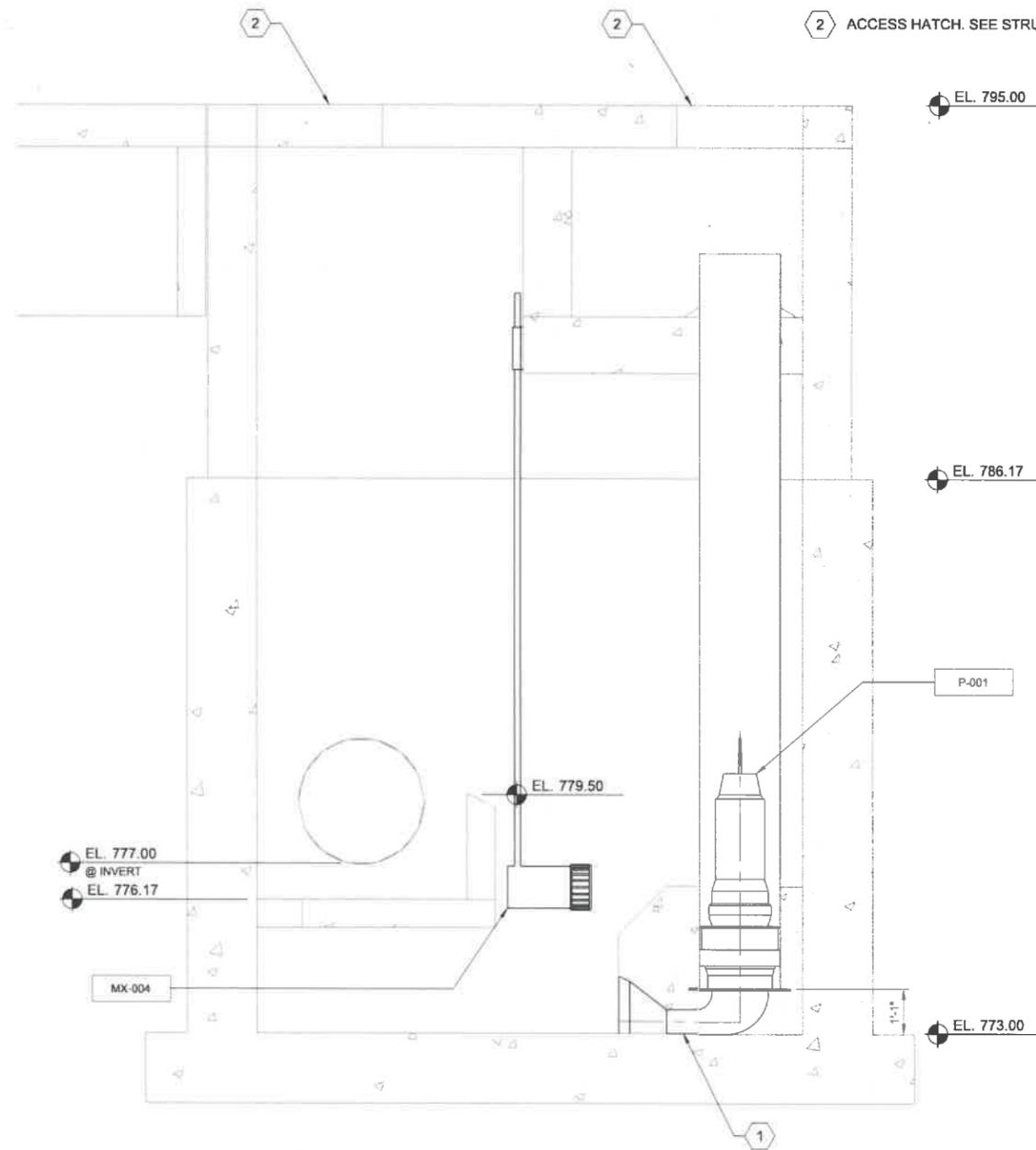
FILENAME: D-201.DWG  
BC PROJECT NUMBER: 147622  
CLIENT PROJECT NUMBER:  
CLIENT PROJECT NUMBER:

**PROCESS  
SECTIONS**

DRAWING NUMBER:  
**D-201**  
SHEET NUMBER:  
46 OF 46



**SECTION 1**  
D-101  
SCALE: 1/2" = 1'-0"



**SECTION 2**  
D-101  
SCALE: 1/2" = 1'-0"

**Town of Grand Chute  
Certified Survey Map Review  
The D & D Enterprises Family Limited Partnership**

---

**To: Plan Commission**

**From: Michael Patza, Town Planner**

**Date: February 24, 2016**

**Address: 2595 & 2601 N. McCarthy Road**

**App. #: CSM-05-16**

---

**REQUEST**

The CSM will consolidate the two existing parcels into one, creating a 3.27 acre lot. Along with the lot consolidation, the CSM will dedicate 40' of right-of-way along N. McCarthy Road.

**ANALYSIS**

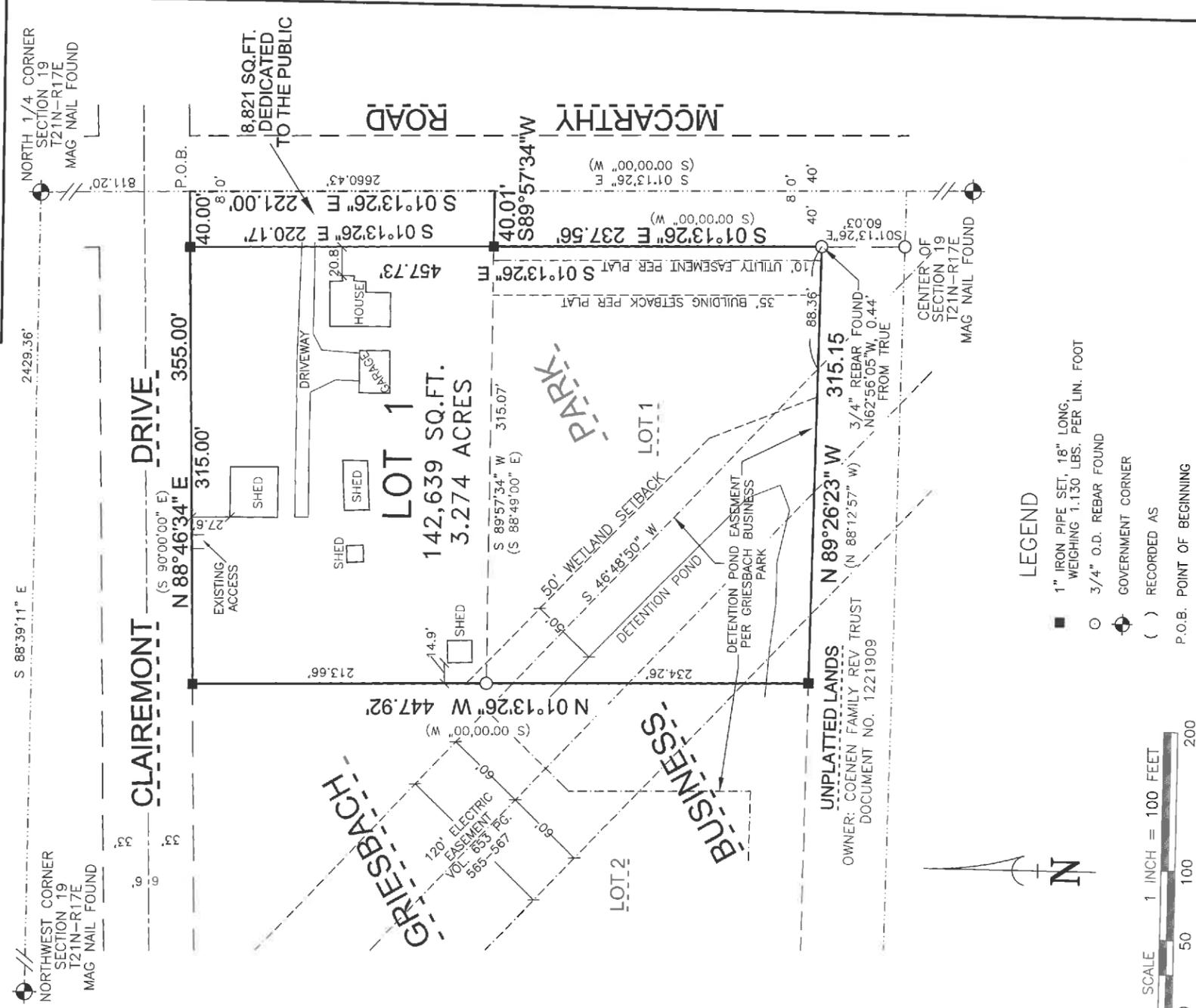
The CSM meets all Town requirements for division of land.

**RECOMMENDATION**

Staff has reviewed and supports a Plan Commission recommendation for approval of the Certified Survey Map (CSM-05-16) for The D & D Enterprises Family Limited Partnership, 2595 & 2601 N. McCarthy Road.

CERTIFIED SURVEY MAP NO. \_\_\_\_\_

ALL OF LOT 1 OF GRIESBACH BUSINESS PARK, FILED IN CABINET H OF PLATS ON SLIDE 20-21-22, AS DOCUMENT NO. 1291325, AND PART OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 19, TOWNSHIP 21 NORTH, RANGE 17 EAST, TOWN OF GRAND CHUTE, OUTAGAMIE COUNTY, WISCONSIN.



**Martenson & Eisele, Inc.**

1377 Midway Road  
Menasha, WI 54952  
www.martenson-eisele.com  
info@martenson-eisele.com  
920.731.0381 1.800.236.0381



SURVEY FOR:  
D&D ENTERPRISES  
TERRY DOUGHTY  
5322 CLAIREMONT DRIVE  
APPLETON, WI 54913

PROJECT NO. 1-0178-003

FILE 1-0178-003CSM SHEET 1 OF 3

THIS INSTRUMENT WAS DRAFTED BY: L. LUCHT

**Town of Grand Chute  
Affidavit of Correction to Subdivision Plat  
Plat of Grand Chute West Business Park**

---

**To:** Plan Commission  
**From:** Robert Buckingham, Community Development Director  
**Date:** February 25, 2016  
**Address:** NE corner of STH 15 & N. Mayflower Drive

---

**REQUEST**

When this plat was recorded in 2003, access restrictions were placed along property fronting N. Mayflower Drive. Within the access restricted frontage, driveways or roadways are prohibited. The recorded access restriction extended 500' north along the east side of N. Mayflower Drive, measured from the corner of STH 15 & Mayflower Drive. This restriction length exceeded the requirement placed on the property by the WisDOT when it acquired interests in land as part of the STH 15 project. The WisDOT access restriction length is 323.39'.

**ANALYSIS**

The WisDOT and Town staff both reviewed this request and support the correction of length to the access restriction so that it matches the restriction enforced by the State. The corrected length of restriction meets both local and state standards for safety and separation.

**RECOMMENDATION**

Staff has reviewed and supports a Plan Commission recommendation for approval of the Affidavit of Correction to the Plat of Grand Chute West Business Park, reducing the length of an access restriction along N. Mayflower Drive from 500 feet to 323.39 feet north of the STH 15/Mayflower Drive intersection.

**AFFIDAVIT OF CORRECTION**  
**GRAND CHUTE WEST BUSINESS PARK**

Pursuant to s. 236.295 (1)(a), Wis. Stat., I, Michael J. Frank, Registered Land Surveyor, S-2123, hereby certify that the Plat of GRAND CHUTE WEST BUSINESS PARK, recorded in Cabinet I on pages 31-32, Document No. 1519813, Outagamie County Registry.

That said GRAND CHUTE WEST BUSINESS PARK Located in the Southwest 1/4 Section 18, Township 21 North, Range 17 East, Town of Grand Chute, Outagamie County, Wisconsin.

That this Affidavit is being used for the sole purpose of reducing the size of Access Restriction along Mayflower Drive in Lot 1, to 323.39 feet North of the Section line in GRAND CHUTE WEST BUSINESS PARK.

That sheet 2 of this instrument is being used as a map depicting the reducing of the Access Restriction in Lot 1 along Mayflower Drive.

Return to  
Schuler & Associates, Inc.  
2711 N. Mason St., Suite F  
Appleton, WI 54914

Dated this 10<sup>th</sup> day of February, 2016  
Michael J. Frank  
Michael J. Frank S-2123

State of Wisconsin)  
ss.  
County of Outagamie)

Personally came before me this 10<sup>th</sup> day of February, 2016 to me known to be the person who executed the foregoing instrument and acknowledge the same.

My Commission Expires 5/1/2016  
Jacy Olimpiazak

**Town Grand Chute Approval**

We hereby certify that this Affidavit of Correction was approved by the Town Board of Supervisors of the Town of Grand Chute, Outagamie County, Wisconsin

on the \_\_\_\_\_ day of \_\_\_\_\_, 2016.

\_\_\_\_\_  
Town Chairman

\_\_\_\_\_  
Date

\_\_\_\_\_  
Town Clerk

\_\_\_\_\_  
Date

This instrument drafted by  
Michael J. Frank

15-3130  
Sheet 1 of 2



