



PLAN COMMISSION AGENDA

May 17, 2016 6:00 p.m.

Town Hall - 1900 W. Grand Chute Blvd.

1. Roll Call.
2. Pledge of Allegiance.
3. Approval of Agenda.
4. Approval of Minutes – May 3, 2016 meeting.
5. Public Input.
6. Community Development Director's Report.
7. **Neighborhood Information Meeting #1** – Conditional Use Permit (CUP-03-16) requested by Gregorski 18 LLC, 110 N. Fox River Drive, to allow filling and grading in the flood fringe area as required for future building construction. **Action:** Hear testimony/close hearing.
8. **Conditional Use Permit (CUP-03-16)** – Request by Gregorski 18 LLC, 110 N. Fox River Drive, to allow filling and grading in the flood fringe area as required for future building construction. **Action:** Recommend approval/denial of CUP-03-16. (TOWN BOARD ACTION 6/7/2016)
9. **Site Plan Amendment (SPA2-00-83)** – Request by JM Donnelly LLC, dba Urban Evolutions, 2401 W. College Avenue, to replace an existing nonconforming pylon sign with a new compliant sign. **Action:** Approve/deny SPA2-00-83.
10. **Site Plan (SP-05-16)** – Request by Casaloma Towers LLC, 3301 N. Casaloma Drive, for construction of a 60-unit multi-family apartment building and associated site improvements. **Action:** Approve/deny SP-05-16.
11. **Site Plan Amendment (SPA1-00-08)** – Request by Discovery Properties LLC, 311 Mall Drive, to modify an existing nonconforming pylon sign to become compliant with the Town Sign Code. **Action:** Approve/deny SPA1-00-08.
12. Adjournment.

A quorum of the Town Board, Park Commission, Police and Fire Commission, Board of Appeals, and Licensing Committee may be present at this meeting. No official action of these bodies will be taken. **Accommodation Notice**-Any person requiring special accommodation who wishes to attend this meeting should contact (**Administration at 832-1573**) at least 48 hours in advance.

GRAND CHUTE PLAN COMMISSION MINUTES

May 3, 2016

Members Present: Chairman Dave Schowalter, Commissioners Bruce Sherman, Robert Stadel, Julie Hidde, Vivian Huth, Pam Crosby, Duane Boeckers, John Weber.

Members Absent: none.

Also Present: James March, Town Administrator; Thomas Marquardt, Public Works Director; Julie Wahlen, Finance Director; Michael Patza, Town Planner; Robert Buckingham, Community Development Director; other interested parties (audience attendance = 6 approx.), Supervisors Nooyen and Thyssen.

1. **ROLL CALL.**

Chairman Schowalter opened the meeting at 6:00 p.m.

2. **PLEDGE OF ALLEGIANCE.**

3. **APPROVAL OF AGENDA.**

Motion (Huth/Sherman) to approve the agenda. Motion carried, all voting aye.

4. **APPROVAL OF MINUTES** – APRIL 21, 2016 MEETING.

Motion (Hidde/Crosby) to approve the minutes. Motion carried, all voting aye.

5. **PUBLIC INPUT.**

There was no public input.

6. **COMMUNITY DEVELOPMENT DIRECTOR'S REPORT** - NO REPORT

7. **PUBLIC HEARING #1** – SPECIAL EXCEPTION PERMIT (SE-09-16) REQUESTED BY JEFFREY G. ROMENESKO, 3801 W. SPENCER STREET, TO ALLOW EXPANSION OF AN EXISTING DETACHED GARAGE TO A SIZE GREATER THAN 1,000 SQ. FT.

Chairman Schowalter opened Public Hearing #1 at 6:02 p.m.

Jeff Romenesko, 3801 W. Spencer Street, explained his request to add a stall to his existing 2-stall detached garage. The design of the home does not allow for an attached garage, so the proposed plan is the only option available to him.

Motion (Huth/Sherman) to close Public Hearing #1 at 6:03 p.m. Motion carried, all voting aye.

8. **SPECIAL EXCEPTION (SE-09-16)** – REQUEST BY JEFFREY G. ROMENESKO, 3801 W. SPENCER STREET, TO ALLOW EXPANSION OF AN EXISTING DETACHED GARAGE TO A SIZE GREATER THAN 1,000 SQ. FT.

Planner Patza noted that the proposed addition would result in a total garage size of 1,090 sq. ft. Staff recommends approval of the Special Exception Permit.

Motion (Sherman/Hidde) to recommend approval of the Special Exception Permit (SP-09-16) requested by Jeffrey G. Romenesko, 3801 W. Spencer Street, to allow expansion of an existing detached garage to a size greater than 1,000 sq. ft., with the following conditions: (1) Siding and roofing materials, and door/window treatments match those of the existing detached garage; and, (2) No other accessory buildings or structures be allowed on the property. Motion carried, all voting aye.

9. **PUBLIC HEARING #2** – SPECIAL EXCEPTION PERMIT (SE-10-16) REQUESTED BY ROBERT WOLTER, DBA B&R AUTO, INC., 3130 W. WISCONSIN AVENUE, FOR OPERATION OF AN AUTOMOBILE SALES BUSINESS.

Chairman Schowalter opened Public Hearing #2 at 6:05 p.m.

Robert Wolter, 3116 W. Wisconsin Avenue, explained his request to expand his auto sales business by adding vehicle display on the adjoining lot at 3130 W. Wisconsin Avenue. This property has historically been used for auto sales.

Motion (Hidde/Huth) to close Public Hearing #2 at 6:06 p.m. Motion carried, all voting aye.

10. **SPECIAL EXCEPTION (SE-10-16)** – REQUESTED BY ROBERT WOLTER, DBA B&R AUTO, INC., 3130 W. WISCONSIN AVENUE, FOR OPERATION OF AN AUTOMOBILE SALES BUSINESS.

Motion (Stadel/Boeckers) to recommend approval of the Special Exception Permit (SE-10-16) requested by Robert Wolter, dba B&R Auto, Inc., 3130 W. Wisconsin Avenue, to allow operation of an automobile sales business. Motion carried, all voting aye.

11. **PROJECT PLAN AMENDMENT (PDD1: PPA-01-16)** - REQUESTED BY APPLETON ALLIANCE CHURCH, INC., FOR APPROVAL TO CONSTRUCT A PRIVACY/BOUNDARY FENCE AT THE CHURCH MISSION HOUSE, 2691 W. GRAND CHUTE BLVD.

Director Buckingham stated that this would be a standard 6-foot cedar board privacy fence.

Motion (Crosby/Huth) to recommend approval of the Project Plan Amendment (PDD1:PPA-01-16) requested by Appleton Alliance Church, Inc., for construction of a privacy/boundary fence at the church mission house, 2691 W. Grand Chute Blvd. Motion carried, all voting aye.

12. **CERTIFIED SURVEY MAP (CSM-09-16)** – REQUEST BY M. BLANK PROPERTIES LLC, 1120 S. BLUEMOUND DRIVE, FOR LOT CONSOLIDATION WITH ROADWAY DEDICATION.

Director Buckingham explained that the lot consolidation CSM is required for future division of the property into a Condo Plat.

Motion (Sherman/Huth) to recommend approval of the Certified Survey Map (CSM-09-16) requested by M. Blank Properties LLC, 1120 S. Bluemound Drive, for lot consolidation with roadway dedication. Motion carried, all voting aye.

13. ADJOURNMENT.

Motion (Sherman/Huth) to adjourn at 6:11 p.m. Motion carried, all voting aye.

Respectively submitted,

Tracy Olejniczak
Community Development Secretary

7/8.

**Town of Grand Chute
Conditional Use Permit Review
Gregorski 18 LLC**

To: Plan Commission

From: Robert Buckingham, Community Development Director

Date: May 12, 2016

Address: 110 N. Fox River Drive

App. #: CUP-03-16

REQUEST

Applicant proposes to prepare the property for future building development at the east end of the site. The west end is currently developed with a bank building. To prepare the site for future building construction, it is necessary to grade and fill some flood fringe areas in anticipation of removing this land area from floodplain designation. A Conditional Use Permit is required by Outagamie County to allow filling and grading within the Shoreland Zoning District.

ANALYSIS

Work done under the Conditional Use Permit will ultimately provide a building site that is not in the mapped floodplain. The applicant will grade and fill affected flood fringe areas according to National Flood Insurance Program (NFIP) standards, in anticipation of eventual removal from floodplain designation by the Federal Emergency Management Agency (FEMA). The grading and filling work does not automatically remove the property from the floodplain, and until FEMA approves its removal, any subsequent building construction in the mapped floodplain will still be subject to NFIP standards and flood insurance. There are wetlands on the property that will be protected from impact during the grading and filling activities. The WDNR has issued a permit to allow filling of a small portion of wetland area during this project. Standard erosion control practices will be required for all work done under the Conditional Use Permit. At some time in the future, Town approval of a site plan and stormwater management plan will be required before building construction can begin.

RECOMMENDATION

Staff has reviewed and supports a Plan Commission recommendation for approval of the Conditional Use Permit (CUP-03-16) requested by Gregorski 18 LLC, 110 N. Fox River Drive, to allow grading and filling in the flood fringe as required for future building construction.

Narrative for Grading Activities in Shoreland Zone
For: 110 N Fox River Drive
Town of Grand Chute, Outagamie County

This narrative applies 110 N Fox River Drive in the Town of Grand Chute as parts or all of this property may be within the Shoreland Zoning district and mapped flood plain as regulated by Outagamie County . Filling and Grading within the Shoreland Zone or flood plain requires a Conditional Use Permit be issued by the Department.

The land is owned by Gregorski 18, LLC a limited liability company set up by Gregorski development for the purpose of this property. The existing building and also the proposed building will be owned by Gregorski 18, LLC. Gregorski 18, LLC will lease the space to various tenants.

Wetland Issues

Wetlands were delineated on the property in July of 2015. The project purpose is defined in the Practicable Alternatives Analysis prepared for the wetland permitting was for additional development consisting of a 9,000 sf commercial building and associate parking. After it was determined that wetland impacts were unavoidable, the Wisconsin Department of Natural Resources (WDNR) issued a permit to fill a small part of the wetland. This project will disturb 1,500 sf of wetland, which is permitting via WDNR GP# NE-2015-45-04554.

Regulatory Flood Plain Issues

The property, including the existing building, are impacted by the currently effective FEMA flood mapping. The County adopted this Flood Map in 2010, which is now used for regulatory purposes. The intent of the developer is to properly fill the flood fringe areas, document that the filling was done according to NFIP standards in anticipation of future removal by the Federal Emergency Management Agency (FEMA.) It is understood that even though the filling and proper documentation may occur in the near future, that will not constitute removal of land from the mapped flood plain. Until the land is removed via a Letter of Map Revision based on Fill (LOMR-F) from FEMA, any building construction located in the flood plain will be subject to NFIP construction standards and flood insurance.

Filling and Grading Activities:

Filling and grading will be done on the property in order to attract a client for development and also during the construction of the additional development. The work to be done prior is to prepare a site for development, which requires creating a building site which is not mapped flood plain. More detailed Grading, Storm Water, and Erosion Control Plans will be developed once a specific use has been established.

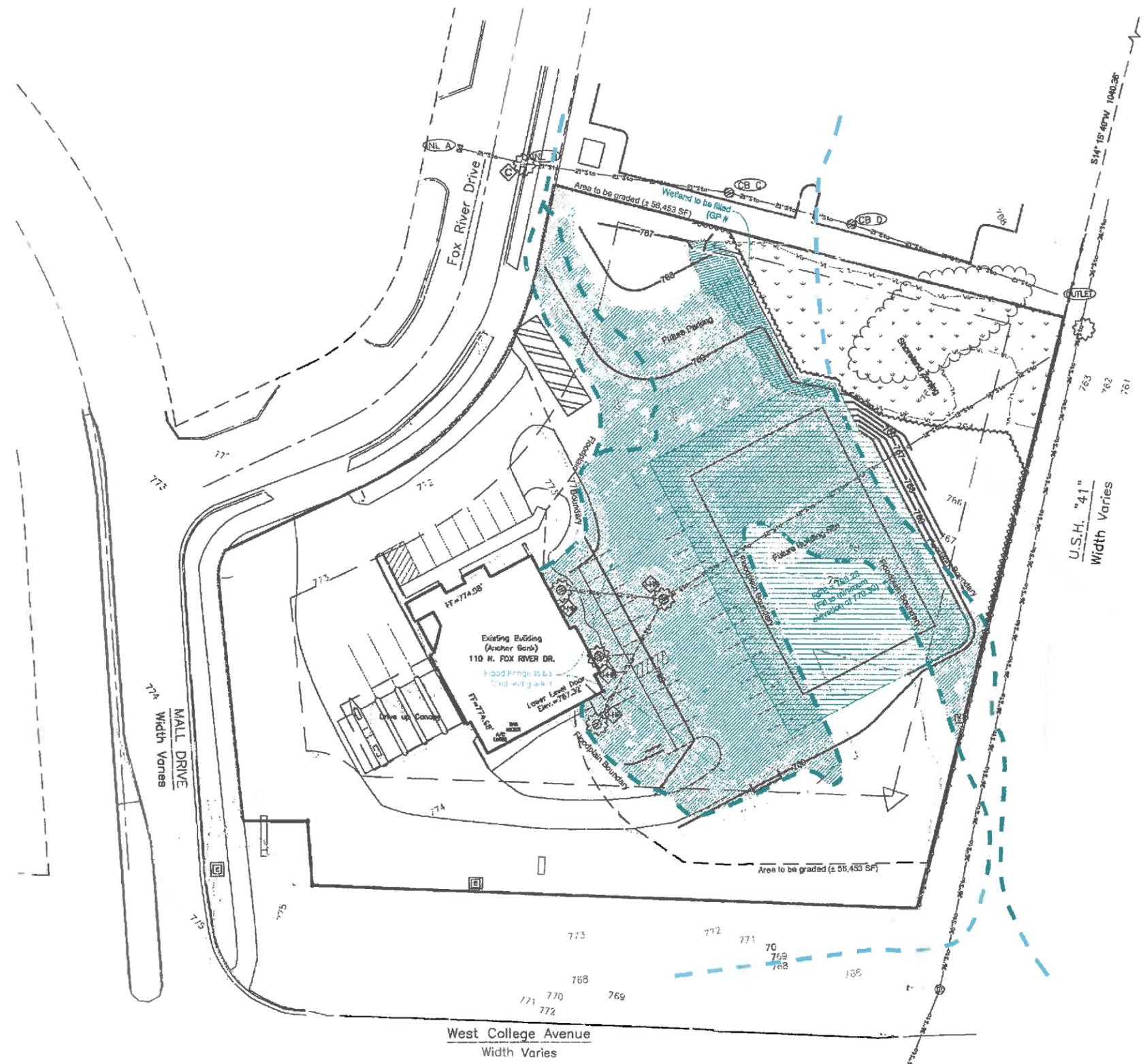
Filling and grading within the shoreland zone for this project will consist of filling and grading in the flood fringe areas in anticipation of removal from flood plain designation and filling and grading associated with building construction. The filling and grading for

removal from flood plain will be done by the owner. The work will be done with conventional earthmoving equipment including backhoes, dozers, tractors, and dump trucks. The activities will include stripping and stockpiling of topsoil for later use, excavations for foundations (future,) spreading and filling of surplus materials, grading to proper elevations as indicated on the drainage plans, respreading of top soil, and seeding and mulching. The wetlands and the stream are to be protected during construction by perimeter silt fencing as indicated on the plans, and other soil stabilizations.

Specifications for Fill placed in Flood Fringe for Land Removal

The following specifications shall be used for the fill placed in the flood fringe.

- Install silt fence prior to any land disturbance along downstream boundary adjacent to but outside of any wetland boundary.
- Strip existing top soil from area to be filled.
- Place suitable soils in lifts not exceeding 12" thick.
- Suitable soils are fine grained soils of low permeability, such as those classified as CH, CL, SC, or ML according to ASTM Standard D-2487, Classification of Soils for Engineering Purposes.
- Area to be removed shall be filled to approximately elevation 770.3 or two feet above the RFE.
- The fill shall be compacted to at least 95% of Standard Laboratory Maximum Dry Density (Standard Proctor,) according to ASTM Standard D-698.
- Respread top soil to a minimum of 4 inch thickness and seed and mulch area to stabilize the soil.
- The fill material shall be homogeneous and isotropic; that is, the soil must be all of one material, and the engineering properties must be the same in all directions.
- An As-built survey must be completed to document the amount of filling in terms of land coverage, location, and elevation for the purposes of a future LOMR-F.
- A report of compaction tests must be completed for the purposes of a future LOMR-F.



LEGEND

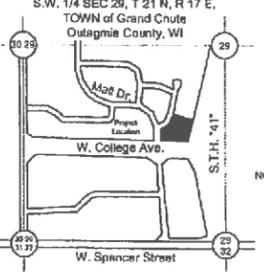
<ul style="list-style-type: none"> — CATV — CATV — F0 — F0 — G1 — G1 — S1 — S1 — S2 — S2 — S3 — S3 — S4 — S4 — S5 — S5 — S6 — S6 — S7 — S7 — S8 — S8 — S9 — S9 — S10 — S10 — S11 — S11 — S12 — S12 — S13 — S13 — S14 — S14 — S15 — S15 — S16 — S16 — S17 — S17 — S18 — S18 — S19 — S19 — S20 — S20 — S21 — S21 — S22 — S22 — S23 — S23 — S24 — S24 — S25 — S25 — S26 — S26 — S27 — S27 — S28 — S28 — S29 — S29 — S30 — S30 — S31 — S31 — S32 — S32 — S33 — S33 — S34 — S34 — S35 — S35 — S36 — S36 — S37 — S37 — S38 — S38 — S39 — S39 — S40 — S40 — S41 — S41 — S42 — S42 — S43 — S43 — S44 — S44 — S45 — S45 — S46 — S46 — S47 — S47 — S48 — S48 — S49 — S49 — S50 — S50 — S51 — S51 — S52 — S52 — S53 — S53 — S54 — S54 — S55 — S55 — S56 — S56 — S57 — S57 — S58 — S58 — S59 — S59 — S60 — S60 — S61 — S61 — S62 — S62 — S63 — S63 — S64 — S64 — S65 — S65 — S66 — S66 — S67 — S67 — S68 — S68 — S69 — S69 — S70 — S70 — S71 — S71 — S72 — S72 — S73 — S73 — S74 — S74 — S75 — S75 — S76 — S76 — S77 — S77 — S78 — S78 — S79 — S79 — S80 — S80 — S81 — S81 — S82 — S82 — S83 — S83 — S84 — S84 — S85 — S85 — S86 — S86 — S87 — S87 — S88 — S88 — S89 — S89 — S90 — S90 — S91 — S91 — S92 — S92 — S93 — S93 — S94 — S94 — S95 — S95 — S96 — S96 — S97 — S97 — S98 — S98 — S99 — S99 — S100 — S100 	<ul style="list-style-type: none"> Underground Cable TV Underground Fiber Optic Overhead Electric Lines Utility Gas Wire Sanitary Sewer (Pipe Size) Storm Sewer (Pipe Size) Underground Electric Underground Gas Line Underground Telephone Water Main (Pipe Size) Fence - Steel Existing Easement Line Wellhead Trestle Culvert Index Contour Intermediate Contour 	<ul style="list-style-type: none"> Sanitary MH / Tank / Base Storm Manhole Inlet Catch Basin / Yard Drain Water MH / Well Hydrant Utility Valve Utility Meter Light Pole / Signal Guy Wire / Pump Electric Pedestal Electric Transformer Air Conditioner Telephone Pedestal Telephone Manhole 	<ul style="list-style-type: none"> CATV Pedestal Gas Regulator Sign Post / Guard Post Large Rock Flag Pole Deciduous Tree Coniferous Tree Bush / Hedge Benchmark Asphalt Pavement Concrete Pavement 3/4" x 1/8" Steel Rebar @ 1.50ba/LF 6ET 1/2" Rebar Found 3/4" Rebar Found 1" Iron Pipe Found Government Corner CRSLEED "C"
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<ul style="list-style-type: none"> Proposed Storm Sewer Proposed Contour Proposed Swells Proposed Culvert Proposed BM Fence Prop. Drainage Direction Proposed Tracking Pad 	<ul style="list-style-type: none"> Proposed Storm Manhole Proposed Curb Inlet Prop. Catch Basin / Yard Drain Proposed Endwall Proposed Rip Rap Proposed Ditch Check Proposed Inlet Protection Type of Inlet Protection
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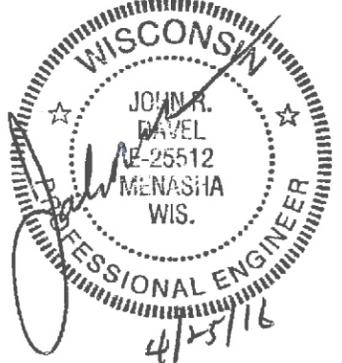
BENCHMARKS (NAVD 88)

BM 0	NGS PD DE751 BRONZE DISH IN CONCRETE ELEV. 781.74'
BM 1	NORTH RIM OF ELECTRIC MANHOLE ±42' S/W OF N/W CORNER OF PROPERTY ELEV. 773.88'
BM 2	FIRE HYDRANT, TAG BOLT ±50' SE OF SE CORNER OF PROPERTY ELEV. 789.73'

LOCATION MAP



- NOTES:**
- Existing utilities shown are indicated in accordance with available records and field measurements. The contractor shall be responsible for obtaining exact locations & elevations of all utilities, including sewer and water from the owners of the respective utilities. All utility owners shall be notified by the contractor 72 hours prior to excavation. Contact Digger's Hotline (1-800-242-8511) for exact utility locations.
 - The Contractor shall verify all staking and field layout against the plan and field conditions prior to constructing the work and immediately notify the Engineer of any discrepancies.
 - Silt fences shall be installed at the toe of all newly constructed fill slopes and shall be maintained until slope vegetation is established. Silt fence shall be installed prior to site grading.
 - Inlet protection shall be installed around the upstream end of new culvert pipes and inlets, in accordance with Wisconsin DOT Standard Detail Drawing 8E10-2.
 - Stone access shall be provided to the construction site. Tracking of mud on existing streets shall be cleaned up daily.
 - Vegetation beyond slopes shall remain.
 - The contractor shall minimize the area disturbed by construction as the project is constructed. Disturbed areas shall be seeded as soon as final grade is established. Contractor shall replace topsoil and then seed, fertilize and mulch all lawn areas within 1 week of topsoil placement.
 - Contractor shall remove all excess materials from the site. Earthwork contractors shall verify topsoil depth.
 - All sediment and erosion control devices and methods shall be in accordance with the Wisconsin DNR Technical Standards.
 - The contractor shall make weekly inspections and inspections within 1 day of any rainfall exceeding 0.5 inches of the sediment and erosion control devices throughout construction. The contractor shall repair or maintain erosion control devices as necessary. The inspection reports shall be made available to the owner at the end of the construction or upon demand during construction.
 - The following specifications shall be used for the fill placed in the flood fringe:
 - Install silt fence prior to any land disturbance along downstream boundary adjacent to but outside of any wetland boundary.
 - Strip existing top soil from area to be filled.
 - Place suitable soils in lifts not exceeding 12" thick.
 - Suitable soils are fine grained soils of low permeability, such as those classified as CH, CL, SC, or ML according to ASTM Standard D-2487, Classification of Soils for Engineering Purposes.
 - Area to be removed shall be filled to approximately elevation 770, or two feet above the RFE.
 - The fill shall be compacted to at least 85% of Standard Laboratory Maximum Dry Density (Standard Proctor) according to ASTM Standard D-698.
 - Respread top soil to a minimum of 4 inch thickness and seed and mulch area to stabilize the soil.
 - The fill material shall be homogeneous and isotropic; that is, the soil must be all of one material, and the engineering properties must be the same in all directions.
 - An As-built survey must be completed to document the amount of filling in terms of land coverage, location, and elevation for the purposes of a future LOMR-F.
 - A report of compaction tests must be completed for the purposes of a future LOMR-F.



PRELIMINARY SITE PREPARATION 04/25/2016

DAVEL ENGINEERING & ENVIRONMENTAL, INC.
CIVIL ENGINEERING CONSULTANTS
1811 Backus Street, Menasha, WI 54952
PH: 920-991-1888 Fax: 920-930-9895
www.davel.com

PROPOSED FILLING, GRADING, & EROSION CONTROL PLAN

110 N Fox River Drive
Town of Grand Chute, Outagamie County, WI
For: Gregorski Development, LLC

Date:	04/25/2016
Filename:	4122sng.dwg
Author:	MDB
Last Saved by:	mitch
Page:	1.5

**Town of Grand Chute
Site Plan Sign Amendment Review
JM Donnelly LLC, dba Urban Evolutions**

To: Plan Commission

From: Robert Buckingham, Community Development Director

Date: May 12, 2016

Address: 2401 W. College Avenue

App. #: SPA2-00-83

REQUEST

- 1. Proposed Use(s):** Continued use for building material/furniture making and sales business
- 2. Project Description:** Replace existing non-conforming pylon sign with a new, compliant sign.
- 3. Plat/CSM Accurate parcel lines/lot recorded:** Yes

ANALYSIS

When Urban Evolutions relocated to this property in 2013, the Town issued a Special Exception Permit allowing the continued use of an existing nonconforming sign for 3 years. In accordance with the terms of that permit, the company seeks approval of a plan for the removal of the existing sign and installation of a new, code-compliant sign. The existing sign cabinets will be removed and the sign pylons will be shortened to support the new sign cabinet at a height of 25' and a size of 143 sq. ft. All code requirements are met with this request.

RECOMMENDATION

Staff has reviewed and supports Plan Commission approval of the Site Plan Sign Amendment (SPA2-00-83) requested by JM Donnelly LLC, dba Urban Evolutions, 2401 W. College Avenue, to replace an existing nonconforming pylon sign with a new, compliant sign.

Remove existing cabinet & readerboard
Cut off poles at 25'. Install new 5" deep channel letters on wood backer installed by Urban Evolutions.

EXISTING SIGN

(2) side covers black aluminum
25'h x 21'-5"d. 2" retainers front & back
(would hide the J-beams)
(1) top cover black aluminum
14' 7" w x 21'-5"d 14'-7" 2" retainers front & back

Side view of letter & top cover

Approx 14' 7" w

25'h

Non-Lit Formed Plastic Letters

FOX CITIES SIGN & LIGHTING SERVICES
Make us bright on your sign.

1125D W. Tuckaway Ln.
Menasha, WI 54952
T:920.378.3515
F:920.955.3602

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WORKING DESIGN FINAL DESIGN

Design #: 1858
Date: 4-19-2016
Name: Urban Evolutions
Location: Appleton, WI
Artist: Dana Bertle

- Full Color Translucent Graphics
- Square Custom Paint Trim & Return - 18D
- Trim, Return, Faces - White
- Paint-Wood Backer
- Retainers-Black
- Vector Logo Required
- Prestige Required

Approved By: _____

Date: _____

sales@foxcitiesign.com
foxcitiesign.com

Going Green

Ask Us About The Latest Energy Efficient Options!

Install Remote Lit Channel Letters on D/F Clad Wood Pylon

**Town of Grand Chute
Site Plan Review
Casaloma Towers, LLC**

To: Plan Commission
From: Michael Patza, Town Planner
Date: May 12, 2015
Address: 3301 N. Casaloma Drive

App. #: SP-05-16

A. REQUEST

- 1. Proposed Use(s):** Multi-Family Residential
- 2. Project Description:** Construction of a 60-unit multi-family apartment building and associated site improvements
- 3. Plat/CSM Accurate parcel lines/lot recorded:** Yes

B. ANALYSIS

Applicant proposes the construction of a 60-unit multi-family apartment building and associated site improvements. This is a 5.26 acre property that is zoned R-4 Multi-Family Residential. The new apartment building will be adjacent to the existing Casaloma Creek Apartments, and this project is the final phase of the development. Originally, this development was planned for a 74 unit building, the proposed 60-unit building meets the density requirements for the R-4 Multi-Family Residential District. The proposed building will be 3 stories, have a brick exterior, and feature underground and surface parking.

The Stormwater Management Plan for the project consists of using overland flow and storm sewer to direct runoff to the existing stormwater retention ponds on the property. The Stormwater Management and Erosion Control Plans are currently under review by the Town Engineer and their approval is a condition of Site Plan approval. Staff is reviewing the Landscape and Site Lighting Plans and their approval is a condition of Site Plan approval. Area and dimensional standards for the project meet code requirements, with the exception of the required 50' wetlands setback on the north side of the property. A staff review and recommendation on granting a setback variance is presented in Section C of this memorandum.

C. WETLAND SETBACK RECOMMENATION

A delineated wetland exists on the north side of the property and occupies 0.167 acres. This is a small, pocket wetland, and is not connected to a larger system. The applicant requests a variance to reduce the wetland setback from 50' to 25', to accommodate the surface parking lot. A reduction from 50' to 18' is requested to accommodate the new building footprint. After completion of a wetland delineation, multiple changes were made to the proposed development to maximize the setback distance from the wetland. To maximize the buffer between the wetland and the surface parking lot, the overall number of parking stalls was reduced from 120 parking stalls to 93, which is just over the code requirement of 90 stalls. The perimeter of the parking lot will feature curb and gutter that will contain all stormwater and prevent it from draining into the wetland area. All stormwater from the parking lot will be directed by storm sewer to the existing stormwater retention ponds. The proposed building was shifted south, away from the delineated wetland, as much as possible. With the new building location, the slope for the driveway entrance to the underground parking facility is being maximized at 14%. Moving the building any further south would increase this slope, creating issues with vehicle clearance at transitions and causing issues during winter weather conditions. Chapter 463-26 of the Municipal Code provides that the Plan Commission may grant

a variance to the wetlands setback standards for good cause. Staff has reviewed the request for a variance to establish a setback from the wetlands of 25' from the surface parking lot and 18' from the new building. Staff has determined the request is the minimum needed to afford relief and recommends approval. Proper design and best management practices will be implemented to mitigate any potential adverse effect from the reduction in the wetlands setback.

Staff has reviewed and recommends that the Plan Commission grant a variance from Chapter 463-19 (D)(3) of the Grand Chute Municipal Code to Casaloma Towers, LLC, 3301 N. Casaloma Drive, allowing a wetlands setback of 25' feet for the surface parking lot and 18' for the new building. In granting this variance, the Plan Commission has determined that the variance is not contrary to the public interest and that such variance will be in general harmony with the purposes and intent of the Town's Stormwater Management and Zoning Codes; the variance will not permit the establishment of a use which is not permitted or permissible in the district; special conditions and circumstances exist which are peculiar to the land involved and which are not applicable to other lands in the same district; the literal interpretation of the provisions of this ordinance would deprive the applicant of rights commonly enjoyed by other properties in the same district; the hardship is not shared generally by other land or buildings in the area; and, the hardship results from the strict interpretation of this ordinance and is not the result of self-created or self-imposed circumstances.

D. SITE PLAN RECOMMENATION

Staff has reviewed and supports Plan Commission approval of the Site Plan (SP-05-16) requested by Casaloma Towers, LLC, 3301 N. Casaloma Drive, for the construction of a 60-unit multi-family apartment building and associated site improvements, subject to: (1) Town Engineer approval of Stormwater and Erosion Control Plans; and, (2) staff approval of the Landscape and Site Lighting Plans.



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Green Bay Office ♦ 1250 Centennial Centre Boulevard ♦ Hobart, WI 54155-8995 ♦ 920-662-9641 ♦ www.releeinc.com

5/11/2016

Mike Patza, Town Planner
TOWN OF GRAND CHUTE
1900 West Grand Chute Blvd
Grand Chute, WI 54913-9613

RE: Casaloma Towers Multi-Family Development
Wetland Setback Discussion

Mr. Patza:

NES Ecological Services performed a wetland delineation on the site of the proposed Casaloma Towers multi-family development and it was found that a small wetland pocket was present in the northeast corner of the site. Based on Town ordinances, a 50' wetland setback is required for all impervious surfaces. Due to the small nature of the site and the location of the wetland pocket adjacent to the existing storm water ponds, this 50' setback could not be met and still provide an economically viable multi-family development. However, through discussions with Town staff, it may be permissible to reduce this setback.

The original proposed layout maximized the available space and provided 120 parking stalls, which is approximately 2 parking stalls per unit in the building. Although the owner has found that 1.7 to 2 stalls per unit is typically more adequate for a building like this, in order to increase the wetland setback to the maximum extent, the number of parking stalls was reduced to 93. 93 stalls is just over the minimum required number of 90 (1.5 stalls per unit). The parking lot is now located approximately 25' from the wetland. To help ensure the protection of the wetlands, curb and gutter will be installed around the perimeter of the parking lot to completely contain all storm water runoff from the parking lot. All storm water will then be captured via storm sewer and directed to the existing storm water ponds, away from the wetlands.

The proposed building was also shifted south such that it is now located the furthest from the wetlands that it can be (approximately 18'). With this location, the slope on the ramp from the driveway to the south down to the underground parking area is being maximized around 14%. It is not recommended to go steeper than this as vehicle bumpers begin to scrape at the transitions areas when steeper slopes are installed and the slopes become difficult to traverse during winter conditions. The building could not be shifted further south because this would decrease the length of the ramp and increase the slope. The building is located approximately 20' off of the private driveway to the south, which will provide adequate space for snow storage along the private driveway. The building height is also 20' high at 20' off of the driveway, which means at this location, the driveway to the south is just outside of the fall zone during a building fire. It would not be desirable to have the driveway to the south within the fall zone as this would likely be a fire lane should a fire ever occur.

Although the proposed project will be located within the Town's 50' wetland setback, the existing wetlands will still be protected and will continue to flourish. The wetlands will be



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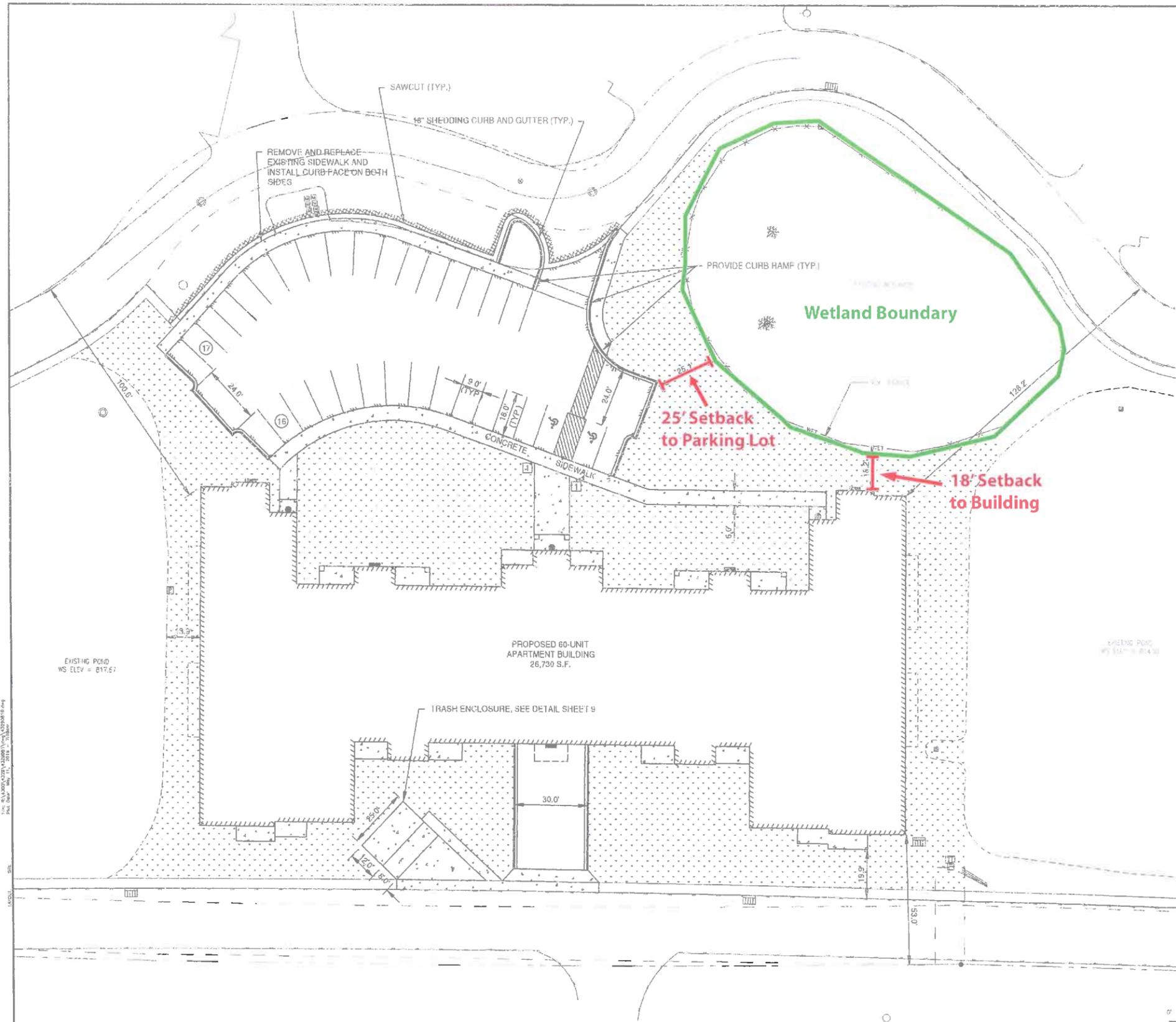
protected from the dirtier storm water runoff of the parking lot and the cleaner runoff from the building downspouts will be directed towards the wetlands to ensure that adequate hydrology is still maintained. The wetlands have already continued to thrive since the construction of the original Casaloma Creek apartment complex and portions of the paved driveways for that project are within 10' of the existing wetlands. The project will also meet all WDNR wetland setback requirements.

Sincerely,

ROBERT E. LEE & ASSOCIATES, INC.

Aaron Breitenfeldt, P.E.

AJB



- LEGEND**
- CONCRETE PAVEMENT
 - ASPHALT PAVEMENT
 - LANDSCAPE AREA
 - GREEN SPACE
 - PROPOSED SHEDDING 18" CURB & GUTTER (UNLESS OTHERWISE NOTED)
 - PROPOSED STANDARD CURB & GUTTER
 - TRAFFIC FLOW ARROW
 - HANDICAPPED PARKING
 - INDICATE'S NUMBER OF PARKING STALLS
 - LED WALL PACK
 - CAN LIGHT

*NOTE: ALL DIMENSIONS ARE TO THE FACE OF CURB, UNLESS NOTED OTHERWISE.

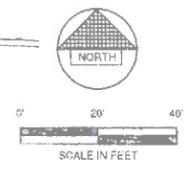
NOTE
 ALL AREAS DESIGNATED AS "GREEN SPACE" OR "LAWN", SHALL BE TOPSOILED TO A DEPTH OF 6 INCHES, SEEDED AND MULCHED. AREA TO BE HAKED FREE OF STONES AND CLUMPS.

PARKING DATA
 TOTAL PARKING SPACES PROVIDED = 93 (60 UNDERGROUND PARKING STALLS)
 HANDICAP ACCESSIBLE PARKING SPACES = 4 (2 UNDERGROUND)
 TOTAL PARKING SPACES REQUIRED = 90 (1.5 PER DWELLING UNIT 60*1.5=90)

SITE DATA
 TOTAL AREA = 5.26 ACRES, 229,126 S.F.
 BUILDING AREA = 0.74 ACRES, 32,155.30 S.F. (14%)
 SIDEWALK/PARKING LOT AREA = 0.74 ACRES, 32,003.92 S.F. (14%)
 GREEN SPACE = 3.78 ACRES, 164,966.78 S.F. (72%)

ZONING
 R-4

PARCEL NO.
 101081203



NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION

CASALOMA TOWERS
 FOR LEXINGTON HOMES, INC.
 TOWN OF GRAND CHUTE
 OUTAGAMIE COUNTY, WISCONSIN

Wetland Setback Reference Map

DATE 4/5/2018	<p>Robert E. Lee & Associates, Inc. ENGINEERING, SURVEYING, ENVIRONMENTAL SERVICES 1250 CENTENNIAL CENTRE BOULEVARD, MCBART, WI 54185 920-622-8841 www.reeeinc.com Celebrating 60 Years of Excellence</p>
FILE 43296810	
JOB NO. 432968	
SCALE	



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 DATE: 05/20/16
 TIME: 10:44:30 AM

US Paper Converters Shipping and Receiving Sign

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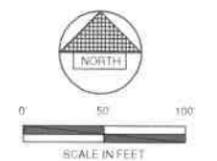
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 TOWN OF GRAND CHUTE
 OUTAGAMIE COUNTY, WISCONSIN

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SHEET NO.
2

Proposed New 60 Unit Leased Residences

with Lower Level Parking

Presented by;

LEXINGTON HOMES

Casaloma Towers

DETAIL OF
NORTH ELEVATION
SCALE: 3/16" = 1'-0"



FRONT ELEVATION
SCALE: 3/32" = 1'-0"



CASALOMA TOWERS

 <p>LaPlant Architecture, LLC</p> <p>OFFICE: 1256 WILLARD DRIVE GREEN BAY, WISCONSIN MAILING: 1502 RUSTIC WAY GREEN BAY, WISCONSIN 54303 Telephone: (920) 737-9700 Email: laplant@laplantarchitecture.com</p>	<table border="1"> <tr> <th>REVISION</th> <th>DATE</th> </tr> <tr> <td> </td> <td> </td> </tr> </table>	REVISION	DATE								
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<p>DATE: 6/16/2015 PROJECT NO: 481458 SHEET: A 1.1</p>	<p>© LaPlant Architecture LLC 2015</p>										



SOUTH ELEVATION
SCALE: 3/32" = 1'-0"

GENERAL NOTE:
OUTER MATERIAL ON FACE OF BRICK
OUT BRICKS ON REVERSE SURFACES NOT
SEEN IN ELEVATION

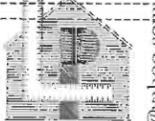


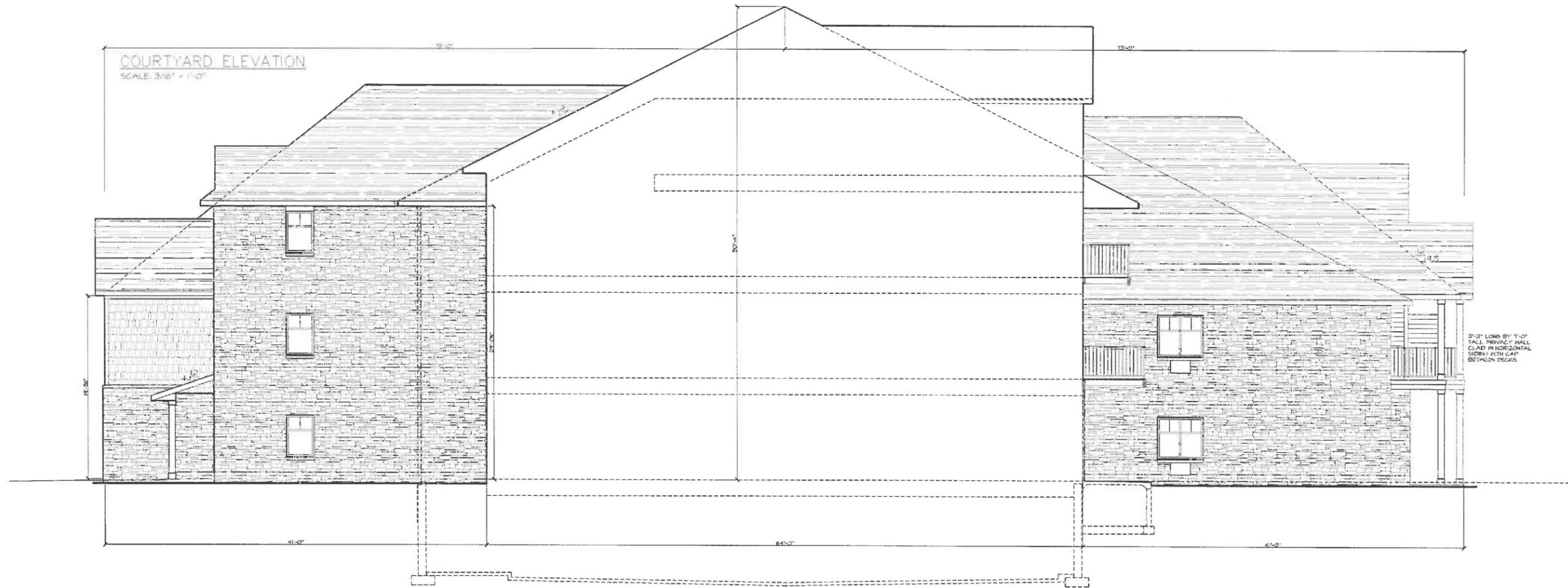
8' PATIO DOOR OR 8' GLASS
DOOR NOT SEEN AND CORNER
TRANSOM (ALL FLOORS)
SEE SECTION CUT, G/A3.2

VERIFY STEP DOWN OF FOUNDATION
WALLS TO INSURE 4'-0" PROTECTION
BASED ON FINISHED GRADE

**DETAIL OF
SOUTH ELEVATION**
SCALE: 3/16" = 1'-0"

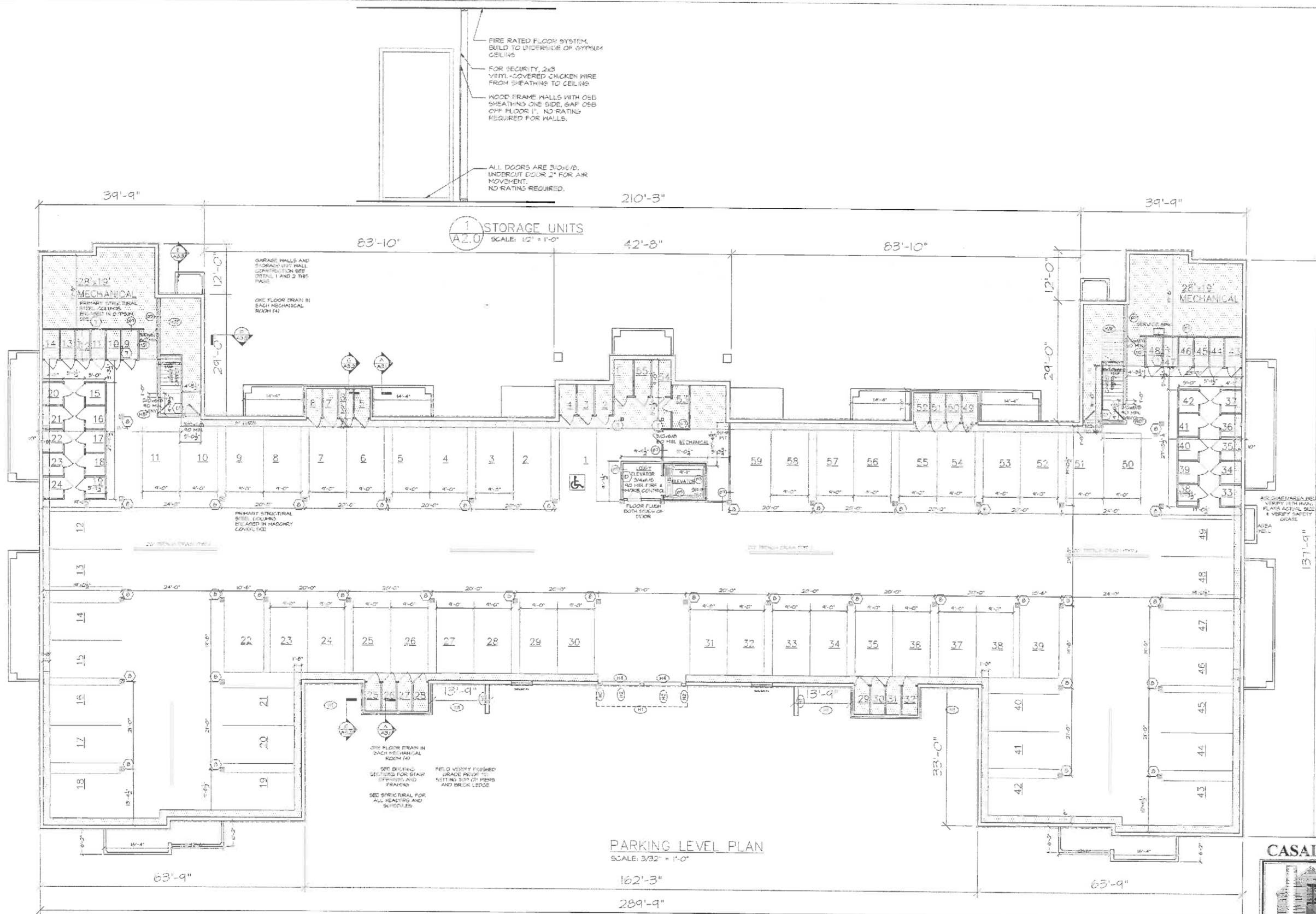
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K	XX										
<p>DATE: 6/16/2016 PROJECT NO.: 481458 SHEET: A 1.4</p>											



FIRE RATED FLOOR SYSTEM, BUILD TO UNDERSIDE OF GYPSUM CEILING

FOR SECURITY, 2x3 VINYL-COVERED CHICKEN WIRE FROM SHEATHING TO CEILING

WOOD FRAME WALLS WITH OSB SHEATHING ONE SIDE, 6x6 OSB OFF FLOOR 1". NO RATING REQUIRED FOR WALLS.

ALL DOORS ARE 3/0x6/8, UNDERCUT DOOR 2" FOR AIR MOVEMENT. NO RATING REQUIRED.

1 STORAGE UNITS
SCALE: 1/2" = 1'-0"

PARKING LEVEL PLAN
SCALE: 3/32" = 1'-0"

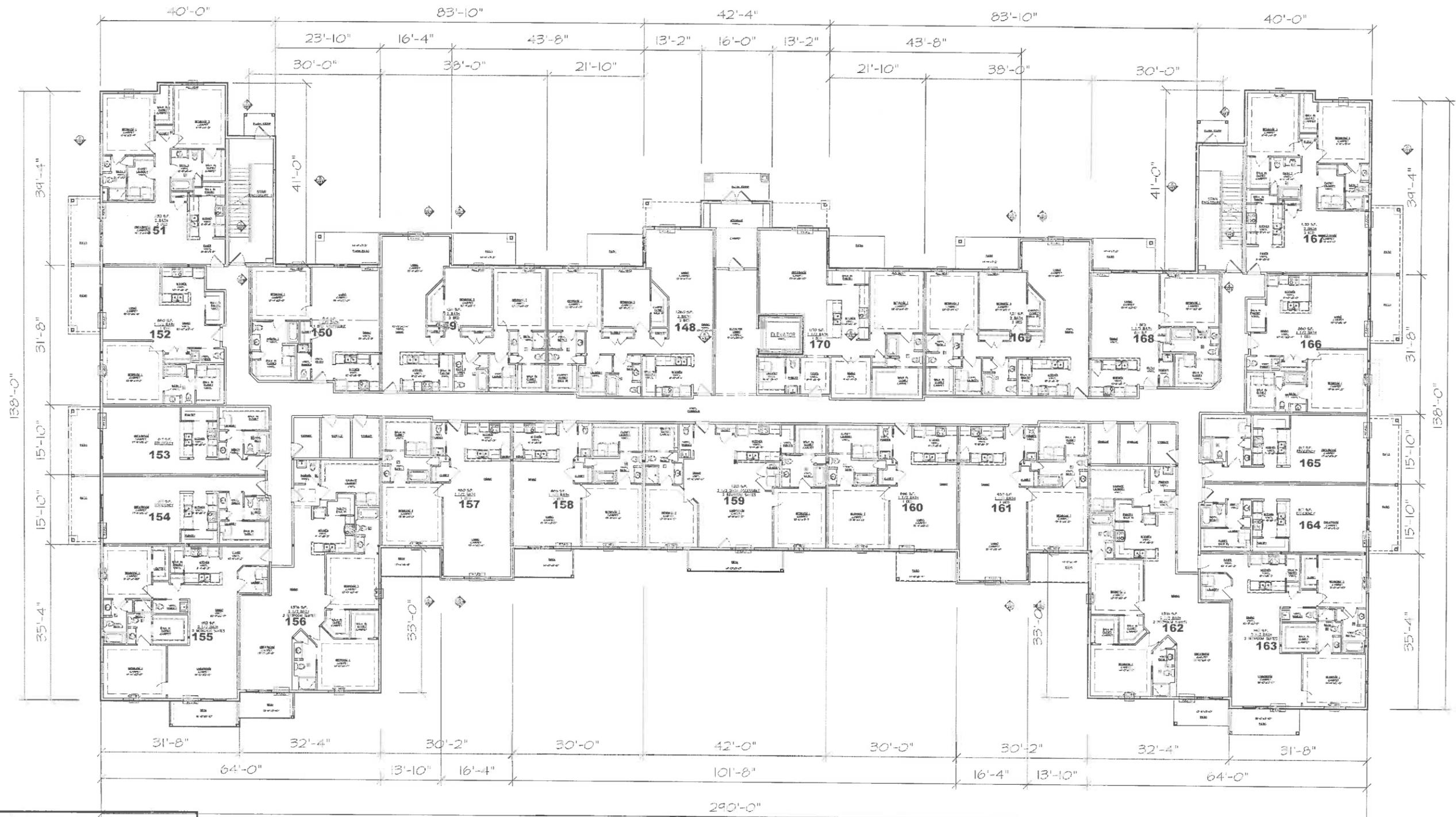
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NORTH



- TYPICAL FIRE RATED STRUCTURES NOTES**
1. ALL EXTERIOR WALLS ARE FIRE RATED FROM THE INSIDE STUDS 2x6@16" O.C. UNLESS OTHERWISE NOTED.
 2. ALL INTERIOR PARTITIONS ARE NON-BEARING AND STUDS ARE 2x 6 @ 24" O.C. UNIT SEPARATIONS ARE 1 HOUR RATED AND CORRIDORS ARE 1/2 HOUR RATED U.O.N.
 3. NO DRAFTS TOPPING REQUIRED IN FLOOR OR ATTIC SPACES.
 4. FIRST FLOOR (HORIZONTAL ASSEMBLY) 1 HOUR RATED, STEEL IS INDIVIDUALLY ENCAPSULATED, RESILIENT CHANNEL FOR PARKING AREA CEILING U.O.N.
 5. SECOND FLOOR (HORIZONTAL ASSEMBLY) 1 HOUR RATED, STEEL IS INDIVIDUALLY SPRAY FIRE PROTECTED, IS-1 CHANNEL ON CEILING WHERE SEPARATING A DWELLING ABOVE U.O.N.
 6. THIRD FLOOR (HORIZONTAL ASSEMBLY) 1 HOUR RATED, STEEL IS INDIVIDUALLY SPRAY FIRE PROTECTED, IS-1 CHANNEL ON CEILING WHERE SEPARATING A DWELLING ABOVE U.O.N.
 7. LOFT FLOOR (HORIZONTAL ASSEMBLY) 1 HOUR RATED, STEEL IS SPRAY FIRE PROTECTED, RESILIENT CHANNEL FOR CEILING U.O.N.
 8. STAIR AND ELEVATOR SHAFTS ARE TWO HOUR RATED GYPSUM SHAFT WALL SYSTEM ENDING AT TWO HOUR CAP.
 9. ALL CEILING TO ATTIC LIDS RATED WITH 2 LAYERS TYPE X GYPSUM.
 10. ISO 10596 SHAFT MALLS AND FIRE PARTITIONS REQUIRED TO HAVE PROTECTED CEILING PERMANENTLY IDENTIFIED IN DROPPED CEILING SPACE WITH SIGNS OR STENCILING.

FIRST FLOOR PLAN
SCALE: 3/32" = 1'-0"
SOUTH

UNIT COUNT	
UNIT STYLE	NUMBER OF UNITS PER FLOOR
LINERY 2 BEDROOM 2 1/2 BATH	2
2 BEDROOM 2 1/2 BATH	3
2 BEDROOM 2 BATH	5
LINERY 1 BEDROOM 1 1/2 BATH	1
1 BEDROOM 1 1/2 BATH	8
EFFICIENCY 1 BATH	4

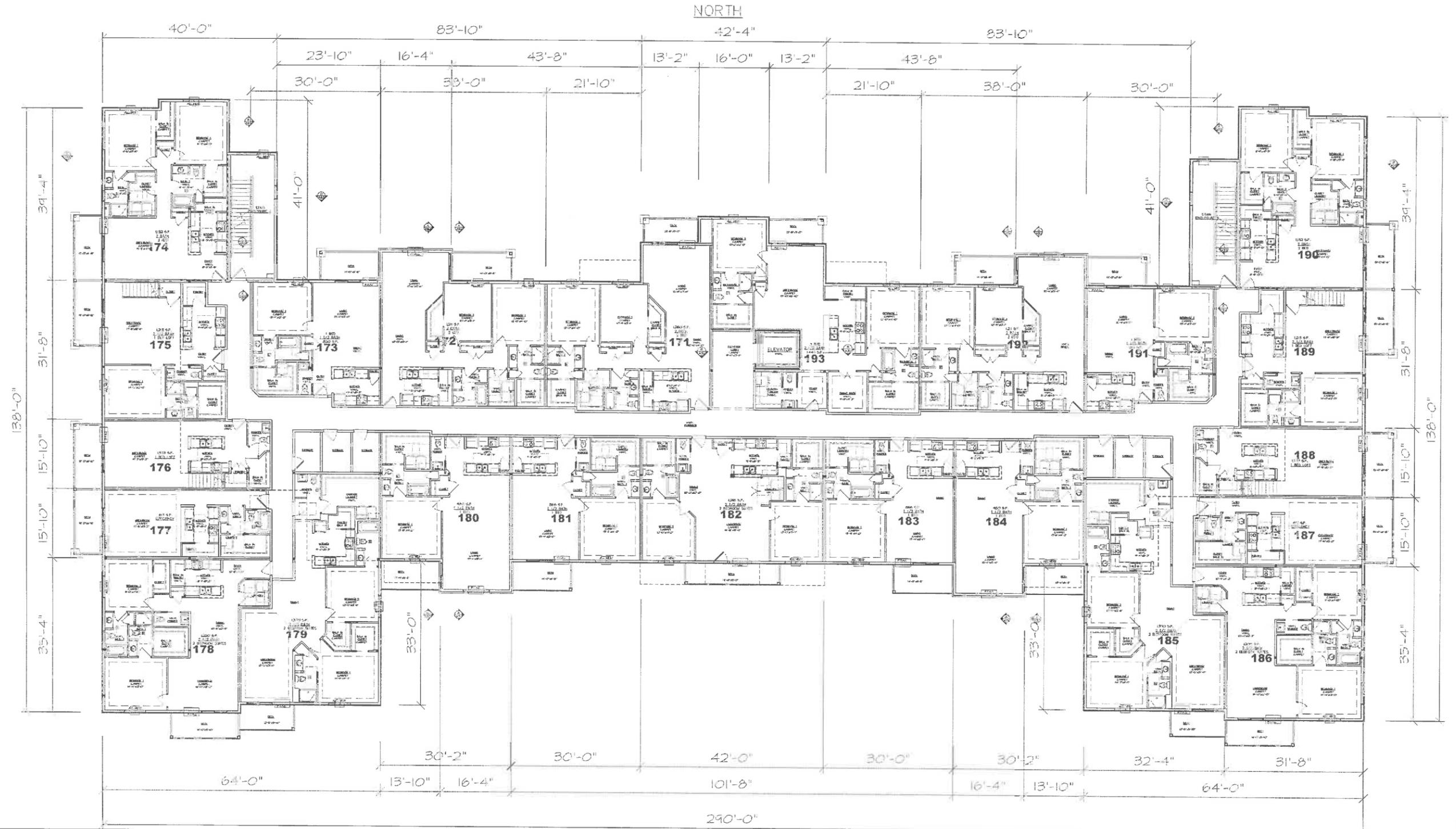
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- TYPICAL FIRE RATED STRUCTURES NOTES**
1. ALL EXTERIOR WALLS ARE FIRE RATED FROM THE INSIDE, STUDS 2x6x8 @ 24" O.C., UNLESS OTHERWISE NOTED.
 2. ALL INTERIOR PARTITIONS ARE NON-BEARING AND STUDS ARE 2x 6 @ 24" O.C. UNIT SEPARATIONS ARE 1 HOUR RATED AND CONSIDERS ARE 1/2 HOUR RATED, U.O.N.
 3. NO DRAFTSTOPPING REQUIRED IN FLOOR OR ATTIC SPACES.
 4. FIRST FLOOR (HORIZONTAL ASSEMBLY) 1 HOUR RATED, STEEL IS INDIVIDUALLY ENCAPSULATED, RESILIENT CHANNEL FOR PARKING AREA CEILING U.O.N.
 5. SECOND FLOOR (HORIZONTAL ASSEMBLY) 1 HOUR RATED, STEEL IS INDIVIDUALLY SPRAY FIRE PROTECTED, 18-1 CHANNEL ON CEILING WHERE SEPARATING A DWELLING ABOVE, U.O.N.
 6. THIRD FLOOR (HORIZONTAL ASSEMBLY) 1 HOUR RATED, STEEL IS INDIVIDUALLY SPRAY FIRE PROTECTED, 18-1 CHANNEL ON CEILING WHERE SEPARATING A DWELLING ABOVE, U.O.N.
 7. LOFT FLOOR (HORIZONTAL ASSEMBLY) 1 HOUR RATED, STEEL IS SPRAY FIRE PROTECTED, RESILIENT CHANNEL FOR CEILING, U.O.N. STAIR AND ELEVATOR SHAFTS ARE TWO HOUR RATED GYPSUM SHAFT WALL SYSTEM BISHING AT TWO HOUR GAP.
 8. ALL CEILING TO ATTIC LIDS RATED WITH 2 LAYERS TYPE X GYPSUM.
 9. I/O, T/O & S/O SHAFT WALLS AND FIRE PARTITIONS REQUIRED TO HAVE PROTECTED OPENINGS PERMANENTLY IDENTIFIED IN DROPPED CEILING SPACE WITH SIGNS OR STENCILING.

UNIT COUNT	
UNIT STYLE	NUMBER OF UNITS PER FLOOR
LOFT	3
2 BEDROOM 2 1/2 BATH	3
2 BEDROOM 2 1/2 BATH	3
2 BEDROOM 2 BATH	5
1 BEDROOM 4 LOFT 2 1/2 BATH	4
1 BEDROOM 1 1/2 BATH	6
EFFICIENCY	2

SECOND FLOOR PLAN
SCALE: 3/32" = 1'-0"

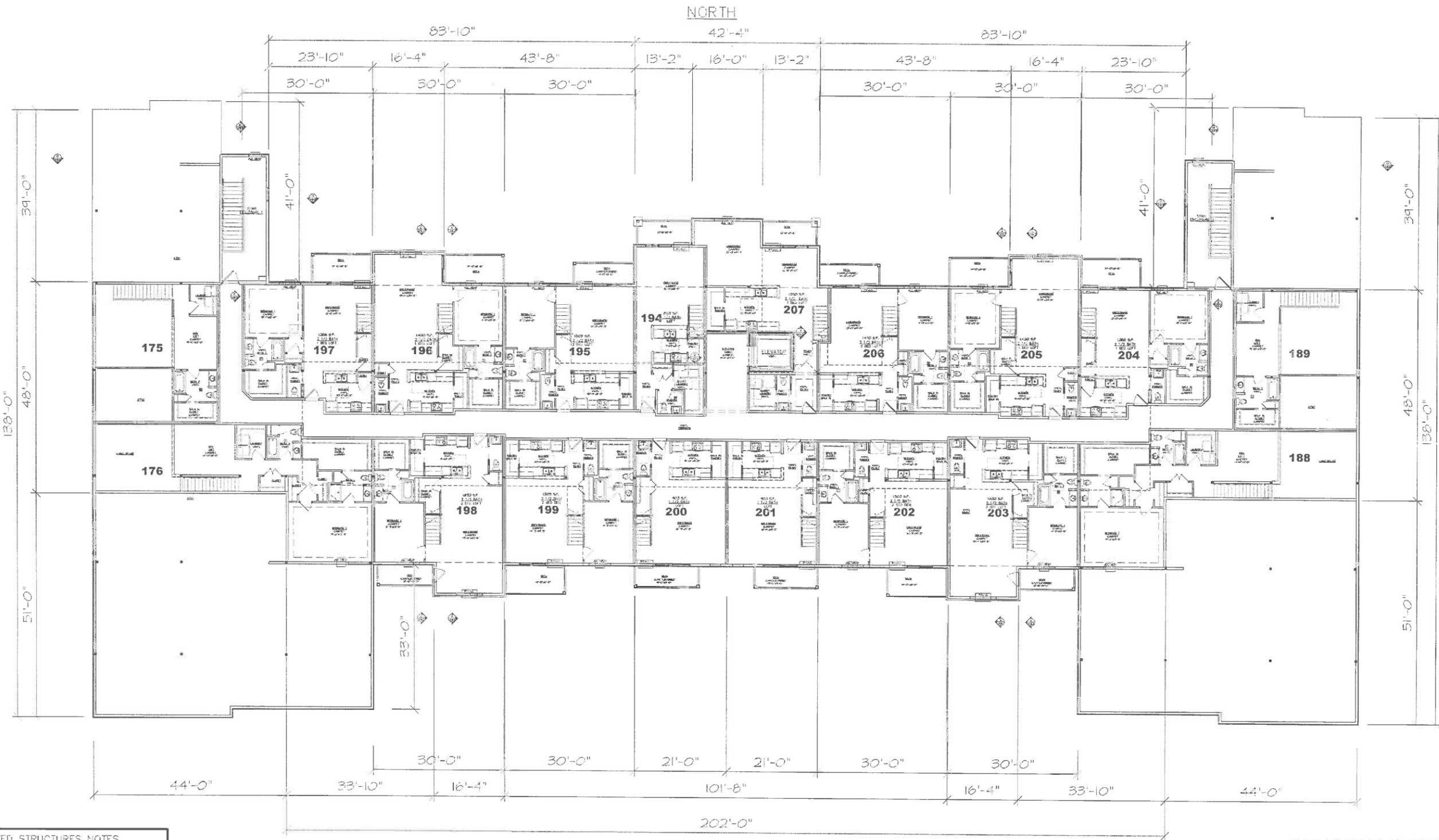
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TYPICAL FIRE RATED STRUCTURES NOTES

1. ALL EXTERIOR WALLS ARE FIRE RATED FROM THE INSIDE, STUDS 2x6@16" O.C., UNLESS OTHERWISE NOTED.
2. ALL INTERIOR PARTITIONS ARE NON-BEARING AND STUDS ARE 2x 6 @ 24" O.C., UNIT SEPARATIONS ARE 1 HOUR RATED AND CORRIDORS ARE 1/2 HOUR RATED, U.O.N.
3. NO DRAITSTOPPING REQUIRED IN FLOOR OR ATTIC SPACES.
4. FIRST FLOOR (HORIZONTAL ASSEMBLY) 1 HOUR RATED, STEEL IS INDIVIDUALLY ENCAPSULATED, RESILIENT CHANNEL FOR PARKING AREA CEILING U.O.N.
5. SECOND FLOOR (HORIZONTAL ASSEMBLY) 1 HOUR RATED, STEEL IS INDIVIDUALLY SPRAY FIRE PROTECTED, 18-1 CHANNEL ON CEILING WHERE SEPARATING A DWELLING ABOVE, U.O.N.
6. THIRD FLOOR (HORIZONTAL ASSEMBLY) 1 HOUR RATED, STEEL IS INDIVIDUALLY SPRAY FIRE PROTECTED, 18-1 CHANNEL ON CEILING WHERE SEPARATING A DWELLING ABOVE, U.O.N.
7. LOFT FLOOR (HORIZONTAL ASSEMBLY) 1 HOUR RATED, STEEL IS SPRAY FIRE PROTECTED, RESILIENT CHANNEL FOR CEILING, U.O.N.
8. STAIR AND ELEVATOR SHAFTS ARE TWO HOUR RATED BYRSM SHAF WALL SYSTEM ENDING AT TWO HOUR CAP.
9. ALL CEILING TO ATTIC LIDS RATED WITH 2 LAYERS TYPE X GYPSUM.
10. IBC 709.6 SHAF WALLS AND FIRE PARTITIONS REQUIRED TO HAVE PROTECTED OPENINGS PERMANENTLY IDENTIFIED IN DROPPED CEILING SPACE WITH SIGNS OR STEERING.

UNIT COUNT	
UNIT STYLE	NUMBER OF UNITS PER FLOOR
2 BEDROOM + LOFT	6
2 1/2 BATH	5
1 BEDROOM + LOFT	9
1 1/2 BATH	

THIRD FLOOR PLAN
SCALE: 3/32" = 1'-0"

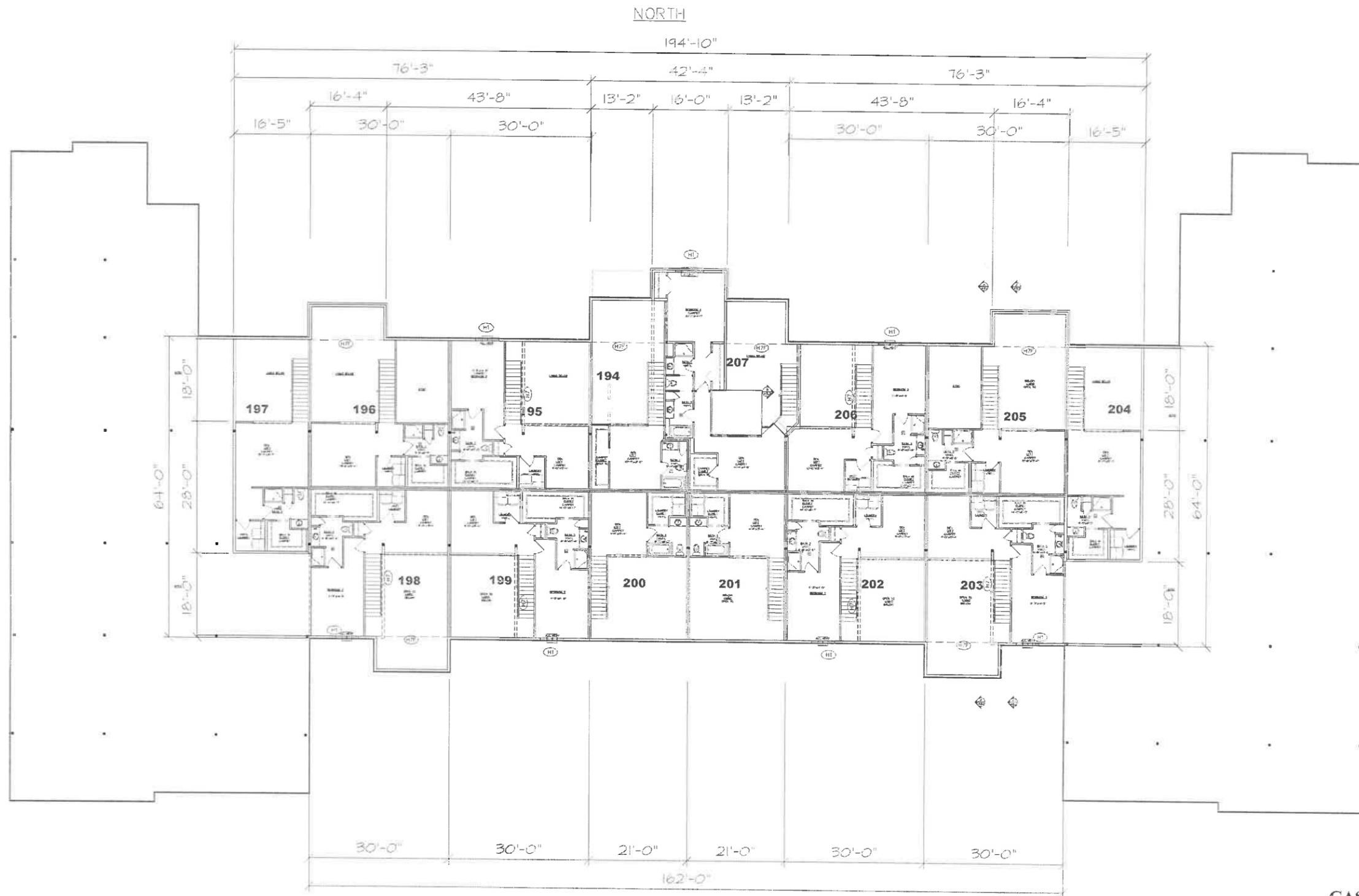
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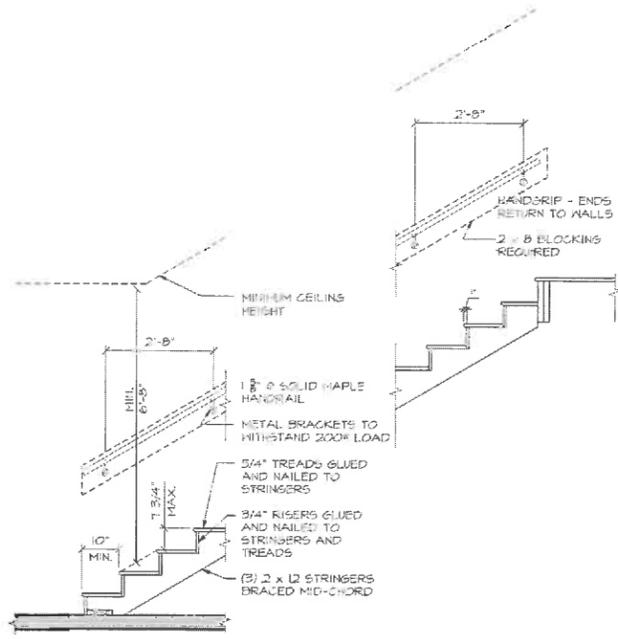
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LOFT FLOOR PLAN
 SCALE: 3/32" = 1'-0"
 SOUTH

CASALOMA TOWERS

 <p>LaPlant Architecture, LLC</p> <p>CONCEPT WILLARD DAVIS OPEN DAY, WISCONSIN MAILING 100 RUSTIC WAY OPEN DAY, WISCONSIN 54913 Telephone (920) 737-0109</p> <p>TMAIL: laplantarchitecture@yahoo.com</p>	<table border="1"> <tr> <th>REVISION</th> <th>DATE</th> </tr> <tr> <td>X</td> <td>XX</td> </tr> <tr> <td> </td> <td> </td> </tr> </table>	REVISION	DATE	X	XX								
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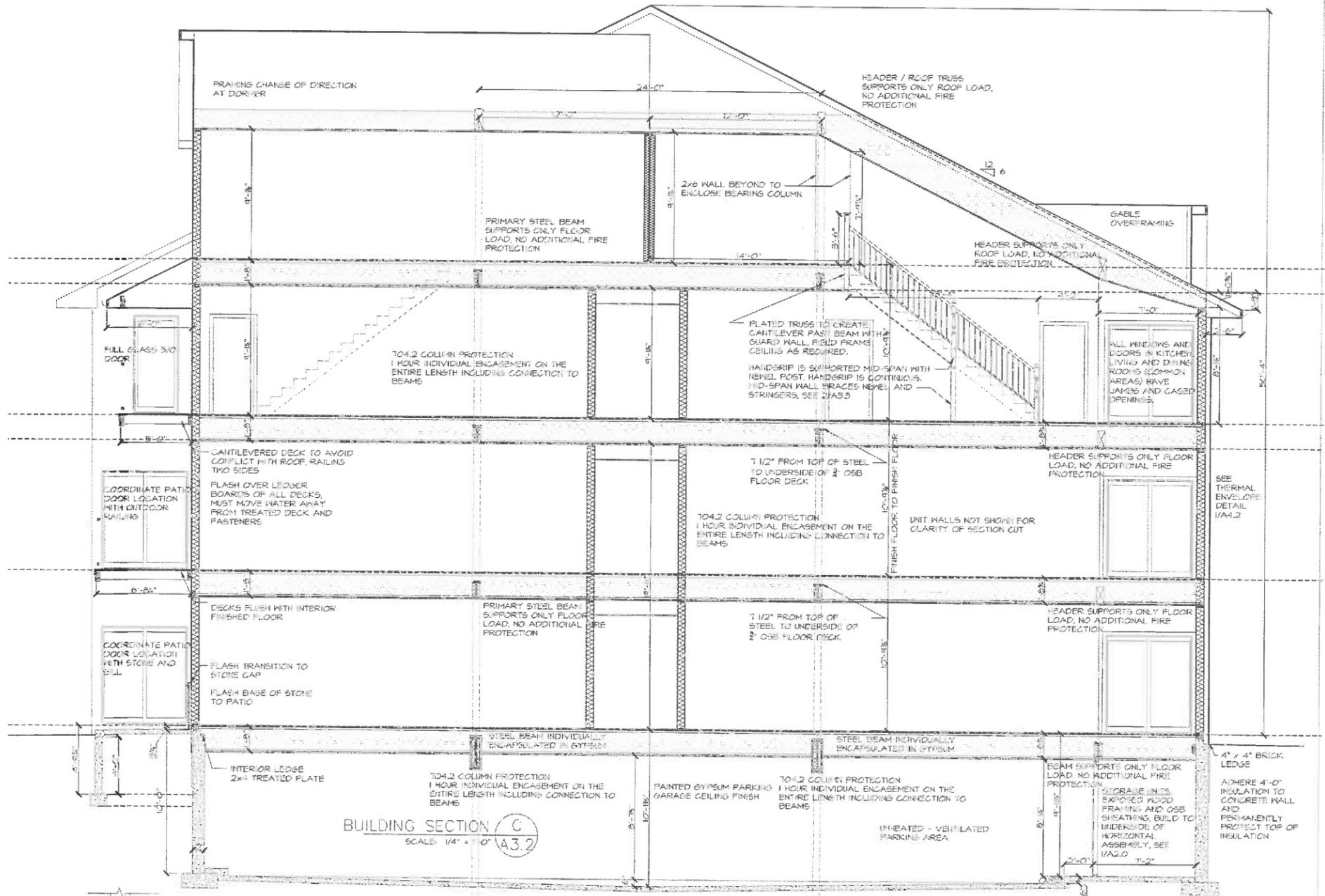


DWELLING UNIT STAIR
TYPICAL DETAIL

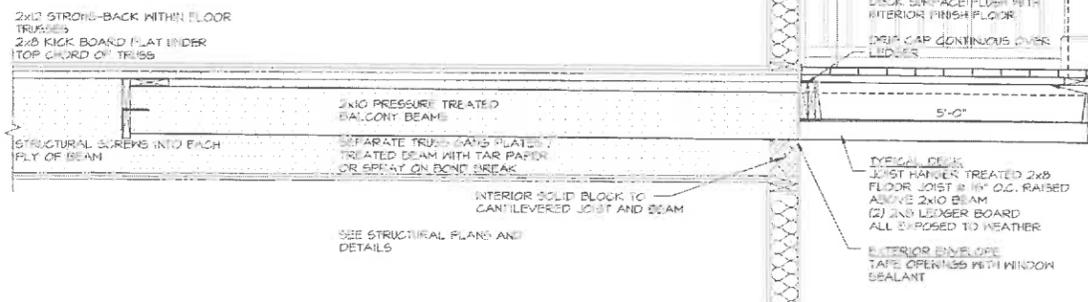
SCALE: 1/2" = 1'-0" (A3.2)

GENERAL NOTES-STAIRS WITHIN DWELLING UNITS:

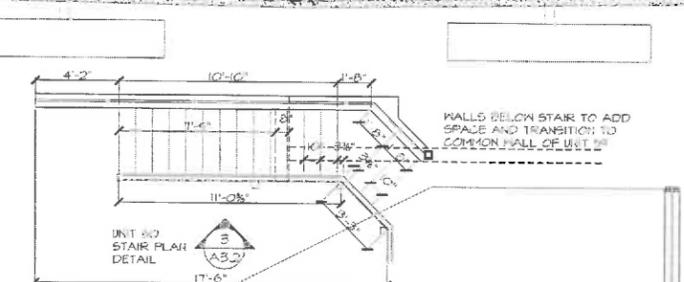
1. HEADROOM - EVERY STAIR SHALL HAVE A MINIMUM HEADROOM CLEARANCE OF 6 FEET 6 INCHES. THE MINIMUM CLEARANCE SHALL BE MEASURED VERTICALLY FROM A LINE PARALLEL TO THE NOSING OF THE TREADS TO THE CEILING OR SOFFIT DIRECTLY ABOVE THAT LINE.
2. TREADS AND RISERS - RISERS MAY NOT EXCEED 7.75" IN HEIGHT. TREADS SHALL BE AT LEAST 10" IN DEPTH. A NOSING OF 1" SHALL BE PROVIDED ON STAIRWAYS WITH SOLID RISERS WHERE THE TREAD DEPTH IS LESS THAN 11". THERE SHALL BE NO VARIATION IN UNIFORMITY EXCEEDING 3/8" IN THE DEPTH OF TREADS OR HEIGHT OF RISERS. DIMENSIONS SHOULD BE MEASURED PRIOR TO FINISH MATERIALS.
3. HANDRAILS AND HALF WALLS - A HANDRAIL SHALL BE PLACED ON EITHER SIDE OF STAIR AT 34" TO 38" ABOVE THE NOSING OF THE TREAD. HALF WALLS OR GUARD WALLS TO BE MINIMUM 42" ABOVE TREAD AND SAME LOADING REQUIREMENTS.
4. HAND GRIP DIMENSIONS - THE HAND GRIP PORTION OF A HANDRAIL MAY NOT BE LESS THAN 1 1/4 INCHES NOR MORE THAN 2 INCHES IN ANY HORIZONTAL CROSS-SECTIONAL DIMENSION. IF HAND RAIL IS NOT CIRCULAR, THE PERIMETER SHALL BE AT LEAST 4" AND NOT GREATER THAN 6 1/4" WITH A MAX. CROSS-SECTIONAL DIMENSION OF 2 1/4". ALL EDGES TO HAVE A 1/8" RADIUS.
5. WALL CLEARANCE - THE CLEARANCE BETWEEN A HANDRAIL AND A WALL SURFACE SHALL BE AT LEAST 1 1/2 INCHES.
6. LOADINGS - HANDRAILS SHALL BE DESIGNED AND CONSTRUCTED TO WITHSTAND A 200-POUND LOAD APPLIED IN ANY DIRECTION, AT ANY POINT OR 50 POUNDS PER LINEAL FOOT.
7. TYPICAL STAIR CONFIGURATION - (3) 2 x 12 D.P. STRINGERS BRACED MID-SPAN, 1 x 8 RISERS, AND 3/4" (NOMINAL) BULL NOSE TREADS.



BUILDING SECTION C
SCALE: 1/4" = 1'-0" (A3.2)



1 CANTILEVERED DECK
SCALE: 3/4" = 1'-0" (A3.2)



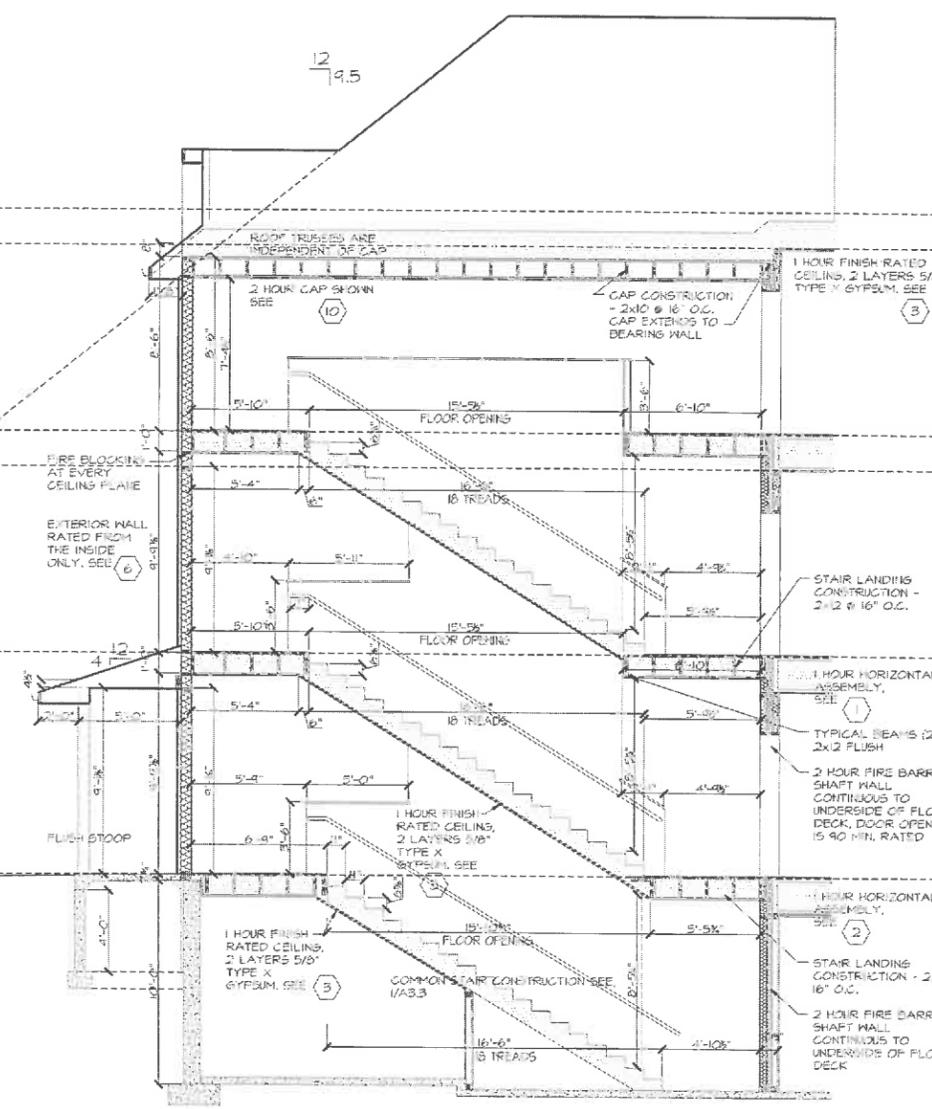
UNIT 60 STAIR 3
SCALE: 1/4" = 1'-0" (A3.2)

CASALOMA TOWERS

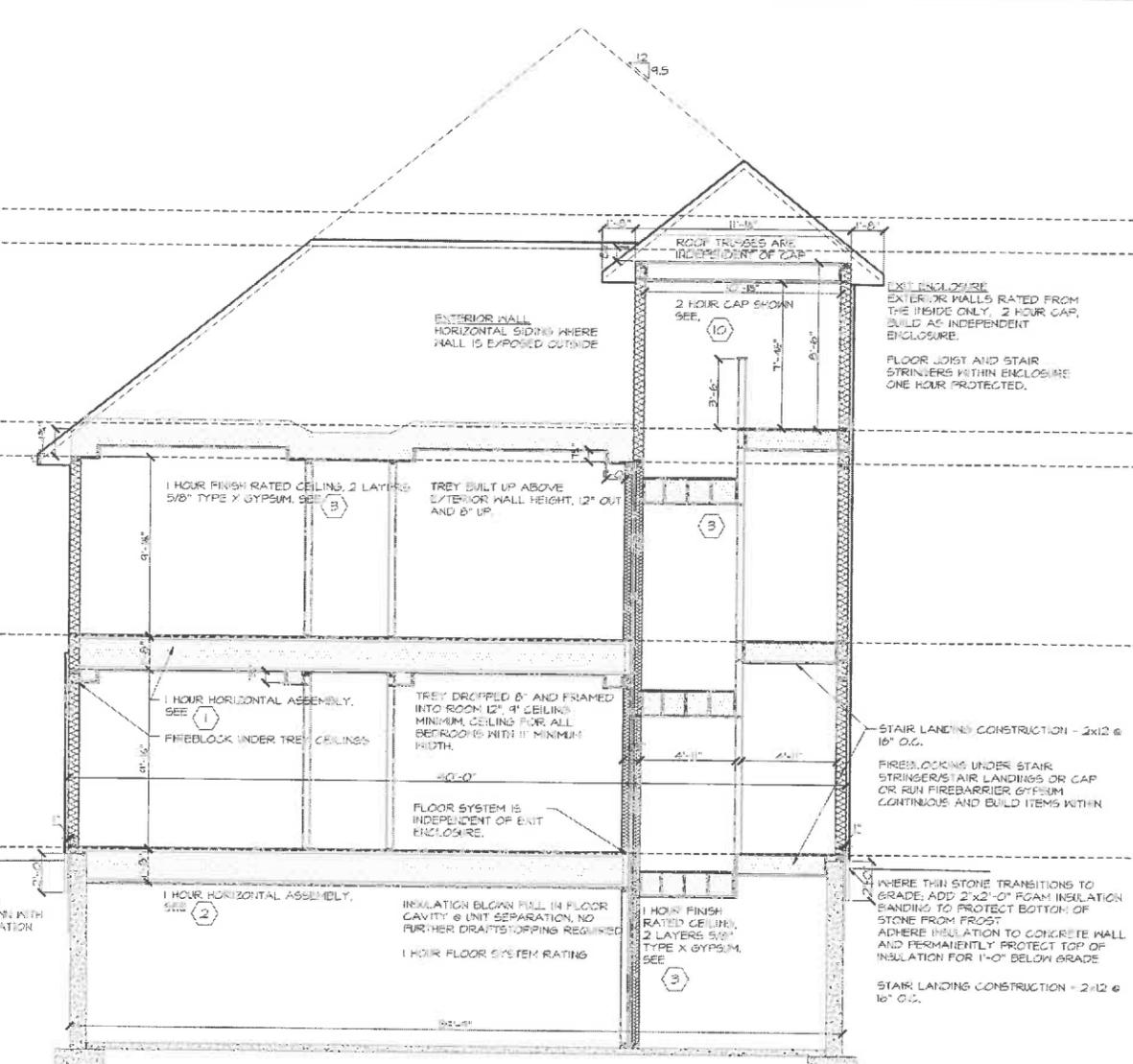
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JOB NO.:
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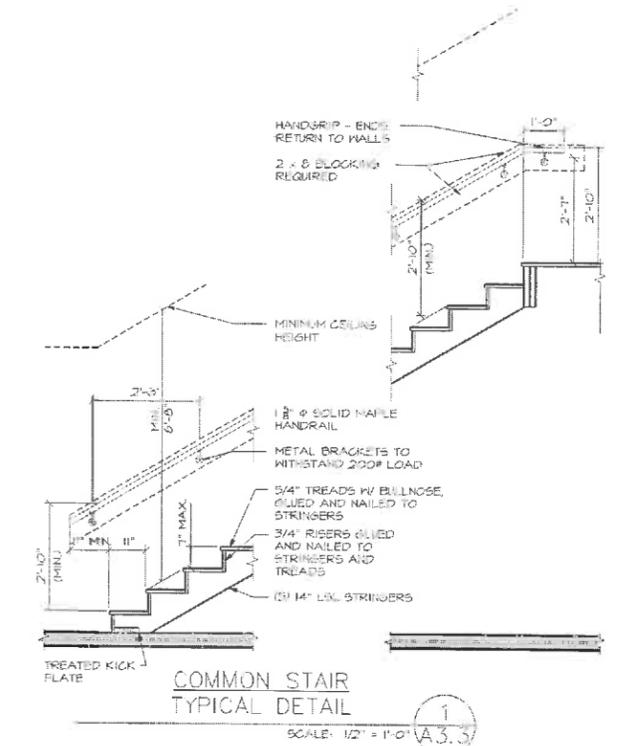
ONE E226 WILLARD DR. GREEN BAY WISCONSIN 53001
MILWAUKEE WISCONSIN 53211
GREEN BAY WISCONSIN 53001
Telephone: (920) 737-7669
E-MAIL: Laplantarchitecture@yahoo.com
LaPlant Architecture, LLC 2016



BUILDING SECTION E
SCALE: 1/4" = 1'-0"
A3.3



BUILDING SECTION D
SCALE: 1/4" = 1'-0"
A3.3



COMMON STAIR
TYPICAL DETAIL
SCALE: 1/2" = 1'-0"
A3.3

- GENERAL NOTES - COMMON STAIRS:**
- HEADROOM** - EVERY STAIR SHALL HAVE A MINIMUM HEADROOM CLEARANCE OF 6 FEET 8 INCHES. THE MINIMUM CLEARANCE SHALL BE MEASURED VERTICALLY FROM A LINE PARALLEL TO THE NOSING OF THE TREADS TO THE CEILING OR SOFFIT DIRECTLY ABOVE THAT LINE.
 - TREADS AND RISERS** - THERE SHALL BE NO VARIATION IN UNIFORMITY EXCEEDING 3/8" DIFFERENCE BETWEEN THE SMALLEST AND LARGEST RISE OR BETWEEN THE SMALLEST AND LARGEST TREAD. STEPS SHALL HAVE A RISE OF NOT MORE THAN 7 INCHES. STEPS SHALL NOT HAVE A TREAD LESS THAN 11 INCHES.
 - HANDRAIL DETAILS** - THE TOP OF A HANDRAIL GRIPPING SURFACE SHALL BE MOUNTED BETWEEN 34" AND 38" INCHES ABOVE THE NOSING OF THE TREADS ON STAIRWAYS. HALF-HANDRAILS IN HANDRAILING UNIT PORTIONS OF BUILDING SHALL EXTEND AT LEAST 42 INCHES ABOVE THE FINISHED FLOOR.
 - HANDRAIL DIMENSIONS** - HANDRAILS ARE TO HAVE AN OUTSIDE DIAMETER OF 1 1/4 INCHES MINIMUM TO 2 INCHES. IF HANDRAIL IS NOT CIRCULAR, THE PERIMETER SHALL BE AT LEAST 4" AND NOT GREATER THAN 8 1/4" WITH A MAX. CROSS-SECTIONAL DIMENSION OF 2 1/4". ALL EDGES TO HAVE A 1/8" RADIUS.
 - WALL CLEARANCE** - THE CLEARANCE BETWEEN A HANDRAIL AND A WALL SURFACE SHALL BE AT LEAST 1 1/2 INCHES.
 - LOADING** - HANDRAILS SHALL BE DESIGNED AND CONSTRUCTED TO WITHSTAND A 200-POUND LOAD APPLIED IN ANY DIRECTION, AT ANY POINT OR TO RESIST 50 POUNDS PER LINEAR FOOT APPLIED TO THE TOP.
 - TYPICAL STAIR CONSTRUCTION** - (4) 1 1/2" LSL STRINGERS, 1" x 8" RISERS, AND 5/4" BULL NOSE TREADS.
 - EXTENSIONS** - HANDRAILS SHALL RETURN BACK TO THE WALL. RAILS ARE TO EXTEND HORIZONTALLY AT LEAST 12 INCHES BEYOND THE TOP RISER AND CONTINUE TO SLOPE FOR THE DEPTH OF ONE TREAD BEYOND THE BOTTOM RISER.

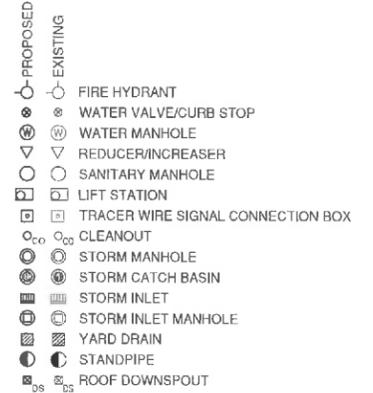
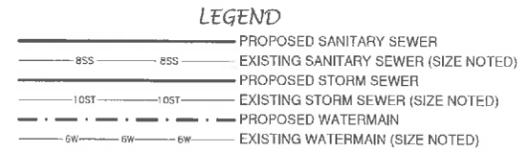
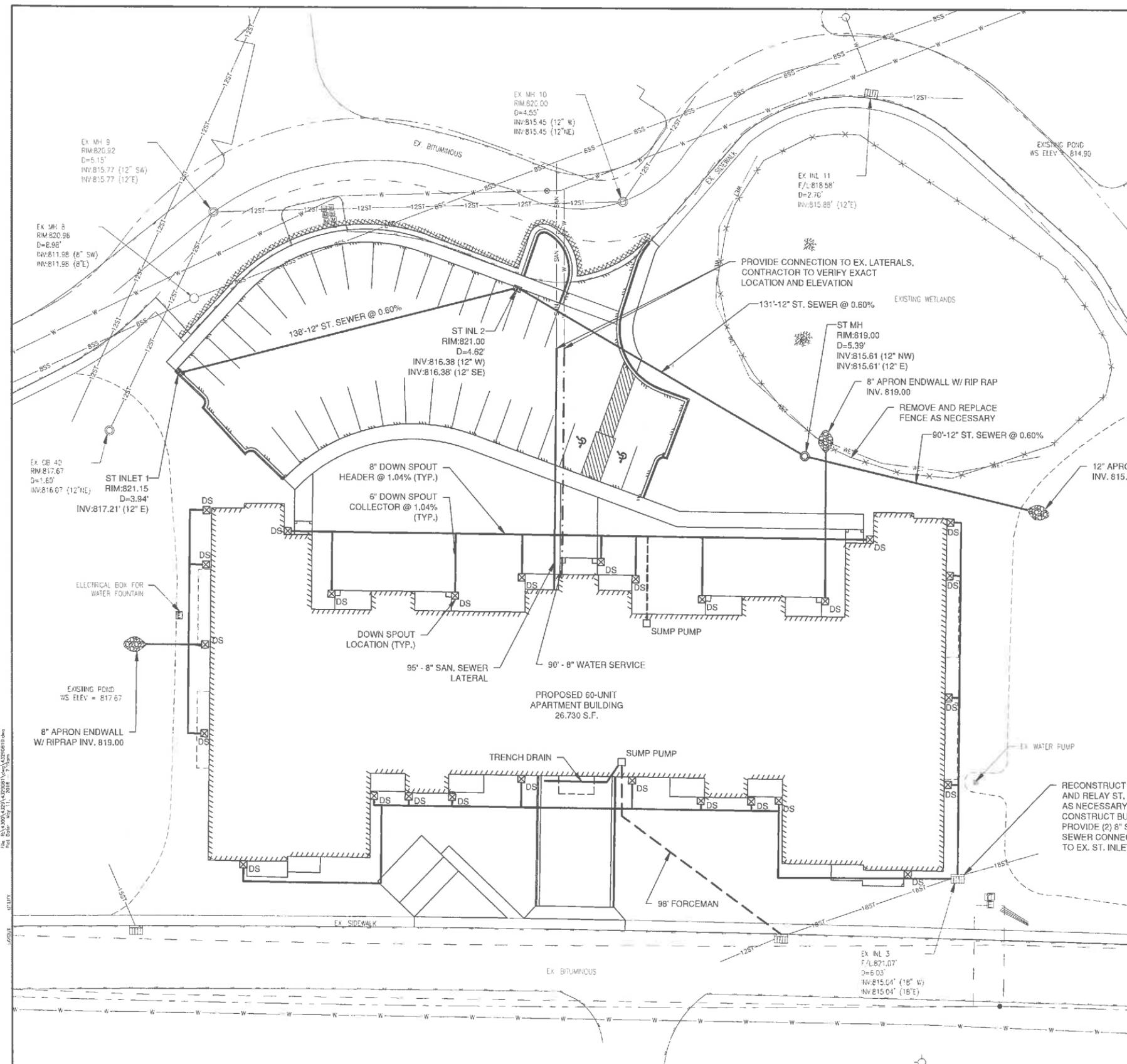
CASALOMA TOWERS

LaPlant
Architecture, LLC

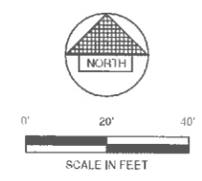
OFFICE: 926 WILLARD DRIVE
GRIPIN HAY, WISCONSIN
MAILING: 1320 RUSSELL WAY
OFFSHIRE, WISCONSIN 53187
Telephone: (262) 737-4768
Email: laplantarchitecture@yahoo.com

REVISION	DATE
X	XX

DATE: 6/12/2018
PROJECT NO: 461458
SHEET: A3.3



- NOTE**
- A MINIMUM OF 6.5 FEET OF COVER SHALL BE MAINTAINED OVER ALL WATERMAIN.
 - SANITARY SEWER, WATERMAIN AND STORM SEWER SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN AND ADMINISTRATIVE CODE CHAPTERS COMM 81-87.
 - FIELD VERIFY LOCATION OF EXISTING UTILITIES. IF EXISTING LOCATIONS DIFFER FROM WHAT IS INDICATED ON THE PLANS, CONTACT ENGINEER, PRIOR TO CONTINUED WORK.
 - ALL SANITARY SEWER, STORM SEWER AND WATER SERVICES / MAINS SHALL BE PROVIDED WITH TRACER WIRE OR OTHER METHOD TO BE LOCATED.



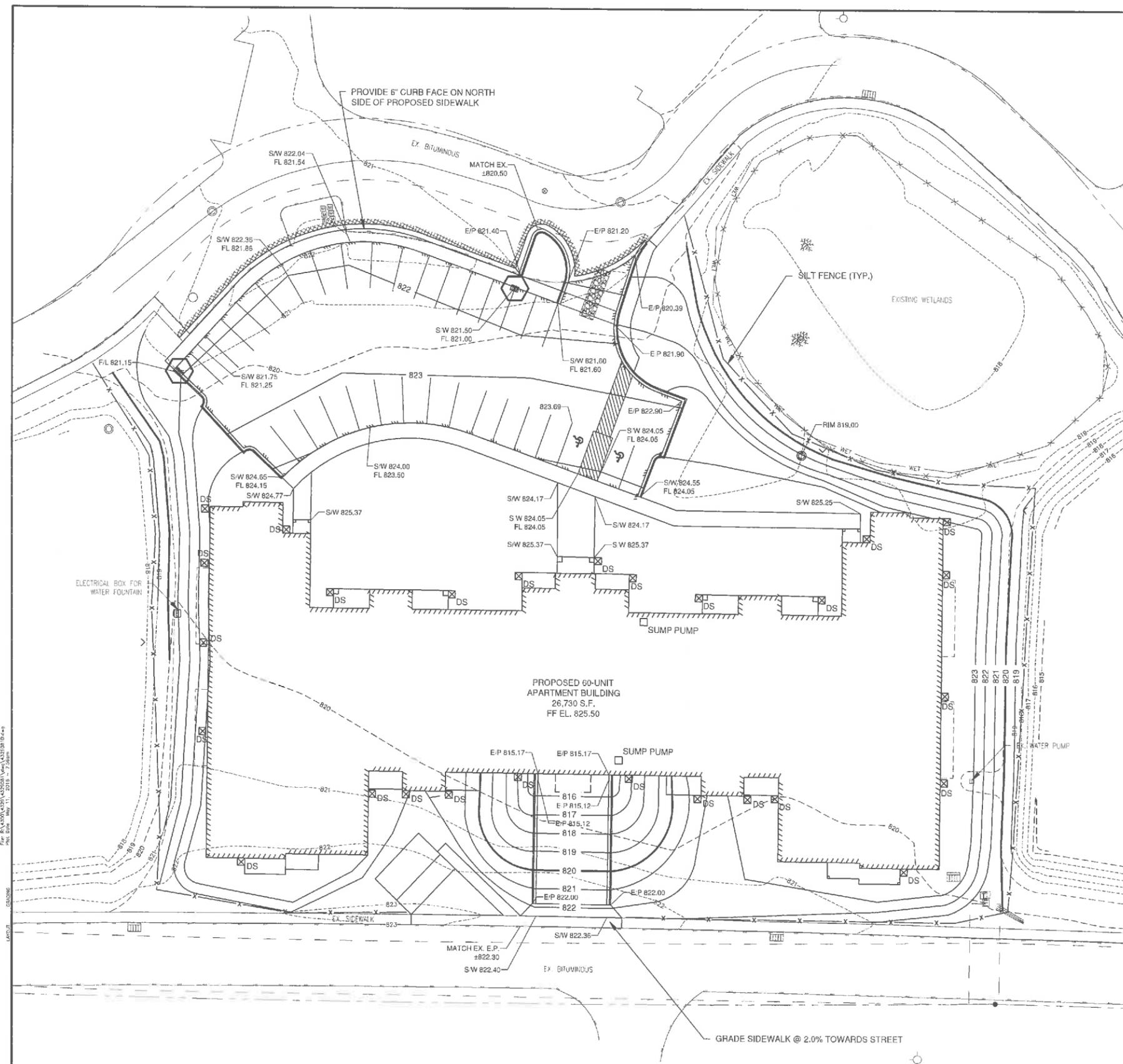
NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION

CASALOMA TOWERS
FOR LEXINGTON HOMES, INC.
TOWN OF GRAND CHUTE
OUTAGAMIE COUNTY, WISCONSIN

UTILITY PLAN

DATE: 05/20/18
FILE: 43290810
JOB NO.: 4329081

Robert E. Lee & Associates, Inc.
ENGINEERING, SURVEYING, ENVIRONMENTAL SERVICES
1250 CENTENNIAL CENTRE BOULEVARD, HOBART, WI 54155
920-962-9641 www.leeandco.com
Celebrating 60 Years of Excellence



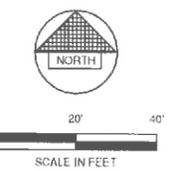
LEGEND

- T/C 999.99 TOP OF CURB ELEVATION
- F/L 888.88 FLOW LINE ELEVATION
- S/W 666.66 TOP OF SIDEWALK ELEVATION
- E/P 555.55 EDGE OF PAVEMENT ELEVATION
- R/W 444.44 TOP OF RETAINING WALL ELEVATION
- 333.33 GROUND ELEVATION
- DRAINAGE SWALE
- DRAINAGE DIVIDE
- SILT FENCE
- BALE DITCH CHECK
- FLOW ARROW
- TRACKING PAD
- INLET PROTECTION

EROSION CONTROL

ALL EROSION CONTROL PRACTICES INDICATED ON THIS PLAN ARE APPROXIMATE LOCATIONS ONLY. THE ACTUAL SITE MAY REQUIRE MORE OR LESS EROSION CONTROL DEPENDING ON THE CURRENT CONDITION OF THE SITE.

1. SILT FENCE IS REQUIRED DOWNSLOPE OF ANY DISTURBED LAND THAT MAY CARRY SEDIMENTS OFF SITE.
2. A TRACKING PAD IS REQUIRED AT ANY INGRESS/EGRESS LOCATION, WHERE SEDIMENT MAY BE TRACKED OFF-SITE.
3. PROPER INLET PROTECTION SHALL BE USED DEPENDING ON THE INLET TYPE.
4. ALL NECESSARY SITE DEWATERING SHALL BE PERFORMED IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1061.



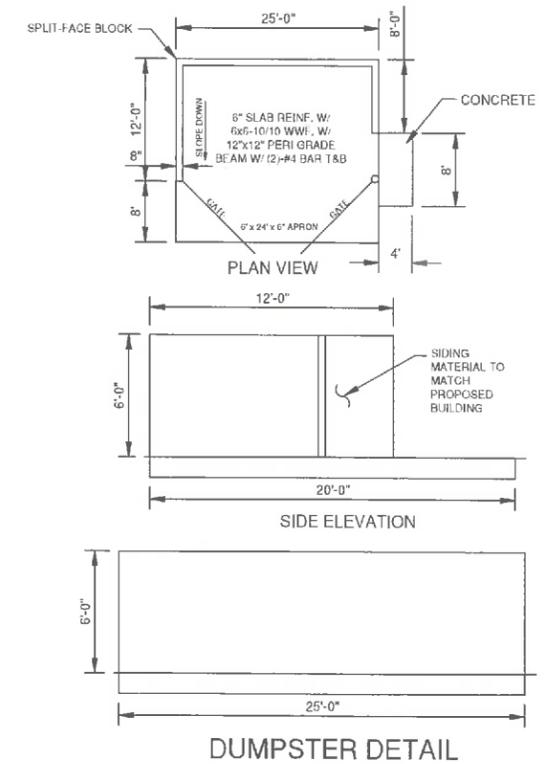
FILE NO. 4325081D
 DATE: 05/20/16
 PROJECT: CASALOMA TOWERS FOR LEXINGTON HOMES, INC.

NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION

DRAWN: RLB
 CHECKED: JGS
 DESIGNED: AIB
CASALOMA TOWERS
 FOR LEXINGTON HOMES, INC.
 TOWN OF GRAND CHUTE
 OUTAGMIE COUNTY, WISCONSIN

GRADING AND EROSION CONTROL PLAN

DATE: 05/20/16 FILE: 4325081D JOB NO.: 4325081	Robert E. Lee & Associates, Inc. ENGINEERING, SURVEYING, ENVIRONMENTAL SERVICES 1250 CENTENNIAL CENTRE BOULEVARD HOBAK, WI 54155 920-662-9641 www.raleec.com Celebrating 60 Years of Excellence	SHEET NO. 6
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 PLOT DATE: 05/21/2016 11:20:08 AM
 PLOT BY: A.J.B.

NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION	DRAWN
								RLB
								CHECKED
								AGS
								DESIGNED
								AJB

CASALOMA TOWERS
 FOR LEXINGTON HOMES, INC.
 TOWN OF GRAND CHUTE
 OUTAGAMIE COUNTY, WISCONSIN

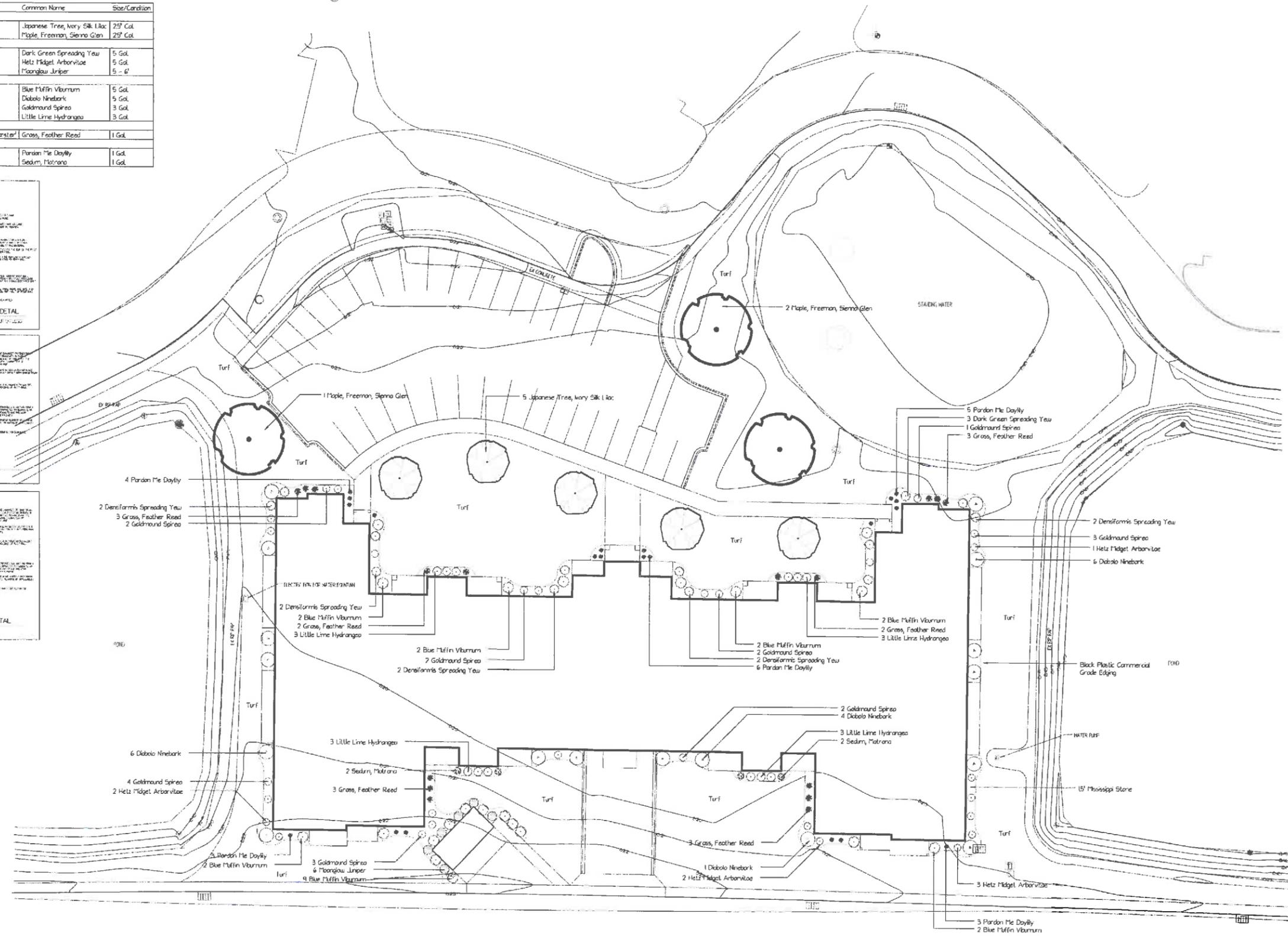
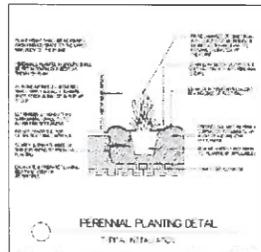
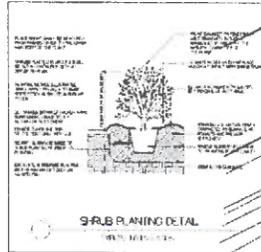
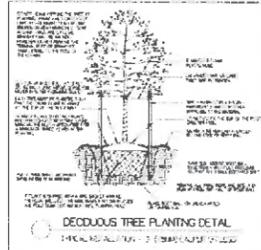
MISCELLANEOUS DETAILS

DATE	05/20/16
FILE	DETAILS
JOB NO.	4326081



Robert E. Lee & Associates, Inc.
 ENGINEERING, SURVEYING, ENVIRONMENTAL SERVICES
 1250 CENTENNIAL CENTRE BOULEVARD HOBBART, WI 54155
 920-652-2641 www.raleeinc.com
 Celebrating 60 Years of Excellence

Qty	Botanical Name	Common Name	Size/Condition
Trees			
5	<i>Syringa reticulata</i> Ivory Silk®	Japanese Tree, Ivory Silk Lilac	25' Cal.
3	<i>Acer x Freemanii</i> Sierra	Maple, Freeman, Sierra Glen	25' Cal.
Caniers			
13	<i>Taxus media</i> Dark Green®	Dark Green Spreading Yew	5 Gal.
6	<i>Thuja occidentalis</i> Helz Midget®	Helz Midget Arborvitae	5 Gal.
6	<i>Juniperus scopulorum</i> Moonglow	Moonglow Juniper	5 - 6'
Shrubs			
2	<i>Viburnum dentatum</i> Chisiam®	Blue Muffin Viburnum	5 Gal.
17	<i>Physocarpus opulifolius</i> Diabolo	Diabolo Ninebark	5 Gal.
11	<i>Spiraea japonica</i> Goldmound	Goldmound Spirea	3 Gal.
12	<i>Hydrangea paniculata</i> Little Lime	Little Lime Hydrangea	3 Gal.
Ornamental Grasses			
16	<i>Calamagrostis australis</i> Karl Foerster®	Grass, Feather Reed	1 Gal.
Perennials			
2	<i>Hemerocallis</i> Pardon Me!	Pardon Me Daylily	1 Gal.
4	<i>Sedum</i> Matrona	Sedum, Matrona	1 Gal.



- Fine grade, drilled and hydromulch all turf areas.
- Install black plastic commercial grade edging around all planting beds.
- Install weed barrier and 15" Mississippi stone in all planting beds.
- Trees that are not in a landscape bed will be mulched with performance brown mulch dyed black.
- All plant material will be of the highest quality and will adhere to the "American Standard for Nursery Stock" set by the American Horticulture Association.



2750 Little Rapids Rd.
De Pere, WI 54115
920.983.8432

Lexington Homes:
Casaloma Towers

Scale	1" = 20'
Sheet	R11
Date	11/11
Drawn by	5-1-16

**Town of Grand Chute
Site Plan Amendment Review
Discovery Properties, LLC**

To: Plan Commission

From: Michael Patza, Town Planner

Date: May 12, 2016

Address: 311 N. Mall Drive

App. #: SPA1-00-08

A. REQUEST

1. **Proposed Use(s):** Continued commercial retail use
2. **Project Description:** Modify an existing non-conforming pylon sign to become compliant with the Sign Code
3. **Plat/CSM Accurate parcel lines/lot recorded:** Yes.

B. ANALYSIS

Applicant seeks approval to modify the existing multi-tenant pylon sign to bring the sign into compliance with the Sign Code. The property is changing ownership, and an agreement was in place that required the sign to be brought into compliance with the Sign Code at the time of sale. The modified sign will be at a height of 25' and a total size of 150 sq. ft. The sign will remain in its current location. All code requirements are met with this request.

C. RECOMMENDATION

Staff has reviewed and supports Plan Commission approval of the Site Plan Amendment (SPA1-00-08) requested by Discovery Properties, LLC, 311 N. Mall Drive, to modify an existing non-conforming pylon sign to become compliant with the Sign Code.

150¢

