



## PLAN COMMISSION AGENDA

April 21, 2016 6:00 p.m.

Town Hall - 1900 W. Grand Chute Blvd.

1. Roll Call.
2. Pledge of Allegiance.
3. Approval of Agenda.
4. Approval of Minutes – April 7, 2016 meeting.
5. Public Input.
6. Community Development Director's Report.
7. **Neighborhood Information Meeting #1** – Conditional Use Permit (CUP-02-16) requested by GCW Investments, LLC, 4810 N. Indigo Lane to allow grading and filling for roadway, utility and stormwater pond construction in Edgewood Acres Condominium South. **Action:** Hear testimony/close meeting.
8. **Conditional Use Permit (CUP-02-16)** – Request by GCW Investments, LLC, 4810 N. Indigo Lane to allow grading and filling for roadway, utility and stormwater pond construction in Edgewood Acres Condominium South. **Action:** Recommend approval/denial of CUP-02-16. (TOWN BOARD ACTION 5/3/2016)
9. **Condominium Plat (CP-01-16)** – Request by GCW Investments, LLC, 4810 N. Indigo Lane to approve the plat of Edgewood Acres Condominium South. **Action:** Recommend approval/denial of CP-01-16. (TOWN BOARD ACTION 5/3/2016)
10. **Site Plan (SP-06-16)** – Request by GCW Investments, LLC, 4810 N. Indigo Lane to approve the site plan for Edgewood Acres Condominium South, a 30-unit single-family development and associated site improvements. **Action:** Approve/deny SP-06-16.
11. **Public Hearing #1** – Rezoning (Z-05-16) requested by Jared Van Lanen, on behalf of Donald J. Van Handel Family Wisconsin Limited Partnership, 5325 N. Ballard Road, to rezone property from RSF Single-Family Residential District and IND Industrial District to CL Local Commercial District. **Action:** Hear testimony/close public hearing.
12. **Rezoning (Z-05-16)** – Request by Jared Van Lanen, on behalf of Donald J. Van Handel Family Wisconsin Limited Partnership, 5325 N. Ballard Road, to rezone property from RSF Single-Family Residential District and IND Industrial District to CL Local Commercial District. **Action:** Recommend approval/denial of Z-05-16. (TOWN BOARD ACTION 5/3/2016)
13. **Public Hearing #2** – Special Exception (SE-08-16) requested by Baylake Corp., dba Nicolet National Bank, 333 S. Nicolet Road, for operation of an electronic message center sign. **Action:** Hear testimony/close public hearing.

14. **Special Exception (SE-08-16)** - Request by Baylake Corp., dba Nicolet National Bank, 333 S. Nicolet Road, for operation of an electronic message center sign. **Action:** Recommend approval/denial of SE-08-16. (TOWN BOARD ACTION 5/3/2016)
15. **Site Plan Amendment (SPA2-00-04)** – Request by Baylake Corp., dba Nicolet National Bank, 333 S. Nicolet Road, to replace an existing pylon sign with a new pylon sign, including an electronic message center. **Action:** Approve/deny SPA2-00-04.
16. **Site Plan Amendment (SPA1-36-04)** – Request by Grand View Family & Cosmetic Dentistry, 381 S. Kools Street, to install a new pylon sign. **Action:** Approve/deny SPA1-36-04.
17. **Site Plan (SP-07-16)** – Request by The D&D Enterprises Family Limited Partnership, dba Harley-Davidson of Appleton, 2601 N. McCarthy Road, to approve construction of a building, motorcycle training range and associated site improvements. **Action:** Approve/deny SP-07-16.
18. **W. College Avenue Reconstruction** – Roadway design option for future reconstruction of W. College Avenue (Casaloma Drive to CTH CB). **Action:** Recommendation to Town Board (TOWN BOARD ACTION 4/21/16)
19. Adjournment.

A quorum of the Town Board, Park Commission, Police and Fire Commission, Board of Appeals, and Licensing Committee may be present at this meeting. No official action of these bodies will be taken. **Accommodation Notice**-Any person requiring special accommodation who wishes to attend this meeting should contact (**Administration at 832-1573**) at least 48 hours in advance.

# GRAND CHUTE PLAN COMMISSION MINUTES

April 7, 2016

Members Present: Chairman Dave Schowalter, Commissioners Bruce Sherman, Julie Hidde, Robert Stadel, Vivian Huth, Pam Crosby, Duane Boeckers, John Weber.

Members Absent: None.

Also Present: James March, Town Administrator; Mary Baxter, Executive Secretary, Thomas Marquardt, Public Works Director; Bob Heimann, IT Director; Julie Wahlen, Finance Director/Town Treasurer; Timothy Bantes, Fire Chief; Michael Patza, Town Planner; Robert Buckingham, Community Development Director; other interested parties (audience attendance = approx. 8). Supervisors Nooyen, Pleuss, and Thyssen.

1. **ROLL CALL.**

Chairman Schowalter opened the meeting at 6:00 p.m.

2. **PLEDGE OF ALLEGIANCE.**

3. **APPROVAL OF AGENDA.**

**Motion (Hidde/Crosby) to approve the agenda.** Motion carried, all voting aye.

4. **APPROVAL OF MINUTES** – MARCH 1 and 15, 2016 MEETINGS.

**Motion (Boeckers/Huth) to approve the March 1, 2016 minutes.** Motion carried, all voting aye.

**Motion (Hidde/Huth) to approve the March 15, 2016 minutes.** Motion carried, all voting aye.

5. **PUBLIC INPUT**

There was no public input.

6. **COMMUNITY DEVELOPMENT DIRECTOR'S REPORT** – AVAILABLE UPON REQUEST.

7. **PUBLIC HEARING #1** – REZONING (Z-04-16) REQUESTED BY MARTON PROPERTIES LLC, 2025 N. CASALOMA DRIVE, TO REZONE PROPERTY FROM C-2 OFFICE COMMERCIAL DISTRICT TO CL LOCAL COMMERCIAL DISTRICT.

Chairman Schowalter opened Public Hearing #1 at 6:04 p.m.

There was no public input.

**Motion (Huth/Stadel) to close Public Hearing #1 at 6:04 p.m.** Motion carried, all voting.

8. **REZONING (Z-04-16)** – REQUEST BY MARTON PROPERTIES LLC, 2025 N. CASALOMA DRIVE, TO REZONE PROPERTY FROM C-2 OFFICE COMMERCIAL DISTRICT TO CL LOCAL COMMERCIAL DISTRICT.

Director Buckingham explained that the zoning change is requested in order to lease some long vacant space in the building. The intended use is dance studio, which is a low impact commercial use. However, it is not allowed in the existing C-2 classification.

**Motion (Hidde/Crosby) to recommend approval of the rezoning (Z-04-16) requested by Marton Properties LLC, 2025 N. Casaloma Drive, from C-2 Office Commercial District to CL Local Commercial District (Ordinance O-04-2016).**

Commissioner Sherman asked if a Special Exception could be approved for a dance studio rather than a zoning change.

Director Buckingham stated that the Zoning Code does not provide that option in C-2. He added that any concern for the impact of rezoning is overcome by the fact that the site is fully developed with a quality office building, abundant parking, and generous landscape buffers.

**Motion to recommend approval of Z-04-16 carried, all voting.**

**9. PLANNING WORKSHOP – PREVIEW OF DESIGN AND COST OPTIONS FOR RECONSTRUCTION OF W. COLLEGE AVENUE, FROM CASALOMA DRIVE TO CTH BB.**

Directors Buckingham and Marquardt provided an overview of the design and cost options for this future County road project. Director Buckingham noted that Outagamie County is preparing its highway aid funding request and has asked Grand Chute and Greenville to indicate the preferred design option (rural section versus urban section). This road project is planned for 2020-2021.

Director Marquardt noted that while the County Highway Commissioner initially viewed this for reconstruction to a modified rural standard (combination of curbed center median, gravel shoulders, ditches, off-road trail, higher speed limits), Grand Chute and Greenville officials see this as an urban growth area over the 2-mile stretch of College Avenue between I-41 and the airport. With the level of development already in place and large tracts of land prime for future growth, it is most desirable to reconstruct the road as an urban section (curbed shoulders, storm sewer, off-road trail, streetlights, trees), to slow down traffic for the businesses, making roundabouts for the intersections and providing bike/pedestrian paths. It could even provide an off-road trail back to Casaloma Drive and connect into our trail system around the Fox River Mall. Outagamie County has taken this advice and provided a comparison of design and cost option for a modified rural section and for an urban section. He displayed slides showing the plan view of each option, along with examples of other road corridors built to each standard. He explained the cost-sharing formula for rural and urban designs. The amount of State funding is a fixed amount, regardless of total project cost. County policy prescribes that its cost responsibility is for rural section roads. Both a modified rural section and an urban section require local government participation. Director Marquardt advised that Grand Chute's estimated cost share for the modified rural section is \$481,000, or 5.8% of total project cost. Our local share for the urban section is \$1.3 million, or 13.1% of total project cost.

Director Buckingham stressed the importance of looking ahead 25-30 years and ensuring that we have provided a road that delivers the level of service needed for a fully urbanized commercial corridor. Staff recommendation is to support reconstruction of College Avenue as an urban section. He noted that there are 140 acres of vacant land in the Grand Chute portion of this corridor. This will be our last commercial growth area before Grand Chute is a fully developed community. This area is expected to fully develop in the next 10-20 years, well ahead of the estimated useful life for the reconstructed College Avenue. This land development will generate over \$90 million in new tax base and we need to provide the proper infrastructure support it. Director Buckingham noted that funding the estimated local share of the road project could be accomplished with areawide special assessments and possibly tax increment financing. The prospect of creating a TID in this corridor may become vital to support stormwater management, especially in light of some recent County regulatory change that will severely limit wet pond construction within the airport zone.

Director Buckingham concluded by noting that the County has a grant deadline of early May, so they need direction on the preferred road design ahead of that deadline. Plan Commission and Town Board will be asked to consider this roadway design issue at their respective April 21 meetings.

**10. ADJOURNMENT.**

**Motion (Stadel/Sherman) to adjourn at 6:24 p.m.** Motion carried, all voting aye.

Respectfully Submitted,

Tracy Olejniczak  
Community Development Secretary

**Town of Grand Chute  
Conditional Use Permit Application Review  
GCW Investments, LLC – Edgewood Acres Condominium South**

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**To: Plan Commission**

**From: Robert Buckingham, Community Development Director**

**Date: April 14, 2016**

**Address: 4810 N. Indigo Lane**

**App. #: CUP-02-16**

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**REQUEST**

Applicant is preparing to install roads, utilities and stormwater management facilities for this 30 unit single-family detached condominium project. The project will be developed with private roads and private maintenance responsibility as described in the condominium declaration. Access to the area will be from Indigo Lane in accordance with prior subdivision plats. A portion of the land in the condominium is located within 300 feet of a navigable stream. Accordingly, a County Conditional Use Permit is required to allow grading, filling and pond construction within the Shoreland Zoning District.

**ANALYSIS**

Like much of this part of Grand Chute, the site has high groundwater and poor surface drainage. While these conditions require that extra precaution be taken in design and construction, they are not prohibitive or impossible to overcome. A delineated wetlands at the southeast corner of the site will be preserved and the adjoining navigable stream will remain as-is. Grading and filling work is needed to establish proper road grades, to provide required utility depths, to improve drainage and to build the stormwater pond. All this work is incorporated in the site engineering plans that were approved by the Town Engineer. Regarding stormwater management, the Town Engineer previously approved plans for drainage over the entire Edgewood Acres subdivision. As a check on conformance with drainage requirements for the subdivision, when each phase is developed, the developer is required to provide stormwater management documentation for areas under development up to that time, including the current phase being approved and any other previous phases. Work in this condominium area is scheduled for this construction season.

**RECOMMENDATION**

**Staff has reviewed and supports a Plan Commission recommendation for approval of the Conditional Use Permit (CUP-02-16) requested by GCW Investments, LLC, 4810 N. Indigo Lane, to allow grading and filling for roadway, utility and stormwater pond construction.**







**Town of Grand Chute  
Condominium Plat Review  
Edgewood Acres Condominium South**

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9.

**To: Plan Commission**

**From: Robert Buckingham, Community Development Director**

**Date: April 14, 2016**

**Address: 4810 N. Indigo Lane**

**App#: CP-01-16**

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**REQUEST**

- 1. Proposed Use(s):** Single-family condominium homes
- 2. Project Description:** 30 detached single-family homes
- 3. Plat/CSM Accurate parcel lines/lot recorded:** Yes, new condominium plat pending

**ANALYSIS**

This is the first of three condominium sites within the overall Edgewood Acres subdivision that previously received Town approval as a Planned Unit Development. The development will be served by private roads with access from Indigo Lane, in accordance with prior subdivision approvals. A ped/bike trail and easement is provided to extend through the condominium. It provides a connection point to the future ped/bike trail along Elsner Road, and provides the first leg of the north-south ped/bike trail between CTH JJ and Elsner Road. This trail will continue being constructed with future phases of the Edgewood Acres subdivision. All of the homes will be 2-bedroom, 2-bath detached single family buildings, ranging up to 1670 s.f. in size, based on a set of available floor plans. Units will feature a 2-stall garage, full basement and first floor laundry. Some units will have a sunroom and some will have finished basements. All homes will feature patios, stone or brick fronts, and complete landscaping. The Condominium Plat has been reviewed and meets all statutory requirements. The development plans conform to the approved Special Exception Permit (SE-04-11) and the proposed Site Plan (SP-06-16) for the project.

**RECOMMENDATION**

**Staff has reviewed and supports a Plan Commission recommendation for approval of Edgewood Acres Condominium South plat (CP-01-16).**

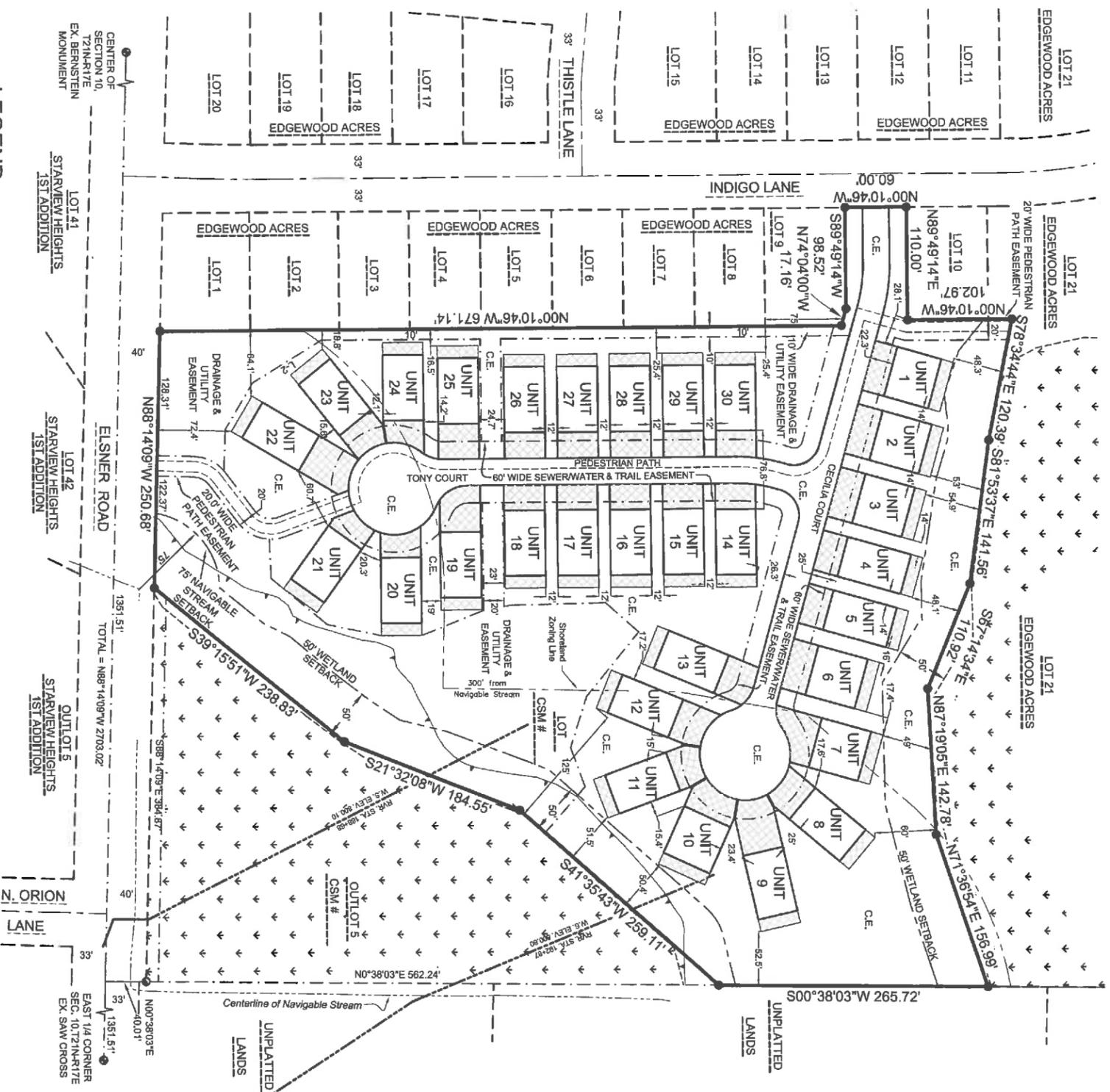
# EDGEWOOD ACRES CONDOMINIUM SOUTH

ALL OF LOT 1 OF CERTIFIED SURVEY MAP # \_\_\_\_\_ OUTAGAMIE COUNTY RECORDS, BEING PART OF LOT 21 OF THE RECORDED PLAT OF EDGEWOOD ACRES, RECORDED IN CABINET L, PAGES 55-59 (DOC #1999850), OUTAGAMIE COUNTY RECORDS, LOCATED IN PART OF THE SOUTHWEST 1/4 OF THE NORTHEAST 1/4 AND PART OF THE NORTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 10, T21N-R17E, TOWN OF GRAND CHUTE, OUTAGAMIE COUNTY, WISCONSIN.

DECLARANT:  
GCW INVESTMENTS, LLC  
1317 LOMBARDI ACCESS ROAD  
GREEN BAY, WI 54304



THIS MAP IS BASED ON THE SOUTH LINE OF THE NORTH IS REFERENCED TO THE SOUTH LINE OF THE NORTHEAST 1/4 OF SECTION 10, T21N-R17E, WHICH BEARS N88°14'09"W.



## LEGEND

- 1" IRON PIPE FOUND
- 2" IRON PIPE FOUND
- OUTAGAMIE COUNTY MONUMENT
- ( ) RECORDED AS
- C.E. COMMON ELEMENT
- UTILITY/DRAINAGE EASEMENT (WIDTH NOTED)
- FLOODPLAIN PER FEMA
- FLOODWAY DATA MAP NUMBER 55087C0318D
- DATED: JULY 22, 2010
- FLOOD STUDY CROSS-SECTION WITH STATION & FLOODPLAIN ELEVATION INFORMATION
- WETLAND
- PORTION OF UNIT RESERVED FOR DRIVES AND PATIOS (UNITS ARE TO MAINTAIN AT LEAST ONE FOOT BETWEEN DRIVEWAYS)

Office of the Register of Deeds  
Outagamie County, Wisconsin

Received for Record \_\_\_\_\_ of \_\_\_\_\_ and recorded as \_\_\_\_\_ of \_\_\_\_\_ in \_\_\_\_\_ on Page \_\_\_\_\_

Sarah Van Camp, Register of Deeds

DRAWING NUMBER	1129
SHEET NUMBER	1 OF 2
PROJECT#	0003-20-15
CHECKED BY:	ASC
DRAFTED BY:	RJO

**GCW INVESTMENTS LLC**

**EDGEWOOD ACRES**  
**CONDOMINIUM SOUTH**

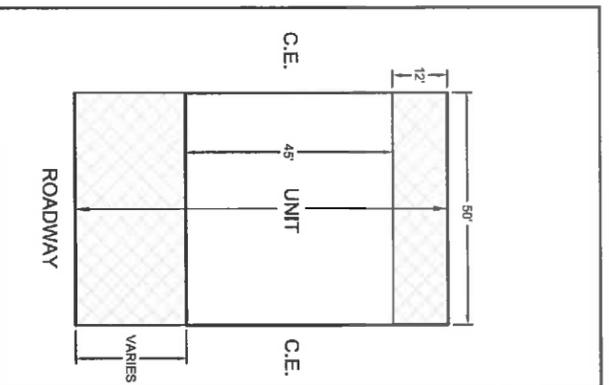
**Mach IV**

*Engineering & Surveying LLC*

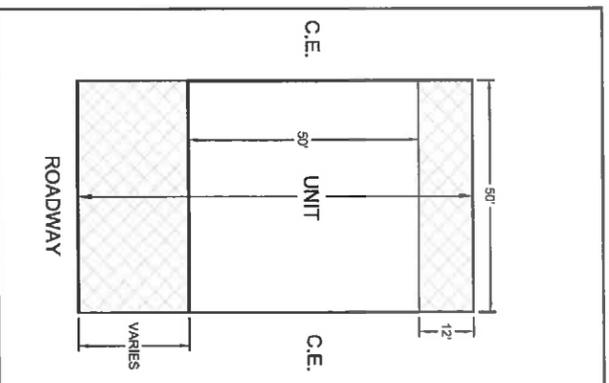
211 N. Broadway, Suite 114, Green Bay, WI  
PH: 920-569-5765 Fax: 920-569-5767

## EDGEWOOD ACRES CONDOMINIUM SOUTH

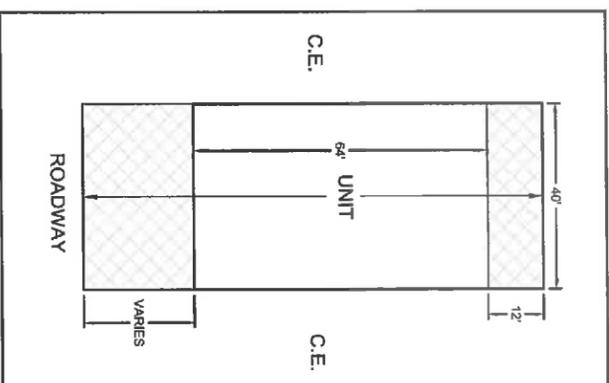
ALL OF LOT 1 OF CERTIFIED SURVEY MAP # \_\_\_\_\_, OUTAGAMIE COUNTY RECORDS, BEING PART OF LOT 21 OF THE RECORDED PLAT OF EDGEWOOD ACRES, RECORDED IN CABINET L, PAGES 55-59 (DOC #1998650), OUTAGAMIE COUNTY RECORDS, LOCATED IN PART OF THE SOUTHWEST 1/4 OF THE NORTHEAST 1/4 AND PART OF THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 10, T21N-R17E, TOWN OF GRAND CHUTE, OUTAGAMIE COUNTY, WISCONSIN.



**UNIT 1 DETAIL**  
(NOT TO SCALE)



**UNIT 2,3,6,7 & 10 DETAIL**  
(NOT TO SCALE)



**UNIT 4,5,8,9,11-30 DETAIL**  
(NOT TO SCALE)

### SURVEYOR'S CERTIFICATE

ALL OF LOT 1 OF CERTIFIED SURVEY MAP # \_\_\_\_\_, RECORDED IN VOLUME \_\_\_\_\_, PART OF CERTIFIED SURVEY MAPS, PAGE \_\_\_\_\_, OUTAGAMIE COUNTY RECORDS, BEING PART OF LOT 21 OF THE RECORDED PLAT OF EDGEWOOD ACRES, RECORDED IN CABINET L, PAGES 55-59 (DOC #1998650), OUTAGAMIE COUNTY RECORDS, LOCATED IN PART OF THE SOUTHWEST 1/4 OF THE NORTHEAST 1/4 AND PART OF THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 10, T21N-R17E, TOWN OF GRAND CHUTE, OUTAGAMIE COUNTY, WISCONSIN.

PARCEL CONTAINS 407.856 SQUARE FEET / 9.36 AC. MORE OR LESS. PARCEL SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.

I, RANDALL J. OETTINGER, PROFESSIONAL LAND SURVEYOR, DO HEREBY CERTIFY THAT I HAVE SURVEYED THE DESCRIBED PROPERTY AND THAT THIS SURVEY IS AN ACCURATE REPRESENTATION OF THE EXTERIOR BOUNDARY LINES AND THE LOCATION OF THE BUILDINGS AND IMPROVEMENTS TO BE CONSTRUCTED UPON THE PROPERTY.

THIS PLAT IS A CORRECT REPRESENTATION OF 'EDGEWOOD ACRES CONDOMINIUM SOUTH', AS PROPOSED AT THE DATE HEREOF, AND THE IDENTIFICATION AND LOCATION OF EACH UNIT AND THE COMMON ELEMENTS CAN BE DETERMINED FROM THE PLAT. THE UNDERSIGNED SURVEYOR MAKES NO CERTIFICATION AS TO THE ACCURACY OF THE FLOOR PLANS OF THE CONDOMINIUM BUILDINGS AND UNITS CONTAINED IN THE PLAT AND THE APPROXIMATE DIMENSIONS AND FLOOR AREAS THEREOF.

RANDALL J. OETTINGER  
OCTOBER 23, 2015

P.L.S-2349

### NOTES:

- 1) A MINIMUM DISTANCE OF ONE FOOT IS TO BE MAINTAINED BETWEEN DRIVEWAYS IN ORDER TO CREATE UNIT SEPARATION.
- 2) ALL AREAS WITHIN THE CONDOMINIUM PLAT AND OUTSIDE THE UNITS, ARE COMMON ELEMENTS (C.E.).
- 3) THE DEVELOPER/OWNER RESERVES THE RIGHT TO VARY THE NUMBER, ORIENTATION AND FLOOR PLAN OF THE BUILDINGS AND UNITS.
- 4) WETLAND DELINEATION BY MACH IV ENGINEERING & SURVEYING DATED OCTOBER 2010. WETLAND DELINEATION CONCURRENCE LETTER FROM WISCONSIN DEPARTMENT OF NATURAL RESOURCES DATED JUNE 11, 2012.
- 5) FLOOD PLAIN MAPPING BASED ON FEMA FIRM EFFECTIVE DATE OF JULY 22, 2010. REFERENCE COMMUNITY NAME OUTAGAMIE COUNTY, COMMUNITY NUMBER 550302, PANEL NUMBER 316 AND SUFFIX D.
- 6) A SHORELAND PERMIT FROM THE OUTAGAMIE COUNTY ZONING IS REQUIRED FOR UNITS 8-14 & 20-25 PRIOR TO ANY CONSTRUCTION, FILL OR GRADING ACTIVITY WITHIN 300 FEET OF A STREAM.
- 7) THE LAND ON ALL SIDE AND REAR LOT LINES OF ALL LOTS SHALL BE GRADED BY THE PROPERTY OWNER AND MAINTAINED BY THE ADJUTING PROPERTY OWNERS TO PROVIDE FOR ADEQUATE DRAINAGE OF SURFACE WATER.
- 8) DISTURBING OR FILLING ANY WETLAND WILL NOT BE ALLOWED WITHOUT STATE AND LOCAL PERMITS.
- 9) MAINTENANCE OF ALL DRAINAGE WAYS, INCLUDING EASEMENTS AS INDICATED ON THE PLAT AND ALONG SIDE AND REAR LOT LINES THAT CONVEY STORMWATER RUNOFF IN ACCORDANCE WITH THE APPROVED DRAINAGE PLAN, AND ASSOCIATED STRUCTURES WITHIN THE LAND DIVISION OR SERVING THE LAND DIVISION, IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNERS OF THE LAND DIVISION, UNLESS NOTED ON THE PLAN. UPON FAILURE OF PROPERTY OWNERS TO PERFORM MAINTENANCE OF THE DRAINAGE WAYS AND ASSOCIATED STRUCTURES WITHIN THE LAND DIVISION OR SERVING THE LAND DIVISION, THE TOWN OF GRAND CHUTE AND/OR OUTAGAMIE COUNTY RETAINS THE RIGHT TO PERFORM MAINTENANCE AND/OR REPAIRS. THE PAYMENT OF THE MAINTENANCE AND REPAIRS SHALL BE ASSESSED IN EQUAL AMOUNTS TO THE OWNERS OF ALL PROPERTY WITHIN THE LAND DIVISION, OR, WHERE THE CAUSER CAN BE SPECIFICALLY IDENTIFIED, THE PAYMENT SHALL BE ASSESSED TO A SPECIFIC PROPERTY OWNER.
- 10) UNLESS OTHERWISE NOTED, A DRAINAGE EASEMENT EXISTS UPON ALL EXISTING NAVIGABLE STREAMS, BETWEEN THE MEANDER LINES AS SHOWN.
- 11) NO STRUCTURES, FENCES OR PLANTINGS OTHER THAN GRASSES SHALL BE ALLOWED WITHIN THE DRAINAGE EASEMENTS HEREIN SET FORTH.
- 12) OUTLOT COVENANTS AS RECORDED IN THE PLAT OF EDGEWOOD ACRES, OUTAGAMIE COUNTY RECORDS.

**GCW INVESTMENTS LLC**

**EDGEWOOD ACRES  
CONDOMINIUM SOUTH**

**Mach IV**

*Engineering & Surveying LLC*

211 N. Broadway, Suite 114, Green Bay, WI  
PH: 920-569-5765 Fax: 920-569-5767

1129

DRAWING NUMBER

2 OF 2

SHEET NUMBER

SCALE:

PROJECT# 0003-20-15

CHECKED BY: ASC

DRAFTED BY: RJO

**Town of Grand Chute  
Site Plan Review  
Edgewood Acres Condominium South**

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**To:** Plan Commission  
**From:** Robert Buckingham, Community Development Director  
**Date:** April 14, 2016  
**Address:** 4810 Indigo Lane **App. #:** SP-06-16

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**REQUEST**

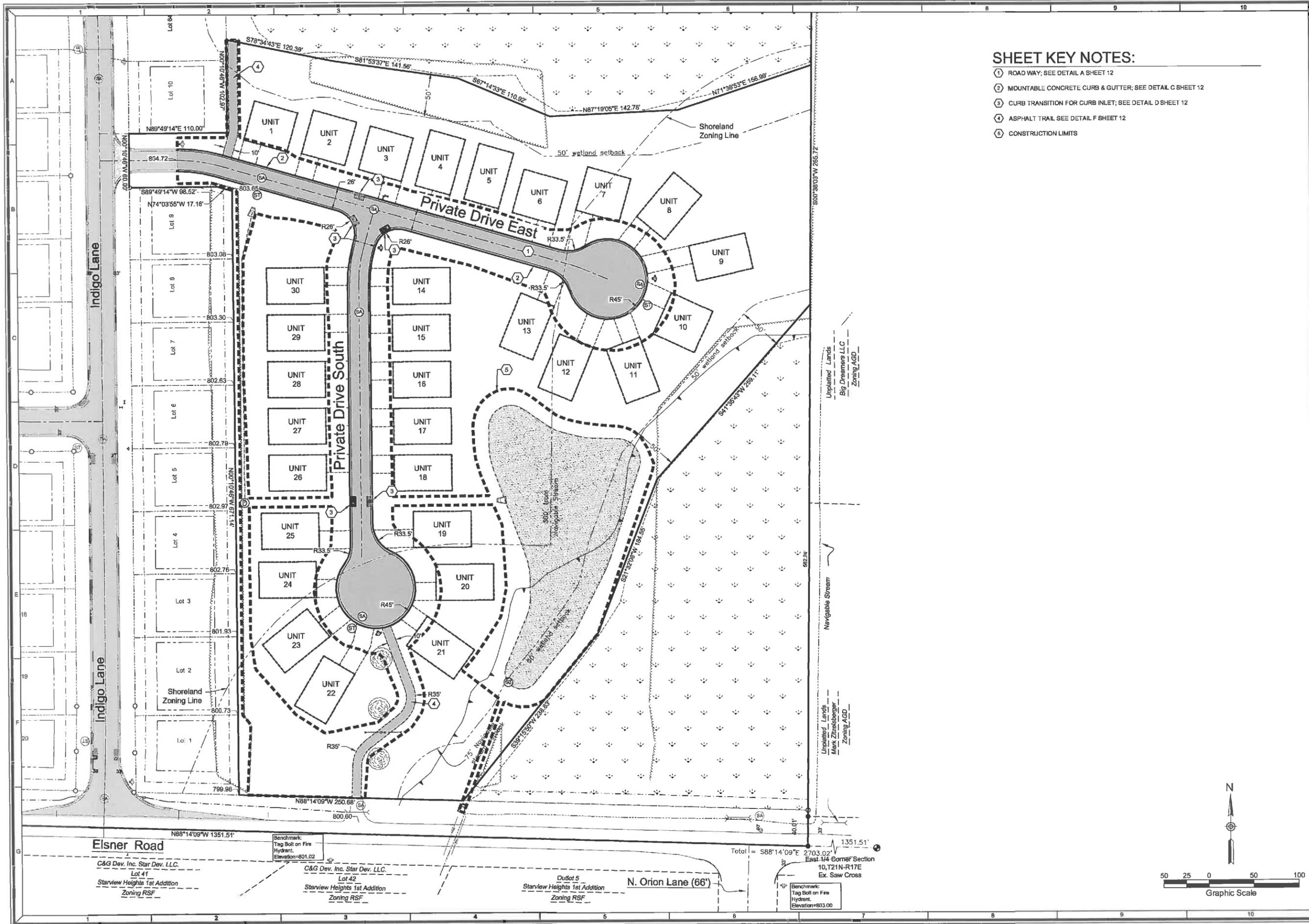
- 1. **Proposed Use(s):** Single-family condominium homes
- 2. **Project Description:** Construct 30 detached homes, private roads, stormwater pond, ped/bike trail and associated site improvements
- 3. **Plat/CSM Accurate parcel lines/lot recorded:** Yes; new condominium plat pending

**ANALYSIS**

This is the first of three condominium sites within the overall Edgewood Acres subdivision that previously received Town approval as a Planned Unit Development. The development will be served by private roads with access from Indigo Lane, in accordance with prior subdivision approvals. A ped/bike trail and easement is provided to extend through the condominium. It provides a connection point to the future ped/bike trail along Elsner Road, and provides the first leg of the north-south ped/bike trail between CTH JJ and Elsner Road. This trail will continue being constructed with future phases of the Edgewood Acres subdivision. Grading and filling work is needed to establish proper road grades, to provide required utility depths, to improve drainage and to build the stormwater pond. This work is incorporated in the site engineering plans that were approved by the Town Engineer. All of the homes will be 2-bedroom, 2-bath detached single family buildings, ranging up to 1670 s.f. in size, based on a set of available floor plans. Units will feature a 2-stall garage, full basement and first floor laundry. Some units will have a sunroom and some will have finished basements. All homes will feature patios, stone or brick fronts, and complete landscaping. The site plan meets all code requirements and is in conformance with Declaration of Condominium and the PUD Agreement covenants and easements.

**RECOMMENDATION**

**Staff has reviewed and supports Plan Commission approval of the Site Plan (SP-06-16) requested by GCW Investments, LLC, 4810 N. Indigo Lane, for the Edgewood Acres Condominium South, subject to approval of the Conditional Use Permit (CP-02-16) and Condominium Plat (CP-01-16) for the project.**



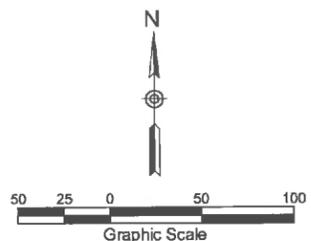
- SHEET KEY NOTES:**
- ① ROAD WAY; SEE DETAIL A SHEET 12
  - ② MOUNTABLE CONCRETE CURB & GUTTER; SEE DETAIL C SHEET 12
  - ③ CURB TRANSITION FOR CURB INLET; SEE DETAIL D SHEET 12
  - ④ ASPHALT TRAIL SEE DETAIL F SHEET 12
  - ⑤ CONSTRUCTION LIMITS

**Mach IV**  
 Engineering & Surveying LLC  
 211 N. Broadway, Suite 114, Green Bay, WI 54903  
 PH: 920-569-5765 Fax: 920-569-5707

GCW LLC  
**EDGEWOOD ACRES 3RD  
 ADDITION CONDO PLAT**  
 SITE PLAN

NO.	REVISION DESCRIPTION

DATE: FEBRUARY 21, 2016  
 DRAFTED BY: RPH  
 CHECKED BY:  
 PROJECT NO.: 0003-20-15  
 DRAWING NUMBER  
 SHEET NUMBER  
**6**  
 of 16

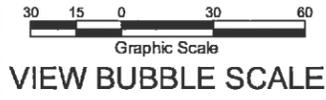
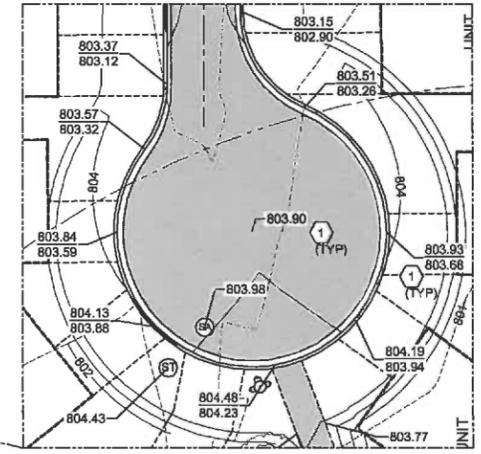
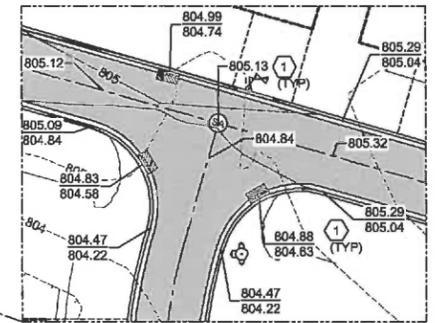
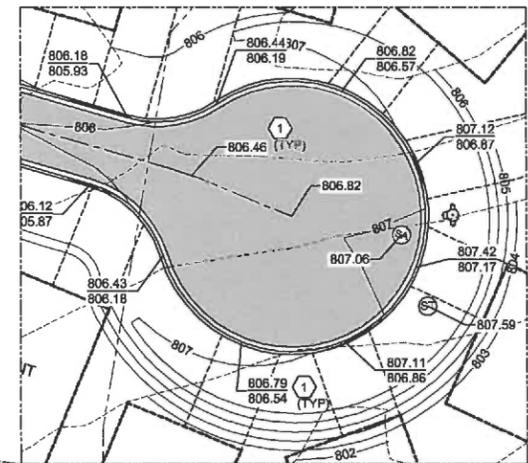


R:\Jobs\0003-20-15TM Edgewood 3rd Addition Condo PHD\DRAWINGS\0003-20-15 Eng.dwg 3/21/2016 9:37:37 AM



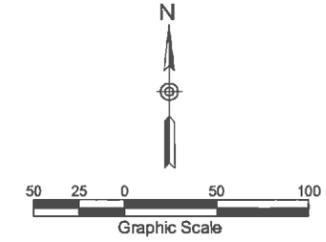
**SHEET KEY NOTES:**

- ① SPOT GRADE; SEE DETAIL A THIS SHEET
- ② STORMWATER POND; SEE SHEET 10
- ③ DRAINAGE FLOW ARROW
- ④ INFILTRATION BASIN, AVOID COMPACTION DURING CONSTRUCTION. TILL OR DISC SURFACE PRIOR TO SEEDING
- ⑤ GRADING LIMITS



- 636.60 T.O.C.
- 636.10 GUTTER/PVMT
- 636.70 FIN. GRADE

**A**  
**SPOT GRADE KEY**



**Mach IV**  
Engineering & Surveying LLC  
211 N. Broadway, Suite 114, Green Bay, WI 54303  
PH: 920-569-5763 Fax: 920-569-5767

GCW LLC  
**EDGEWOOD ACRES 3RD  
ADDITION CONDO PLAT**  
GRADING PLAN

NO.	REVISION DESCRIPTION

DATE: FEBRUARY 21, 2016  
DRAFTED BY: RPH  
CHECKED BY:  
PROJECT NO.: 0003-20-15  
DRAWING NUMBER  
SHEET NUMBER  
**9**  
of 16





11/2.

**Town of Grand Chute  
Rezoning Request  
Jared Van Lanen, on behalf of Donald J. Van Handel Family  
Wisconsin Limited Partnership**

---

**To: Plan Commission**

**From: Robert Buckingham, Community Development Director**

**Date: April 14, 2016**

**Address: 5325 N. Ballard Road**

**App. #: Z-05-16**

---

**REQUEST**

The applicant (Jared Van Lanen) has an offer to purchase on this Van Handel property. Sale is subject to the rezoning of the property. The intended use of the property is to continue the commercial service use of the existing building and to construct self storage buildings on the remainder of the site. The request is to rezone from **RSF Single-Family Residential District & IND Industrial District to CL Local Commercial District.**

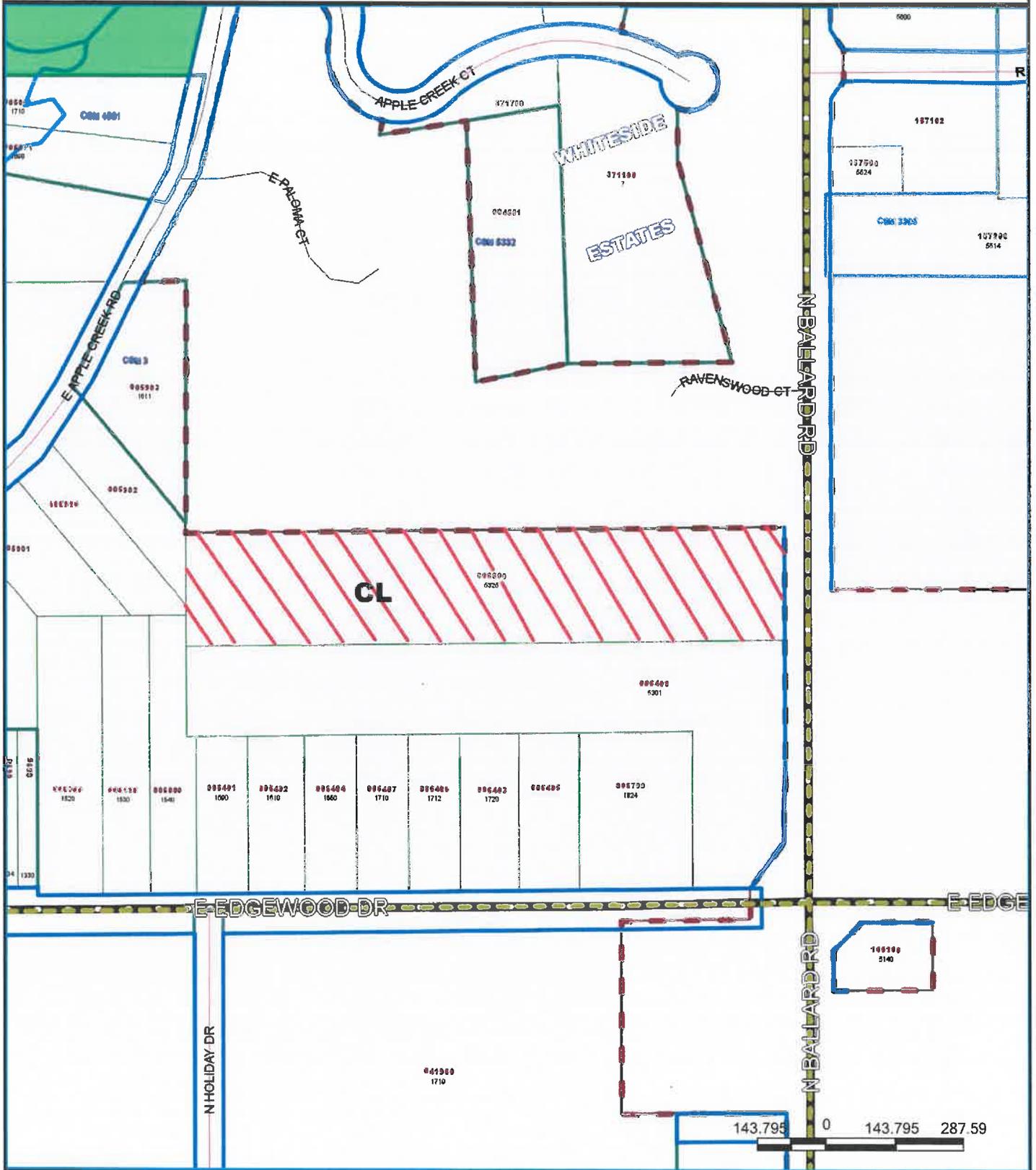
**ANALYSIS**

The requested rezoning to commercial classification and the intended use for the property is a favorable outcome, and provides a use more compatible with the neighborhood than the historic use for heavy equipment and materials stockpiling. Once the property is rezoned, Site Plan approval will be required before the storage buildings can be constructed. This will include review of landscape screening, lighting, and stormwater management. This rezoning action for commercial classification is consistent with the "commercial/industrial" land use designation in the Comprehensive Plan.

**RECOMMENDATION**

**Staff has reviewed and supports a Plan Commission recommendation to rezone the property at 5325 N. Ballard Road from RSF Single-Family Residential District and IND Industrial District to CL Local Commercial District. (Ordinance No. 05-2016)**

# Rezoning to CL - 5325 N. Ballard Road



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13/14.

**Town of Grand Chute  
Special Exception Request  
Baylake Corp, dba Nicolet National Bank**

---

**To: Plan Commission**

**From: Michael Patza, Town Planner**

**Date: April 14, 2016**

**Address: 333 S. Nicolet Road**

**App. #: SE-08-16**

---

**REQUEST**

- 1. Proposed Use:** Continued retail bank use
- 2. Project Description:** Operation of an electronic message center
- 3. Plat/CSM Accurate parcel lines/lot recorded:** Yes

**ANALYSIS**

Applicant seeks approval to operate an electronic message center that will be a part of a new pylon sign for its commercial bank location. The new sign will be 25' in height with a total size of 144 sq. ft., including a 53 sq. ft. electronic message center. The electronic message center will be equipped with automatic light sensors that adjust sign brightness according to the intensity of ambient light levels. The Sign Code enumerates a series of standards and technical requirements that must be met in the operation of this electronic message center.

**FINDINGS OF FACT IN GRANTING OF A SPECIAL EXCEPTION**

- a. The establishment, maintenance or operation of the proposed Special Exception use or structure at the proposed location will not be detrimental or injurious to the use and enjoyment of existing uses on adjacent properties or properties in the vicinity. *Found.***
- b. The establishment, maintenance or operation of the proposed Special Exception use or structure, alone or in combination with other existing Special Exception uses and structures in the vicinity will not cause traffic hazards. *Found.***
- c. Adequate provision is made for surface water drainage, ingress and egress to the property, and off-street parking. *Found.***
- d. Adequate public facilities and services are available for the proposed Special Exception use of structure. *Found.***

**RECOMMENDATION**

Staff has reviewed and supports a Plan Commission recommendation for approval of the Special Exception Permit (SE-08-16) requested by Baylake Corp, dba Nicolet National Bank, 333 S. Nicolet Road, to allow operation of an electronic message center.

# JONES SIGN

Your Vision. Accomplished.

March 17, 2016

To: Town of Grand Chute – Planning Commission & Town Board  
1900 Grand Chute Blvd.  
Grand Chute, WI 54913

RE: Special Exception Permit for Nicolet Bank – 333 S Nicolet Rd. Appleton, WI 54914

Jones Sign Company is currently working with our client, Nicolet Bank, to identify a number of bank branch buildings being converted from BayLake Bank to Nicolet Bank. The current scope of work at the subject property involves replacement of an existing pylon sign which is located at the corner of W Spencer Street and S Nicolet Road.

The existing three sided pylon sign with electronic message unit at this location is an older sign with a decorative brick/block base. It was determined that, due to the age of this sign and dated appearance, it would be more cost effective to remove and replace the sign in its entirety. The overall height of the existing sign is 25 feet.

Jones Sign and Nicolet Bank would like to construct a new, two sided pylon sign with a new electronic message unit in the same location as the existing sign. The new sign will also be 25 feet in overall height.

The unique location of this business lends itself to the use of a pylon style sign. This location is in close proximity to College Avenue (a major thoroughfare), Fox River Mall and Highway 41. The area surrounding is somewhat of a buffer area between a commercial area, a highway corridor and an urban type residential area. Therefore, a balance needs to be achieved in providing business identification, location and information while also not infringing on the residential neighborhoods. The proposed sign package along with the other landscaping features of the property will allow this business to reach out to its existing and future customer base while maintaining a good buffer between commercial and residential uses.

Considering that an existing pylon style sign with an electronic message unit currently exists at this location, and also considering that numerous other businesses in proximity to this location are currently displaying pylon signs and electronic message units, the current sign proposal will not be a detriment. The proposed sign and electronic message will blend in with other existing area businesses as well as future businesses looking to locate in this area. The new signs along with additional refreshments being proposed at this location will greatly improve the appearance of this branch location.

Sincerely,

Jones Sign Company  
On Behalf Of Nicolet Bank

Jones Sign Company  
1711 Scheuring Road  
DePere, WI 54115

**GREEN BAY • PHILADELPHIA • SAN DIEGO • LAS VEGAS**

Project Management • Fabrication • Installation • Repair & Maintenance • Architectural Features





**Town of Grand Chute  
Site Plan Amendment Review  
Baylake Corp, dba Nicolet National Bank**

---

**To:** Plan Commission

**From:** Michael Patza, Town Planner

**Date:** April 14, 2016

**Address:** 333 S. Nicolet Road

**App. #: SPA2-00-04**

---

**A. REQUEST**

- 1. Proposed Use(s):** Continued retail bank use
- 2. Project Description:** Remove existing pylon sign and install new pylon sign, including an electronic message center
- 3. Plat/CSM Accurate parcel lines/lot recorded:** Yes.

**B. ANALYSIS**

Applicant seeks approval for a new pylon sign that will include an electronic message center for its retail bank location. The sign will be 25' in height with a total size of 144 sq. ft., including a 53 sq. ft. electronic message center. All code requirements are met with this request.

**C. RECOMMENDATION**

Staff has reviewed and supports Plan Commission approval of the Site Plan Amendment (SPA2-00-04) requested by Baylake Corp, dba Nicolet National Bank, 333 S. Nicolet Road for a new pylon sign, including an electronic message center, subject to Town Board approval of a Special Exception (SE-08-16) for the property.

# JONES SIGN

Your Vision. Accomplished.

March 17, 2016

To: Town of Grand Chute – Planning Commission & Town Board  
1900 Grand Chute Blvd.  
Grand Chute, WI 54913

RE: Special Exception Permit for Nicolet Bank – 333 S Nicolet Rd. Appleton, WI 54914

Jones Sign Company is currently working with our client, Nicolet Bank, to identify a number of bank branch buildings being converted from BayLake Bank to Nicolet Bank. The current scope of work at the subject property involves replacement of an existing pylon sign which is located at the corner of W Spencer Street and S Nicolet Road.

The existing three sided pylon sign with electronic message unit at this location is an older sign with a decorative brick/block base. It was determined that, due to the age of this sign and dated appearance, it would be more cost effective to remove and replace the sign in its entirety. The overall height of the existing sign is 25 feet.

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Project Management • Fabrication • Installation • Repair & Maintenance • Architectural Features

SPA2-00-04 333 S. Nicolet Road



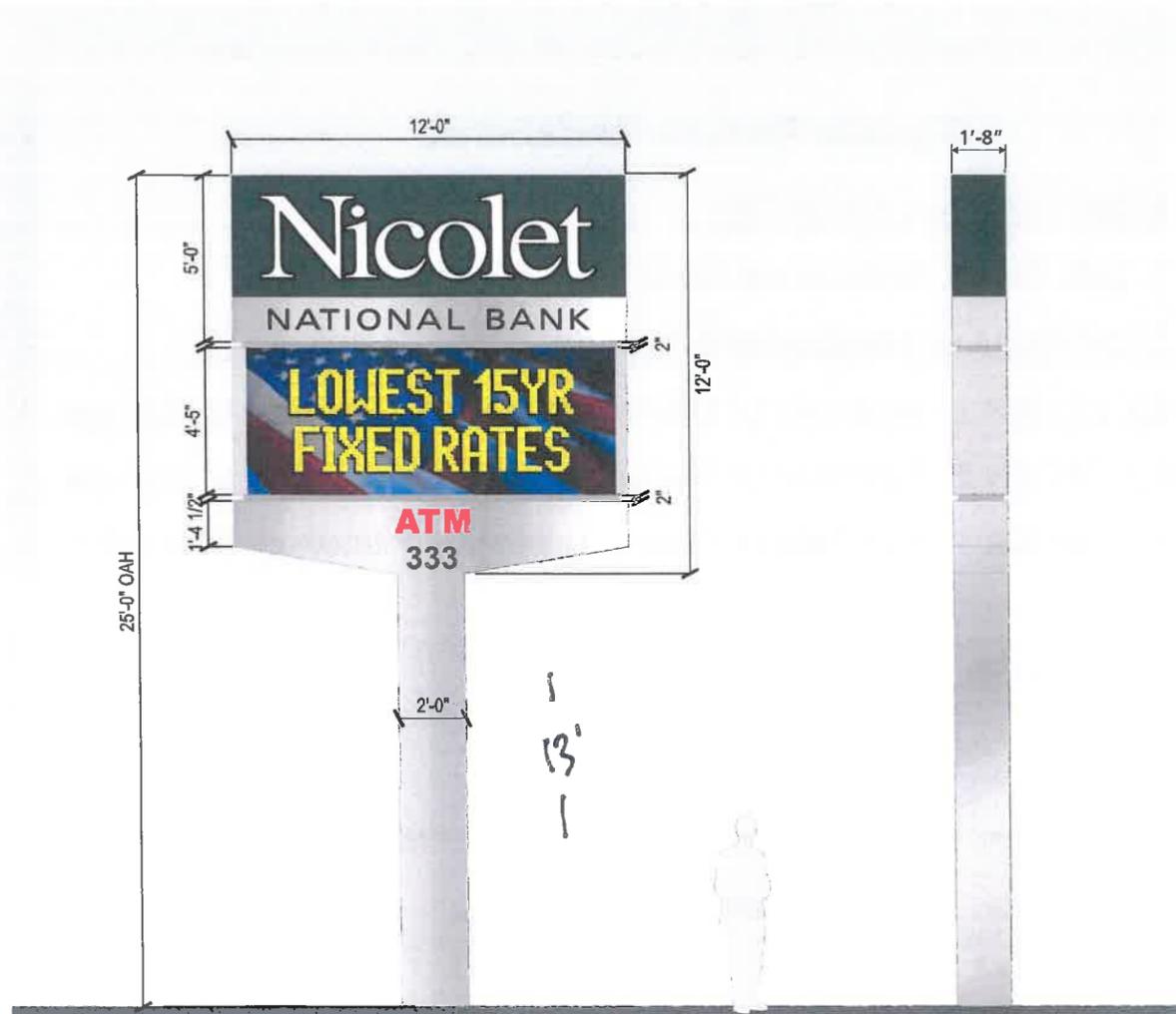
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# P.A D/F INTERNALLY LIT PYLON SIGN QTY: (1)

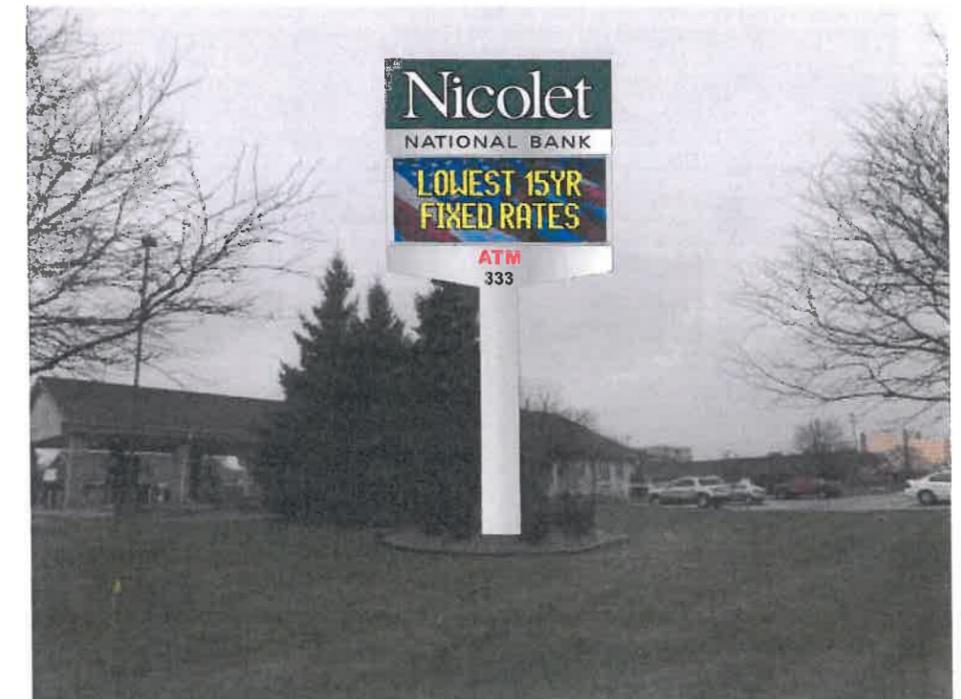
SQUARE FOOTAGE: 144 PER SIDE

FIELD SURVEY REQUIRED

144#



EXISTING PHOTO VIEW ~ NOT TO SCALE



PROPOSED PHOTO VIEW ~ NOT TO SCALE

### SPECIFICATIONS

1. FABRICATED CABINETS PAINTED P-1, P-2
2. LOGO AND ATM: ROUTED ALUMINUM FACES BACKED w/ WHITE POLYCARBONATE
3. VINYL APPLIED FIRST SURFACE TO POLYCARBONATE V-3, V-10
4. REVEALS PAINTED P-2
5. FULL COLOR EMC
6. INTERNALLY LIT w/ WHITE LEDs
7. POLE COVER PAINTED P-2
8. ADDRESS: VINYL APPLIED FIRST SURFACE TO POLE COVER SKIN V-5

### COLORS/FINISHES

- P-1 MP TO MATCH NICOLET GREEN
- P-2 MP TO MATCH METALLIC SILVER
- V-3 TRANSLUCENT VINYL TO MATCH TOMATO RED
- V-5 OPAQUE VINYL BLACK
- V-10 BLACK DUAL COLOR FILM

### NOTE

- REMOVE AND SCRAP EXISTING BAYLAKE PYLON
- MAINTAIN ASPECT RATIO OF OUTLINE FOR EACH INSTANCE

<b>JONES SIGN</b> Your Vision Accomplished GREEN BAY • PHILADELPHIA SAN DIEGO • LAS VEGAS www.jonessign.com	JOB #: 213006_R2 DATE: 12/10/15 DESIGNER: J. Sotka SALES REP: Scott Bertrand PROJ MGR: —	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>REV.</th> <th>DATE</th> <th>BY</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>01.04.16</td> <td>ATO</td> <td>Adv Face Replacement Call on Add Letter Set Size Option 1 Directional Copy Change / Rem... e Door Vinyl</td> </tr> <tr> <td>2</td> <td>02.16.16</td> <td>ER</td> <td>Page 1.0-Delete Page 1.1-Larger and lighter Code allow 25-20 in. x 10.1 in. Page 3.0-Change background to white Green Copy / Page 4.0-Strippe-Code allow 10.5 of the corresponding facade Page 6.0-Strippe-Code allow 10.5 of the corresponding facade</td> </tr> <tr> <td>3</td> <td>00.00.00</td> <td>XX</td> <td>XXXX</td> </tr> <tr> <td>4</td> <td>00.00.00</td> <td>XX</td> <td>XXXX</td> </tr> <tr> <td>5</td> <td>00.00.00</td> <td>XX</td> <td>XXXX</td> </tr> <tr> <td>6</td> <td>00.00.00</td> <td>XX</td> <td>XXXX</td> </tr> <tr> <td>7</td> <td>00.00.00</td> <td>XX</td> <td>XXXX</td> </tr> <tr> <td>8</td> <td>00.00.00</td> <td>XX</td> <td>XXXX</td> </tr> </tbody> </table>	REV.	DATE	BY	DESCRIPTION	1	01.04.16	ATO	Adv Face Replacement Call on Add Letter Set Size Option 1 Directional Copy Change / Rem... e Door Vinyl	2	02.16.16	ER	Page 1.0-Delete Page 1.1-Larger and lighter Code allow 25-20 in. x 10.1 in. Page 3.0-Change background to white Green Copy / Page 4.0-Strippe-Code allow 10.5 of the corresponding facade Page 6.0-Strippe-Code allow 10.5 of the corresponding facade	3	00.00.00	XX	XXXX	4	00.00.00	XX	XXXX	5	00.00.00	XX	XXXX	6	00.00.00	XX	XXXX	7	00.00.00	XX	XXXX	8	00.00.00	XX	XXXX	CLIENT APPROVAL _____ DATE _____ LANDLORD APPROVAL _____ DATE _____ QC <b>QC APPROVED</b> <small>By Rhoda Sealey at 2:15 pm, Feb 10, 2016</small>		Nicolet National Bank Appleton Location 333 S Nicolet Road Appleton, WI 54914 DESIGN PHASE: CONCEPTUAL	SHEET NUMBER <h1 style="font-size: 2em;">1.0</h1>
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**Town of Grand Chute  
Site Plan Sign Amendment Review  
Grand View Family & Cosmetic Dentistry**

---

**To: Plan Commission**

**From: Michael Patza, Town Planner**

**Date: April 14, 2016**

**Address: 381 S. Kools Street**

**App. #: SPA1-36-04**

---

**A. REQUEST**

- 1. Proposed Use(s):** Dentist office
- 2. Project Description:** Install new pylon sign
- 3. Plat/CSM Accurate parcel lines/lot recorded:** Yes.

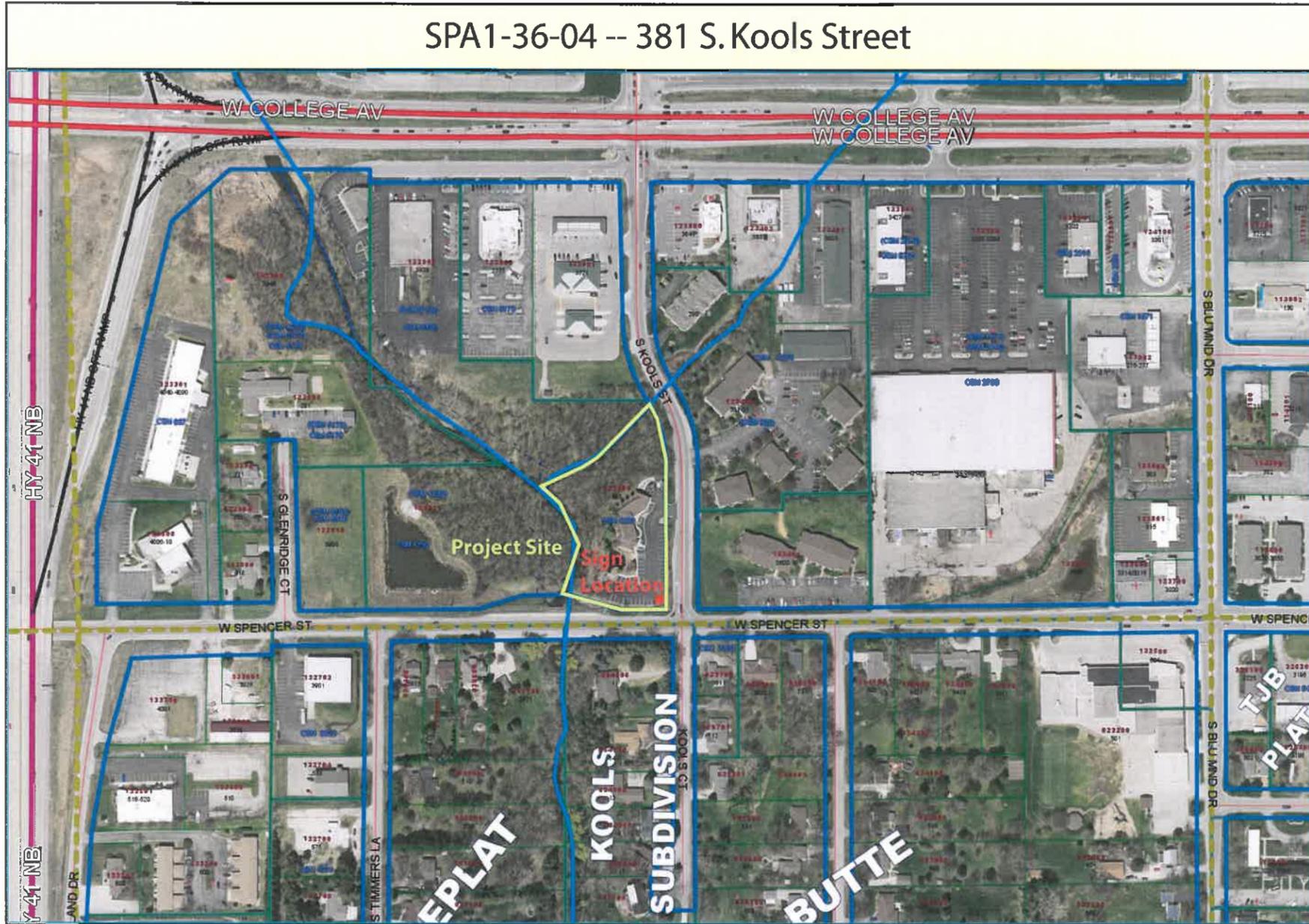
**B. ANALYSIS**

Applicant seeks approval for a new pylon sign for its current dentist office location. The sign will be a total of 90 sq. ft. in size and 25' in height. The new sign will be located on the corner of S. Kools Street and W. Spencer Street. All code requirements are met with this request.

**C. RECOMMENDATION**

**Staff has reviewed and supports Plan Commission approval of the Site Plan Amendment (SPA1-36-04) requested by Grand View Family & Cosmetic Dentistry, 381 S. Kools Street, for a new pylon sign.**

SPA1-36-04 -- 381 S.Kools Street

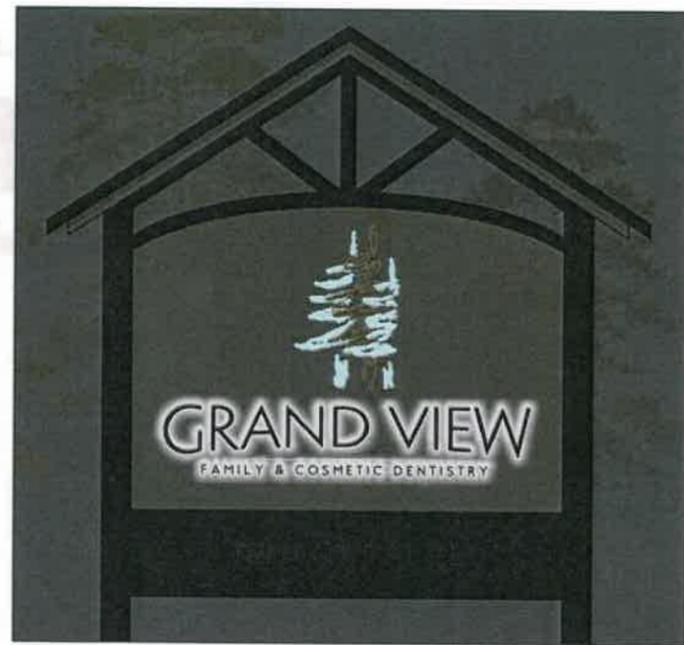
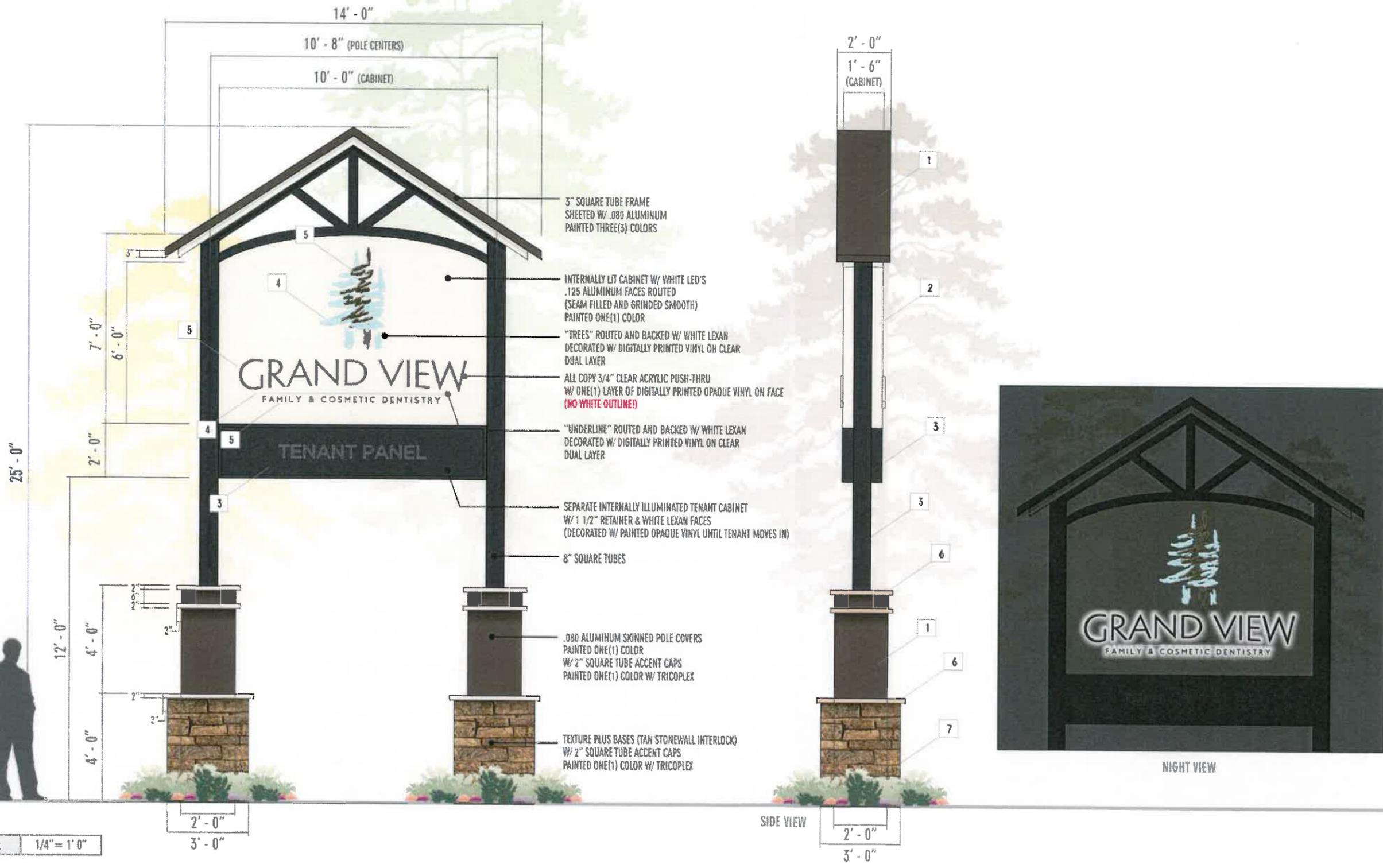


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**OPT #2**

90#



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COMPANY

2400 Holly Road • Neenah, WI 54956  
Tel: 920.734.1601 • Fax: 920.734.1622

[www.AppletonSIGN.com](http://www.AppletonSIGN.com)

CLIENT:	GRAND VIEW FAMILY DENTISTRY
STREET ADDRESS:	381 S. KOOLS ST.
CITY / STATE:	APPLETON, WI
SCOPE:	2015 - EXTERIOR SIGN PACKAGE
DATE:	11/23/15
SALES:	JOSH TURKOW
DESIGNER:	ERIC CATES

GENERAL SPECIFICATIONS	
VOLTAGE:	
POWER DRAW:	
SQUARE FOOTAGE:	

COLOR SCHEDULE	
1	PAINT: MATCH BUILDING ROOF (TBD)
2	PAINT: MATCH BUILDING WALLS(TBD)
3	PAINT: MATCH BUILDING TRIM (TBD)
4	PRINT: MATCH PMS 324c - LIGHT BLUE
5	PRINT: MATCH PMS 448c - DARK BROWN
6	PAINT: COMPLIMENT TEXTURE PLUS W/ TRICOPLEX (TBD)
7	TEXTURE PLUS: STONEWALL INTERLOCK (TAN)

REQUIRED ITEMS	
CLEAN ART?	

<input checked="" type="checkbox"/> FIELD SURVEY?	ANY PRICE ASSOCIATED WITH THIS DESIGN CAN NOT BE GUARANTEED. FINDINGS DURING A FIELD SURVEY MAY IMPACT ESTIMATED TIME/MATERIALS
<input checked="" type="checkbox"/> COLORS?	COLORS ON THIS DOCUMENT WERE SELECTED BY DESIGNER FOR CLIENT REVIEW. COLORS MUST BE APPROVED BY CLIENT PRIOR TO PRODUCTION
<input checked="" type="checkbox"/> MISC. ITEMS ?	DETAILED SHOP DRAWING REQUIRED PRIOR TO PRODUCTION

REVISION SCHEDULE	
12/30/15	REVISED DESIGN
02/12/16	REVISED DESIGN
02/25/16	REVISED DESIGN
03/08/16	ADDED DETAILS

PLEASE SIGN BELOW STATING THAT THIS DESIGN IS APPROVED

BY SIGNING THIS DOCUMENT, YOU ARE AGREEING TO ALL SPECIFICATIONS/SCOPE OF WORK DESCRIBED ON THIS DRAWING & THE PROPOSAL MATCHING THE DESIGN ID #. PRODUCTION OF THIS PROJECT WILL NOT BE ALLOWED WITHOUT A SIGNATURE.

**FABRICATE ONE(1) D/F INTERNALLY LIT PYLON SIGN (SEE DETAILS ON PAGE 2)**

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CLEAN UP OF LOGO REQUIRED PRIOR TO PRODUCTION

**9276-1-R2** **4**

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**Town of Grand Chute  
Site Plan Review  
The D & D Enterprises Family Limited Partnership, dba Harley-  
Davidson of Appleton**

---

**To:** Plan Commission  
**From:** Michael Patza, Town Planner  
**Date:** April 14, 2016

**Address:** 2601 N. McCarthy Road

**App. #: SP-07-16**

---

**REQUEST**

- 1. Proposed Use(s):** Motorcycle storage and training center
- 2. Project Description:** Construction of a new building, outdoor motorcycle training course, and associated site improvements
- 3. Plat/CSM Accurate parcel lines/lot recorded:** Yes.

**ANALYSIS**

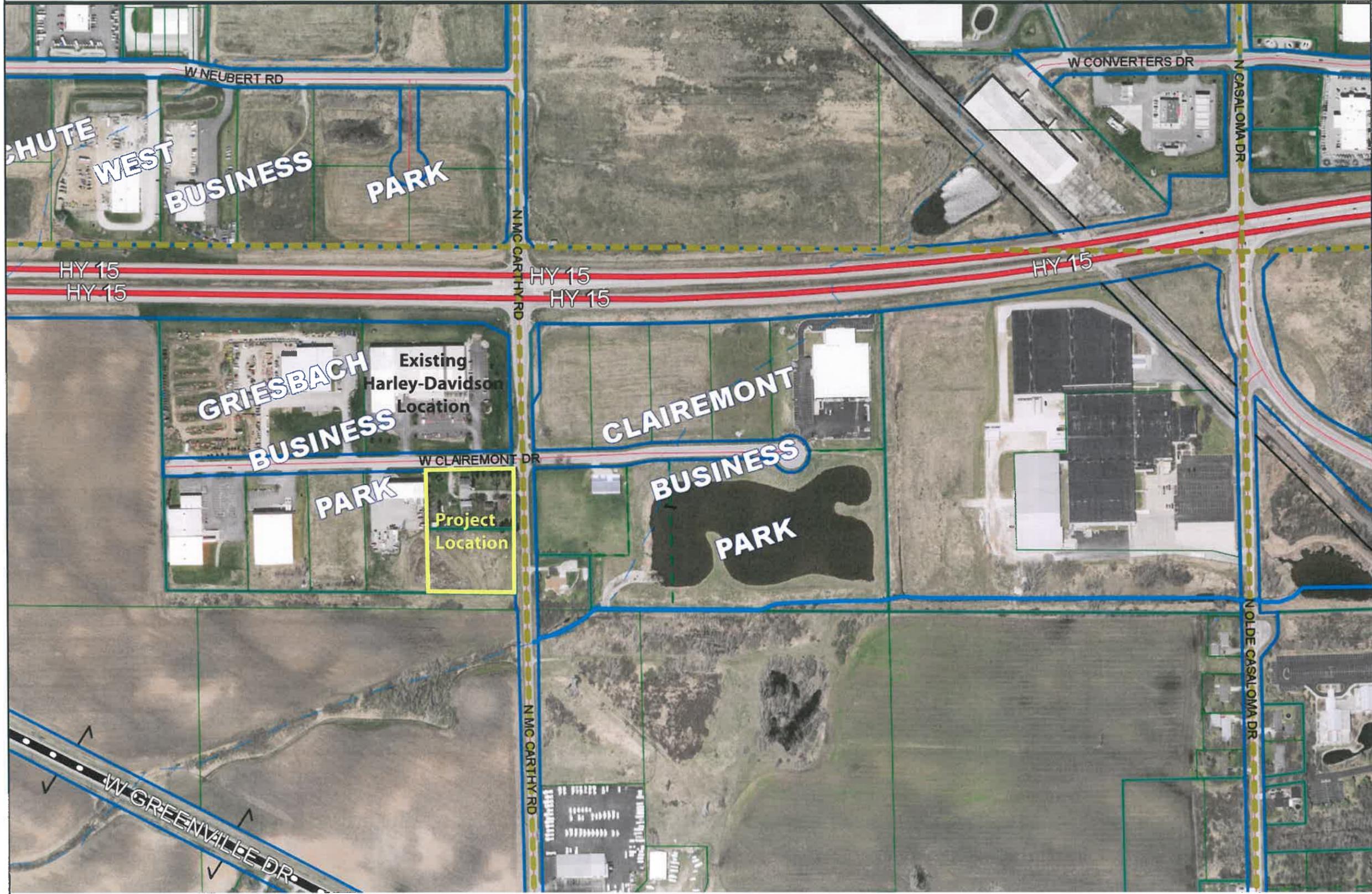
Applicant proposes the construction of a new building and a motorcycle training course on this 3.27 acre parcel. The new development will be a part of the existing Harley-Davidson business located on the north side of W. Clairemont Drive. The 20,000 sq. ft. building will be used for classrooms for the motorcycle training program and indoor motorcycle storage. The training course was designed to create a safe environment for participants by following the requirements established by the Wisconsin Department of Transportation and Harley-Davidson.

Due to the unique nature of this project and the large amount of uninterrupted pavement needed for the training course, some modifications to the standard landscape requirements were made. Staff worked with the developer to ensure the intent of the landscaping requirements were met while accommodating the space required for the training course. The Landscape and Site Lighting Plans have been approved by staff. Drainage and Erosion Control Plans have been approved by the Town Engineer. All other code requirements are met with this request.

**RECOMMENDATION**

**Staff has reviewed and supports Plan Commission approval of the Site Plan (SP-07-16) requested by The D & D Enterprises Family Limited Partnership, dba Harley-Davidson of Appleton, 2601 N. McCarthy Road, for construction of a new building, an outdoor motorcycle training course, and associated site improvements.**

# SP-07-16 -- 2601 N. McCarthy Road

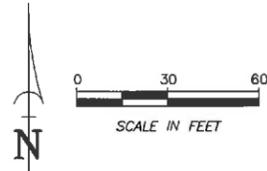


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# SITE PLAN

## LOCATION MAP



### BUILDING SIZE

PROPOSED BUILDING 20,000 SF  
SPRINKLERED BUILDING

### APPLICABLE BUILDING CODE

2009 IBC

### CONSTRUCTION CLASSIFICATION

TYPE 2B METAL BUILDING

### SITE DATA

LOT AREA = 142,639 SF (3.274 AC)

### LOT PROJECT AREA

EXISTING OPEN SPACE = 136,219 SF (3.104 AC)  
EXISTING IMPERVIOUS AREA = 7,420 SF (0.170 AC)

PROPOSED OPEN SPACE = 48,089 SF (1.104 AC)  
PROPOSED IMPERVIOUS AREA = 94,550 SF (2.170 AC)

### ZONING DATA

CURRENT ZONING DISTRICT:  
GENERAL AGRICULTURE (AGD)  
INDUSTRIAL (IND)

### PARKING CALCULATIONS

REQUIREMENTS OF CODE 535-49

### LANDSCAPING REQUIREMENTS

REQUIREMENTS OF CODE 535-62

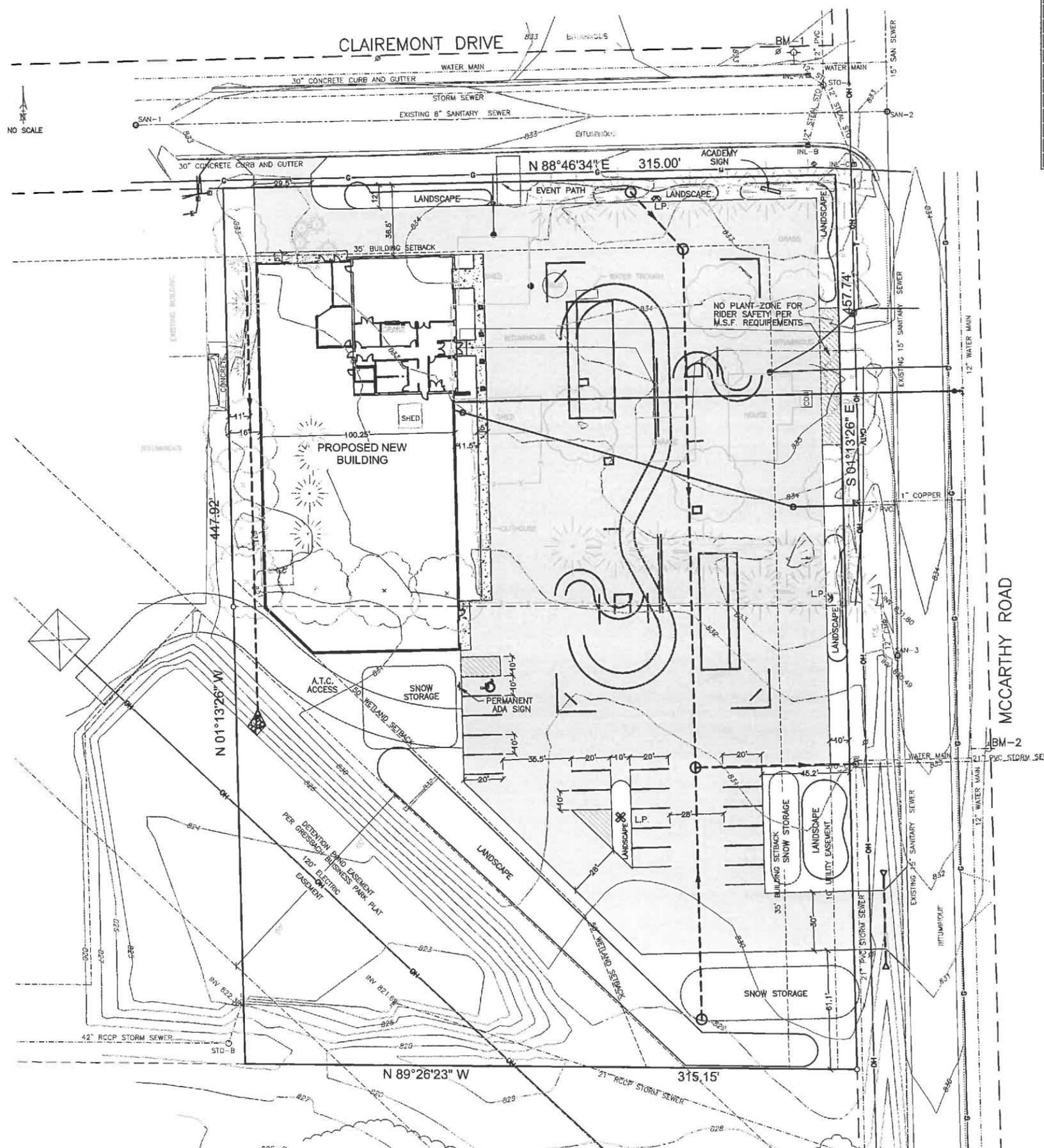
### NRCS SOILS

HyB-HORTONVILLE SILT LOAM  
Hydrologic Soil Type C.

McA-MANAWA SILTY CLAY LOAM  
Hydrologic Soil Type D.

### LEGAL DESCRIPTION

ALL OF LOT 1 OF GRIESBACH BUSINESS PARK, FILED IN CABINET H OF PLATS ON SLIDE 20-21-22, AS DOCUMENT NO. 1291325, AND PART OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 19, TOWNSHIP 21 NORTH, RANGE 17 EAST, TOWN OF GRAND CHUTE, OUTAGAMIE COUNTY, WISCONSIN.



INDEX OF SHEETS	
DRAWING NO.	DESCRIPTION:
C1.0	SITE PLAN
C1.1	SITE PLAN KEY NOTES
C1.2	TOPOGRAPHIC SURVEY
C2.0	UTILITY LAYOUT PLAN
C3.0	DRAINAGE PLAN
C4.0	EROSION CONTROL PLAN
C4.1	EROSION CONTROL DETAILS
C4.2	EROSION CONTROL DETAILS
C5.0	STANDARD DETAIL DRAWINGS
C5.1	STANDARD DETAIL DRAWINGS
L1.0	LANDSCAPING PLAN

### SITE/PROJECT INFORMATION

PROPERTY ADDRESS:  
2601 NORTH McCARTHY ROAD  
APPLETON, WI 54913  
PARCEL NUMBER: 101083901

### OWNER/APPLICANT:

D&D ENTERPRISES FAMILY LTD PARTNERSHIP  
5322 CLAIREMONT DRIVE  
APPLETON, WI 54913

### PROJECT ARCHITECT:

UTSCHIG, INC.  
ATTN: JEREMY WESENER  
11040 CRAFTSMEN DRIVE  
GREENVILLE, WI 54942  
jeremy@utschiginc.com  
PHONE: (920) 209-1193

### ENGINEER:

MARTENSON & EISELE, INC.  
ATTN: JEFF SCHULTZ, P.E.  
1377 MIDWAY ROAD  
WENASHA, WI 54982  
jeff@martenson-eisele.com  
PHONE: 920-731-0381

SITE PLAN LEGEND	
	PROPOSED ASPHALT (LIGHT DUTY)
	PROPOSED CONCRETE

- ### SITE PLAN NOTES
- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL TOWN OF GRAND CHUTE REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
  - ALL DISTURBED AREAS ARE TO RECEIVE FOUR INCHES OF TOPSOIL, SEED, MULCH AND WATER UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED.
  - ALL DIMENSIONS ARE TO THE EDGE OF BUILDING OR FACE OF CURB.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
  - NO HAZARDOUS MATERIALS WILL BE STORED ON SITE.
  - ALL STOP SIGNS SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE FEDERAL HIGHWAY ADMINISTRATION M.U.T.C.D. LATEST VERSION.
  - THE CONTRACTOR AND/OR OWNER SHALL NOT PROCEED WITH LAND DISTURBING ACTIVITIES PRIOR TO RECEIVING WRITTEN NOTICE TO PROCEED FROM THE ENGINEER.
  - NO OUTDOOR STORAGE OR DISPLAY IS PROPOSED.

PERTINENT CONTACTS	CONTACT PERSON	PHONE
UTSCHIG, INC.	JEREMY WESENER	920-209-1193
TOWN OF GRAND CHUTE	ROBERT BUCKINGHAM	920-832-1599
SURVEYOR	GARY ZAHNINGER	920-731-0381
ENGINEER	JEFF SCHULTZ	920-731-0381

TOPOGRAPHIC LEGEND	
	1" x 18" IRON PIPE SET
	1-1/4" x 30" REBAR SET
	CHISELED "X" SET
	3/4" REBAR FOUND
	1" IRON PIPE FOUND
	1-1/4" REBAR FOUND
	2" IRON PIPE FOUND
	CHISELED "X" FOUND
	GOVERNMENT CORNER RECORDED AS
	CONIFEROUS TREE
	DECIDUOUS TREE
	WETLANDS
	SOIL BORING
	OVERHEAD POWER LINES
	UNDERGROUND ELECTRIC
	UNDERGROUND TELEPHONE
	FIBER-OPTIC
	UNDERGROUND GAS
	UNDERGROUND CABLE TV
	EXIST. FENCE LINE
	SIGN
	POWER POLE
	LIGHT POLE
	TELEPHONE PEDESTAL
	ELECTRIC PEDESTAL
	CABLE PEDESTAL
	EXIST. HYDRANT
	WATER VALVE
	WATER STOP BOX
	GAS VALVE
	EXIST. STORM MANHOLE
	STORM INLET
	YARD DRAIN
	EXIST. SANITARY MANHOLE
	EXIST. SAN. SEWER
	EXIST. STO. SEWER
	EXIST. WATER MAIN
	EXIST. SPOT ELEVATION
	CONTOUR w/ ELEVATION
	EXIST. TOP OF CURB ELEV.
	EXIST. FLOW LINE ELEV.
	FF = 000.00 FIRST FLOOR = 000.00
	TOPSOIL DEPTH
	INFILTRATION SOIL BORING

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info@martenson-eisele.com  
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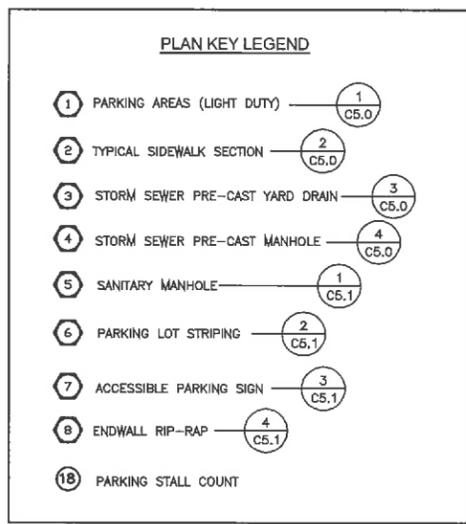
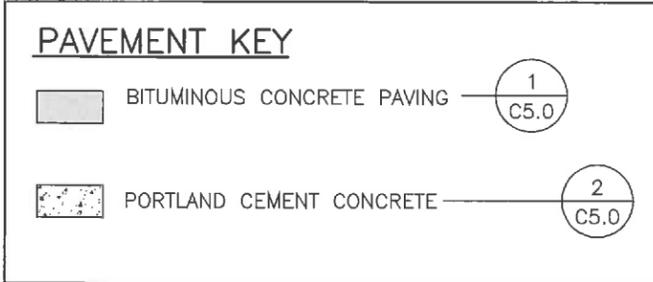
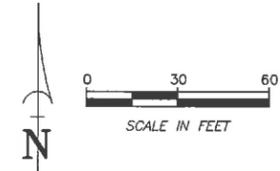
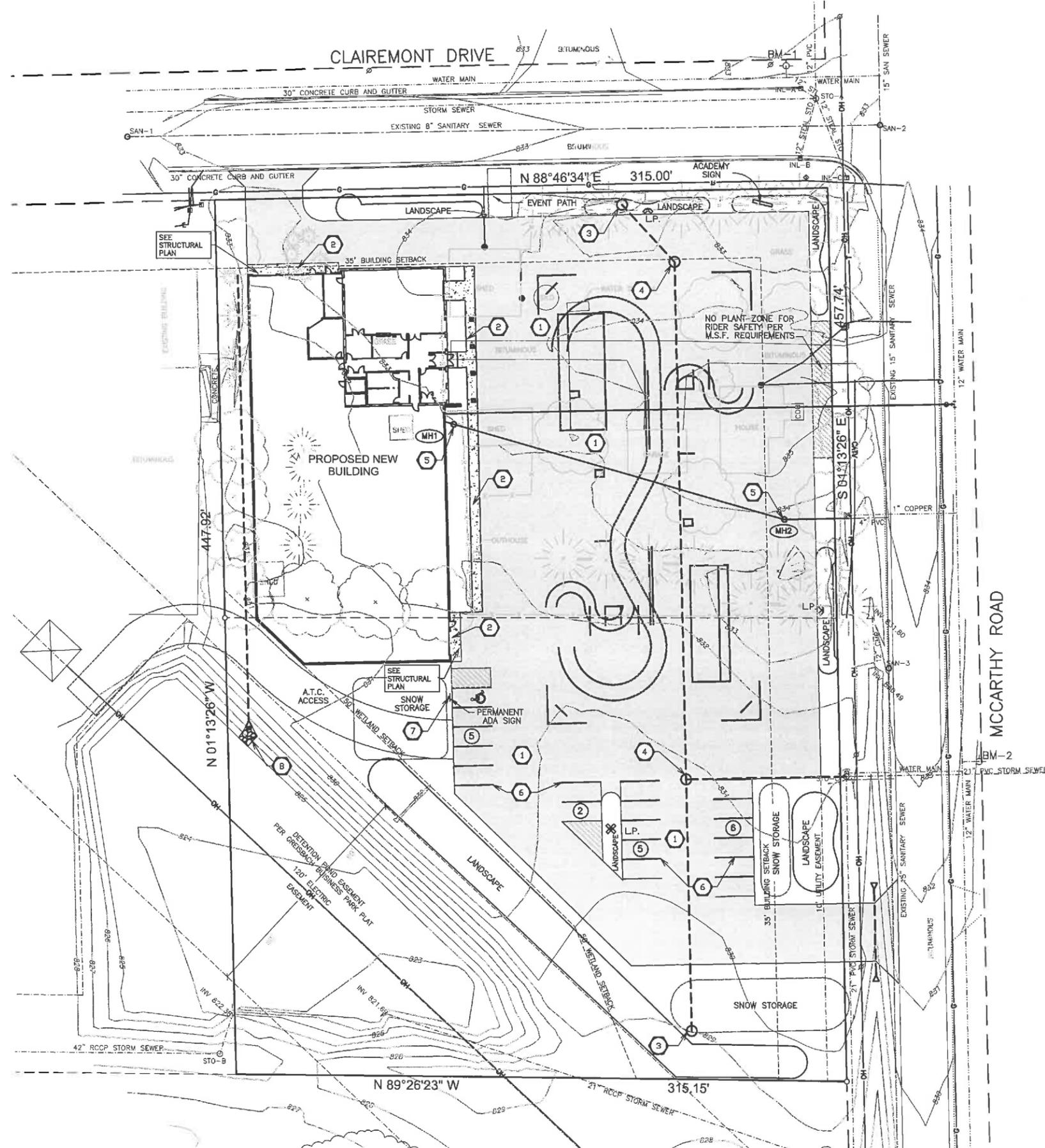
NO.	DATE	BY	REVISION

**SITE PLAN**  
**HARLEY RIDING ACADEMY**  
TOWN OF GRAND CHUTE, OUTAGAMIE COUNTY, WISCONSIN

SCALE: BAR SCALE  
DATE: 3/21/16  
COMPUTER FILE: 1-0178-003de.dwg

DRAWING NO. C1.0

# SITE PLAN KEY NOTES



**Martenson & Eisele, Inc.**  
 Planning  
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1377 Midway Road  
 Menasha, WI 54952  
 www.martenson-eisele.com  
 info@martenson-eisele.com  
 920.731.0381 1.800.236.0381

DRAWN BY	EAE	DATE	NO.	REVISION	APPROVED	JMS

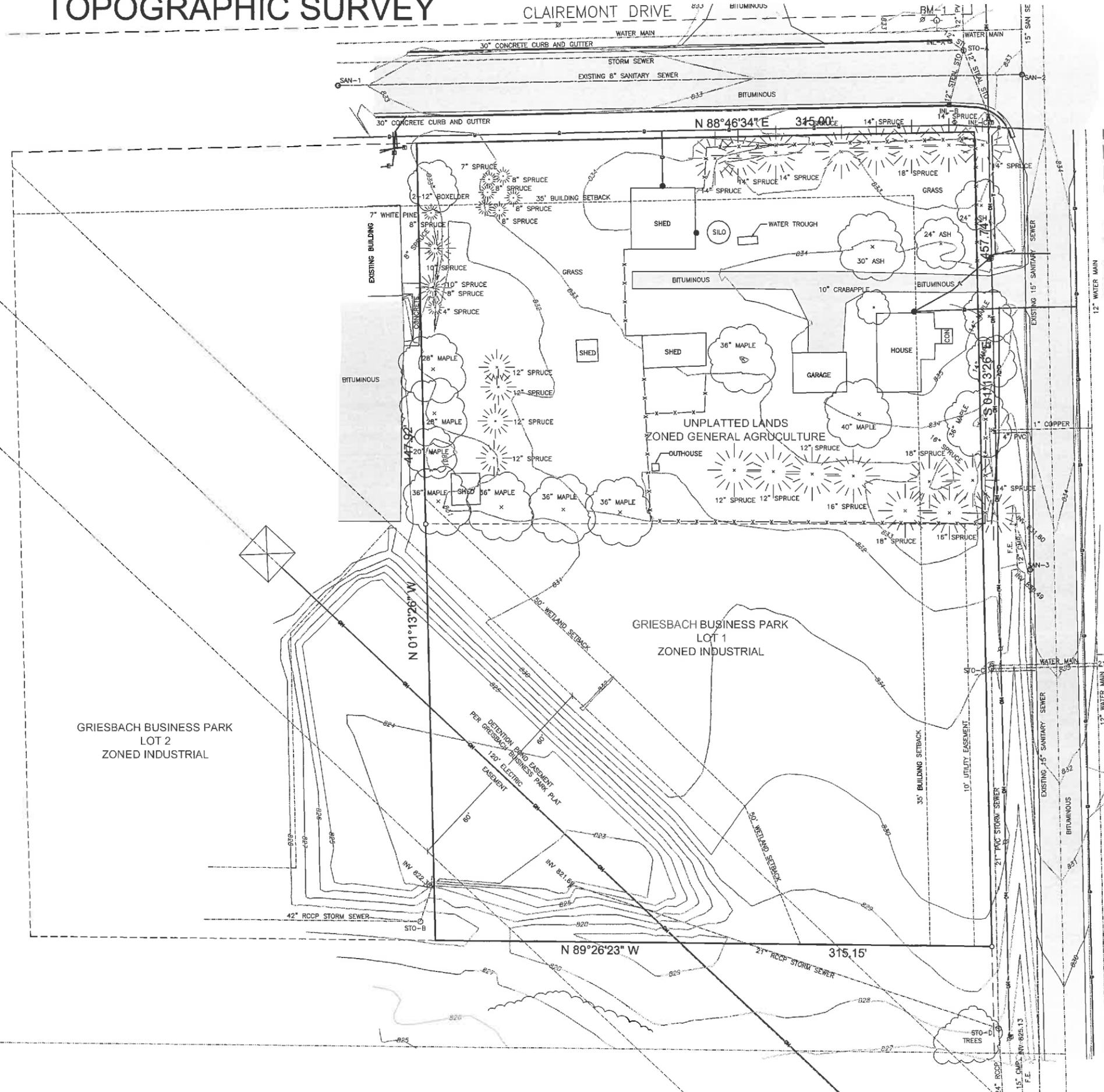
**SITE PLAN KEY NOTES**  
**HARLEY RIDING ACADEMY**  
 TOWN OF GRAND CHUTE, OUTAGAMIE COUNTY, WISCONSIN

SCALE	DATE
BAR SCALE	3/21/16
COMPUTER FILE	
1-0178-003de.dwg	

DRAWING NO.  
C1.1

# TOPOGRAPHIC SURVEY

CLAIREMONT DRIVE



BENCHMARK DATA		
I.D.	DESCRIPTION:	ELEVATION:
1	TAG BOLT ON HYDRANT ON CLAIREMONT DRIVE	834.61
2	TAG BOLT ON HYDRANT ON MCCARTHY ROAD	832.63



TO OBTAIN LOCATION OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

CALL 811 or Toll Free 1-800-242-8511 (262)432-7910  
 Emergency Only (877) 500-9592  
 FAX 1-800-338-3880  
 FAX (414) 259-0947  
 Hearing Impaired TDD 1-800-642-2289

MS. STATUTE 182.075 (1975)  
 REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE

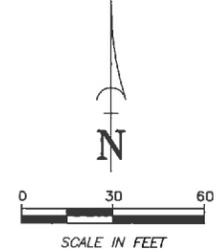
**TOPOGRAPHIC SURVEY NOTES**

1. UTILITY AND LATERAL LOCATIONS SHOWN ARE BASED ON FIELD MARKINGS BY LOCATING COMPANIES AND/OR MAPPING FROM THE RESPECTIVE UTILITY. THEREFORE THE LOCATIONS SHOWN ON THIS DRAWING CANNOT BE GUARANTEED. CONTACT DIGGERS HOTLINE

2. BASE SURVEY WAS PREPARED BY M&E, JANUARY 2016. UNDERGROUND UTILITIES AND STRUCTURES HAVE BEEN SHOWN TO A REASONABLE DEGREE OF ACCURACY AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THEIR EXACT LOCATION AND AVOID DAMAGE THEREOF.

3. HORIZONTAL DATUM IS BASED OUTAGAMIE COUNTY, WISCONSIN COUNTY COORDINATE SYSTEM.

EXISTING UTILITY SCHEDULE			
STRUCTURE ID#	RIM ELEVATION	INVERT ELEVATION	STRUCTURE DEPTH (FT.)
SAN-1	832.88	820.18 E	12.68 E
SAN-2	833.30	807.40 N-S	25.9 N-S
SAN-3	832.99	806.79 N-S	26.2 N-S
STO-A	832.42	828.46 N	3.96 N
		828.15 NW	4.27 NW
		828.08 SE-SW	4.34 SE-SW
STO-B	829.03	822.35 N	6.68 N
		822.40 W	6.63 W
STO-C	831.20	820.14 S-E	11.06 S-E
STO-D	827.89	821.09 N	6.80 N
INL-A	832.02	828.38 SE	3.64 SE
INL-B	832.02	828.34 NE	3.68 NE
INL-C	831.15	826.40 NW	2.75 NW



TOPOGRAPHIC LEGEND		
1" x 18" IRON PIPE SET	OVERHEAD POWER LINES	◇ GAS VALVE
1-1/4" x 30" REBAR SET	UNDERGROUND ELECTRIC	◇ EXIST. STORM MANHOLE
CHEELED "X" SET	UNDERGROUND TELEPHONE	◇ STORM INLET
3/4" REBAR FOUND	UNDERGROUND TELEPHONE FIBER	◇ 1/8" IRON
1" IRON PIPE FOUND	UNDERGROUND GAS	◇ EXIST. SANITARY MANHOLE
1-1/4" REBAR FOUND	UNDERGROUND CABLE TV	◇ EXIST. SAN. SEWER
2" IRON PIPE FOUND	EXIST. FENCE LINE	◇ EXIST. STO. SEWER
CHEELED "X" FOUND	EXIST. SIGN	◇ EXIST. WATER MAIN
GOVERNMENT CORNER RECORDED AS	POWER POLE	◇ EXIST. SPOT ELEVATION
CONIFEROUS TREE	GUY	◇ CONTOUR W/ ELEVATION
DECIDUOUS TREE	LIGHT POLE	◇ EXIST. TOP OF CURB ELEV.
EXIST. WOODS LINE	TELEPHONE PEDESTAL	◇ EXIST. FLOW LINE ELEV.
WETLANDS	ELECTRIC PEDESTAL	FF = 000.00 FIRST FLOOR = 000.00
TELEPHONE MANHOLE	CABLE PEDESTAL	◇ TOPSOIL DEPTH
	EXIST. HYDRANT	◇ INFILTRATION SOIL BORING
	WATER VALVE	◇ METER
	WATER STOP BOX	

Accuracy can be impacted by winter conditions, i.e. snow cover and frost heave. Martenson & Eisele, Inc. makes no warranty for inaccuracies caused by these winter conditions.

ZONING/BUILDING SETBACKS	
GENERAL AGRICULTURE	INDUSTRIAL
FRONT: MINIMUM 25'	FRONT: MINIMUM 35'
SIDE: MINIMUM 20'	SIDE: MINIMUM 10'
REAR: MINIMUM 25'	REAR: MINIMUM 25'

**SURVEYOR'S CERTIFICATE**  
 I, GARY A. ZAHNINGER, HEREBY CERTIFY THAT I HAVE SURVEYED THE PROPERTY AS SHOWN AND DESCRIBED ACCORDING TO THE OFFICIAL RECORDS AND THAT THIS DRAWING IS AN ACCURATE AND CORRECT REPRESENTATION THEREOF, TO THE BEST OF MY KNOWLEDGE AND BELIEF. THE VERTICAL ACCURACY OF THIS INFORMATION SHOWN IS WITHIN 0.50" OR 1/2" OF THE CONTOUR INTERVAL, WHICH IS INDUSTRY STANDARD. THE MINIMUM HORIZONTAL ACCURACY OF THE INFORMATION BETWEEN POINTS SHALL BE 1 PART IN 3,000 ON ALL PROPERTY LINES OF THE BOUNDARY OR INTERIOR SURVEY, WHICH IS THE REQUIREMENT SET FOR MINIMUM STANDARD FOR PROPERTY SURVEYS PER A-5 7.06

DATED THIS THE 19TH DAY OF JANUARY, 2016

GARY A. ZAHNINGER, PROFESSIONAL WI LAND SURVEYOR S-2098

**Martenson & Eisele, Inc.**  
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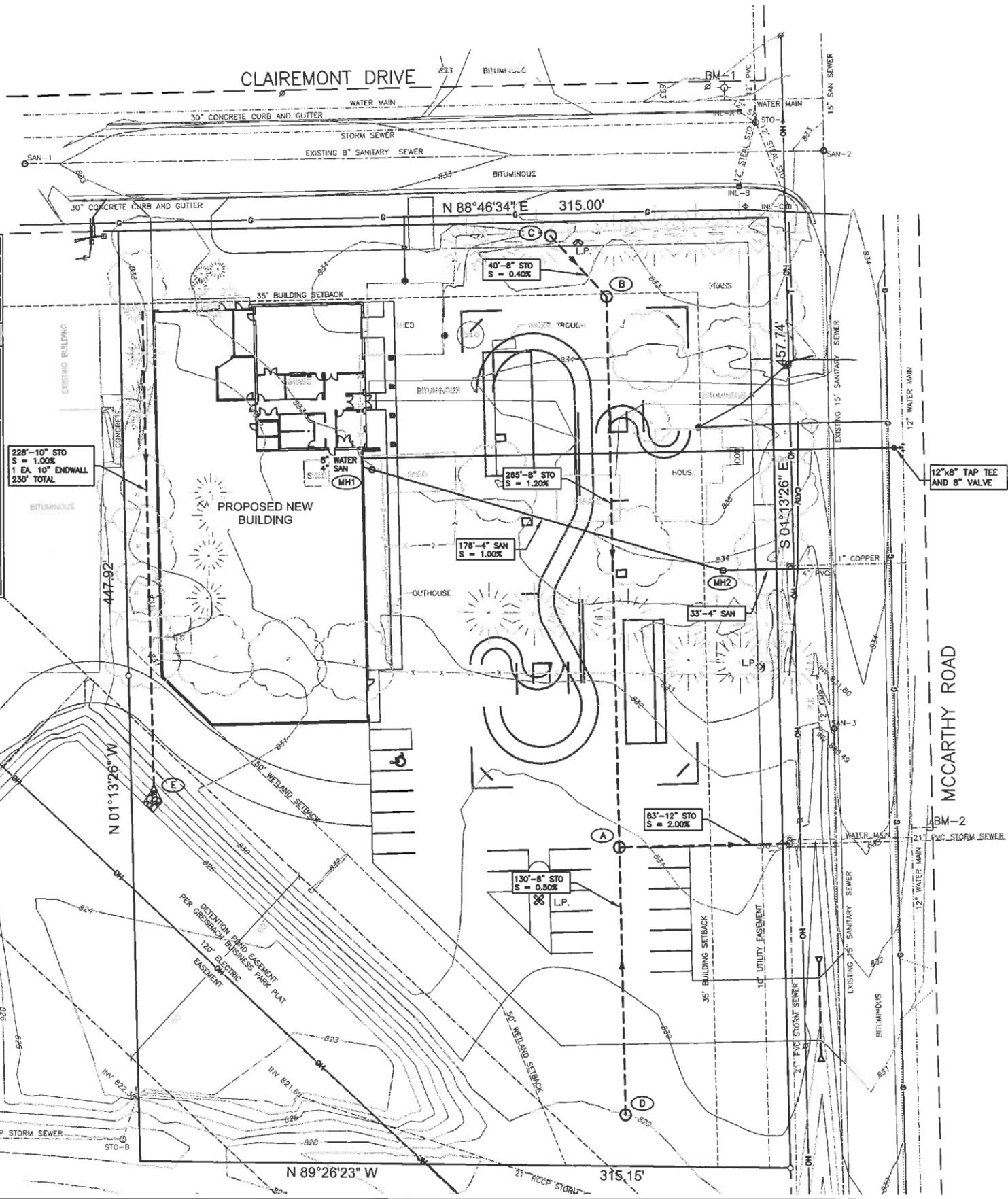
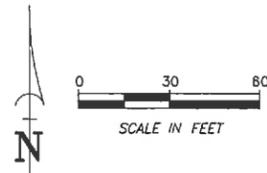
DRAWN BY	L. LUCHT	DATE	NO.	REVISION	GAZ	APPROVED

TOPOGRAPHIC SURVEY  
 HARLEY RIDING ACADEMY  
 TOWN OF GRAND CHUTE, OUTAGAMIE COUNTY, WISCONSIN

SCALE	DATE
BAR SCALE	3/21/16
COMPUTER FILE	
1-0178-0031	

DRAWING NO.  
 C1.2

# UTILITY LAYOUT PLAN



BENCHMARK DATA		
I.D.	DESCRIPTION:	ELEVATION:
1	TAG BOLT ON HYDRANT ON CLAIREMONT DRIVE	834.61
2	TAG BOLT ON HYDRANT ON MCCARTHY ROAD	832.63



TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

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(262)432-7910

Emergency Only (877) 500-9592  
FAX 1-800-338-3860  
FAX (414) 258-0947  
Hearing Impaired TDD 1-800-542-2289

WS. STATUTE 182.0175 (1974)  
REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE

PROPOSED UTILITY SCHEDULE				
STRUCTURE ID#	RIM ELEVATION	INVERT ELEVATION	STRUCTURE DEPTH (FT.)	TYPE
E	-	827.00	-	ENDWALL
D	828.50	8" N 824.50	4.00'	YARD DRAIN
C	832.50	8" SE 829.00	3.50'	YARD DRAIN
B	833.00	8" NW 828.84 8" S 828.66	4.32'	36" DIA. GRATED LID
A	830.45	8" N 825.50 8" S 823.85 12" E 823.60	6.85'	36" DIA. GRATED LID
STO-C	-	12" W 821.94 (CORE DRILL)	-	-
MH 1	834.15	4" NW,SE 828.70	5.45'	36" DIA. GRATED LID
MH 2	833.20	4" NW,E 826.94	6.26'	36" DIA. GRATED LID

EXISTING UTILITY SCHEDULE				
STRUCTURE ID#	RIM ELEVATION	INVERT ELEVATION	STRUCTURE DEPTH (FT.)	
SAN-1	832.86	820.18 E	12.68 E	
SAN-2	833.30	807.40 N-S	25.9 N-S	
SAN-3	832.99	806.79 N-S	26.2 N-S	
STO-A	832.42	828.46 N	3.96 N	
		828.15 NW	4.27 NW	
		828.08 SE-SW	4.34 SE-SW	
STO-B	829.03	822.35 N	6.68 N	
		822.40 W	6.63 W	
STO-C	831.20	820.14 S-E	11.06 S-E	
STO-D	827.89	821.09 N	6.80 N	
INL-A	832.02	828.38 SE	3.64 SE	
INL-B	832.02	828.34 NE	3.68 NE	
INL-C	831.15	828.40 NW	2.75 NW	

- ### UTILITY PLAN NOTES
- THE LOCATION OF EXISTING UTILITY FACILITIES AS SHOWN ON THE PLAN ARE APPROXIMATE. THERE MAY BE OTHER UTILITIES WITHIN THE PROJECT AREA THAT ARE NOT SHOWN. THE CONTRACTOR SHALL HAVE ALL FACILITIES LOCATED PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF A CONFLICT WITHIN THE WORK IS DISCOVERED.
  - ALL UTILITY CONNECTIONS SHALL BE DONE IN ACCORDANCE WITH THE "WISCONSIN STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION, 6TH EDITION" AND THE TOWN OF GRAND CHUTE SPECIFICATIONS.
  - ALL WORK SHALL COMPLY WITH D.S.H.A. STANDARDS.
  - THE CONTRACTOR AND/OR OWNER SHALL NOT PROCEED WITH CONSTRUCTION ACTIVITIES UNTIL APPROPRIATE PERMITS/APPROVALS ARE OBTAINED.
  - THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL NECESSARY PERMITS FOR CONSTRUCTION.
  - THE CONTRACTOR SHALL CLEAN UP ALL EXCESS MATERIAL AND DEBRIS CAUSED AS A RESULT OF WORK UNDER THIS CONTRACT.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL DAMAGE RESULTING FROM THE PERFORMANCE OF THE WORK UNDER THIS CONTRACT.
  - CONTRACTOR SHALL DISPOSE OF NON-SUITABLE MATERIAL OFF-SITE.

### UTILITY LAYOUT PLAN LEGEND

	EXISTING CONTOUR		STORM MANHOLE
	PROPOSED CONTOUR		STORM INLET
	STORM MAIN		SANITARY MANHOLE
	WATER MAIN		HYDRANT
	SANITARY MAIN		WATER VALVE
	UTILITY LATERAL		

### TOPOGRAPHIC LEGEND

	1" x 18" IRON PIPE SET		OVERHEAD POWER LINES		GAS VALVE
	1-1/4" x 30" REBAR SET		UNDERGROUND ELECTRIC		EXIST. STORM MANHOLE
	CHISELED "M" SET		UNDERGROUND TELEPHONE		STORM INLET
	3/4" REBAR FOUND		UNDERGROUND FIBEROPTIC		YARD DRAIN
	1" IRON PIPE FOUND		UNDERGROUND GAS		EXIST. SANITARY MANHOLE
	1-1/4" REBAR FOUND		UNDERGROUND CABLE TV		EXIST. SAN. SEWER
	2" IRON PIPE FOUND		EXIST. STGO. SEWER		EXIST. WATER MAIN
	CHISELED "X" FOUND		SIGN		EXIST. SPOT ELEVATION
	GOVERNMENT CORNER RECORDED AS		POWER POLE		CONTOUR W/ ELEVATION
	CONFERROUS TREE		GUY		EXIST. TOP OF CURB ELEV.
	DECIDUOUS TREE		LIGHT POLE		EXIST. FLOW LINE ELEV.
	EXIST. WOODS LINE		TELEPHONE PEDESTAL		EXIST. FLOOR = 000.00
	WETLANDS		CABLE PEDESTAL		TOPSOIL DEPTH
	SOIL BORING		EXIST. HYDRANT		WATER VALVE
			WATER STOP BOX		INFILTRATION SOIL BORING

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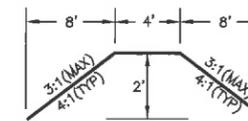
NO.	DATE	BY	REVISION

**UTILITY LAYOUT PLAN**  
**HARLEY RIDING ACADEMY**  
 TOWN OF GRAND CHUTE, OUTAGAMIE COUNTY, WISCONSIN

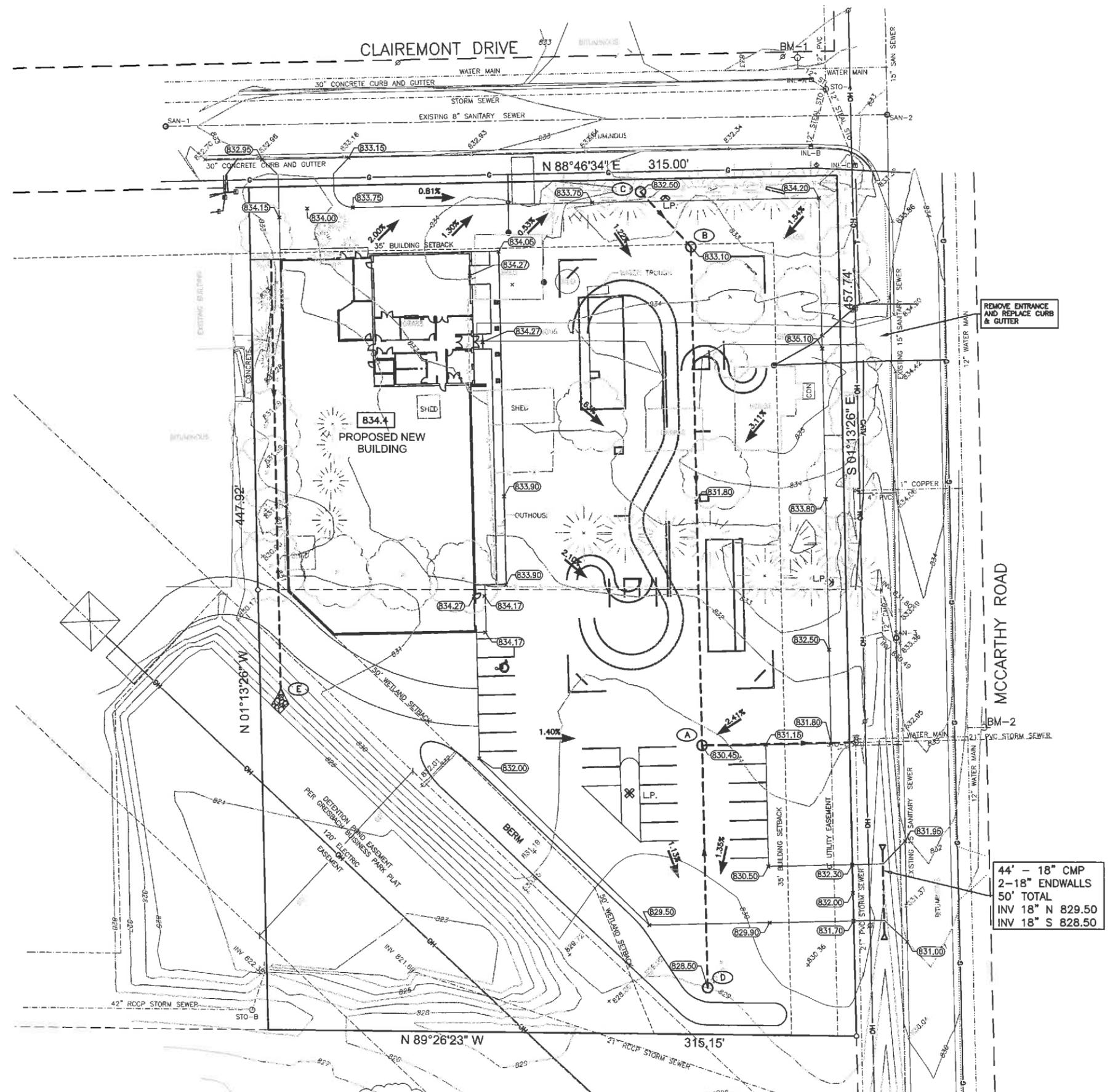
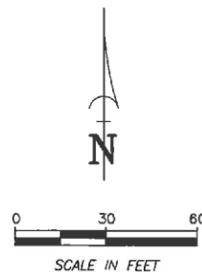
SCALE	DATE
BAR SCALE	3/21/16
COMPUTER FILE	
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DRAWING NO.  
C2.0

# DRAINAGE PLAN



**BERM DETAIL**



REMOVE ENTRANCE AND REPLACE CURB & GUTTER

MCCARTHY ROAD

44' - 18" CMP  
2-18" ENDWALLS  
50' TOTAL  
INV 18" N 829.50  
INV 18" S 828.50

BENCHMARK DATA		
I.D.	DESCRIPTION:	ELEVATION:
1	TAG BOLT ON HYDRANT ON CLAIREMONT DRIVE	834.61
2	TAG BOLT ON HYDRANT ON MCCARTHY ROAD	832.63

EXISTING UTILITY SCHEDULE			
STRUCTURE ID#	RIM ELEVATION	INVERT ELEVATION	STRUCTURE DEPTH (FT.)
SAN-1	832.86	820.18 E	12.68 E
SAN-2	833.30	807.40 N-S	25.9 N-S
SAN-3	832.99	806.79 N-S	26.2 N-S
STO-A	832.42	828.46 N	3.96 N
		828.15 NW	4.27 NW
		828.08 SE-SW	4.34 SE-SW
STO-B	829.03	822.35 N	6.68 N
		822.40 W	6.63 W
STO-C	831.20	820.14 S-E	11.06 S-E
STO-D	827.89	821.09 N	6.80 N
INL-A	832.02	828.38 SE	3.64 SE
INL-B	832.02	828.34 NE	3.68 NE
INL-C	831.15	828.40 NW	2.75 NW

- DRAINAGE PLAN NOTES**
- THE LOCATION OF EXISTING UTILITY FACILITIES AS SHOWN ON THE PLAN ARE APPROXIMATE. THERE MAY BE OTHER UTILITIES WITHIN THE PROJECT AREA THAT ARE NOT SHOWN. THE CONTRACTOR SHALL HAVE ALL FACILITIES LOCATED PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF A CONFLICT WITHIN THE WORK IS DISCOVERED.
  - ALL WORK UNDER THIS CONTRACT SHALL BE DONE IN ACCORDANCE WITH THE TOWN OF GRAND CHUTE STANDARD SPECIFICATIONS, ALONG WITH THE LATEST EDITION OF THE STATE OF WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR ROAD & BRIDGE CONSTRUCTION.
  - ALL WORK SHALL COMPLY WITH O.S.H.A. STANDARDS.
  - THE CONTRACTOR AND/OR OWNER SHALL NOT PROCEED WITH CONSTRUCTION ACTIVITIES UNTIL APPROPRIATE PERMITS/APPROVALS ARE OBTAINED.
  - THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL NECESSARY PERMITS FOR CONSTRUCTION.
  - THE CONTRACTOR SHALL CLEAN UP ALL EXCESS MATERIAL AND DEBRIS CAUSED AS A RESULT OF WORK UNDER THIS CONTRACT.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL DAMAGE RESULTING FROM THE PERFORMANCE OF THE WORK UNDER THIS CONTRACT.
  - CONTRACTOR SHALL DISPOSE OF NON-SUITABLE MATERIAL OFF-SITE.

DRAINAGE PLAN LEGEND			
	EXISTING CONTOUR	X 000.00	PROPOSED ELEVATION
	PROPOSED CONTOUR	X (000.00)	PERTINENT DITCH OR SWALE ELEVATION
	STORM SEWER MAIN	→ 833.73	EXISTING ELEVATION
	STORM MANHOLE	000.0	PROPOSED GROUND AT FOUNDATION
	2' x 3' PRECAST STORM INLET	←	DIRECTION OF DRAINAGE

TOPOGRAPHIC LEGEND			
	1' x 18" IRON PIPE SET		GAS VALVE
	1-1/4" x 30" REBAR SET		EXIST. STORM MANHOLE
	CHEISELED "X" SET		STORM INLET
	3/4" REBAR FOUND		YARD DRAIN
	1" IRON PIPE FOUND		EXIST. SANITARY MANHOLE
	2" IRON PIPE FOUND		EXIST. SAN. SEWER
	CHEISELED "X" FOUND		EXIST. STO. SEWER
	GOVERNMENT CORNER		EXIST. WATER MAIN
	RECORDED AS		EXIST. SPOT ELEVATION
	CONIFEROUS TREE		CONTOUR W/ ELEVATION
	DECIDUOUS TREE		EXIST. TOP OF CURB ELEV.
	EXIST. WOODS LINE		EXIST. FLOW LINE ELEV.
	WETLANDS		FIRST FLOOR = 000.00
	SOIL BORING		TOPSOIL DEPTH
	OVERHEAD POWER LINES		INFILTRATION SOIL BORING
	UNDERGROUND ELECTRIC		
	UNDERGROUND TELEPHONE		
	UNDERGROUND FIBEROPTIC		
	UNDERGROUND GAS		
	UNDERGROUND CABLE TV		
	EXIST. FENCE LINE		
	SIGN		
	POWER POLE		
	GUY		
	LIGHT POLE		
	TELEPHONE PEDESTAL		
	ELECTRIC PEDESTAL		
	CABLE PEDESTAL		
	EXIST. HYDRANT		
	WATER VALVE		
	WATER STOP BOX		

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 920.731.0381 1.800.236.0381

NO.	DATE	BY	REVISION

**DRAINAGE PLAN**  
**HARLEY RIDING ACADEMY**  
 TOWN OF GRAND CHUTE, OUTAGAMIE COUNTY, WISCONSIN

SCALE DATE  
 BAR SCALE 3/21/16

COMPUTER FILE  
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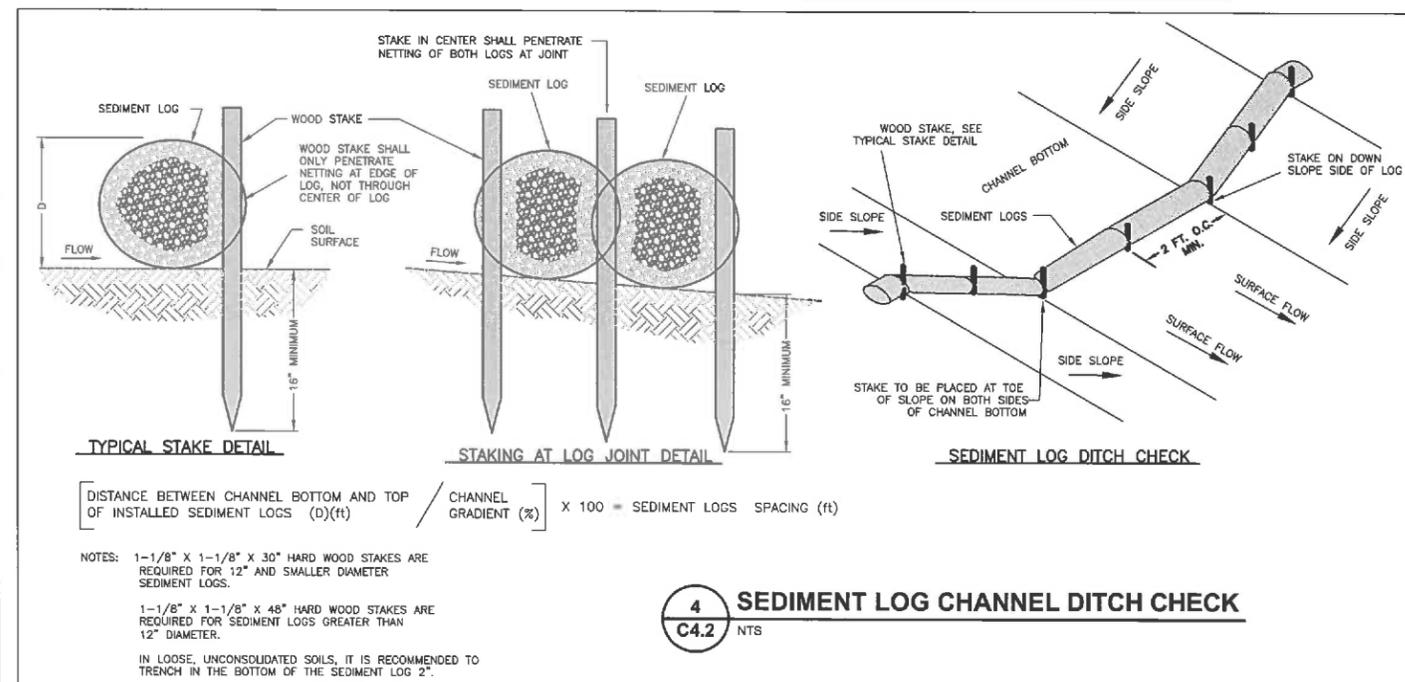
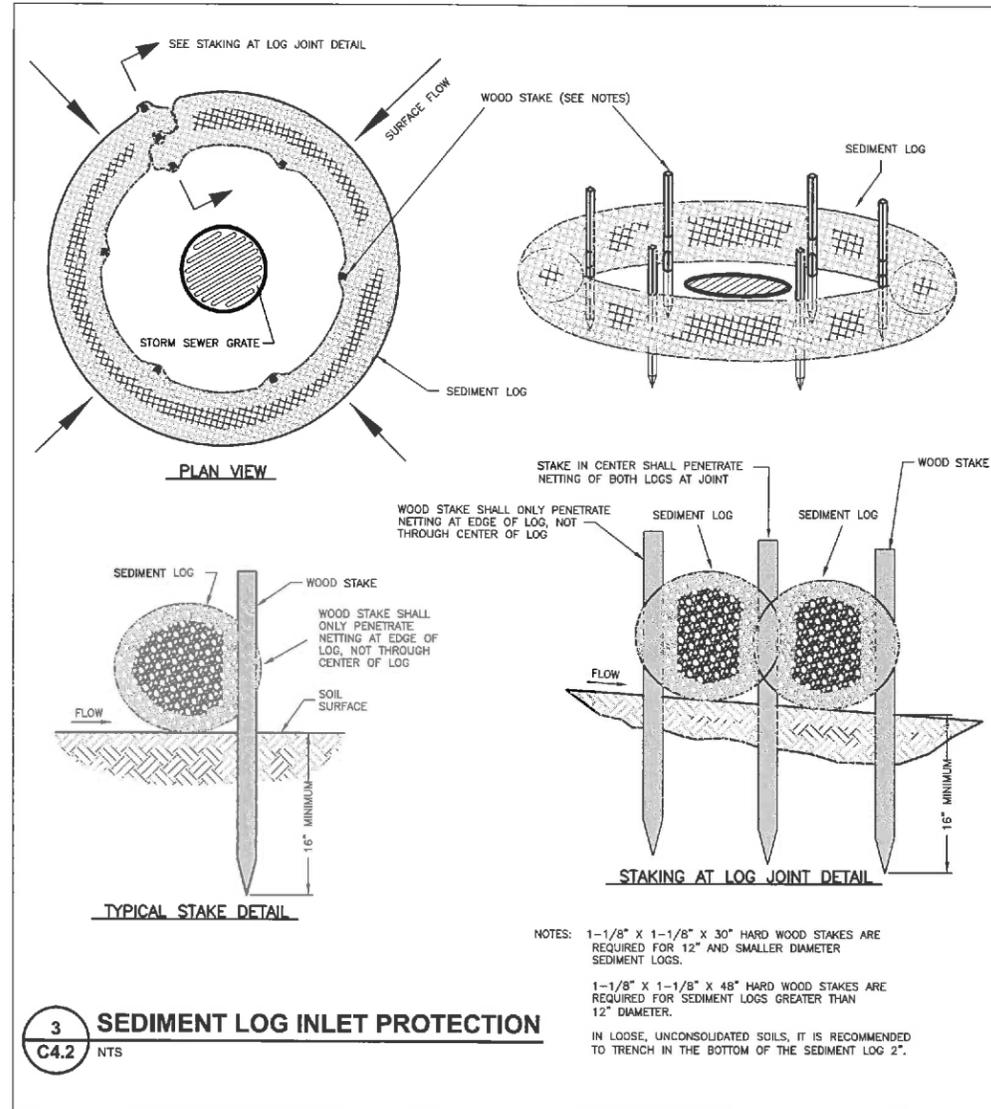
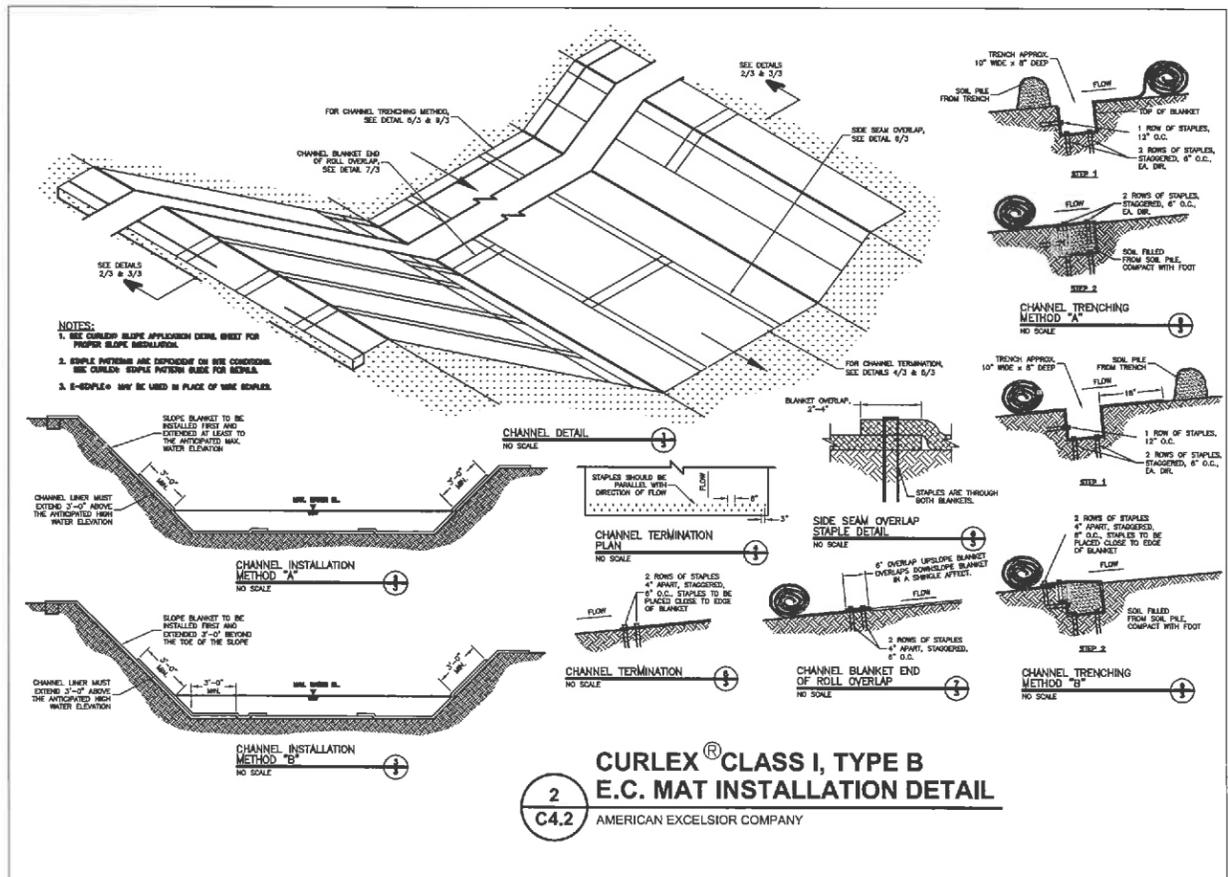
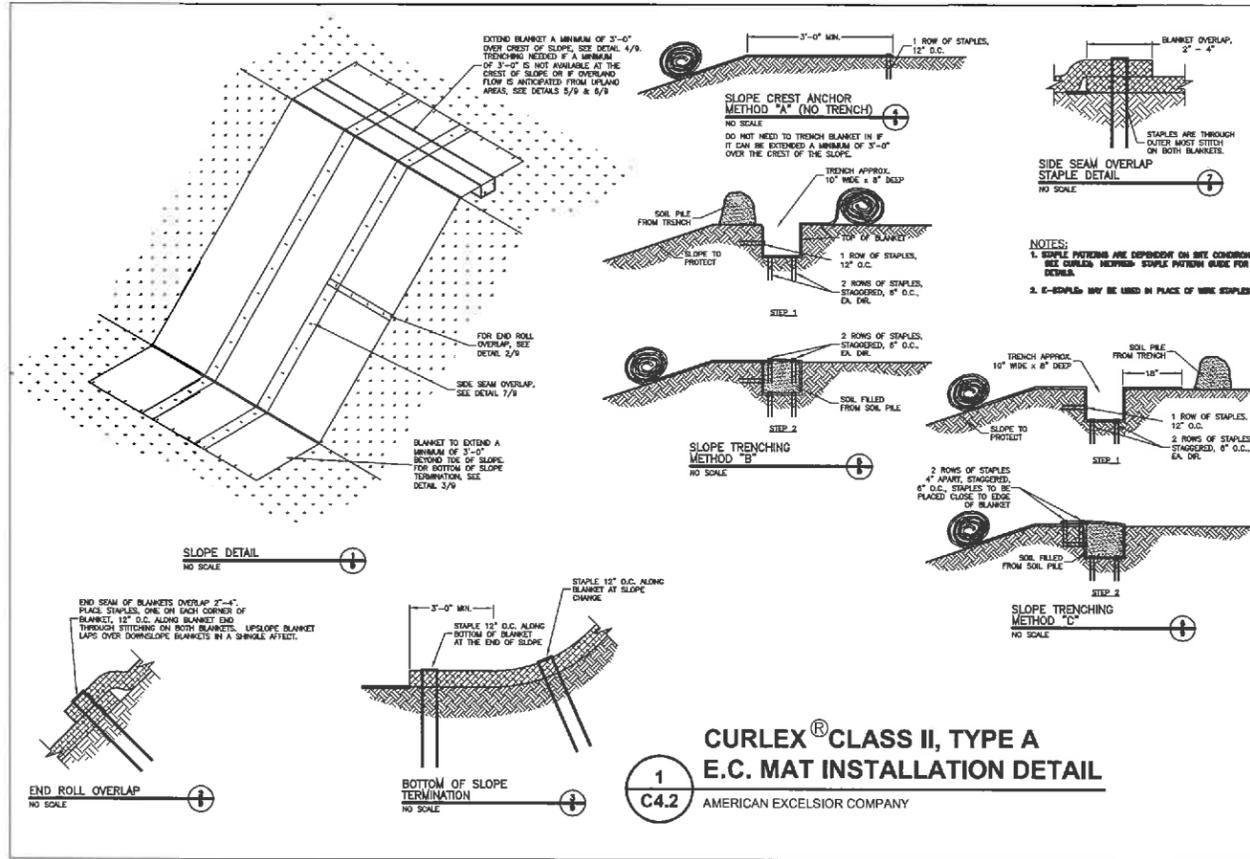
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NOTE: DETAILS NOT UTILIZED ON PLANS ARE FOR INFORMATIONAL PURPOSES IN CASE OF UNANTICIPATED FIELD CONDITIONS.

# EROSION CONTROL DETAILS



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920.731.0381 1.800.236.0381

NO.	DATE	BY	APPROVED	REVISION

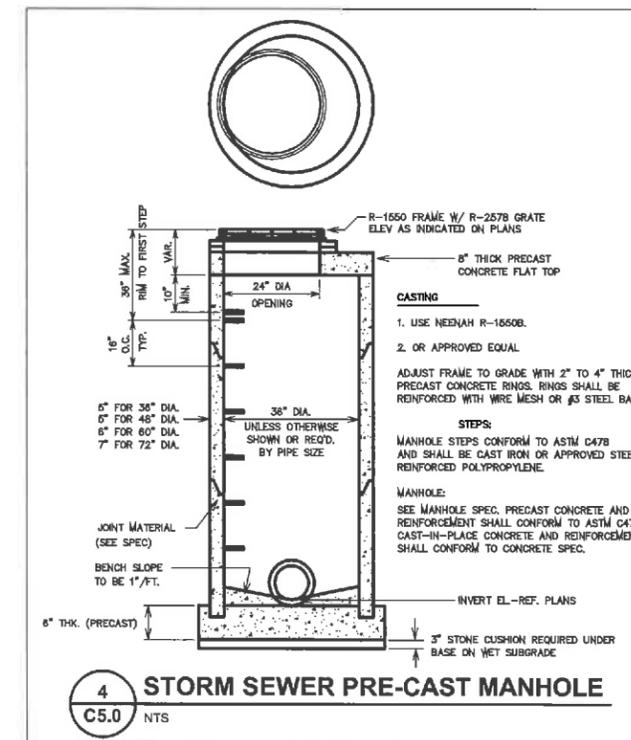
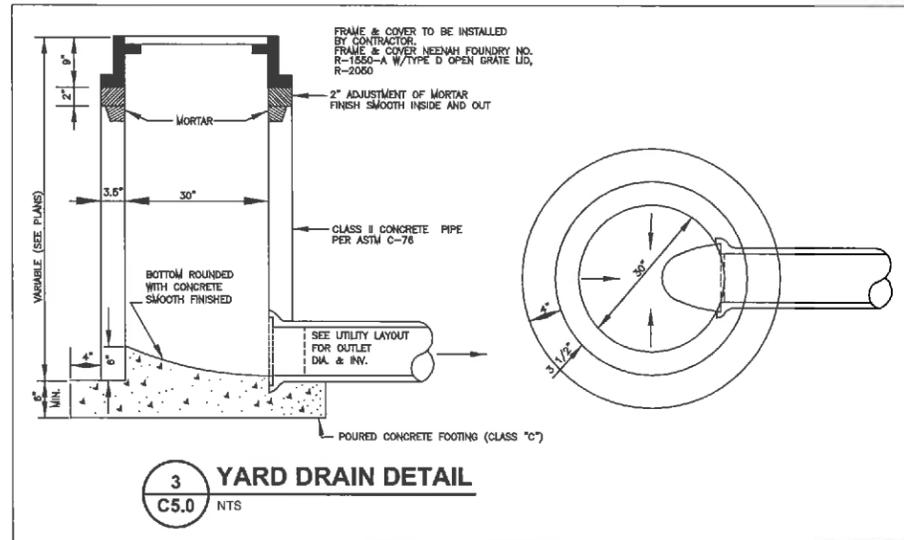
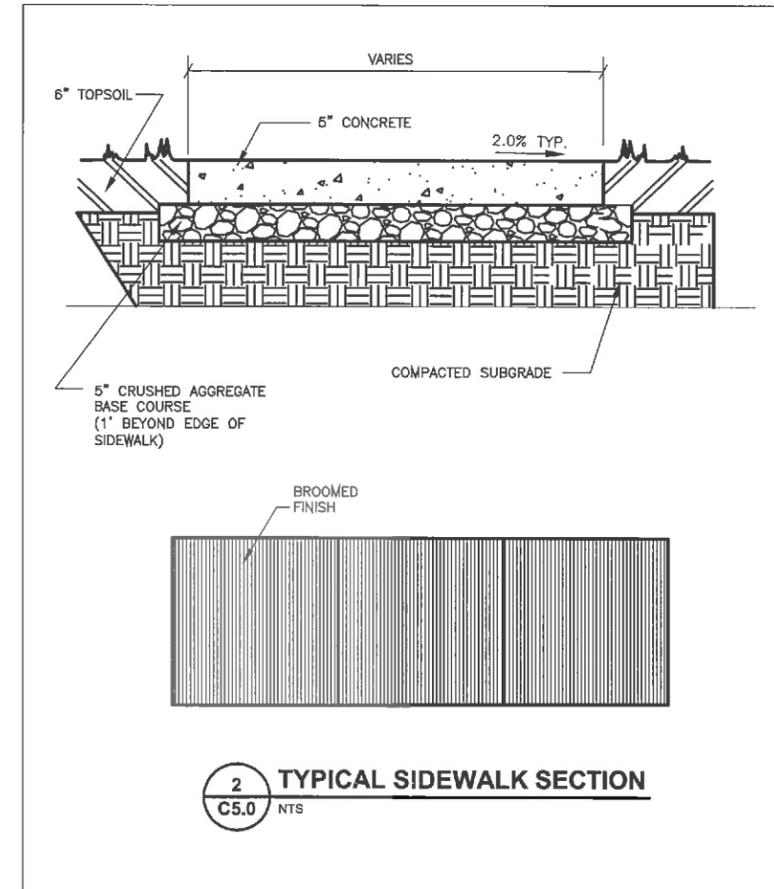
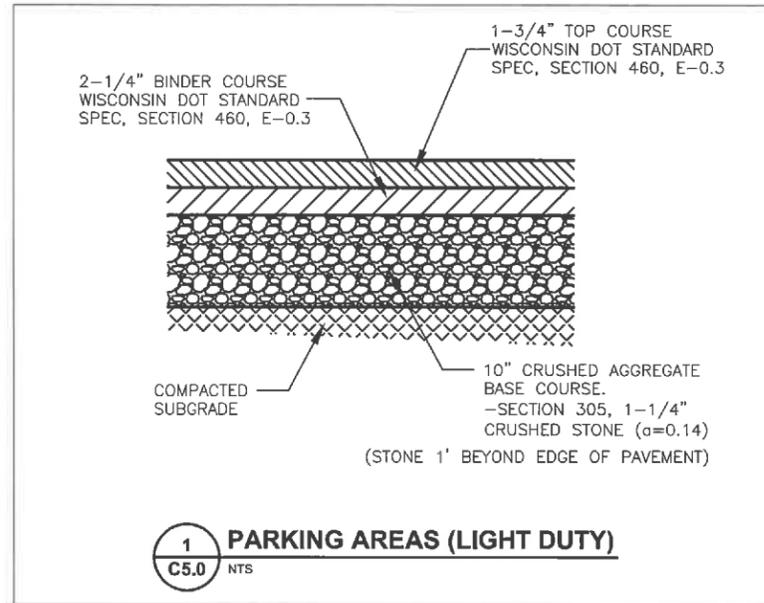
**EROSION CONTROL DETAILS**  
**HARLEY RIDING ACADEMY**  
TOWN OF GRAND CHUTE, OUTAGAMIE COUNTY, WISCONSIN

SCALE	DATE
N.T.S.	3/21/16

COMPUTER FILE  
1-0178-003de.dwg

DRAWING NO.  
C4.2

# STANDARD DETAILS



**Martenson & Eisele, Inc.**  
Planning  
Environmental  
Surveying  
Engineering  
Architecture  
1377 Midway Road  
Menasha, WI 54952  
www.martenson-eisele.com  
info@martenson-eisele.com  
920.731.0381 1.800.236.0381

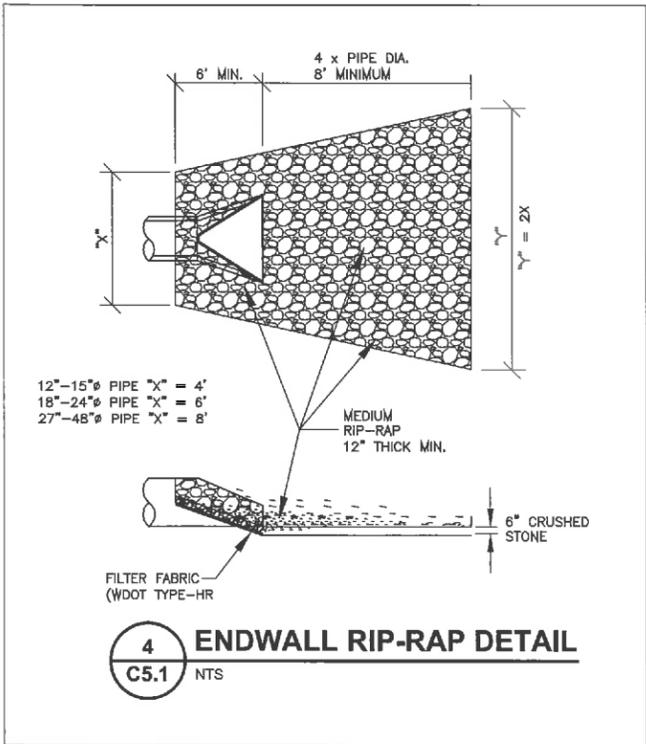
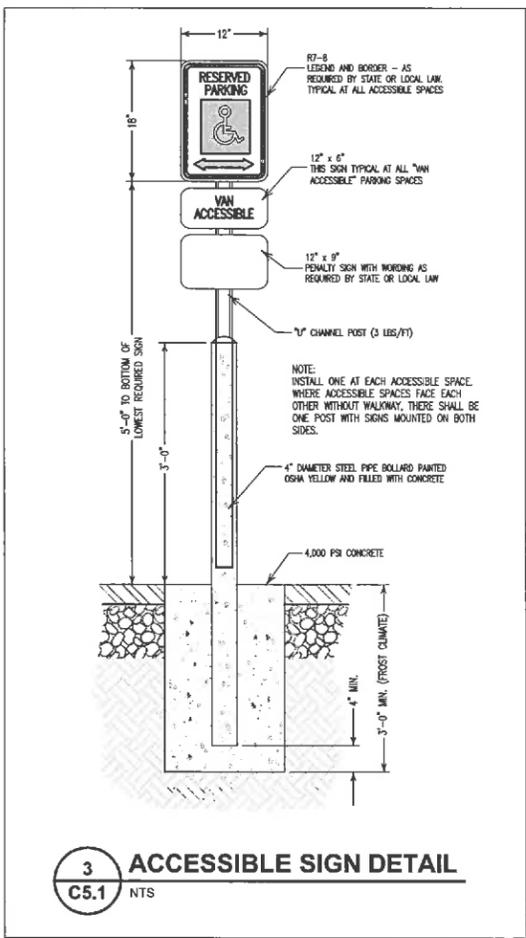
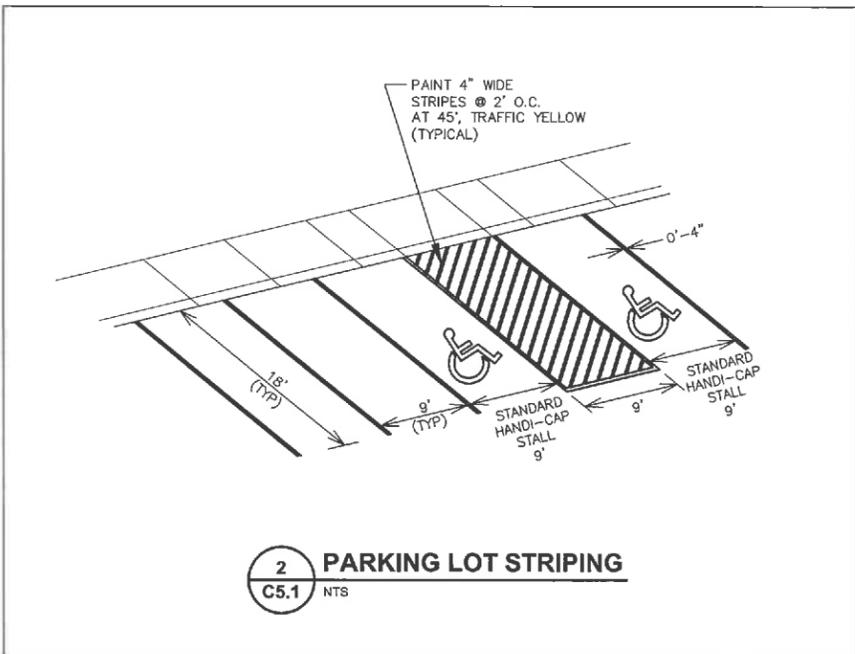
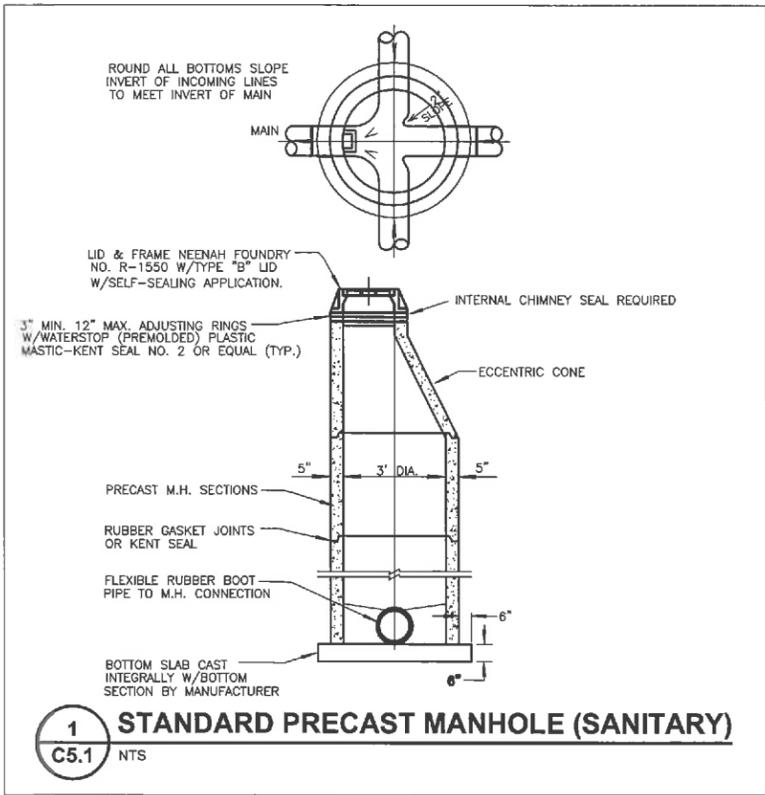
NO.	DATE	DRAWN BY	FIELDWORK	APPROVED	JWS	
					REVISION	REVISION

**STANDARD DETAILS**  
**HARLEY RIDING ACADEMY**  
TOWN OF GRAND CHUTE, OUTAGAMIE COUNTY, WISCONSIN

SCALE	DATE
N.T.S.	3/21/16
COMPUTER FILE	
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DRAWING NO.  
C5.0

# STANDARD DETAILS



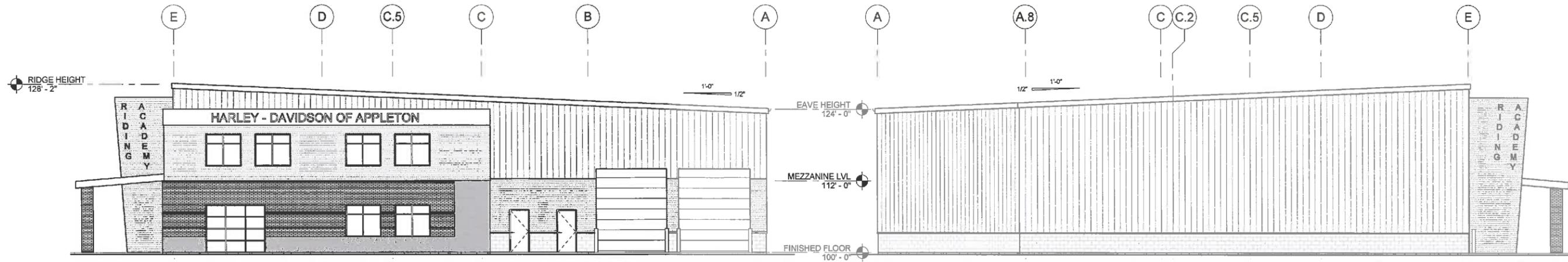
**Martenson & Eisele, Inc.**  
 Planning  
 Environmental  
 Surveying  
 Engineering  
 Architecture  
 1377 Midway Road  
 Menasha, WI 54952  
 www.martenson-eisele.com  
 info@martenson-eisele.com  
 920.731.0381 1.800.236.0381

APPROVED	JMS
	REVISION
FIELDWORK	
DRAWN BY	EAE
	DATE
NO.	

**STANDARD DETAILS**  
**HARLEY RIDING ACADEMY**  
 TOWN OF GRAND CHUTE, OUTAGAMIE COUNTY, WISCONSIN

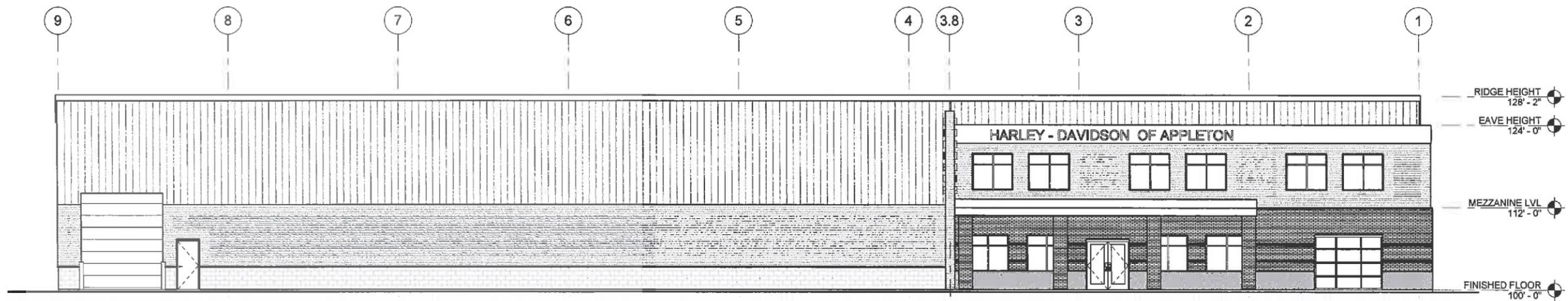
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N.T.S.	3/21/16
COMPUTER FILE	
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C5.1

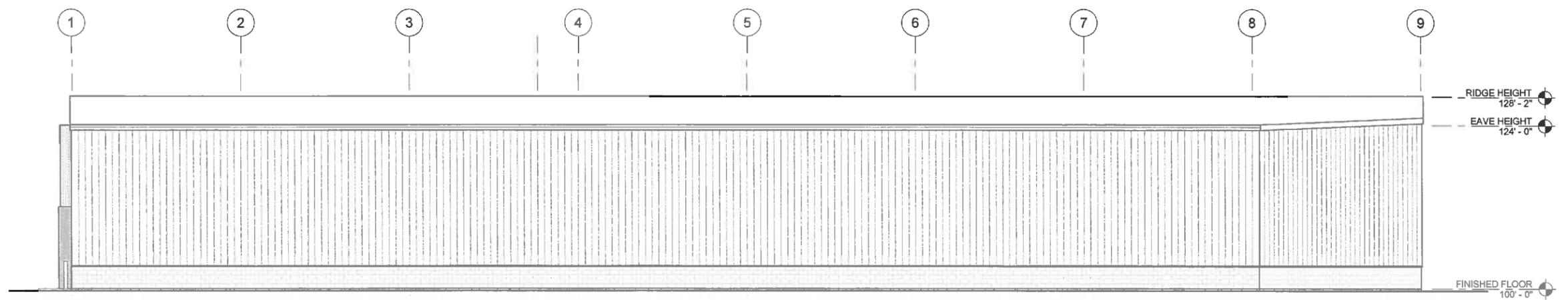


1 NORTH ELEVATION  
A201 1/8" = 1'-0"

2 SOUTH ELEVATION  
A201 1/8" = 1'-0"



3 EAST ELEVATION  
A201 1/8" = 1'-0"



4 WEST ELEVATION  
A201 1/8" = 1'-0"

**ELEVATION MATERIALS**

	8x16 CMU BLOCK		HORIZONTAL DECORATIVE METAL PANEL
	4x16 CMU		26 GA. ARCHITECTURAL WALL PANEL
	4x16 CMU		ARCHITECTURAL FLAT PANEL



PHONE: 920.757.0999  
FAX: 920.757.1015  
N1040 CRAFTSMEN DRIVE  
GREENVILLE, WI 54942

PROPOSED NEW BUILDING FOR  
HD RIDING ACADEMY  
CLAIREMONT STREET, GRAND CHUTE, WI  
ELEVATIONS

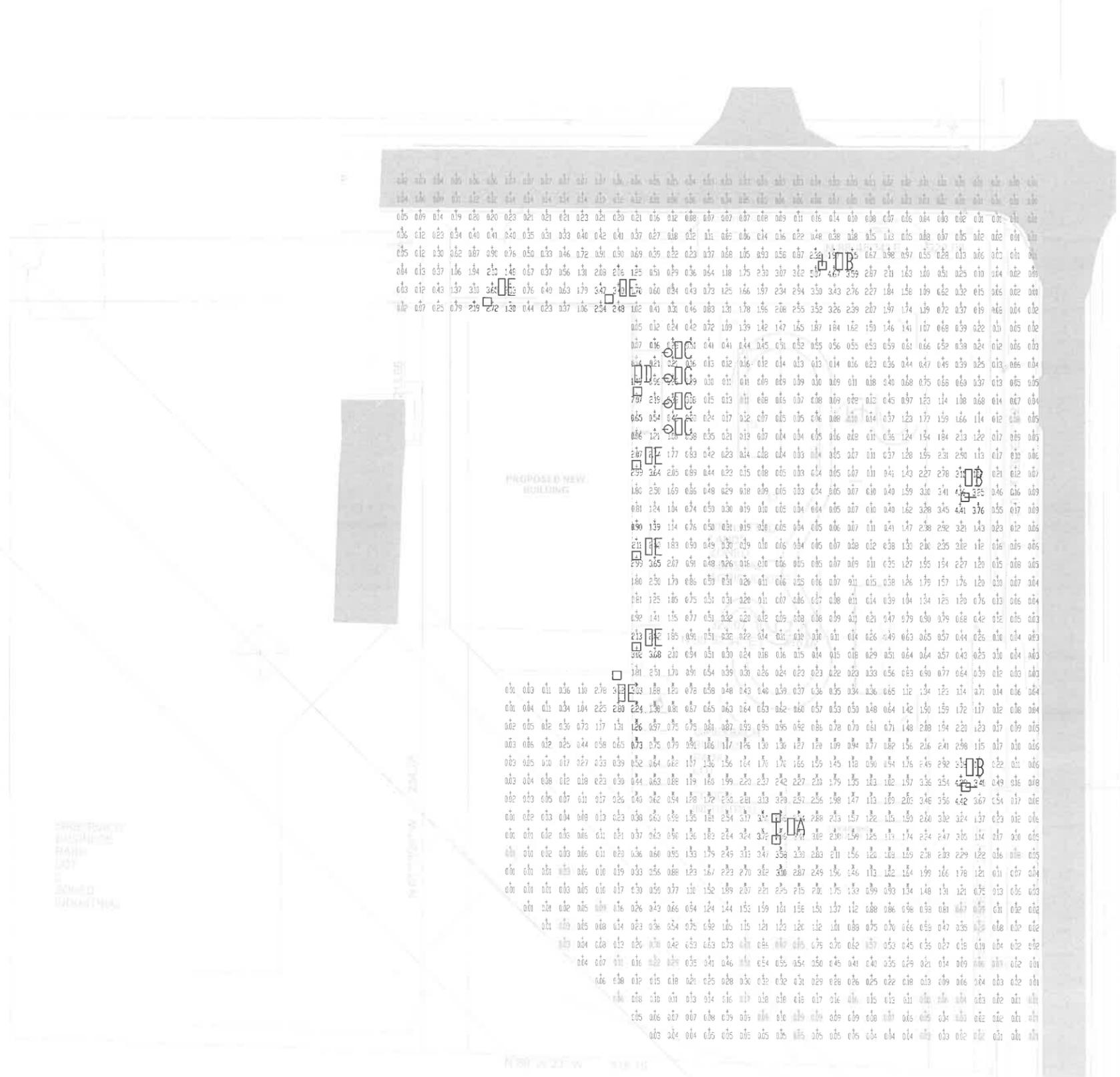
No.	Date	Description

Key Plan

Drawn By: JJW  
Approved By: MCR  
Project No.: 14-1616  
Date: 1-15-16  
Sheet No.:

A201





CALCULATION SUMMARY						
GRID HEIGHT	GROUP	AVE	MAX	MIN	MAX/MIN	AVE/MIN
At Grade	<+> MISC	0.62	7.07	0.00	2265.5	200.10
	<#> PKG & DRIVE	1.74	4.06	0.40	10.04	4.31

HD Riding Academy LUMINAIRE SCHEDULE						
TYPE	DESCRIPTION	LAMP	MOUNTING	LLF	QTY	
DA	McGraw-Edison Galleon (2) GLEDN-AE-03-LED-E1-5WQ-BZ	(2) 157w LED	20' POLE 3' BASE	0.95	1	
DB	McGraw-Edison Galleon (1) GLEDN-AE-03-LED-E1-SL3-BZ	157w LED	20' POLE 3' BASE	0.95	3	
DC	FC Lighting FCCM813 (2) FCCM813-120V-LED/4K/800-BZ	(2) 10w LED	6' AFG	0.95	4	
DD	Lumark Crosstour (1) XTDR2A-N	18w LED	9' AFG	0.95	1	
DE	Lumark Crosstour MAXX (1) XTDR5A-N	43w LED	20' AFG	0.95	6	

# MEMORANDUM

18.

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**To:** Chairman Schowalter and Plan Commission members

**From:** Robert Buckingham, Community Development Director

**Date:** April 14, 2016

**Subject:** Roadway design options for reconstruction of W. College Avenue  
(Casaloma Drive – CTH CB)

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## **BACKGROUND & ANALYSIS**

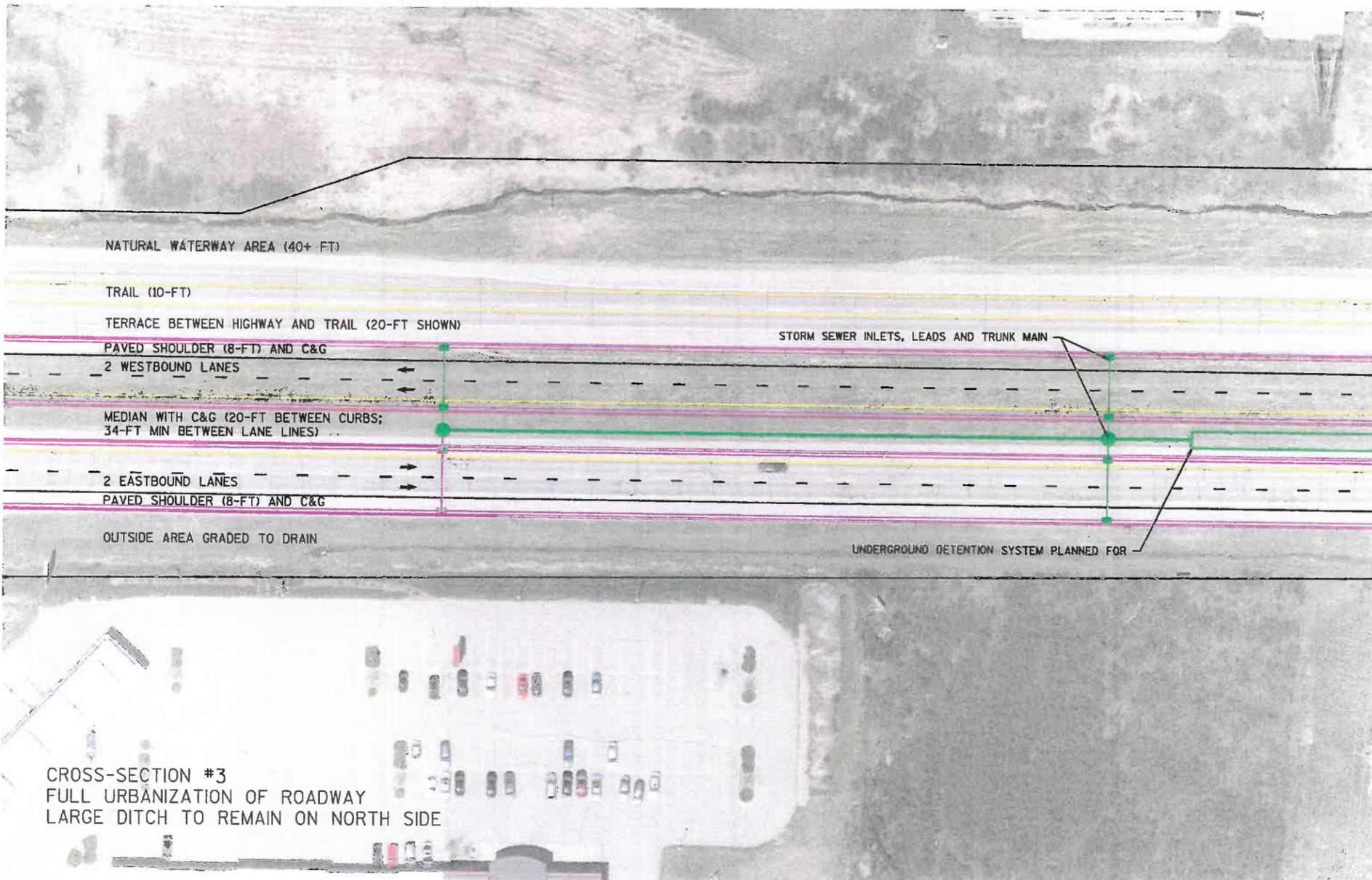
Outagamie County is preparing its highway aid funding request for this 2020/2021 reconstruction project, and has asked Grand Chute and Greenville to indicate the preferred roadway design option (rural section versus urban section). The County Highway Commissioner first viewed this as reconstruction to a modified rural standard (combination of curbed center median, gravel shoulders, ditches, off-road trail, and higher speed limits). This is an urban growth area over the 2-mile stretch of College Avenue between I-41 and the airport. With the level of development already in place and large tracts of land prime for future growth, it is more desirable to reconstruct the road as an urban section (curbed shoulders, storm sewer, off-road trail, streetlights, trees), to slow down traffic for the businesses, making roundabouts for the intersections and providing bike/pedestrian paths. Outagamie County has since provided a comparison of design and cost options for a modified rural section and for an urban section. The amount of State funding is a fixed amount, regardless of total project cost. County policy prescribes that its cost responsibility is for rural section roads. Both a modified rural section and an urban section require local government participation. Grand Chute's estimated cost share for the modified rural section is \$481,000, or 5.8% of total project cost. Our local share for the urban section is \$1.3 million, or 13.1% of total project cost.

In determining the best design option, it is important to consider what this corridor will look like in 25-30 years after it is fully developed. We need to ensure we provided a road that delivers the level of service needed for a fully urbanized commercial corridor. Staff recommendation is to support reconstruction of College Avenue as an urban section. There are 140 acres of vacant land in the Grand Chute portion of this corridor. This area is expected to fully develop in 10-20 years, well ahead of the estimated useful life of College Avenue. This land development will generate over \$90 million in new tax base and we need to provide the proper infrastructure to support it. Funding the estimated local share of the road project could be accomplished with areawide special assessments and possibly tax increment financing.

## **RECOMMENDATION**

**Staff supports a Plan Commission recommendation for Town Board support of the urban section roadway design and cost option for the future reconstruction of W. College Avenue, from Casaloma Drive to CTH CB.**

# MODIFIED RURAL SECTION DESIGN



# MODIFIED RURAL SECTION COST ESTIMATE

## OUTAGAMIE COUNTY HIGHWAY DEPARTMENT

### COUNTY / MUNICIPAL / STATE AGREEMENT

CTH CA - CTH CB to Casaloma Drive

DATE: 3/10/2016 DRAFT  
 PROJECT: See Below  
 HIGHWAY: CTH "CA"  
 LIMITS: CTH CB to Casaloma Drive  
 MUNICIPALITY: Township of Greenville  
 MUNICIPALITY: Township of Grand Chute

**\*\*\* DRAFT \*\*\***

The signatories **Town of Greenville and Town of Grand Chute** hereinafter called the Municipalities, through its undersigned duly authorized officers or officials, hereby requests the County of Outagamie, through its Highway Department, hereinafter called the County, to initiate and effect the highway or street improvement hereinafter

### PROJECT DESCRIPTION:

Agreement is for engineering design, right-of-way, and construction of CTH "CA". STP-Urban funding will be used to offset total costs for construction. Outagamie County, Greenville, and Grand Chute will share the remaining construction and oversight costs as

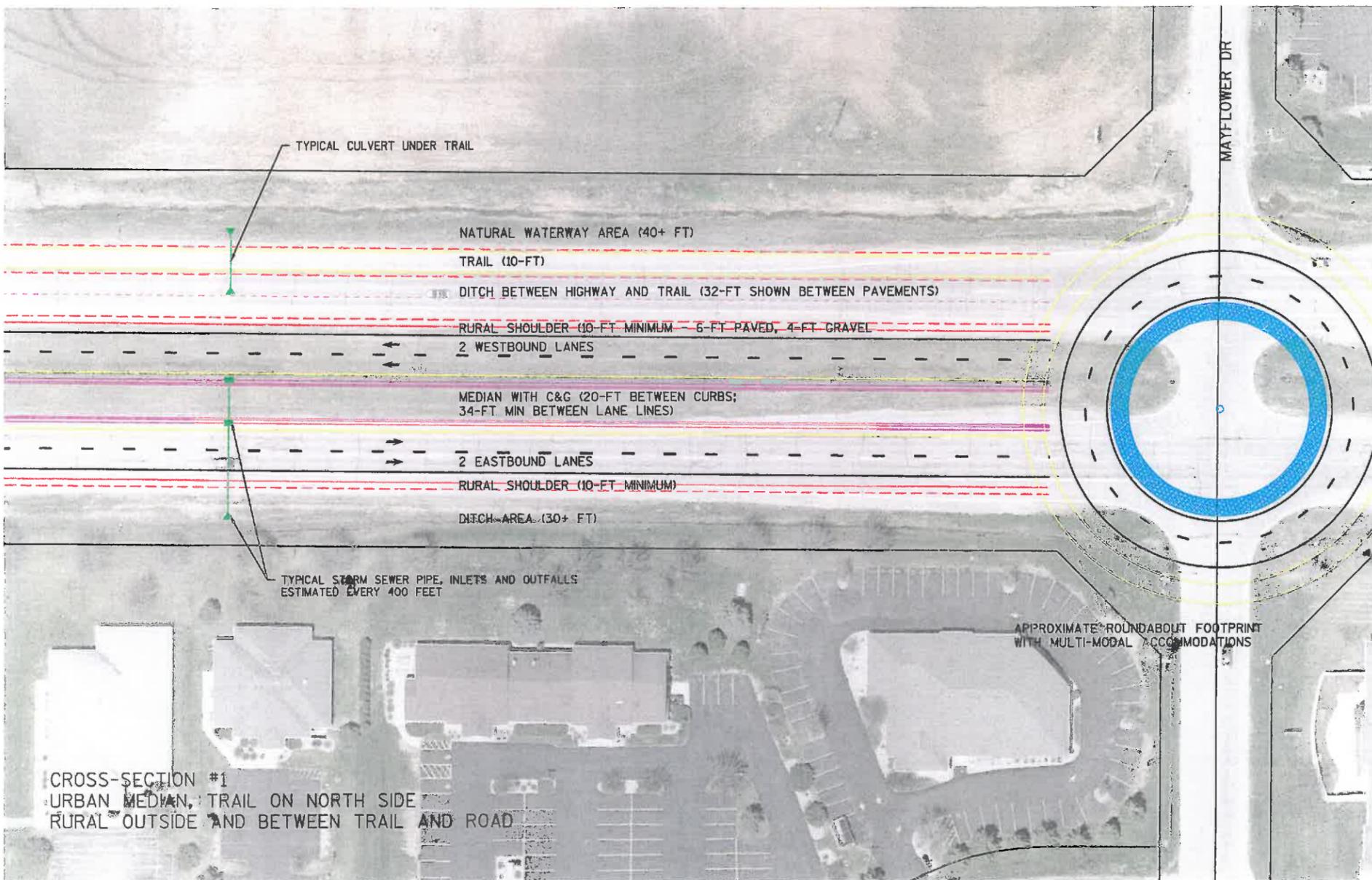
- 1) general assumptions that 1/3 of project length, and 1/4 of Mayflower Dr intersection is in Greenville; and 2/3 of project length, 1/4 of Mayflower Dr intersection, and 1/2 of McCarthy Rd intersection is in Grand Chute.
- 2) share costs of entire intersection footprint based on maintaining jurisdiction of each approach leg;
- 3) share costs associated with urbanizing the median - curb/gutter, storm sewer, additional grading, base, and asphalt.

### COST ESTIMATE AND PARTICIPATION

PHASE	***** ESTIMATED COST *****								
	Total Estimated Cost	WISDOT	%	Outagamie County	%	Town of Greenville	%	Town of Grand Chute	%
<b>ENGINEERING:</b>	\$885,000								
WisDOT Oversight	\$122,500								
<b>TOTAL ENGINEERING</b>	<b>\$1,007,500</b>	\$759,606	75.4%						
<b>LOCAL RESPONSIBILITY</b>	\$247,894	\$0	0%	\$123,947.00	50%	\$41,315.50	16.67%	\$82,631.25	33.33%
<b>RIGHT OF WAY:</b>	<b>\$75,000.00</b>	\$0	0%	\$75,000.00	100%	\$0	0%	\$0	0%
<b>CONSTRUCTION:</b>									
<b>BASE PROJECT</b>	\$5,902,000								
State Review	\$702,600								
<b>TOTAL STP PROJECT</b>	<b>\$6,604,600</b>	\$5,282,080	80.0%						
<b>LOCAL RESPONSIBILITY</b>	\$1,322,520	\$0	0%						
Shared Base Local Costs	\$597,397			\$298,698.60	50%	\$99,565.80	16.67%	\$199,132.20	33.33%
Non-Shared Local Costs	\$725,123			\$725,122.79	100%	\$0	0%	\$0	0%
<b>ADDITIONAL ITEMS</b>									
<b>URBAN MEDIAN</b>	<b>\$599,000</b>	\$0	0.0%	\$299,500.00	50%	\$99,832.93	16.67%	\$199,666.47	33.33%
<b>TOTAL PROJECT COST</b>	<b>\$8,286,100.00</b>	<b>\$6,041,686.00</b>	<b>72.9%</b>	<b>\$1,522,268.40</b>	<b>18.37%</b>	<b>\$240,714.24</b>	<b>2.91%</b>	<b>\$481,429.92</b>	<b>5.81%</b>

\*\*\*STP-U CAPPED AT \$6,041,686\*\*\*

# URBAN SECTION DESIGN



# URBAN SECTION COST ESTIMATE

## OUTAGAMIE COUNTY HIGHWAY DEPARTMENT

**COUNTY / MUNICIPAL / STATE AGREEMENT**

CTH CA - CTH CB to Casaloma Drive

DATE: 3/10/2016 DRAFT  
 PROJECT: See Below  
 HIGHWAY: CTH "CA"  
 LIMITS: CTH CB to Casaloma Drive  
 MUNICIPALITY: Township of Greenville  
 MUNICIPALITY: Township of Grand Chute

**\*\*\* DRAFT \*\*\***

The signatories **Town of Greenville and Town of Grand Chute** hereinafter called the Municipalities, through its undersigned duly authorized officers or officials, hereby requests the County of Outagamie, through its Highway Department, hereinafter called the County, to initiate and effect the highway or street improvement hereinafter

**PROJECT DESCRIPTION:**

Agreement is for engineering design, right-of-way, and construction of CTH "CA". STP-Urban funding will be used to offset total costs for construction. Outagamie County, Greenville, and Grand Chute will share the remaining construction and oversight costs as

- 1) general assumptions that 1/3 of project length, and 1/4 of Mayflower Dr intersection is in Greenville; and 2/3 of project length, 1/4 of Mayflower Dr intersection, and 1/2 of McCarthy Rd intersection is in Grand Chute.

2) share costs of entire intersection footprint based on maintaining jurisdiction of each approach leg;

3) share all of project 50% County, 50% local per AR 10-02

**COST ESTIMATE AND PARTICIPATION**

PHASE	***** ESTIMATED COST *****								
	Total Estimated Cost	WISDOT	%	Outagamie County	%	Town of Greenville	%	Town of Grand Chute	%
<b>ENGINEERING:</b>	\$885,000								
WisDOT Oversight	\$122,500								
<b>TOTAL ENGINEERING</b>	<b>\$1,007,500</b>	\$759,606	75.4%						
<b>LOCAL RESPONSIBILITY</b>	\$247,894	\$0	0%	\$123,947.00	50%	\$41,315.50	16.67%	\$82,631.25	33.33%
<b>RIGHT OF WAY:</b>	<b>\$75,000.00</b>	\$0	0%	\$75,000.00	100%	\$0	0%	\$0	0%
<b>CONSTRUCTION:</b>									
<b>BASE PROJECT</b>	\$5,902,000								
State Review	\$702,600								
<b>TOTAL STP PROJECT</b>	<b>\$6,604,600</b>	\$5,282,080	80.0%						
<b>LOCAL RESPONSIBILITY</b>	\$1,322,520	\$0	0%	\$661,260.00	50%	\$220,419.12	16.67%	\$440,839.56	33.33%
<b>ADDITIONAL ITEMS</b>									
<b>URBAN MEDIAN</b>	<b>\$599,000</b>	\$0	0.0%	\$299,500.00	50%	\$99,832.93	16.67%	\$199,666.47	33.33%
<b>URBAN North Curb</b>	<b>\$586,000</b>	\$0	0.0%	\$293,000.00	50%	\$97,666.28	16.67%	\$195,333.14	33.33%
<b>URBAN South Curb</b>	<b>\$1,203,000</b>	\$0	0.0%	\$601,500.00	50%	\$200,499.20	16.67%	\$400,999.60	33.33%
<b>TOTAL PROJECT COST</b>	<b>\$10,075,100.00</b>	<b>\$6,041,686.00</b>	<b>60.0%</b>	<b>\$2,416,768.40</b>	<b>23.99%</b>	<b>\$659,733.03</b>	<b>6.55%</b>	<b>\$1,319,470.01</b>	<b>13.10%</b>

\*\*\*STP-U CAPPED AT \$6,041,686\*\*\*