



## PLAN COMMISSION AGENDA

THURSDAY, August 4, 2016 6:00 p.m.  
Town Hall - 1900 W. Grand Chute Blvd.

1. Roll Call.
2. Pledge of Allegiance.
3. Approval of Agenda.
4. Approval of Minutes – July 19, 2016 meeting.
5. Public Input.
6. Community Development Director's Report.
7. **Neighborhood Information Meeting #1** – Conditional Use Permit (CUP-06-16) requested by Apex Properties Group, LLC, 1120 S. Bluemound Drive, to allow grading and filling in the Shoreland District for construction of 6 single-family detached condominium homes. **Action:** Hear testimony/close meeting.
8. **Conditional Use Permit (CUP-06-16)** – Request by Apex Properties Group, LLC, 1120 S. Bluemound Drive, to allow grading and filling in the Shoreland District for construction of 6 single-family detached condominium homes. **Action:** Recommend approval/denial of CUP-06-16. (TOWN BOARD ACTION 8/4/2016)
9. **Condo Plat (CP-03-16)** – Request by Apex Properties Group, LLC, 1120 S. Bluemound Drive, for approval of Forestbrook Condominiums, a 12 unit single-family development. **Action:** Recommend approval/denial of CP-03-16. (TOWN BOARD ACTION 8/4/2016)
10. **Site Plan (SP-13-16)** – Request by Apex Properties Group, LLC, 1120 S. Bluemound Drive, for construction of 6 single-family detached homes and associated site improvements in Forestbrook Condominiums. **Action:** Approve/deny SP-13-16.
11. **Neighborhood Information Meeting #2** – Conditional Use Permit (CUP-08-16) requested by SCA Holdings, LLC, dba Alexander Eye Institute, 250 N. Metro Drive, to allow grading and filling in the Shoreland District for construction of a flood protection retaining wall. **Action:** Hear testimony/close meeting.
12. **Conditional Use Permit (CUP-08-16)** – Request by SCA Holdings, LLC, dba Alexander Eye Institute, 250 N. Metro Drive, to allow grading and filling in the Shoreland District for construction of a flood protection retaining wall. **Action:** Recommend approval/denial of CUP-08-16. (TOWN BOARD ACTION 8/4/2016)
13. **Site Plan (SP-16-16)** – Request by SCA Holdings, LLC, dba Alexander Eye Institute, 250 N. Metro Drive, for construction of a flood protection retaining wall. **Action:** Approve/deny SP-16-16.
14. **Public Hearing #1** – Special Exception (SE-16-16) requested by Rami Realty, LLC, dba Kaldas Center for Fertility, Surgery & Pregnancy, S.C., 701 S. Nicolet Road, for operation of an electronic message center sign. **Action:** Hear testimony/close hearing.

15. **Special Exception (SE-16-16)** – Request by Rami Realty, LLC, dba Kaldas Center for Fertility, Surgery & Pregnancy, S.C., 701 S. Nicolet Road, for operation of an electronic message center sign. **Action:** Recommend approval/denial of SE-16-16. (TOWN BOARD ACTION 8/16/2016)
16. **Site Plan Amendment (SPA1-09-16)** – Request by Rami Realty, LLC, dba Kaldas Center for Fertility, Surgery & Pregnancy, S.C., 701 S. Nicolet Road, for installation of a monument sign including an electronic message center. **Action:** Approve/deny SPA1-09-16.
17. **Public Hearing #2** – Special Exception (SE-17-16) requested by Michael Shoemaker, dba The Euro Shop LLC, 2437 W. College Avenue, for operation of an automobile sales, service and repair business. **Action:** Hear testimony/close hearing.
18. **Special Exception (SE-17-16)** – Request by Michael Shoemaker, dba The Euro Shop LLC, 2437 W. College Avenue, for operation of an automobile sales, service and repair business. **Action:** Recommend approval/denial of SE-17-16. (TOWN BOARD ACTION 8/4/2016)
19. **Condo Plat (CP-02-16)** – Request by Casaloma Condos, Inc., 1830 N. Margaret Street, for approval of Casaloma Condos Incorporated, a 13 unit single-family development. **Action:** Recommend approval/denial of CP-02-16. (TOWN BOARD ACTION 8/4/2016)
20. **Site Plan Revision (SP-10-16)** – Request by 1401 Appleton LLC, dba Anytime Fitness, 1401 N. Casaloma Drive, for approval of revisions to the previously approved Site Plan to allow a building addition, parking lot expansion and associated site improvements. *(To be distributed before the meeting.)*
21. **Parkland Designation and Mapping** – Discuss the designation and mapping of a new Town park (Town Center Area). **Action:** Schedule public hearing for 8/16/16 Plan Commission meeting.
22. Adjournment.

A quorum of the Town Board, Park Commission, Police and Fire Commission, Board of Appeals, and Licensing Committee may be present at this meeting. No official action of these bodies will be taken. **Accommodation Notice**-Any person requiring special accommodation who wishes to attend this meeting should contact **(Administration at 832-1573)** at least 48 hours in advance.

## GRAND CHUTE PLAN COMMISSION MINUTES

July 19, 2016

Members Present: Chairman Dave Schowalter, Commissioners Bruce Sherman, Robert Stadel, Julie Hidde, Vivian Huth, Duane Boeckers, John Weber

Members Absent: Commissioner Pam Crosby

Also Present: James March, Town Administrator; Thomas Marquardt, Public Works Director; Karen Heyrman, Deputy Public Works Director; Julie Wahlen, Finance Director/Treasurer; Bob Heimann, IT Director; Michael Patza, Town Planner; other interested parties (audience attendance = approx. 16)

1. **ROLL CALL**

Chairman Schowalter opened the meeting at 6:00 p.m.

2. **PLEDGE OF ALLEGIANCE**

3. **APPROVAL OF AGENDA.**

**Motion (Huth/Sherman) to approve the agenda.** Motion carried, all voting aye.

4. **APPROVAL OF MINUTES** – JUNE 21, 2016 MEETING.

**Motion (Hidde/Sherman) to approve the minutes.** Motion carried, all voting aye.

5. **PUBLIC INPUT** – None.

6. **COMMUNITY DEVELOPMENT DIRECTOR'S REPORT** – AVAILABLE UPON REQUEST.

7. **NEIGHBORHOOD INFORMATION MEETING #1** – CONDITIONAL USE PERMIT (CUP-07-16) REQUESTED BY NATIONAL ASSOCIATION OF TAX PROFESSIONALS, INC., 3501 N. MCCARTHY ROAD, TO ALLOW GRADING AND FILLING AS REQUIRED FOR BUILDING CONSTRUCTION AND ASSOCIATED SITE IMPROVEMENTS.

Chairman Schowalter opened Information Meeting #1 at 6:04 p.m. There was no public input.

**Motion (Sherman/Huth) to close Information Meeting #1 at 6:05 p.m.** Motion carried, all voting aye.

8. **CONDITIONAL USE PERMIT (CUP-07-16)** – REQUEST BY NATIONAL ASSOCIATION OF TAX PROFESSIONALS, INC., 3501 N. MCCARTHY ROAD, TO ALLOW GRADING AND FILLING AS REQUIRED FOR BUILDING CONSTRUCTION AND ASSOCIATED SITE IMPROVEMENTS.

**Motion (Hidde/Huth) to recommend approval of the Conditional Use Permit (CUP-07-16) requested by National Association of Tax Professionals, Inc., 3501 N. McCarthy Road, to allow grading and filling for construction of a new building and associated site improvements.** Motion carried, all voting aye.

9. **SITE PLAN (SP-14-16)** – REQUEST BY NATIONAL ASSOCIATION OF TAX PROFESSIONALS, INC., 3501 N. MCCARTHY ROAD, FOR CONSTRUCTION OF AN OFFICE/WAREHOUSE AND ASSOCIATED SITE IMPROVEMENTS.

Planner Patza noted that bio-retention facilities are required for stormwater management because the site is located within the Airport Overlay District.

**Motion (Sherman/Hidde) to approve the Site Plan (SP-14-16) requested by National Association of Tax Professionals, Inc., 3501 N. McCarthy Road, for construction of a new office/warehouse and associated site improvements, subject to: (1) Town Engineer approval of Stormwater Management and Erosion Control Plans; (2) Staff approval of the Site Lighting and Landscaping Plans; and, (3) Town Board approval of Conditional Use Permit (CUP-07-16). Motion carried, all voting aye.**

10. **PUBLIC HEARING #1** – REZONING (Z-06-16) REQUESTED BY PHILLIP C. ROMENESKO, TO REZONE FOUR ABUTTING PARCELS, LOCATED AT THE INTERSECTIONS OF W. PARKWAY BLVD/W. TRASINO WAY AND N. CASALOMA DRIVE, FROM C-2 OFFICE COMMERCIAL DISTRICT TO RTF TWO-FAMILY RESIDENTIAL DISTRICT.

Chairman Schowalter opened Public Hearing #1 at 6:08 p.m. There was no public input.

**Motion (Huth/Sherman) to close Public Hearing #1 at 6:09 p.m.** Motion carried, all voting aye.

11. **REZONING (Z-06-16)** – REZONING (Z-06-16) REQUESTED BY PHILLIP C. ROMENESKO TO REZONE FOUR ABUTTING PARCELS, LOCATED AT THE INTERSECTIONS OF W. PARKWAY BLVD/W. TRASINO WAY AND N. CASALOMA DRIVE, FROM C-2 OFFICE COMMERCIAL DISTRICT TO RTF TWO-FAMILY RESIDENTIAL DISTRICT.

Director Buckingham provided background on the original planned office use of the lots, noting that this change to residential use is more compatible with abutting residential properties.

**Motion (Hidde/Huth) to recommend an amendment to the Comprehensive Plan to reflect Regional Center-Residential Use for four vacant properties at the intersection of W. Parkway Blvd/W. Trasino Way and N. Casaloma Dr., and to rezone the properties from C-2 Office Commercial District to RTF Two-Family Residential District (Ordinance O-09-2016).**

In response to questions from Commissioner Sherman, Director Buckingham stated that while building plans have yet to be submitted for these duplexes, staff expects they will blend architecturally with the surrounding homes.

Chairman Schowalter stated that he had spoken to some of the neighbors, who indicated that they were pleased to know it would be two-family and not four-family housing.

**Motion to approve Z-06-16 carried, all voting aye.**

12. **PUBLIC HEARING #2** – SPECIAL EXCEPTION (SE-11-16) REQUESTED BY RAFAEL RAMIREZ ROJAS AND CARLOS BONILLA, DBA EL AGAVE MEXICAN RESTAURANT, 1750 N. CASALOMA DRIVE, FOR OPERATION OF AN OUTDOOR SERVICE/BEER GARDEN.

Chairman Schowalter opened Public Hearing #2 at 6:13 p.m. There was no input.

**Motion (Stadel/Hidde) to close Public Hearing #2 at 6:14 p.m.** Motion carried, all voting aye.

13. **SPECIAL EXCEPTION (SE-11-16)** - REQUEST BY RAFAEL RAMIREZ ROJAS AND CARLOS BONILLA, DBA EL AGAVE MEXICAN RESTAURANT, 1750 N. CASALOMA DRIVE, FOR OPERATION OF AN OUTDOOR SERVICE/BEER GARDEN.

**Motion (Hidde/Sherman) to recommend approval of the Special Exception (SE-11-16) requested by Rafael Ramirez Rojas and Carlos Bonilla, dba El Agave Mexican Restaurant, 1750 N. Casaloma Drive, for operation of an outdoor service/beer garden.** Motion carried, all voting aye.

14. **PUBLIC HEARING #3** – SPECIAL EXCEPTION (SE-12-16) REQUESTED BY GORDON BUBOLZ NATURE PRESERVE, 4815 N. LYNNDALE DRIVE, FOR CONSTRUCTION OF A NEW ENVIRONMENTAL CENTER AND ASSOCIATED SITE IMPROVEMENTS.

Chairman Schowalter opened Public Hearing #3 at 6:15 p.m.

Randy Tuma, Executive Director of the Bubolz Nature Preserve, stated that the existing center has become difficult to maintain and it is not large enough to serve the community. He noted that 6,500 school children attend programming each year and over 60,000 visitors come to the Preserve annually.

**Motion (Hidde/Huth) to close Public Hearing #3 at 6:17 p.m.** Motion carried, all voting aye.

15. **SPECIAL EXCEPTION (SE-12-16)** – REQUEST BY GORDON BUBOLZ NATURE PRESERVE, 4815 N. LYNNDALE DRIVE, FOR CONSTRUCTION OF A NEW ENVIRONMENTAL CENTER AND ASSOCIATED SITE IMPROVEMENTS.

**Motion (Sherman/Huth) to recommend approval of the Special Exception (SE-12-16) requested by Gordon Bubolz Nature Preserve, 4815 N. Lynndale Drive, to allow construction of a new environmental center and associated site improvements.** Motion carried, all voting aye.

16. **SITE PLAN (SP-12-16)** – REQUEST BY GORDON BUBOLZ NATURE PRESERVE, 4815 N. LYNNDALE DRIVE, FOR THE CONSTRUCTION OF A NEW ENVIRONMENTAL CENTER AND ASSOCIATED SITE IMPROVEMENTS.

**Motion (Huth/Hidde) to approve the Site Plan (SP-12-16) requested by Gordon Bubolz Nature Preserve, 4815 N. Lynndale Drive, for the construction of a new environmental center and associated site improvements, subject to: (1) Staff approval of the Site Lighting Plan; and, (2) Town Board approval of Special Exception SE-12-16.** Motion carried, all voting aye.

17. **PUBLIC HEARING #4** – SPECIAL EXCEPTION (SE-13-16) REQUESTED BY CONRADO LOPEZ MENDEZ AND OSCAR LOPEZ MENDEZ, DBA CASTILLA BISTRO & TAPAS, 213 S. NICOLET ROAD, FOR OPERATION OF AN OUTDOOR SERVICE/BEER GARDEN.

Chairman Schowalter opened Public Hearing #4 at 6:19 p.m. There was no public input.

**Motion (Stadel/Boeckers) to close Public Hearing #4 at 6:19 p.m.** Motion carried, all voting aye.

18. **SPECIAL EXCEPTION (SE-13-16)** – REQUEST BY CONRADO LOPEZ MENDEZ AND OSCAR LOPEZ MENDEZ, DBA CASTILLA BISTRO & TAPAS, 213 S. NICOLET ROAD, FOR OPERATION OF AN OUTDOOR SERVICE/BEER GARDEN.

**Motion (Hidde/Sherman) to recommend approval of the Special Exception (SE-13-16) requested by Conrado Lopez Mendez and Oscar Lopez Mendez, dba Castilla Bistro & Tapas, 213 S. Nicolet Road, for operation of an outdoor service/beer garden.** Motion carried, all voting aye.

19. **PUBLIC HEARING #5** – SPECIAL EXCEPTION (SE-14-16) REQUESTED BY APPLETON AREA SCHOOL DISTRICT AND WISCONSIN CONNECTIONS ACADEMY, 350 W. CAPITOL DRIVE, TO OPERATE A K-12 PUBLIC ONLINE SCHOOL AT THE FORMER APPLETON PUBLIC MONTESSORI SCHOOL PROPERTY.

Chairman Schowalter opened Public Hearing #5 at 6:20 p.m.

Rex Kessler, 343 W. Capitol Drive, asked how many people would normally be at the school, why this use requires a Special Exception, and requested to know if there are any plans to subdivide the property.

Director Buckingham stated that occupancy during a typical school day would be 22-24 teachers, with no students. He explained that the use required a new Special Exception because the building has been vacant for an extended period. He noted that the Town is not aware of any plans to subdivide the property.

**Motion (Hidde/Sherman) to close Public Hearing #5 at 6:22 p.m.** Motion carried, all voting aye

20. **SPECIAL EXCEPTION (SE-14-16)** – APPLETON AREA SCHOOL DISTRICT AND WISCONSIN CONNECTIONS ACADEMY, 350 W. CAPITOL DRIVE, TO OPERATE A K-12 PUBLIC ONLINE SCHOOL AT THE FORMER APPLETON PUBLIC MONTESSORI SCHOOL PROPERTY.

**Motion (Hidde/Boeckers) to recommend approval of the Special Exception (SE-14-16) requested by the Appleton Area School District and Wisconsin Connections Academy, 350 W. Capitol Drive, to allow operation of a K-12 public online school at the former Appleton Public Montessori School property.**

In response to a question from Commissioner Sherman, Director Buckingham confirmed that there is adequate parking on-site for this use.

**Motion to recommend approval of SE-14-16 carried, all voting aye.**

21. **SITE PLAN (SP-11-16)** – REQUEST BY JVL CONSTRUCTION, DBA FOX VALLEY STORAGE, 5325 N. BALLARD ROAD, FOR CONSTRUCTION OF SELF-STORAGE UNITS AND ASSOCIATED SITE IMPROVEMENTS.

Planner Patza said the applicant purposes the construction of 9 self-storage units on the western portion of the property. The project results in a reduction of impervious surface and an increase in greenspace, along with improved drainage patterns and stormwater management.

**Motion (Stadel/Hidde) to approve the Site Plan (SP-11-16) requested by JVL Construction, dba Fox Valley Storage, 5325 N. Ballard Road, for the construction of self-storage units and associated site improvements, subject to Town Engineer approval of the Stormwater Management and Erosion Control Plans.** Motion carried, all voting aye.

22. **SITE PLAN (SP-15-16)** – REQUEST BY THE ROCHELLE LEIGH GROUP, LLC, 1751 N. MARGARET STREET, FOR CONSTRUCTION OF AN OFFICE BUILDING AND ASSOCIATED SITE IMPROVEMENTS.

**Motion (Sherman/Boeckers) to approve the Site Plan (SP-15-16) requested by The Rochelle Leigh Group, LLC, 1751 N. Margaret Street, for the construction of an office building and associated site improvements, subject to: (1) Town Engineer approval of the Stormwater Management and Erosion Control Plans; and, (2) Staff approval of the Site Lighting and Landscaping Plans.** Motion carried, all voting aye.

23. **SITE PLAN (SP-17-16)** – REQUEST BY KONZ WOOD PRODUCTS CO., 616 N. PERKINS STREET, FOR CONSTRUCTION OF A COMMERCIAL BUILDING AND ASSOCIATED SITE IMPROVEMENTS.

Planner Patza provided background on the utility and stormwater management improvements associated with this building project.

**Motion (Hidde/Huth) to approve the Site Plan (SP-17-16) requested by Konz Wood Products Co., 616 N. Perkins Street, for the construction of an industrial building and associated site improvements, subject to: (1) Town Engineer approval of the Stormwater Management and Erosion Control Plans; and, (2) Staff approval of the Site Lighting Plan. Motion carried, all voting aye.**

24. **SITE PLAN (SP-19-16)** – REQUEST BY BIG RING STORAGE LLC, 925 N. BLUEMOUND DRIVE, FOR CONSTRUCTION OF ONE NEW SELF-STORAGE BUILDING, ONE SELF-STORAGE BUILDING ADDITION, AND ASSOCIATED SITE IMPROVEMENTS.

**Motion (Hidde/Huth) to approve the Site Plan (SP-19-16) requested by Big Ring Storage LLC, 925 N. Bluemound Drive, for construction of one new self-storage building, one self-storage building addition, and associated site improvements, subject to: (1) Town Engineer approval of the Drainage and Erosion Control Plans; (2) Staff approval of the Site Lighting Plan; and, (3) Staff approval of building elevations. Motion carried, all voting aye.**

25. **SITE PLAN AMENDMENT (SPA1-16-15)** – REQUEST BY GCDL TECH VILLAGE LLC, 15 TRI-PARK WAY, TO INSTALL A NEW MONUMENT SIGN.

**Motion (Sherman/Hidde) to approve the Site Plan Amendment (SPA1-16-1) requested by GCDL Tech Village LLC, 15 Tri-Park Way, for installation of a new monument sign. Motion carried, all voting aye.**

26. ADJOURNMENT.

**Motion (Sherman/Huth) to adjourn at 6:34 p.m. Motion carried, all voting aye.**

Respectfully Submitted,

Tracy Olejniczak/BB  
Community Development Secretary

**Town of Grand Chute  
Conditional Use Permit Review  
Apex Properties Group, LLC – Forestbrook Condominiums West**

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**To: Plan Commission**  
**From: Robert Buckingham, Community Development Director**  
**Date: July 27, 2016**  
**Address: 1120 S. Bluemound Drive App. #: CUP-06-16**

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**REQUEST**

Applicant is preparing to install private road access, utilities and stormwater management facilities for the portion of Forestbrook Condominiums west of the navigable stream that runs through this property. This phase of development will feature 6 single-family detached condominium homes. A portion of the land in the condominium is located within 300 feet of a navigable stream. Accordingly, a County Conditional Use Permit is required to allow grading, filling and pond construction within the Shoreland Zoning District.

**ANALYSIS**

Grading and filling work is needed to establish proper road and house grades, and to build the stormwater pond. There are streams, wetlands and floodplain areas on the site. The development plan protects these sensitive areas and incorporates them as an asset to the site. All required shoreyard and wetlands setbacks will be met. The WDNR has approved a General Permit for construction of the stormwater pond. The Town Engineer has approved drainage and erosion control plans for the development. Standard erosion control measures and best management practices will be followed during this project.

**RECOMMENDATION**

**Staff has reviewed and supports a Plan Commission recommendation for approval of the Conditional Use Permit (CUP-06-16) requested by Apex Properties Group, LLC, 1120 S. Bluemound Drive, to allow grading and filling for construction of 6 single-family homes in the Forestbrook Condominiums west development.**

**FORESTBROOK CONDOMINIUMS  
BLUEMOUND ROAD**

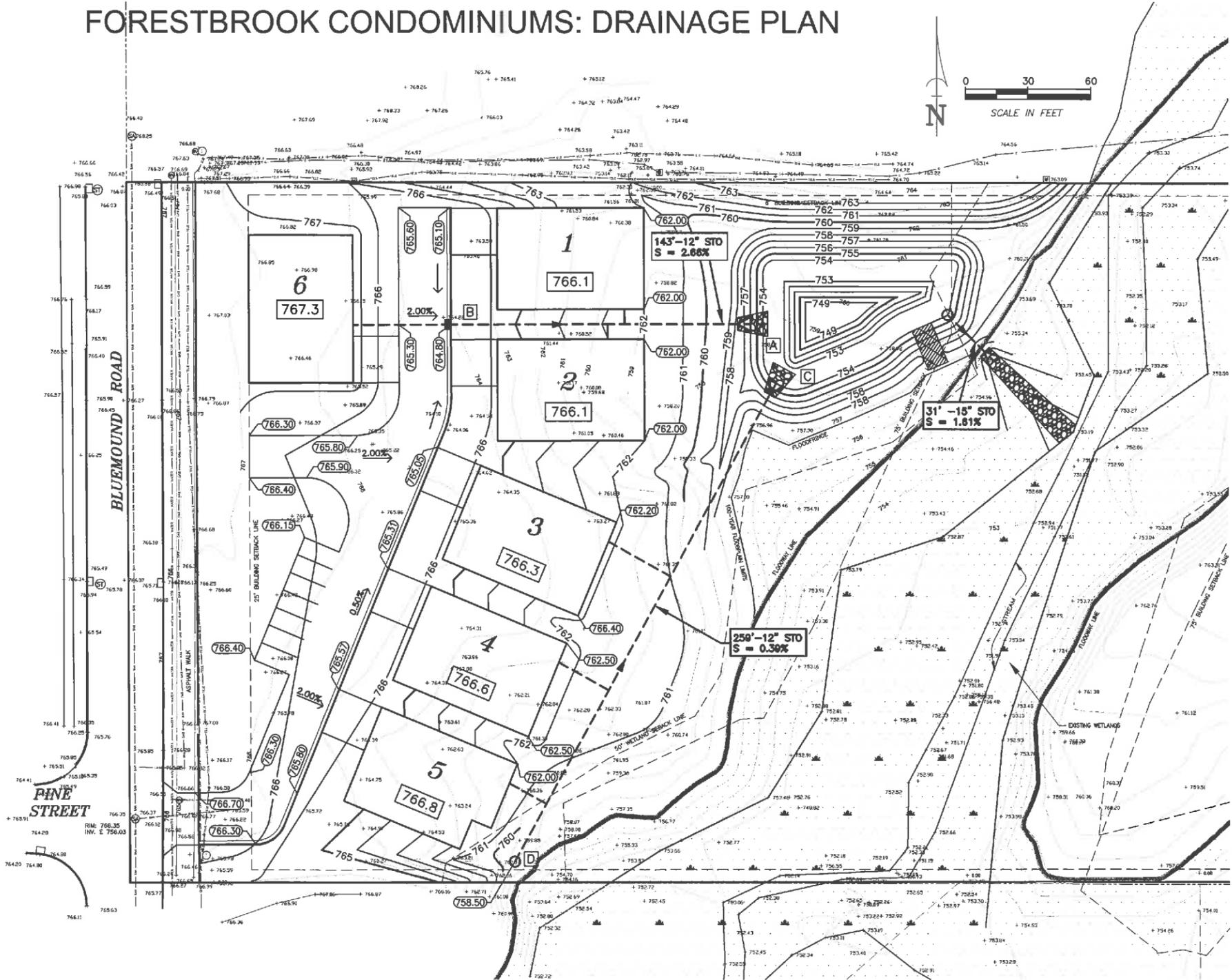
June 23, 2016

**PROJECT DESCRIPTION**

The proposed project entails the westerly six units of a 12 unit detached single family condominium project for Apex Properties Group, LLC on the east side of Bluemound Road, Town of Grand Chute. Required infrastructure includes private sanitary sewer and water main extensions, a private drive and storm water facilities. The individual building pad footprints are up to 3,500 square feet in size while the one story above grade homes are expected to have approximately 1,500 square feet of living space on the first floor with a similar area in the basement. The units will typically have two car garages. The legal description for the property is Lot 1, Certified Survey Map No. 7191, located in the Southwest  $\frac{1}{4}$  of the Northwest  $\frac{1}{4}$  of Section 33, Township 21 North, Range 17 East, Town of Grand Chute, Outagamie County.

A storm water pond will be constructed to serve as the required storm water treatment facility. The pond will be located in the northwest portion of the current development area. Because of the proximity of a navigable stream to the east of the six condominium units, an Outagamie County Conditional Use Permit will be required.

# FORESTBROOK CONDOMINIUMS: DRAINAGE PLAN



- ### DRAINAGE PLAN NOTES
- THE LOCATION OF EXISTING UTILITY FACILITIES AS SHOWN ON THE PLAN ARE APPROXIMATE. THERE MAY BE OTHER UTILITIES WITHIN THE PROJECT AREA THAT ARE NOT SHOWN. THE CONTRACTOR SHALL HAVE ALL FACILITIES LOCATED PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF A CONFLICT WITHIN THE WORK IS DISCOVERED.
  - ALL WORK UNDER THIS CONTRACT SHALL BE DONE IN ACCORDANCE WITH THE TOWN OF GRAND CHUTE STANDARD SPECIFICATIONS, ALONG WITH THE LATEST EDITION OF THE STATE OF WISCONSIN D.O.T. STANDARD SPECIFICATIONS.
  - THE LANDSCAPER SHALL UTILIZE THE PROPOSED ELEVATIONS. THE LANDSCAPER SHALL NOT GRADE UP TO ANY PEDESTAL OR ANY OTHER STRUCTURE TO DETERMINE ELEVATION.
  - ALL WORK SHALL COMPLY WITH O.S.H.A. STANDARDS.
  - THE CONTRACTOR AND/OR OWNER SHALL NOT PROCEED WITH CONSTRUCTION ACTIVITIES UNTIL APPROPRIATE PERMITS/APPROVALS ARE OBTAINED.
  - THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL NECESSARY PERMITS FOR CONSTRUCTION.
  - THE CONTRACTOR SHALL CLEAN UP ALL EXCESS MATERIAL AND DEBRIS CAUSED AS A RESULT OF WORK UNDER THIS CONTRACT.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL DAMAGE RESULTING FROM THE PERFORMANCE OF THE WORK UNDER THIS CONTRACT.
  - CONTRACTOR SHALL DISPOSE OF NON-SUITABLE MATERIAL OFF-SITE.

### DRAINAGE PLAN LEGEND

EXISTING CONTOUR	PROPOSED ELEVATION
PROPOSED CONTOUR	PERTINENT DITCH OR SWALE ELEVATION
STORM SEWER MAIN	EXISTING ELEVATION
STORM MANHOLE	PROPOSED GROUND AT FOUNDATION
2' x 3' PRECAST STORM INLET	DIRECTION OF DRAINAGE

### TOPOGRAPHIC LEGEND

1" x 16" IRON PIPE SET	OVERHEAD POWER LINES	GAS VALVE
1-1/4" x 30" REBAR SET	UNDERGROUND ELECTRIC	EXIST STORM MANHOLE
CHISELED "X" SET	UNDERGROUND TELEPHONE	STORM INLET
3/4" REBAR FOUND	UNDERGROUND FIBEROPTIC	VARD DRAIN
1" IRON PIPE FOUND	UNDERGROUND GAS	EXIST SANITARY MANHOLE
1-1/4" REBAR FOUND	CATV - UNDERGROUND CABLE TV	EXIST SAN SEWER
2" IRON PIPE FOUND	EXIST. FENCE LINE	EXIST. STO. SEWER
CHISELED "X" FOUND	SIGN	EXIST. WATER MAIN
GOVERNMENT CORNER	POWER POLE	EXIST. SPOT ELEVATION
RECORDED AS	GUY	EXIST. WATER MAIN
CONIFEROUS TREE	LIGHT POLE	EXIST. SPOT ELEVATION
DECIDUOUS TREE	TELEPHONE PEDESTAL	EXIST. TOP OF CURB ELEV.
EXIST. WOODS LINE	ELECTRIC PEDESTAL	EXIST. FLOW LINE ELEV.
WETLANDS	CABLE PEDESTAL	EXIST. FLOOR = 000.00
SOL BORING	EXIST. HYDRANT	TOPSOIL DEPTH
	WATER VALVE	INFILTRATION SOL BORING
	WATER STOP BOX	

## DIGGERS HOTLINE

TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

CALL 811 or  
Toll Free 1-800-242-8511  
(262)432-7910  
Emergency Only (877) 500-9592  
FAX 1-800-338-3860  
FAX (414) 259-0947  
Hearing Impaired TDD 1-800-542-2289

WS. STATUTE 182.0175 (1874)  
REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE

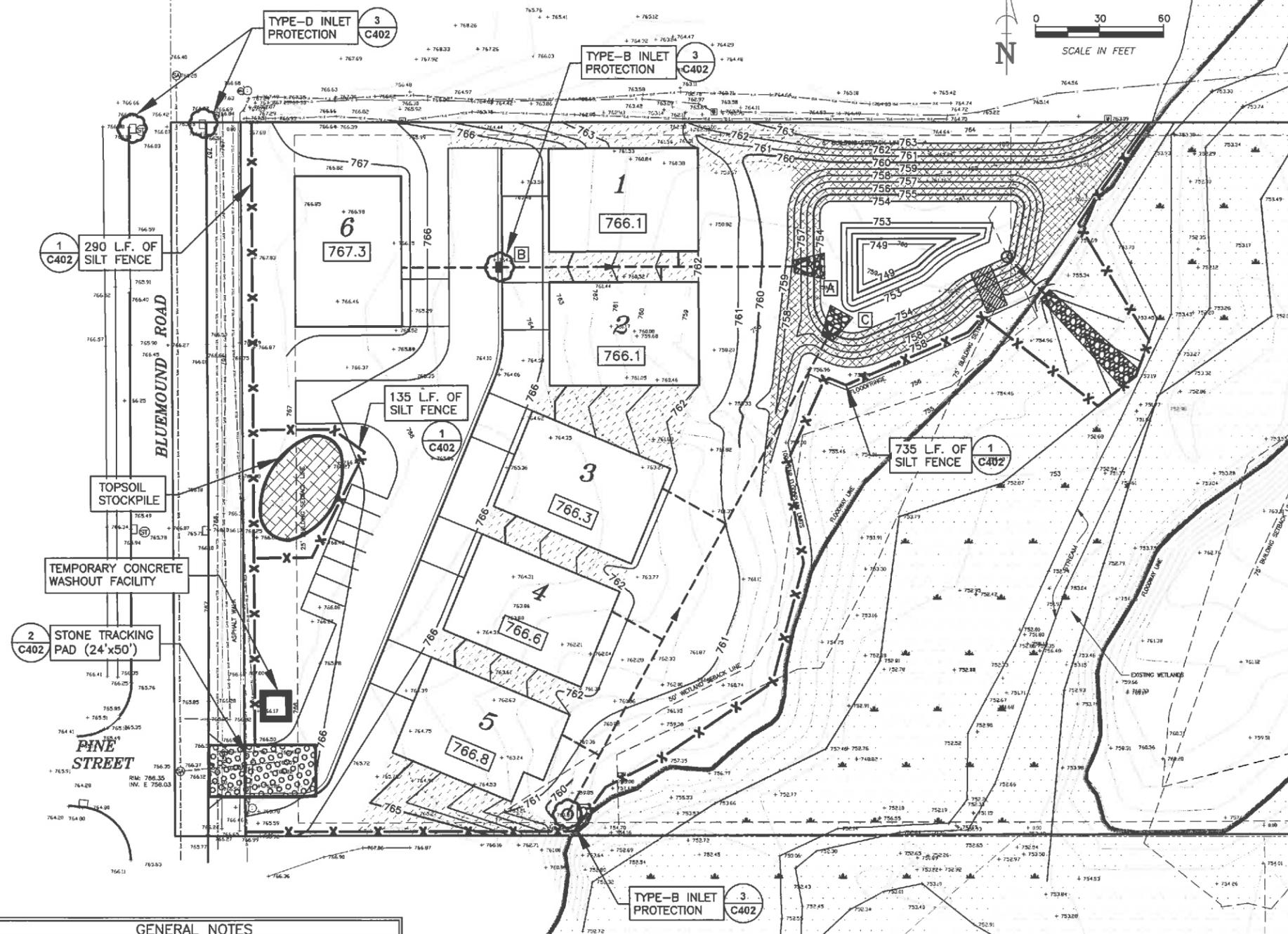
### REVISIONS


**SCHULER & ASSOCIATES, INC.**  
LAND SURVEYORS & ENGINEERS  
2711 N. MASON STREET, Suite F APPLETON, WI 54914-2128 (920) 794-9107

**FORESTBROOK CONDOMINIUMS**  
TOWN OF GRAND CHUTE, OUTAGAMIE COUNTY, WISCONSIN  
OWNER: CYBRESS HOMES  
1230 COLLEGE AVE.  
APPLETON, WI 54914

DRAWN  
CRC  
DATE  
6-1-2016  
SCALE  
BAR SCALE  
JOB NO.  
1-0129-012  
SHEET  
**C301**  
OF ?? SHEETS

# FORESTBROOK CONDOMINIUMS: EROSION CONTROL PLAN



CONSTRUCTION SEQUENCE	
1.	Pre-Construction Meeting
2.	Installation of Silt Fence
3.	Protection of Existing Inlets as Shown on Erosion Control Plan
4.	Installation of Rock Tracking Pad
5.	Topsoil Stripping of Storm Water Facility
6.	Stockpile Topsoil, Stabilize and Silt Fence Protection
7.	Construction of Storm Water Facility
8.	Restoration of Storm Water Facility
9.	Topsoil Stripping of Building Area and Pavement Areas
10.	Stockpile Topsoil, Stabilize and Silt Fence Protection
11.	Rough Grading of Building Area and Pavement Areas
12.	Installation of Sewer and Water Facilities
13.	Protection of New Inlets as Shown on Erosion Control Plan
14.	Topsoil Placement of all Grassed and Landscaped Areas
15.	Install Concrete Washout Facility
16.	Installation and Compaction of Stone for Access Drive and Parking Area
17.	Construct Concrete Curb and Gutter
18.	Asphalt Paving
19.	Complete Fine Grading and Landscaping
20.	Restoration of all Grassed, Landscaped, and other Disturbed Areas
21.	Construction of Building Foundation and Footings
22.	Construction of Buildings
23.	Re-seed all disturbed areas
24.	Remove Inlet/Yard Drain Protection and Silt Fence After Vegetation is Established
25.	Maintenance plan

CONTRACTOR RESPONSIBILITIES	
1.	NOTIFY THE ENGINEER WITHIN 48 HOURS OF COMMENCING ANY LAND DISTURBING OR LAND DEVELOPMENT ACTIVITY;
2.	NOTIFY THE ENGINEER OF COMPLETION OF ANY EROSION CONTROL MEASURES WITHIN 3 DAYS AFTER COMPLETION;
3.	OBTAIN PERMISSION IN WRITING FROM THE ENGINEER PRIOR TO MODIFYING THE EROSION CONTROL PLAN.
4.	INSTALL ALL EROSION CONTROL MEASURES AS IDENTIFIED IN THE APPROVED EROSION CONTROL PLAN;
5.	REPAIR ANY SILTATION OR EROSION DAMAGE TO ADJOINING SURFACES AND DRAINAGEWAYS RESULTING FROM LAND DEVELOPING OR DISTURBING ACTIVITIES;
6.	MAINTAIN ALL ON- AND OFF- SITE STORM WATER DRAINAGE SYSTEMS AS IDENTIFIED ON THE EROSION CONTROL PLAN.
7.	REPAIR ANY EROSION CONTROL SYSTEM INSTALLED IN ACCORDANCE TO THE EROSION CONTROL PLAN.
8.	INSPECT THE CONSTRUCTED EROSION CONTROL MEASURES AFTER EACH RAIN OF 0.5 INCHES OR MORE AND AT LEAST ONCE EACH WEEK AND MAKE NEEDED REPAIRS.
9.	ALLOW THE ENGINEER TO ENTER THE SITE FOR THE PURPOSE OF INSPECTING COMPLIANCE WITH THE EROSION CONTROL PLAN OR FOR PERFORMING ANY WORK NECESSARY TO BRING THE SITE INTO COMPLIANCE WITH THE EROSION CONTROL PLAN.
10.	KEEP A COPY OF THE APPROVED EROSION CONTROL PLAN ON THE SITE.
11.	ALL AREAS BEING SEEDED SHOULD HAVE A MINIMUM OF 4 INCHES OF SUITABLE TOPSOIL.
12.	GRADING CONTRACTOR SHALL MAINTAIN EROSION CONTROL UNTIL TERMINATION NOTICE IS ISSUED.
13.	ALL DISTURBED AREAS SHALL BE RESTORED WITHIN 7 DAYS OF COMPLETION OF WORK WITHIN THESE AREAS. THIS INCLUDES SOIL STOCKPILES, WHICH SHALL BE STABILIZED BY MULCHING, TEMPORARY SEEDING, SODDING OR COVERING W/ TARPS.
14.	GRADE & GRAVEL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEVICES AFTER SITE STABILIZATION.

EROSION CONTROL NOTES	
1.	THE CONTRACTOR SHALL INSTALL SILT FENCE AROUND THE PERIMETER OF THE PROJECT AS SHOWN ON THIS PLAN PRIOR TO ANY CONSTRUCTION INCLUDING STRIPPING TOPSOIL.
2.	ALL EROSION CONTROL DEVICES SHALL BE MAINTAINED BY THE CONTRACTOR UNTIL THE COMPLETION OF HIS CONTRACT.
3.	THE CONTRACTOR SHALL MAINTAIN SAID EROSION CONTROL DEVICES UNTIL THE COMPLETION OF HIS CONTRACT AND SHALL NOT REMOVE THE EROSION CONTROL DEVICES UNTIL VEGETATION IS ESTABLISHED.
4.	THE GRADING CONTRACTOR SHALL SEED AND MULCH ALL DISTURBED AREAS IMMEDIATELY WHEN FINAL GRADE IS ESTABLISHED. SEED MIXTURE SHALL BE ACCORDING TO THE SPECIFICATIONS.
5.	THE CONTRACTORS SHALL PREVENT TRACKING ON EXISTING STREETS. ANY SEDIMENT TRACKED ONTO EXISTING STREETS SHALL BE CLEANED UP DAILY.
6.	INSTALLATION AND MAINTENANCE OF EROSION CONTROL SHALL BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS.
7.	SILT FENCES DAMAGED DURING LATERAL CONSTRUCTION SHALL BE REPAIRED AS SOON AS WORK IS COMPLETE IN THAT AREA.

GENERAL NOTES	
1.	SITE DEWATERING. WATER PUMPED FROM THE SITE SHALL BE TREATED BY TEMPORARY SEDIMENTATION BASINS OR OTHER APPROPRIATE CONTROLS DESIGNED FOR THE HIGHEST DEWATERING PUMPING RATE. WATER MAY NOT BE DISCHARGED IN A MANNER THAT CAUSES EROSION OF THE SITE OR RECEIVING CHANNELS. (NOT ANTICIPATED)
2.	WASTE AND MATERIAL DISPOSAL. ALL WASTE AND UNUSED BUILDING MATERIALS (INCLUDING GARBAGE, DEBRIS, CLEANING WASTES, WASTEWATER, TOXIC MATERIALS OR HAZARDOUS MATERIALS) SHALL BE PROPERLY DISPOSED OF AND NOT ALLOWED TO BE CARRIED BY RUNOFF INTO A RECEIVING CHANNEL OR STORM SEWER SYSTEM.
3.	TRACKING. THIS SITE SHALL STABILIZE THE EXISTING DRIVE WITH 3" TO 6" (12" THICK) CLEAR AGGREGATE SUFFICIENT TO PREVENT SEDIMENT FROM BEING TRACKED ONTO PUBLIC OR PRIVATE ROADWAYS AS APPROVED BY THE DIRECTOR. ANY SEDIMENT REACHING A PUBLIC OR PRIVATE ROAD SHALL BE REMOVED BEFORE THE END OF EACH WORK DAY. FLUSHING MAY NOT BE USED UNLESS THE SEDIMENT WILL BE CONTROLLED BY A FILTER FABRIC BARRIER, SEDIMENT TRAP, SEDIMENT BASIN OR EQUIVALENT. TRACKING PAD DIMENSIONS ARE SHOWN ON THE EROSION CONTROL PLAN (24'x50' MIN).
4.	DRAIN INLET PROTECTION. ALL ON-SITE STORM DRAIN INLETS AND THE IMPACTED DOWNSTREAM INLETS SHALL BE PROTECTED WITH THE CATCH-ALL CONFIGURATION. OFF-SITE CULVERTS SHALL BE PROTECTED WITH SAND BAG CULVERT CHECKS.
5.	SEDIMENT CLEANUP. ALL OFF-SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF A STORM EVENT SHALL BE CLEANED UP BY THE END OF THE NEXT WORK DAY. ALL OTHER OFF-SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF LAND DISTURBING ACTIVITIES SHALL BE CLEANED UP BY THE END OF THE WORK DAY.
6.	DISTURBANCE TIMING. ALL ACTIVITIES ON THE SITE SHALL BE CONDUCTED IN A LOGICAL SEQUENCE TO MINIMIZE THE AREA OF BARE SOIL EXPOSED AT ANY ONE TIME. EXISTING VEGETATION SHALL BE MAINTAINED AS LONG AS POSSIBLE.



TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

CALL 811 or Toll Free 1-800-242-8511 (262)432-7910  
Emergency Only (877) 500-9592  
FAX 1-800-338-3860  
FAX (414) 259-0947  
Hearing Impaired TDD 1-800-542-2289

WIS. STATUTE 182.0175 (1974)  
REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE

EROSION CONTROL PLAN KEY LEGEND	
	1 SILT FENCE (C402)
	2 TRACKING PROTECTION (C402)
	3 INLET PROTECTION (C402)
	4 EROSION CONTROL MAT DETAIL (CLASS1, TYPE A) (C402)
	5 EROSION CONTROL MAT DETAIL (CLASS1, TYPE B) (C402)

TOPOGRAPHIC LEGEND	
	1\"/>
	1-1/4\"/>
	3/4\"/>
	1\"/>
	1-1/4\"/>
	2\"/>
	CHECKED "X" FOUND
	GOVERNMENT CORNER
	RECORDED AS
	CONIFEROUS TREE
	DECIDUOUS TREE
	EXIST. WOODS LINE
	WETLANDS
	SOIL BORING
	OVERHEAD POWER LINES
	UNDERGROUND ELECTRIC
	UNDERGROUND TELEPHONE
	UNDERGROUND FIBEROPTIC
	UNDERGROUND GAS
	UNDERGROUND CABLE TV
	EXIST. FENCE LINE
	SIGN
	POWER POLE
	GUY
	LIGHT POLE
	TELEPHONE PEDESTAL
	ELECTRIC PEDESTAL
	CABLE PEDESTAL
	EXIST. HYDRANT
	WATER VALVE
	WATER STOP BOX
	GAS VALVE
	EXIST STORM MANHOLE
	STORM INLET
	YARD DRAIN
	EXIST SANITARY MANHOLE
	EXIST. SAN. SEWER
	EXIST. WATER MAIN
	EXIST. SPOT ELEVATION
	CONTOUR 1/4\"/>
	DIST. TOP OF CURB ELEV.
	DIST. FLOW LINE ELEV.
	FIRST FLOOR = 000.00
	TOPSOIL DEPTH
	INFILTRATION SOIL BORING

REVISIONS

**SCHULER & ASSOCIATES, INC.**  
 LAND SURVEYORS & ENGINEERS  
 2711 N. MASON STREET, Suite F APPLETON, WI 54914-2128 (920) 784-9107

**FORESTBROOK CONDOMINIUMS**  
 TOWN OF GRAND CHUTE, OUTAGAMIE COUNTY, WISCONSIN.  
 OWNER: CYPRESS HOMES  
 1030 W. COLLEGE AVE.  
 APPLETON, WI 54914

DRAWN  
 CRC  
 DATE  
 6-1-2016  
 SCALE  
 BAR SCALE  
 JOB NO.  
 1-0129-012  
 SHEET  
**C401**  
 OF ?? SHEETS

**Town of Grand Chute  
Condominium Plat Review  
Forestbrook Condominiums**

---

**To:** Plan Commission  
**From:** Robert Buckingham, Community Development Director  
**Date:** July 27, 2016  
**Address:** 1120 S. Bluemound Drive **App#:** CP-03-16

---

**REQUEST**

- 1. Proposed Use(s):** Single-family condominium homes
- 2. Project Description:** 12 detached single-family homes
- 3. Plat/CSM Accurate parcel lines/lot recorded:** Yes, new condominium plat pending

**ANALYSIS**

This residential condominium features 12 detached single-family homes. The topographic and natural features of the property are such that development will be split between 2 phases. The first phase will be on the west side of the site, with 6 homes built to face S. Bluemound Drive. These homes will access the street from a private road. The second phase will be on the east side of the site, with 6 homes built with access from a private road to S. Lilas Drive and W. Everett Street. Typical floor plans call for 2-bedroom/2-bath homes ranging from 1,500 – 1,550 sq. ft. in size. They feature a 2-stall garage and expansion space in the basement for a bedroom/bath and rec room. All homes will be designed to fit within the building footprint for each unit, as shown on the Condo Plat. The development previously was approved as a PUD for condominiums. The Condominium Plat has been reviewed and meets all statutory requirements. The development plans conform to the approved Special Exception Permit (SE-06-16) and the proposed Site Plan (SP-13-16) for the project.

**RECOMMENDATION**

**Staff has reviewed and supports a Plan Commission recommendation for approval of the Condo Plat for Forestbrook Condominiums (CP-03-16).**

**SECTION CORNER COORDINATES**

Point	Northing	Easting
1	558423.990	814585.870
2	561094.700	814557.600

**BOUNDARY COORDINATES**

Point	Northing	Easting
3	558732.068	814595.205
4	558725.298	815344.292
5	558732.971	815844.427
6	558732.788	815877.267
7	558426.357	815230.078
8	558429.629	815098.953
9	558425.033	815222.883
10	558424.064	814597.018

**UNIT COORDINATES**

Point	Northing	Easting
11	558463.019	814688.339
12	558507.334	814694.716
13	558480.525	814749.390
14	558460.048	814739.742
15	558453.677	814727.269
16	558440.023	814721.767
17	558620.284	814990.101
18	558624.819	814708.498
19	558537.790	814773.153
20	558463.450	814754.790
21	558577.560	814713.964
22	558627.884	814732.281
23	558506.050	814708.915
24	558550.721	814778.519
25	558533.821	814748.354
26	558681.121	814740.387
27	558681.792	814810.387
28	558633.792	814810.504
29	558682.781	814740.353
30	558743.790	814740.239
31	558743.931	814810.238
32	558695.931	814810.353
33	558691.063	814821.437
34	558731.052	814821.286
35	558731.020	814807.280
36	558681.174	814871.437
37	558628.559	815240.426
38	558686.569	815240.419
39	558686.506	815298.410
40	558628.595	815298.428
41	558628.574	815302.482
42	558686.011	815302.453
43	558686.500	815350.463
44	558628.590	815350.462
45	558628.559	815354.468
46	558628.571	815354.459
47	558686.040	815412.459
48	558628.541	815412.468
49	558628.495	815428.468
50	558686.485	815428.459
51	558686.501	815474.469
52	558628.501	815474.488
53	558628.508	815488.468
54	558686.512	815488.469
55	558686.515	815630.469
56	558638.514	815638.472
57	558638.513	815631.472
58	558628.515	815631.474
59	558638.514	815781.907
60	558624.548	815828.494
61	558662.104	815867.318
62	558570.082	815812.424

COORDINATES ARE REFERENCED TO THE WISCONSIN COUNTY COORDINATE SYSTEM FOR OUTAGAMIE

NORTHWEST CORNER SEC. 33, T21N, R17E MAG NAIL FOUND

ALL AREAS WITHIN THE CONDOMINIUM BOUNDARY ARE COMMON ELEMENTS UNLESS DEPICTED AS "UNIT" OR "LCE"

LIMITED COMMON ELEMENTS THE LIMITED COMMON ELEMENTS ARE THE AREAS IMMEDIATELY ADJACENT TO THE PERIMETER OF THE UNIT ENVELOPE INTENDED FOR THE EXCLUSIVE USE OF THE UNITS OWNER INCLUDING DECKS, PATIOS, DRIVEWAYS, STEPS, STOOPS, AND SIDEWALKS THAT EXTEND BEYOND THE ENVELOPE PERIMETER.

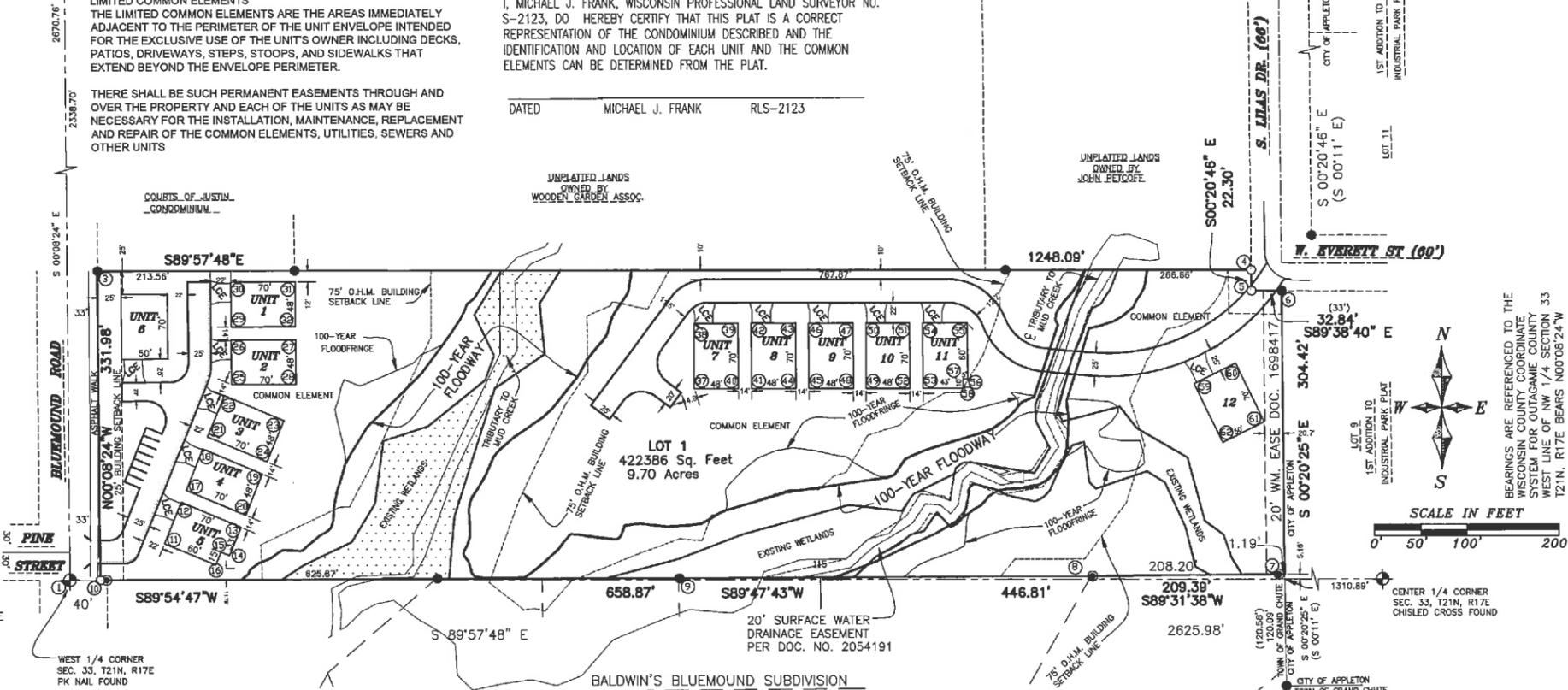
THERE SHALL BE SUCH PERMANENT EASEMENTS THROUGH AND OVER THE PROPERTY AND EACH OF THE UNITS AS MAY BE NECESSARY FOR THE INSTALLATION, MAINTENANCE, REPLACEMENT AND REPAIR OF THE COMMON ELEMENTS, UTILITIES, SEWERS AND OTHER UNITS

**FORESTBROOK CONDOMINIUMS**

LOT 1, CSM 7191, TOWN OF GRAND CHUTE, OUTAGAMIE COUNTY, WISCONSIN.

I, MICHAEL J. FRANK, WISCONSIN PROFESSIONAL LAND SURVEYOR NO. S-2123, DO HEREBY CERTIFY THAT THIS PLAT IS A CORRECT REPRESENTATION OF THE CONDOMINIUM DESCRIBED AND THE IDENTIFICATION AND LOCATION OF EACH UNIT AND THE COMMON ELEMENTS CAN BE DETERMINED FROM THE PLAT.

DATED MICHAEL J. FRANK RLS-2123



**LEGEND**

- = 1" DIA. IRON PIPE FOUND
- = 1" DIA. ROUND x 24" LONG IRON PIPE WEIGHING 1.13 LBS./LIN. FOOT SET
- ⊙ = 2" DIA. IRON PIPE FOUND
- ( ) = RECORDED AS
- LCE = LIMITED COMMON ELEMENT
- ① = UNIT OR BOUNDARY COORDINATE PT. NO.
- 75' O.H.M. BUILDING SETBACK LINE

RESOLVED, THAT FORESTBROOK CONDOMINIUMS, IN THE TOWN OF GRAND CHUTE, IS HEREBY APPROVED AS SURVEYED AND MAPPED BY THE TOWN OF GRAND CHUTE, OUTAGAMIE COUNTY, WISCONSIN.

TOWN PLANNING ADMINISTRATOR DATE

PREPARED BY:  
**SCHULER & ASSOCIATES, INC.**  
LAND SURVEYORS & ENGINEERS  
2711 N. MASON ST., SUITE F, APPLETON, WI 54914

PREPARED FOR:  
**CYPRESS HOMES**  
1230 W COLLEGE AVE.  
APPLETON, WI 54914

NOTE:  
FLOOD STUDY BY MCMAHON  
DATED MARCH 2015  
PROJECT NO. M0157-950113

NOTE:  
WETLANDS FIELD VERIFIED  
BY MARTENSON & EISELE INC  
APPROVED BY WDNR July 1, 2015  
WIC-NE-2015-45-01109

PROJECT NO. 4324  
SHEET 1 OF 1

**Town of Grand Chute  
Site Plan Review  
Forestbrook Condominiums West**

---

**To:** Plan Commission

**From:** Robert Buckingham, Community Development Director

**Date:** July 27, 2016

**Address:** 1120 S. Bluemound Drive

**App. #: SP-13-16**

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**REQUEST**

- 1. **Proposed Use(s):** Single-family condominium homes
- 2. **Project Description:** Construct 6 detached homes, private access road, stormwater pond and associated site improvements
- 3. **Plat/CSM Accurate parcel lines/lot recorded:** Yes; new condominium plat pending

**ANALYSIS**

This is the first of 2 development phases at this condominium, with 6 homes built to face S. Bluemound Drive. These homes will access the street from a private road. Typical floor plans call for 2-bedroom/2-bath homes ranging from 1,500 – 1,550 sq. ft. in size. They feature a 2-stall garage and expansion space in the basement for a bedroom/bath and rec room. All homes will be designed to fit within the building footprint for each unit, as shown on the Condo Plat and Site Plan. Grading and filling work is needed to establish proper road and house grades, and to build the stormwater pond. There are streams, wetlands and floodplain areas on the site. The development plan protects these sensitive areas and incorporates them as an asset to the site. All required shoreyard and wetlands setbacks will be met. Stormwater management consists of using overland flow and storm sewer to direct runoff to a retention pond at the northeast corner of this development phase. The Town Engineer has approved drainage and erosion control plans for the project and the WDNR has approved a General Permit for construction of the stormwater pond. The site plan meets all code requirements and is in conformance with the Condo Plat and PUD Agreement.

**RECOMMENDATION**

Staff has reviewed and supports Plan Commission approval of the Site Plan (SP-13-16) requested by Apex Properties, LLC, 1120 S. Bluemound Drive, for the Forestbrook Condominiums west development, subject to approval of the Conditional Use Permit (CUP-06-16) and Condominium Plat (CP-03-16) for the project.

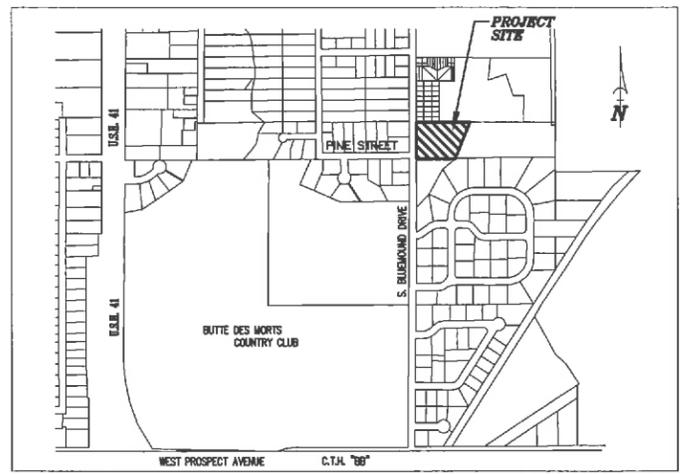
**PRINTED ON**  
**JUN 21 2016**  
**FORESTBROOK CONDOMINIUMS: SITE PLAN**

**REVISIONS**


**SCHULER & ASSOCIATES, INC.**  
 LAND SURVEYORS & ENGINEERS  
 2711 N. MASON STREET, Suite F APPLETON, WI 54914-2126 (920) 734-9107

**FORESTBROOK CONDOMINIUMS**  
 TOWN OF GRAND CHUTE, OUTAGAMIE COUNTY, WISCONSIN.  
 OWNER: CYPRESS HOMES  
 1230 W. COLLEGE AVE.  
 APPLETON, WI 54914

**DRAWN**  
 CRC  
**DATE**  
 6-1-2016  
**SCALE**  
 BAR SCALE  
**JOB NO.**  
 1-0129-012  
**SHEET**  
 C101  
 OF ?? SHEETS



**SITE LOCATION MAP**

**INDEX OF SHEETS**

DRAWING NO.	DESCRIPTION:
C101	SITE PLAN
C201	UTILITY LAYOUT PLAN
C301	DRAINAGE PLAN
C401	EROSION CONTROL PLAN
C402	EROSION CONTROL DETAILS
C501	DETENTION/SEDIMENTATION POND
C601	STANDARD DETAIL DRAWINGS
C602	STANDARD DETAIL DRAWINGS

**OWNER/APPLICANT:**

APEX PROPERTIES GROUP, LLC  
 MICHAEL BLANK, PRESIDENT  
 1230 W. COLLEGE AVENUE  
 APPLETON, WI 54914  
 PHONE: (920) 734-2324

**SITE/PROJECT INFORMATION**

PROPERTY ADDRESS:  
 SOUTH BLUEMOUND DRIVE  
 GRAND CHUTE, WI 54913

**ENGINEER:**

SCHULER & ASSOCIATES, INC.  
 ATTN: JEFFREY T. RUSTICK, P.E.  
 2711 N. MASON STREET, SUITE F  
 APPLETON, WI 54914  
 jtr@schulerassociates.net  
 PHONE: 920-734-9107

**BUILDING SETBACKS**

MINIMUM FRONT YARD SETBACK: 25 FEET  
 MINIMUM SIDE YARD SETBACK: 8 FEET  
 MINIMUM REAR YARD SETBACK: 25 FEET

**SURVEYOR:**

SCHULER & ASSOCIATES, INC  
 ATTN: JEFF RUSTICK, PLS, P.E.  
 2711 N. MASON STREET, SUITE F  
 APPLETON, WI 54914  
 PHONE: 920-734-9107

**LEGAL DESCRIPTION**

S10AC SW-1/4 NW-1/4 SEC33 T21N R17E  
 9.98AC, TOWN OF GRAND CHUTE, OUTAGAMIE  
 COUNTY, WISCONSIN.

**PROJECT ARCHITECT:**

CYPRESS HOMES  
 1230 W. COLLEGE AVENUE  
 APPLETON, WI 54914  
 PHONE: (920) 734-2324

**SITE DATA**

SITE AREA: 92,347 SF (2.120 AC) WEST OF FLOODWAY

**EXISTING CONDITIONS:** WEST OF FLOODWAY  
 EXISTING ROOF TOP AREA: 000 SF(0.000 AC)  
 EXISTING PAVEMENT AREA: 000 SF(0.000 AC)  
 EXISTING OPEN SPACE: 92,347 SF(2.120 AC)  
 EXISTING IMPERVIOUS PERCENTAGE: 00.00%

**PROPOSED CONDITIONS:** WEST OF FLOODWAY  
 PROPOSED ROOF TOP AREA: 20,038 SF(0.460 AC)  
 PROPOSED PAVEMENT AREA: 13,939 SF(0.320 AC)  
 PROPOSED OPEN SPACE: 58,370 SF(1.340 AC)  
 PROPOSED IMPERVIOUS PERCENTAGE: 36.79%

**ZONING DISTRICT**

RMF-MULTIFAMILY RESIDENTIAL DISTRICT



**SITE PLAN NOTES**

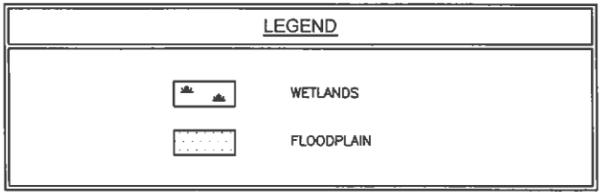
- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL TOWN OF GRAND CHUTE REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
- ALL DISTURBED AREAS ARE TO RECEIVE FOUR INCHES OF TOPSOIL, SEED, MULCH AND WATER UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
- NO HAZARDOUS MATERIALS WILL BE STORED ON SITE.
- NO FOOD AND/OR BEVERAGES SALES, NO PUBLIC SWIMMING POOL OR WHIRLPOOL WILL BE LOCATED ON SITE.
- ALL STOP SIGNS SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE FEDERAL HIGHWAY ADMINISTRATION M.U.T.C.D. LATEST VERSION.
- THE CONTRACTOR AND/OR OWNER SHALL NOT PROCEED WITH LAND DISTURBING ACTIVITIES PRIOR TO RECEIVING WRITTEN NOTICE TO PROCEED FROM THE ENGINEER.
- NO OUTDOOR STORAGE OR DISPLAY IS PROPOSED.
- VERIFY ACTUAL LOCATION OF DRIVEWAY WITH OWNER.

**DIGGERS HOTLINE**

TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

CALL 811 or  
 Toll Free 1-800-242-8511  
 (262)432-7910  
 Emergency Only (877) 500-9592  
 FAX 1-800-338-3860  
 FAX (414) 259-0947  
 Hearing Impaired TDD 1-800-542-2289

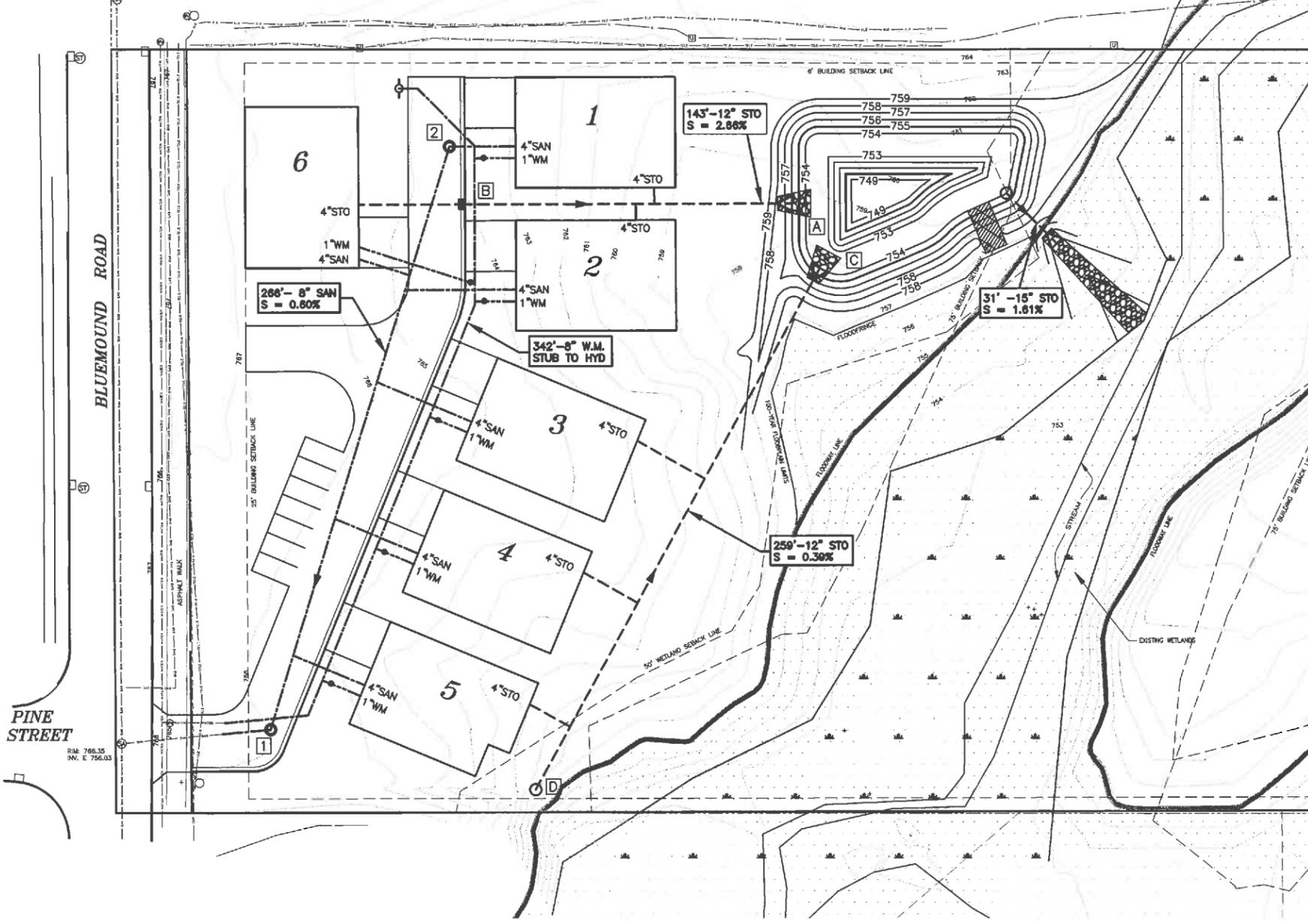
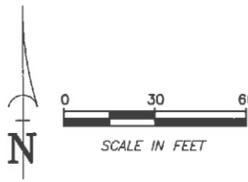
WS. STATUTE 182.0175 (1974)  
 REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE



**TOPOGRAPHIC LEGEND**

1" x 18" IRON PIPE SET	OVERHEAD POWER LINES	OO	GAS VALVE
1-1/4" x 30" REBAR SET	UNDERGROUND ELECTRIC	O	EXIST STORM MANHOLE
CHESELED "X" SET	UNDERGROUND TELEPHONE	□	STORM INLET
3/4" REBAR FOUND	UNDERGROUND FIBEROPTIC	□	YARD DRAIN
1" IRON PIPE FOUND	UNDERGROUND GAS	○	EXIST SANITARY MANHOLE
1-1/4" REBAR FOUND	UNDERGROUND CABLE TV	○	EXIST. SAN. SEWER
2" IRON PIPE FOUND	EXIST. FENCE LINE	○	EXIST. STO. SEWER
CHESELED "X" FOUND	SIGN	○	EXIST. WATER MAIN
GOVERNMENT CORNER	POWER POLE	○	EXIST. SPOT ELEVATION
RECORDED AS	GUY	○	CONTOUR W/ ELEVATION
CONIFEROUS TREE	LIGHT POLE	○	000.000: EXIST. TOP OF CURB ELEV.
DECIDUOUS TREE	TELEPHONE PEDESTAL	○	000.000: EXIST. FLOW LINE ELEV.
EXIST. WOODS LINE	ELECTRIC PEDESTAL	○	FF - 000.000: FIRST FLOOR - 000.00
WETLANDS	CABLE PEDESTAL	○	TOPSOIL DEPTH
SOIL BORING	EXIST. HYDRANT	○	INfiltration SOIL BORING
	WATER VALVE	○	
	WATER STOP BOX	○	

# FORESTBROOK CONDOMINIUMS: UTILITY LAYOUT PLAN



PROPOSED STORM UTILITY SCHEDULE				
STRUCTURE ID#	RIM ELEVATION	INVERT ELEVATION	STRUCTURE DEPTH (FT.)	INLET TYPE
ENDWALL A	-	INV 12" W 756.00	-	12" ENDWALL
INLET B	764.80	INV 12" E 759.80	5.00	24" x 36" INLET
ENDWALL C	-	INV 12" SW 754.00	-	12" ENDWALL
STO D	758.50	INV 12" NE 755.00	3.50	36" DIA. MANHOLE
SAN 1	766.30	INV 8" W.NE 756.40	9.90	48" DIA. MANHOLE
SAN 2	765.05	INV 8" SW 758.00 INV 4" E 758.10	7.05	48" DIA. MANHOLE

- UTILITY PLAN NOTES**
- THE LOCATION OF EXISTING UTILITY FACILITIES AS SHOWN ON THE PLAN ARE APPROXIMATE. THERE MAY BE OTHER UTILITIES WITHIN THE PROJECT AREA THAT ARE NOT SHOWN. THE CONTRACTOR SHALL HAVE ALL FACILITIES LOCATED PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF A CONFLICT WITHIN THE WORK IS DISCOVERED.
  - ALL UTILITY CONNECTIONS SHALL BE DONE IN ACCORDANCE WITH THE "WISCONSIN STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION, 6TH EDITION" AND THE TOWN OF GRAND CHUTE STANDARD SPECIFICATIONS.
  - ALL WORK SHALL COMPLY WITH O.S.H.A. STANDARDS.
  - THE CONTRACTOR AND/OR OWNER SHALL NOT PROCEED WITH CONSTRUCTION ACTIVITIES UNTIL APPROPRIATE PERMITS/APPROVALS ARE OBTAINED.
  - THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL NECESSARY PERMITS FOR CONSTRUCTION.
  - THE CONTRACTOR SHALL CLEAN UP ALL EXCESS MATERIAL AND DEBRIS CAUSED AS A RESULT OF WORK UNDER THIS CONTRACT.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL DAMAGE RESULTING FROM THE PERFORMANCE OF THE WORK UNDER THIS CONTRACT.
  - CONTRACTOR SHALL DISPOSE OF NON-SUITABLE MATERIAL OFF-SITE.
  - SANITARY LATERALS SHALL BE 4" DIAMETER PIPE, AND WATER SERVICES SHALL BE A 1" DIAMETER SERVICE.
  - SUMP PUMP DISCHARGE LINES SHALL BE 4" DIAMETER PIPE.

**UTILITY LAYOUT PLAN LEGEND**

—○—	EXISTING CONTOUR	○	STORM MANHOLE
—●—	PROPOSED CONTOUR	■	STORM INLET
---	STORM MAIN	○	SANITARY MANHOLE
—	WATER MAIN	⊕	HYDRANT
---	SANITARY MAIN	●	WATER VALVE
---	UTILITY LATERAL		

**TOPOGRAPHIC LEGEND**

▲	1" x 18" IRON PIPE SET	—○—	OVERHEAD POWER LINES	∞	GAS VALVE
■	1-1/4" x 30" REBAR SET	—E—	UNDERGROUND ELECTRIC	○	EXIST STORM MANHOLE
×	CHISELED "X" SET	—T—	UNDERGROUND TELEPHONE	□	STORM INLET
○	3/4" REBAR FOUND	—FIBER—	UNDERGROUND FIBEROPTIC	□	YARD DRAIN
□	1" IRON PIPE FOUND	—GAS—	UNDERGROUND GAS	○	EXIST SANITARY MANHOLE
△	1-1/4" REBAR FOUND	—CIV—	UNDERGROUND CABLE TV	---	EXIST. SAN. SEWER
□	2" IRON PIPE FOUND	—X—	EXIST. FENCE LINE	---	EXIST. STO. SEWER
◆	CHISELED "X" FOUND	⊕	SIGN	---	EXIST. WATER MAIN
◆	GOVERNMENT CORNER	⊕	POWER POLE	---	EXIST. SPOT ELEVATION
◆	RECORDED AS	⊕	GUY	---	CONTOUR W/ ELEVATION
( )	CONIFEROUS TREE	⊕	LIGHT POLE	---	EXIST. TOP OF CURB ELEV.
( )	DECIDUOUS TREE	⊕	TELEPHONE PEDESTAL	---	EXIST. FLOW LINE ELEV.
( )	EXIST. WOODS LINE	⊕	ELECTRIC PEDESTAL	---	FF = 000.00 FIRST FLOOR = 000.00
⊕	WETLANDS	⊕	CABLE PEDESTAL	⊕	TOPSOIL DEPTH
⊕	SOIL BORING	⊕	EXIST. HYDRANT	⊕	INFILTRATION SOIL BORING
		⊕	WATER VALVE		
		⊕	WATER STOP BOX		



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REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE

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**FORESTBROOK CONDOMINIUMS**  
TOWN OF GRAND CHUTE, OUTAGAMIE COUNTY, WISCONSIN.

OWNER: CYPRESS HOMES  
1230 W. COLLEGE AVE.  
APPLETON, WI 54914

DRAWN  
CRC

DATE  
6-1-2016

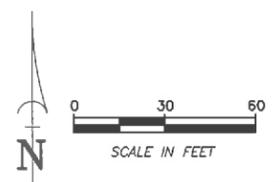
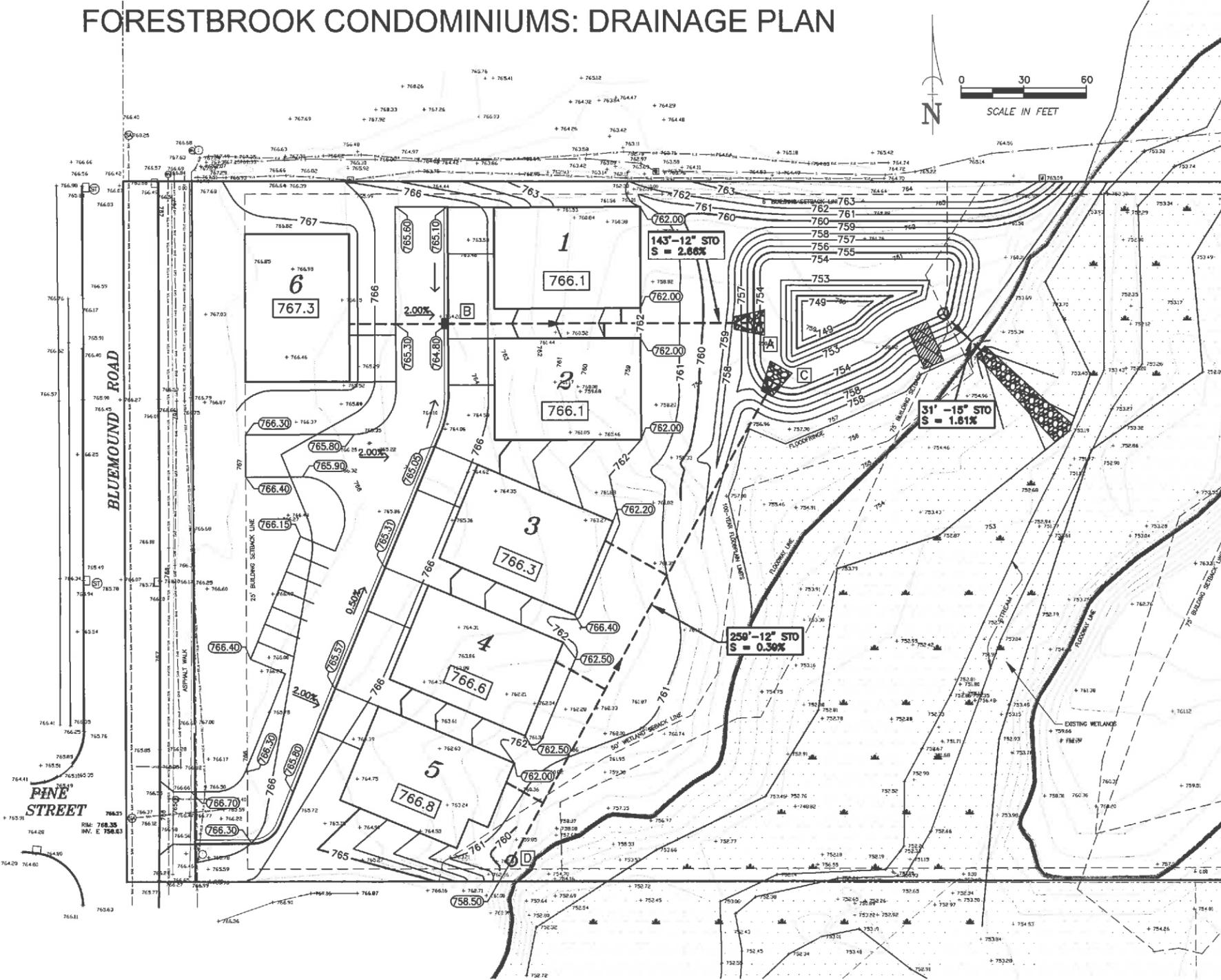
SCALE  
BAR SCALE

JOB NO.  
1-0129-012

SHEET  
**C201**

OF ?? SHEETS

# FORESTBROOK CONDOMINIUMS: DRAINAGE PLAN



DRAINAGE PLAN NOTES			
1.	THE LOCATION OF EXISTING UTILITY FACILITIES AS SHOWN ON THE PLAN ARE APPROXIMATE. THERE MAY BE OTHER UTILITIES WITHIN THE PROJECT AREA THAT ARE NOT SHOWN. THE CONTRACTOR SHALL HAVE ALL FACILITIES LOCATED PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF A CONFLICT WITHIN THE WORK IS DISCOVERED.		
2.	ALL WORK UNDER THIS CONTRACT SHALL BE DONE IN ACCORDANCE WITH THE TOWN OF GRAND CHUTE STANDARD SPECIFICATIONS, ALONG WITH THE LATEST EDITION OF THE STATE OF WISCONSIN D.O.T. STANDARD SPECIFICATIONS.		
3.	THE LANDSCAPER SHALL UTILIZE THE PROPOSED ELEVATIONS. THE LANDSCAPER SHALL NOT GRADE UP TO ANY PEDESTAL OR ANY OTHER STRUCTURE TO DETERMINE ELEVATION.		
4.	ALL WORK SHALL COMPLY WITH O.S.H.A. STANDARDS.		
5.	THE CONTRACTOR AND/OR OWNER SHALL NOT PROCEED WITH CONSTRUCTION ACTIVITIES UNTIL APPROPRIATE PERMITS/APPROVALS ARE OBTAINED.		
6.	THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL NECESSARY PERMITS FOR CONSTRUCTION.		
7.	THE CONTRACTOR SHALL CLEAN UP ALL EXCESS MATERIAL AND DEBRIS CAUSED AS A RESULT OF WORK UNDER THIS CONTRACT.		
8.	CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL DAMAGE RESULTING FROM THE PERFORMANCE OF THE WORK UNDER THIS CONTRACT.		
9.	CONTRACTOR SHALL DISPOSE OF NON-SUITABLE MATERIAL OFF-SITE.		

DRAINAGE PLAN LEGEND			
	EXISTING CONTOUR		PROPOSED ELEVATION
	PROPOSED CONTOUR		PERTINENT DITCH OR SWALE ELEVATION
	STORM SEWER MAIN		EXISTING ELEVATION
	STORM MANHOLE		PROPOSED GROUND AT FOUNDATION
	2' x 3' PRECAST STORM INLET		DIRECTION OF DRAINAGE

TOPOGRAPHIC LEGEND			
	1" x 18" IRON PIPE SET		GAS VALVE
	1-1/4" x 30" REBAR SET		EXIST. STORM MANHOLE
	CHISELED "X" SET		STORM INLET
	3/4" REBAR FOUND		YARD DRAIN
	1" IRON PIPE FOUND		EXIST. SANITARY MANHOLE
	1-1/4" REBAR FOUND		EXIST. SAN. SEWER
	2" IRON PIPE FOUND		EXIST. STG. SEWER
	CHISELED "X" FOUND		EXIST. WATER MAIN
	GOVERNMENT CORNER		EXIST. SPOT ELEVATION
	RECORDED AS		SIGN
	CONFIRMED TREE		POWER POLE
	DECIDUOUS TREE		GUY
	EXIST. WOODS LINE		LIGHT POLE
	WETLANDS		TELEPHONE PEDESTAL
	SOIL BORING		ELECTRIC PEDESTAL
			CABLE PEDESTAL
			EXIST. HYDRANT
			WATER VALVE
			WATER STOP BOX

## DIGGERS HOTLINE

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**FORESTBROOK CONDOMINIUMS**  
TOWN OF GRAND CHUTE, OUTAGAMIE COUNTY, WISCONSIN.

OWNER: CYPRESS HOMES  
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APPLETON, WI 54914

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**6-1-2016**

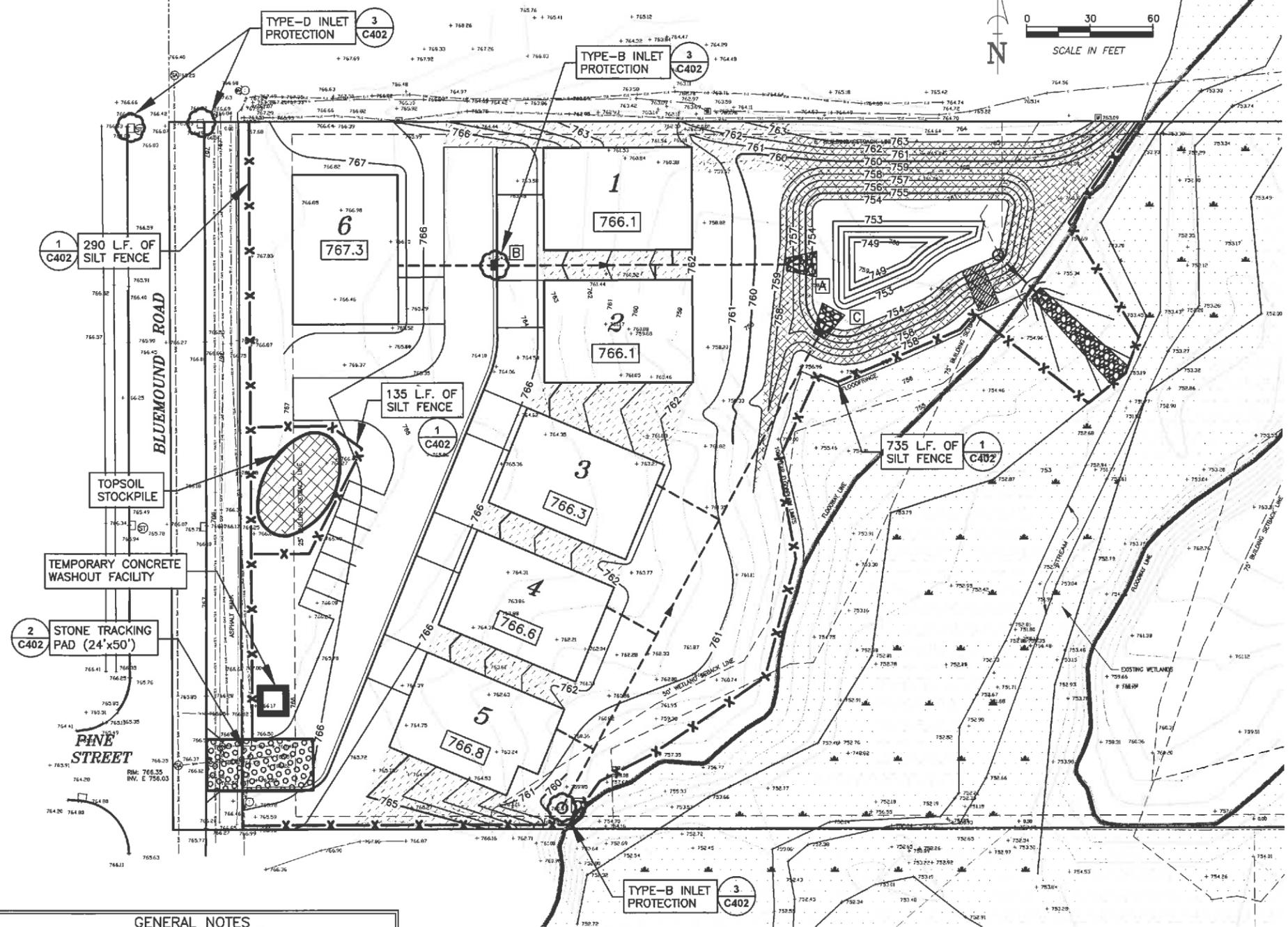
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**BAR SCALE**

JOB NO.  
**1-0129-012**

SHEET  
**C301**

OF ?? SHEETS

# FORESTBROOK CONDOMINIUMS: EROSION CONTROL PLAN



GENERAL NOTES	
1.	SITE DEWATERING. WATER PUMPED FROM THE SITE SHALL BE TREATED BY TEMPORARY SEDIMENTATION BASINS OR OTHER APPROPRIATE CONTROLS DESIGNED FOR THE HIGHEST DEWATERING PUMPING RATE. WATER MAY NOT BE DISCHARGED IN A MANNER THAT CAUSES EROSION OF THE SITE OR RECEIVING CHANNELS. (NOT ANTICIPATED)
2.	WASTE AND MATERIAL DISPOSAL. ALL WASTE AND UNUSED BUILDING MATERIALS (INCLUDING GARBAGE, DEBRIS, CLEANING WASTES, WASTEWATER, TOXIC MATERIALS OR HAZARDOUS MATERIALS) SHALL BE PROPERLY DISPOSED OF AND NOT ALLOWED TO BE CARRIED BY RUNOFF INTO A RECEIVING CHANNEL OR STORM SEWER SYSTEM.
3.	TRACKING. THIS SITE SHALL STABILIZE THE EXISTING DRIVE WITH 3" TO 6" (12" THICK) CLEAR AGGREGATE SUFFICIENT TO PREVENT SEDIMENT FROM BEING TRACKED ONTO PUBLIC OR PRIVATE ROAD WAYS AS APPROVED BY THE DIRECTOR. ANY SEDIMENT REACHING A PUBLIC OR PRIVATE ROAD SHALL BE REMOVED BEFORE THE END OF EACH WORK DAY. FLUSHING MAY NOT BE USED UNLESS THE SEDIMENT WILL BE CONTROLLED BY A FILTER FABRIC BARRIER, SEDIMENT TRAP, SEDIMENT BASIN OR EQUIVALENT. TRACKING PAD DIMENSIONS ARE SHOWN ON THE EROSION CONTROL PLAN (24'X50' MIN).
4.	DRAIN INLET PROTECTION. ALL ON-SITE STORM DRAIN INLETS AND THE IMPACTED DOWNSTREAM INLETS SHALL BE PROTECTED WITH THE CATCH-ALL CONFIGURATION. OFF-SITE CULVERTS SHALL BE PROTECTED WITH SAND BAG CULVERT CHECKS.
5.	SEDIMENT CLEANUP. ALL OFF-SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF A STORM EVENT SHALL BE CLEANED UP BY THE END OF THE NEXT WORK DAY. ALL OTHER OFF-SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF LAND DISTURBING ACTIVITIES SHALL BE CLEANED UP BY THE END OF THE WORK DAY.
6.	DISTURBANCE TIMING. ALL ACTIVITIES ON THE SITE SHALL BE CONDUCTED IN A LOGICAL SEQUENCE TO MINIMIZE THE AREA OF BARE SOIL EXPOSED AT ANY ONE TIME. EXISTING VEGETATION SHALL BE MAINTAINED AS LONG AS POSSIBLE.

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WIS. STATUTE 182.0175 (1974)  
REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE

EROSION CONTROL PLAN KEY LEGEND	
	1 SILT FENCE (C402)
	2 TRACKING PROTECTION (C402)
	3 INLET PROTECTION (C402)
	4 EROSION CONTROL MAT DETAIL (CLASS1, TYPE A) (C402)
	5 EROSION CONTROL MAT DETAIL (CLASS1, TYPE B) (C402)

CONSTRUCTION SEQUENCE	
1.	Pre-Construction Meeting
2.	Installation of Silt Fence
3.	Protection of Existing Inlets as Shown on Erosion Control Plan
4.	Installation of Rack Tracking Pad
5.	Topsoil Stripping of Storm Water Facility
6.	Stockpile Topsoil, Stabilize and Silt Fence Protection
7.	Construction of Storm Water Facility
8.	Restoration of Storm Water Facility
9.	Topsoil Stripping of Building Area and Pavement Areas
10.	Stockpile Topsoil, Stabilize and Silt Fence Protection
11.	Rough Grading of Building Area and Pavement Areas
12.	Installation of Sewer and Water Facilities
13.	Protection of New Inlets as Shown on Erosion Control Plan
14.	Topsoil Placement of all Grassed and Landscaped Areas
15.	Install Concrete Washout Facility
16.	Installation and Compaction of Stone for Access Drive and Parking Area
17.	Construct Concrete Curb and Gutter
18.	Asphalt Paving
19.	Complete Fine Grading and Landscaping
20.	Restoration of all Grassed, Landscaped, and other Disturbed Areas
21.	Construction of Building Foundation and Footings
22.	Construction of Buildings
23.	Re-seed all disturbed areas
24.	Remove Inlet/Yard Drain Protection and Silt Fence After Vegetation is Established
25.	Maintenance plan

CONTRACTOR RESPONSIBILITIES	
1.	NOTIFY THE ENGINEER WITHIN 48 HOURS OF COMMENCING ANY LAND DISTURBING OR LAND DEVELOPMENT ACTIVITY;
2.	NOTIFY THE ENGINEER OF COMPLETION OF ANY EROSION CONTROL MEASURES WITHIN 3 DAYS AFTER COMPLETION;
3.	OBTAIN PERMISSION IN WRITING FROM THE ENGINEER PRIOR TO MODIFYING THE EROSION CONTROL PLAN.
4.	INSTALL ALL EROSION CONTROL MEASURES AS IDENTIFIED IN THE APPROVED EROSION CONTROL PLAN;
5.	REPAIR ANY SILTATION OR EROSION DAMAGE TO ADJOINING SURFACES AND DRAINAGE WAYS RESULTING FROM LAND DEVELOPING OR DISTURBING ACTIVITIES;
6.	MAINTAIN ALL ON- AND OFF- SITE STORM WATER DRAINAGE SYSTEMS AS IDENTIFIED ON THE EROSION CONTROL PLAN.
7.	REPAIR ANY EROSION CONTROL SYSTEM INSTALLED IN ACCORDANCE TO THE EROSION CONTROL PLAN.
8.	INSPECT THE CONSTRUCTED EROSION CONTROL MEASURES AFTER EACH RAIN OF 0.5 INCHES OR MORE AND AT LEAST ONCE EACH WEEK AND MAKE NEEDED REPAIRS.
9.	ALLOW THE ENGINEER TO ENTER THE SITE FOR THE PURPOSE OF INSPECTING COMPLIANCE WITH THE EROSION CONTROL PLAN OR FOR PERFORMING ANY WORK NECESSARY TO BRING THE SITE INTO COMPLIANCE WITH THE EROSION CONTROL PLAN.
10.	KEEP A COPY OF THE APPROVED EROSION CONTROL PLAN ON THE SITE.
11.	ALL AREAS BEING SEEDED SHOULD HAVE A MINIMUM OF 4 INCHES OF SUITABLE TOPSOIL.
12.	GRADING CONTRACTOR SHALL MAINTAIN EROSION CONTROL UNTIL TERMINATION NOTICE IS ISSUED.
13.	ALL DISTURBED AREAS SHALL BE RESTORED WITHIN 7 DAYS OF COMPLETION OF WORK WITHIN THESE AREAS. THIS INCLUDES SOIL STOCKPILES, WHICH SHALL BE STABILIZED BY MULCHING, TEMPORARY SEEDING, SODDING OR COVERING W/ TARPS.
14.	GRADE & GRAVEL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEVICES AFTER SITE STABILIZATION.

EROSION CONTROL NOTES	
1.	THE CONTRACTOR SHALL INSTALL SILT FENCE AROUND THE PERIMETER OF THE PROJECT AS SHOWN ON THIS PLAN PRIOR TO ANY CONSTRUCTION INCLUDING STRIPPING TOPSOIL.
2.	ALL EROSION CONTROL DEVICES SHALL BE MAINTAINED BY THE CONTRACTOR UNTIL THE COMPLETION OF HIS CONTRACT.
3.	THE CONTRACTOR SHALL MAINTAIN SAID EROSION CONTROL DEVICES UNTIL THE COMPLETION OF HIS CONTRACT AND SHALL NOT REMOVE THE EROSION CONTROL DEVICES UNTIL VEGETATION IS ESTABLISHED.
4.	THE GRADING CONTRACTOR SHALL SEED AND MULCH ALL DISTURBED AREAS IMMEDIATELY WHEN FINAL GRADE IS ESTABLISHED. SEED MIXTURE SHALL BE ACCORDING TO THE SPECIFICATIONS.
5.	THE CONTRACTORS SHALL PREVENT TRACKING ON EXISTING STREETS. ANY SEDIMENT TRACKED ONTO EXISTING STREETS SHALL BE CLEANED UP DAILY.
6.	INSTALLATION AND MAINTENANCE OF EROSION CONTROL SHALL BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS.
7.	SILT FENCES DAMAGED DURING LATERAL CONSTRUCTION SHALL BE REPAIRED AS SOON AS WORK IS COMPLETE IN THAT AREA.

TOPOGRAPHIC LEGEND	
	1\" x 12\" IRON PIPE SET
	1-1/4\" x 30\" REBAR SET
	CHISELED \"X\" SET
	3/4\" REBAR FOUND
	1\" IRON PIPE FOUND
	1-1/4\" REBAR FOUND
	2\" IRON PIPE FOUND
	CHISELED \"X\" FOUND
	GOVERNMENT CORNER
	RECORDED AS
	CONIFEROUS TREE
	DECIDUOUS TREE
	EXIST. WOODS LINE
	WETLANDS
	SOIL BORING
	OVERHEAD POWER LINES
	UNDERGROUND ELECTRIC
	UNDERGROUND TELEPHONE
	UNDERGROUND FIBROPTIC
	UNDERGROUND GAS
	UNDERGROUND CABLE TV
	EXIST. FENCE LINE
	SIGN
	POWER POLE
	OUT
	LIGHT POLE
	TELEPHONE PEDESTAL
	ELECTRIC PEDESTAL
	CABLE PEDESTAL
	EXIST. HYDRANT
	WATER VALVE
	WATER STOP BOX
	GAS VALVE
	EXIST STORM MANHOLE
	YARD DRAIN
	EXIST SANITARY MANHOLE
	EXIST. SAN. SEWER
	EXIST. STO. SEWER
	EXIST. WATER MAIN
	EXIST. SPOT ELEVATION
	CONTOUR W/ ELEVATION
	EXIST. TOP OF CURB ELEV.
	EXIST. FLOW LINE ELEV.
	FF = 000.00 FIRST FLOOR = 000.00
	TOPSOIL DEPTH
	INFILTRATION SOIL BORING

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6-1-2016

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BAR SCALE

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SHEET  
**C401**

OF ?? SHEETS





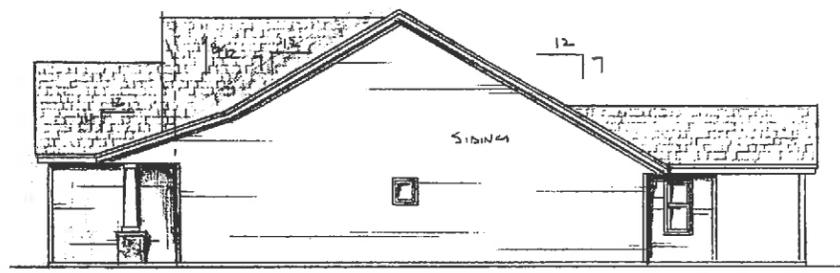




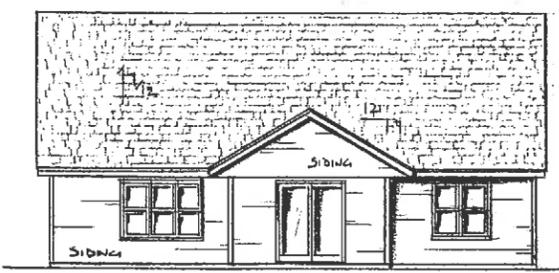
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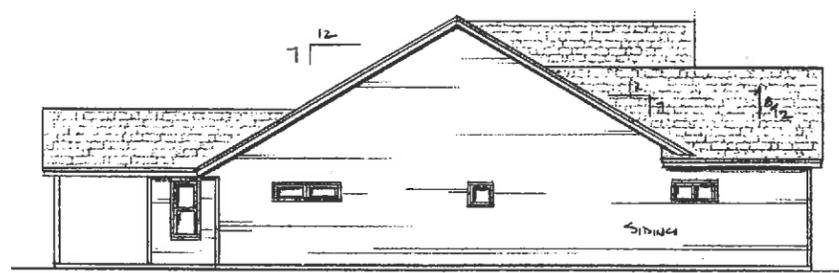
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RIGHT ELEVATION



REAR ELEVATION  
SCALE: 1/8"=1'-0"



LEFT ELEVATION



FRONT ELEVATION

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JOB 2337  
BY: CYPRESS HOMES

Revisions  
3-12-14

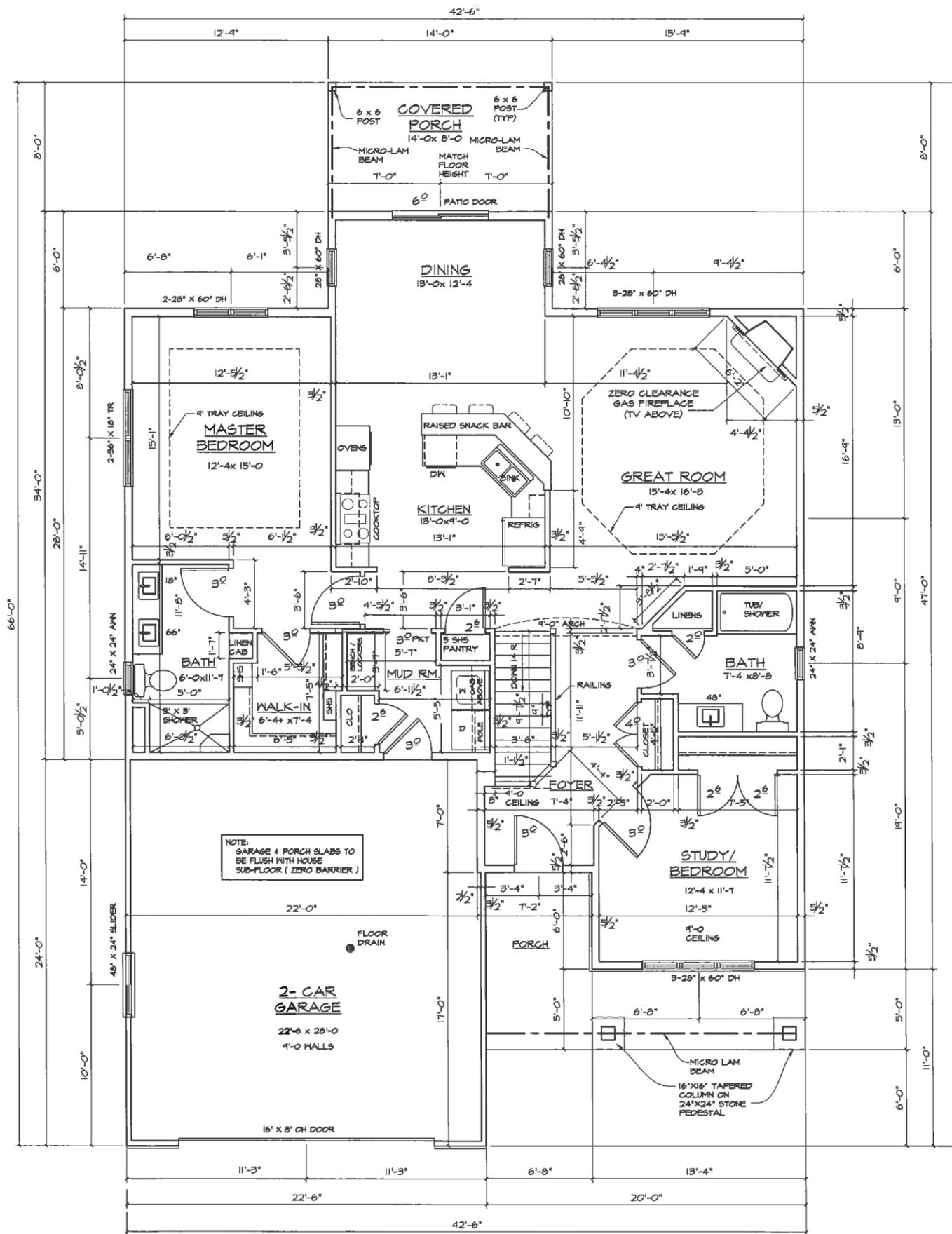
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Date  
JAN. 23,  
2014

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Truss Design Note: Roof and floor truss systems and related beams and columns have been shown to the best of our knowledge. Prior to construction, it is the builder's responsibility to review the design with a truss designer and confirm or suggest the revisions necessary to the design. These revisions should be brought to the attention of Dayton Home Designs, Inc. and incorporated into the final drawings.



FIRST FLOOR = 1497 SQ. FT.  
 GARAGE = 536 SQ. FT.

NOTES:  
 1. 8'-0" WALL/CEILING HEIGHT EXCEPT AS NOTED.  
 2. GARAGE WALLS ARE 9'-0".  
 3. WINDOW SIZES ARE GENERIC.  
 4. ALL ANGLES ARE 45 DEGREES UNLESS NOTED.  
 5. DIMENSIONS ARE TO STUD FACE.  
 6. INTERIOR WALLS ARE 2X4 STUD UNLESS NOTED. (3-1/2")  
 EXTERIOR WALLS ARE 2X6 STUD UNLESS NOTED. (5-1/2")

FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

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Revisions  
**3-13-14**

Drawn by  
**DLA, LAS**

Date  
**JAN. 23, 2014**

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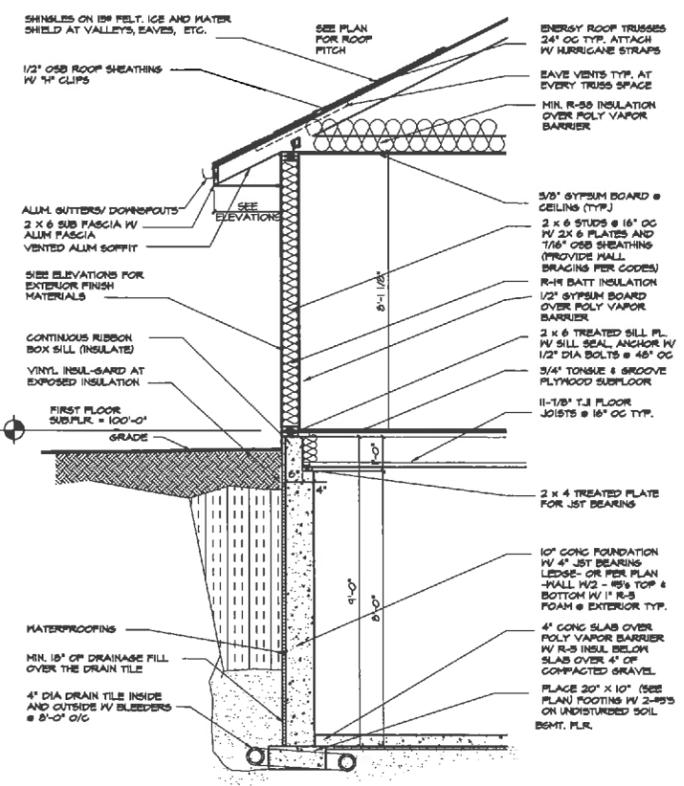
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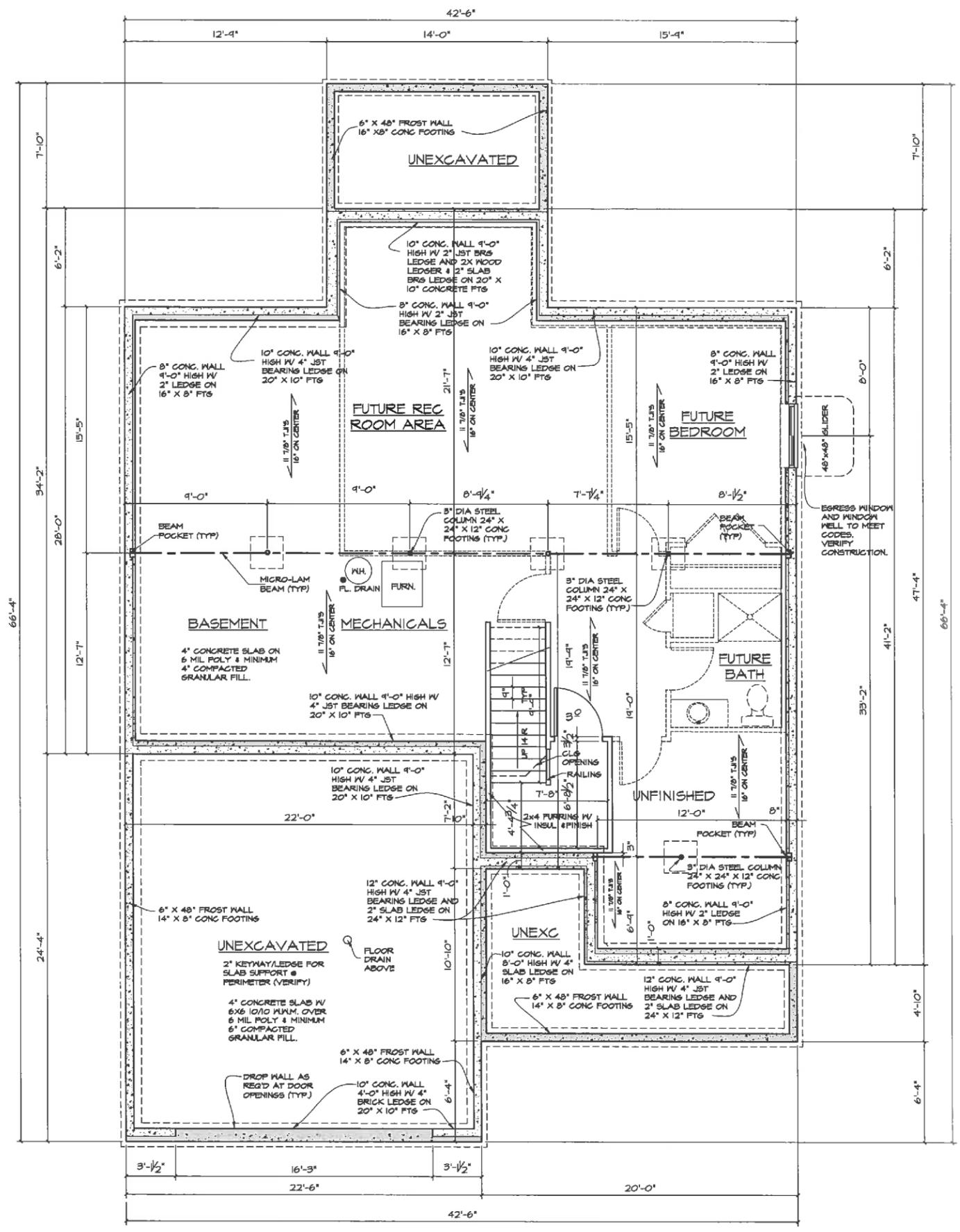
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**ONE-STORY WALL SECTION**

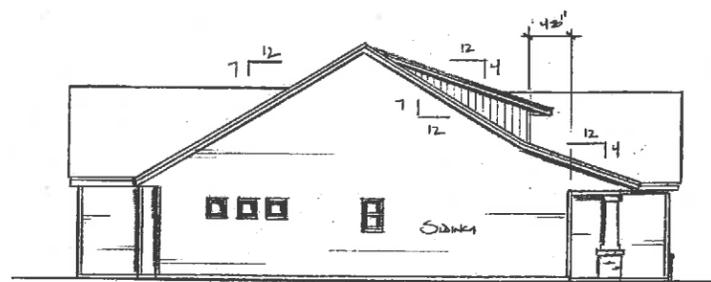
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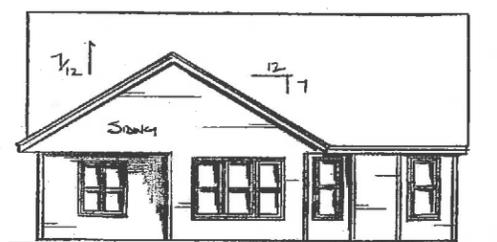
**BASEMENT/FOUNDATION PLAN**

SCALE: 1/4" = 1'-0"

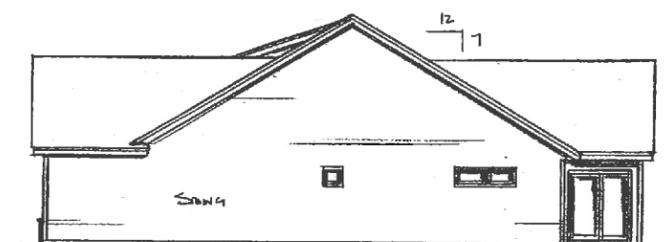
- BASEMENT NOTES:**
1. WALLS ARE 9'-0" HIGH WITH JOIST BEARING AT 8'-0".
  2. PORCH AND GARAGE SLABS TO BE FLUSH WITH FIRST FLOOR SUBFLOOR.
  3. PROVIDE SLAB BEARING PER BUILDER'S DIRECTIONS.
  4. TOP OF GARAGE FOUNDATION MATCHES TOP OF HOUSE FOUNDATION.
  5. VERIFY SUMP PIT LOCATION.



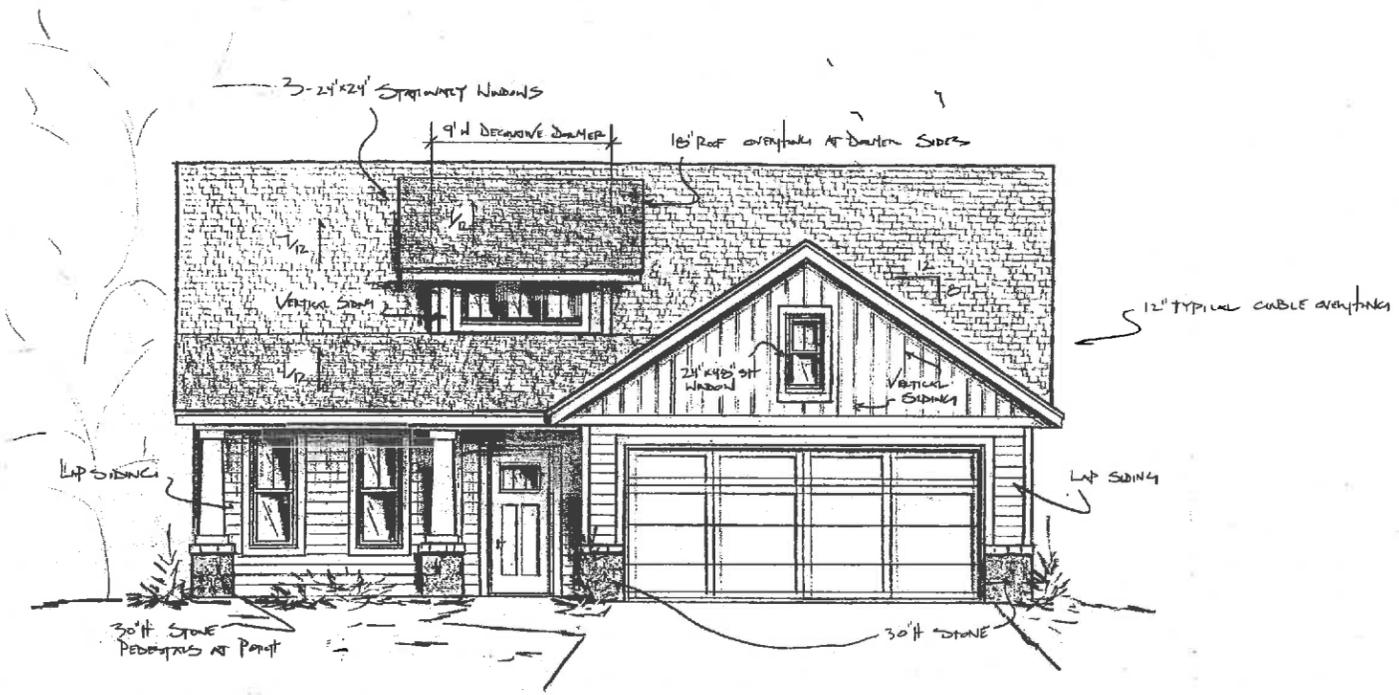
LEFT ELEVATION



REAR ELEVATION  
SCALE: 1/8" = 1'-0"



RIGHT ELEVATION



FRONT ELEVATION

SCALE: 1/4" = 1'-0"

PRELIMINARY  
DESIGN CONCEPT ONLY

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**JOB 2391**  
**BY: CYPRESS HOMES**

Revisions

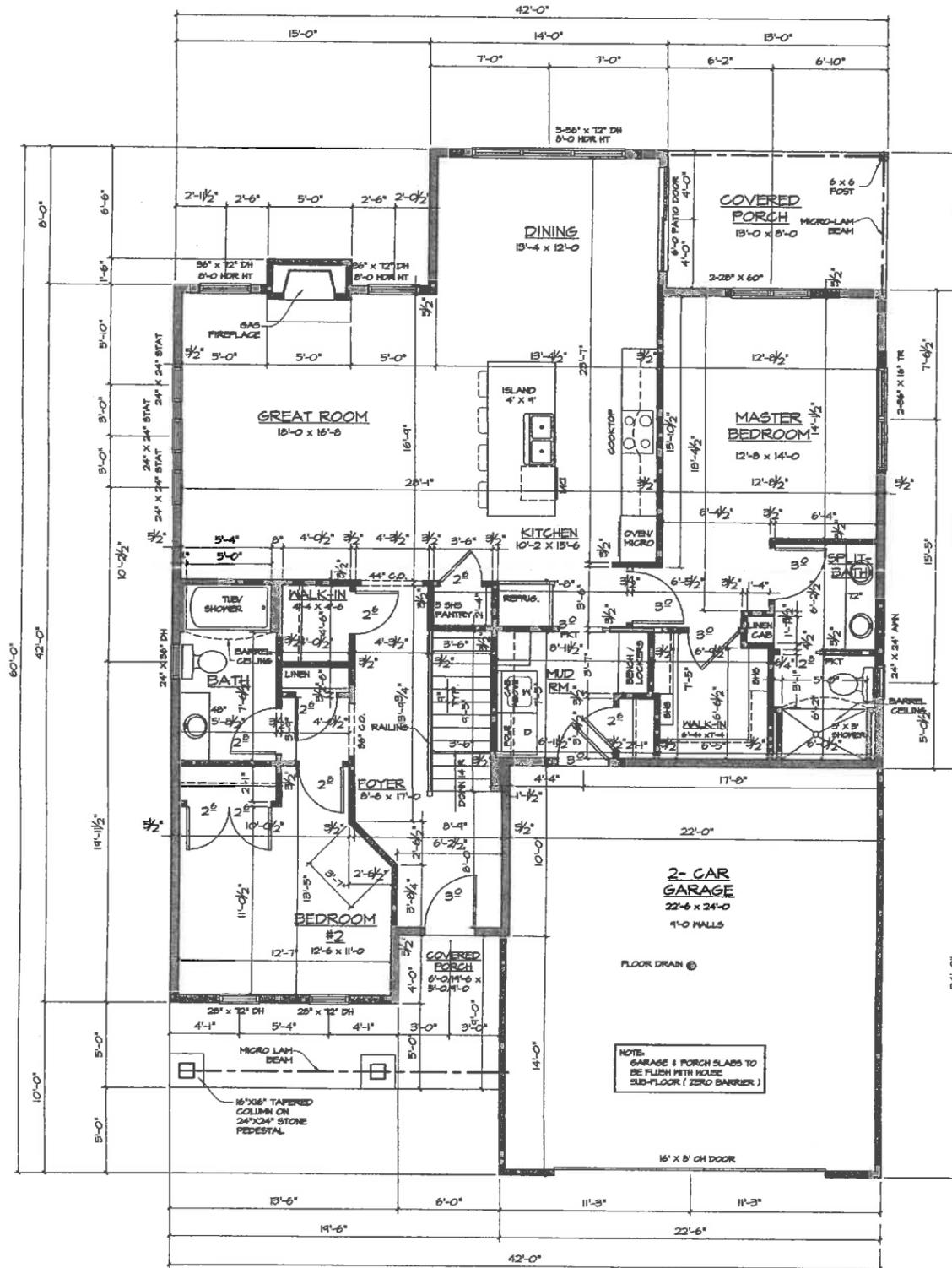
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**DLA, LAS**

Date  
**SEPT. 17, 2014**

Sheet No.  
**1 OF 3**

This plan was designed and drafted by Dayton Home Designs, Inc. to meet average conditions and codes in the State of Wisconsin at the time it was designed. Because codes and conditions may vary, Dayton Home Designs, Inc. cannot warrant compliance with any specific code. It is the responsibility of the purchaser and/or builder of this plan to see that the structure is built in strict compliance with all governing municipal codes. The purchaser and/or builder of this plan releases Dayton Home Designs, its shareholders, officers, and employees from any claims or lawsuits that may arise during the construction of this structure or anytime thereafter. Great care and effort are taken in the production of this design and drawings. The drawings are provided "as is" without warranty of any kind. The drawings may contain errors, omissions, typographical errors, or other inaccuracies. Dayton Home Designs, Inc. assumes no responsibility or liability for these errors or omissions and any incidental, indirect or consequential damages whatsoever arising from the use of the drawings or the information provided therein. These drawings are intended for use by a qualified builder capable of determining the modifications and details required before, during, and after construction.

**True Design Note:**  
Roof and floor truss systems and related beams and columns have been shown to the best of our knowledge. Prior to construction, it is the builder's responsibility to review the design with a true designer and confirm or suggest the revisions necessary to the design. These revisions should be brought to the attention of Dayton Home Designs, Inc. and incorporated into the final drawings.



**FIRST FLOOR NOTES:**  
4" WALLS & CEILING HEIGHT  
TYPICAL  
ANGLES SHOWN ARE 45  
DEGREES.  
WINDOW NUMBERS ARE GENERIC.  
INTERIOR WALLS ARE 2X4  
STUDS (8 1/2") UNLESS NOTED.  
EXTERIOR WALLS ARE 2X6  
STUDS (8 1/2") UNLESS NOTED.  
1541 SF

**FIRST FLOOR PLAN**

SCALE: 1/4" = 1'-0"

PRELIMINARY  
DESIGN CONCEPT ONLY

PRICING  
THIS PLAN IS NOT FOR  
CONSTRUCTION. IT HAS  
BEEN DEVELOPED TO THE  
BIDDING STAGE ONLY.

FINAL  
THE COPYRIGHT IS NOT  
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**DAYTON HOME DESIGNS, INC.**  
1004 S. OLDE ONEIDA ST. APPLETON, WI 54915  
(920)-380-0900 web: daytonhomedesigns.com

**JOB 2391**  
**BY: CYPRESS HOMES**

Revisions

Drawn by  
**DLA, LAS**

Date  
**SEPT. 17,  
2014**

Sheet No.  
**2 OF 3**

11/12.

**Town of Grand Chute  
Conditional Use Permit Application Review  
SCA Holdings LLC, dba Alexander Eye Institute**

---

**To: Plan Commission**

**From: Mike Patza, Town Planner**

**Date: July 18, 2016**

**Address: 250 N. Metro Drive**

**App. #: CUP-08-16**

---

**REQUEST**

This project consist of the construction of a flood protection retaining wall. A Conditional Use Permit is required to allow grading and filling associated with this project within the Shoreland Zoning District.

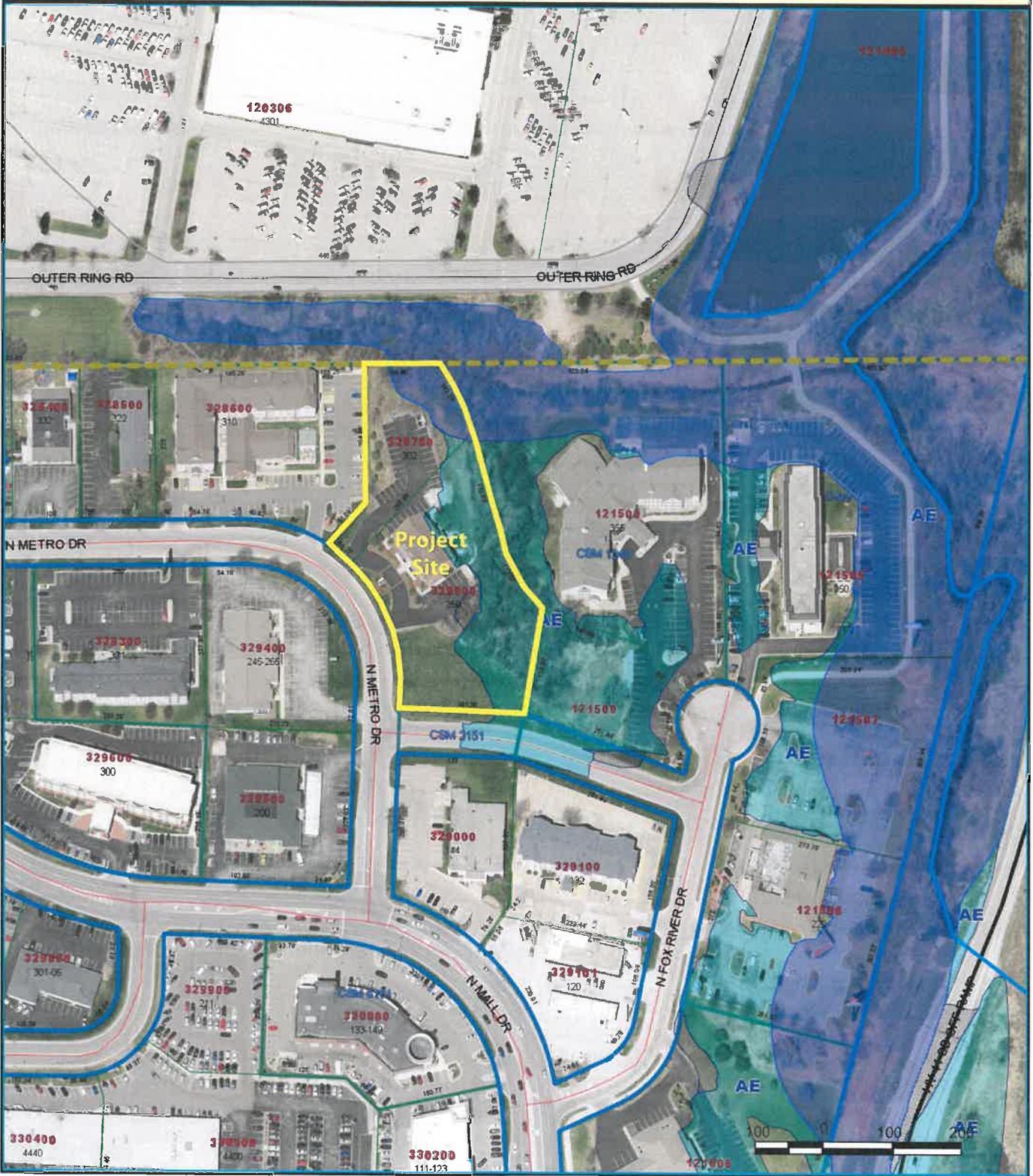
**ANALYSIS**

The attached plan set illustrates the location of the new retaining wall and other site improvements that will be implemented. The clinic has recently installed an egress door in the lower level in order to treat patients in that location. The door was installed below the 100 year flood plain elevation, which has created flooding issues in that area. In addition to the retaining wall, a small storm sewer system will be installed to prevent future flooding issues. Standard erosion control techniques and best practices will be required during the construction process.

**RECOMMENDATION**

**Staff has reviewed and supports a Plan Commission recommendation for approval of the Conditional Use Permit (CUP-08-16) requested by SCA Holdings LLC, dba Alexander Eye Institute, 250 N. Metro Drive, to allow grading and filling for the construction of a flood protection retaining wall within the Shoreland Zoning District.**

# CUP-08-16 -- 250 N. Metro Drive



This map was compiled using data believed to be accurate; however, a degree of error is inherent in all maps. This map was distributed "AS-IS" without warranties of any kind, either expressed or implied, including but not limited to warranties of suitability to a particular purpose or use. No attempt has been made in either the design or production of the maps to define the limits or jurisdiction of any federal, state, or local government. Detailed on-the-

## Alexander Eye Clinic Sea Wall Narrative

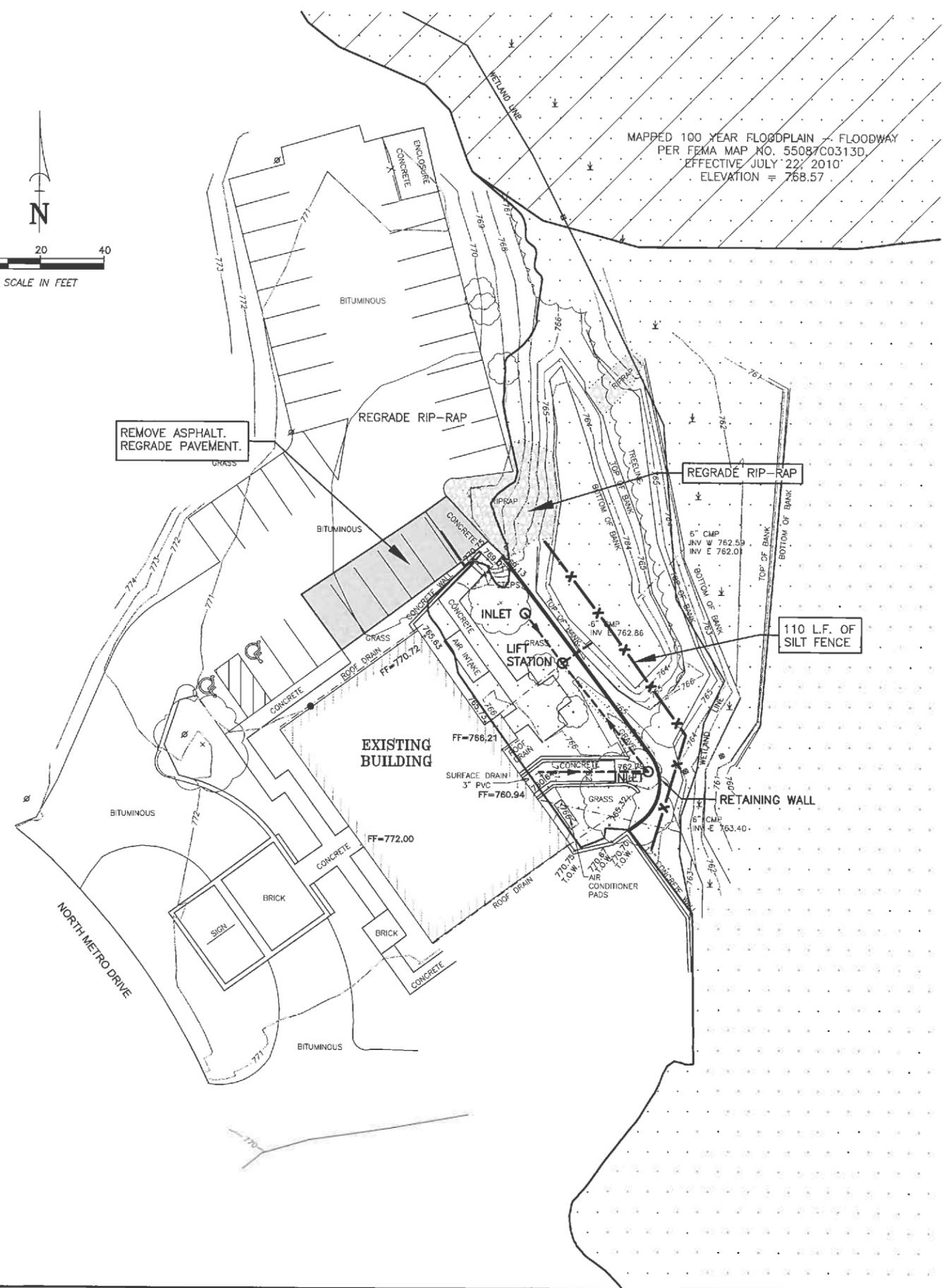
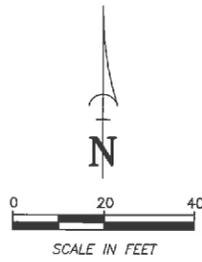
The Alexander Eye Clinic is located at 250 North Metro Drive in the Town of Grand Chute. The back of the building is also adjacent to a non-navigable tributary to Mud Creek which has a flood plain associated with it.

In the recent past, the Clinic was required to install an egress door in the lower level in order to be able to treat patients in this location. Unfortunately, when the door was installed, approximately the lower half of it is below the 100 year flood elevation.

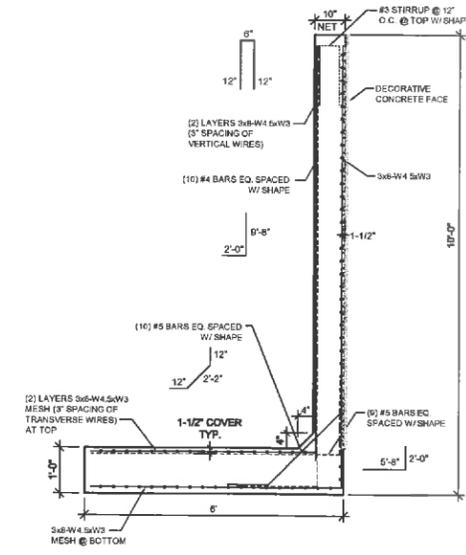
Since the door installation, the Clinic has been experiencing frequent flooding at or near the door.

To alleviate the potential for future flooding, a sea wall is proposed along the back side of the court yard behind the building connecting two existing retaining walls. These existing retaining walls are above the 100 year flood elevation. Also, as a part of this project, a mini storm sewer system will be installed inside of the court yard to collect and pump any rain that may fall inside of it.

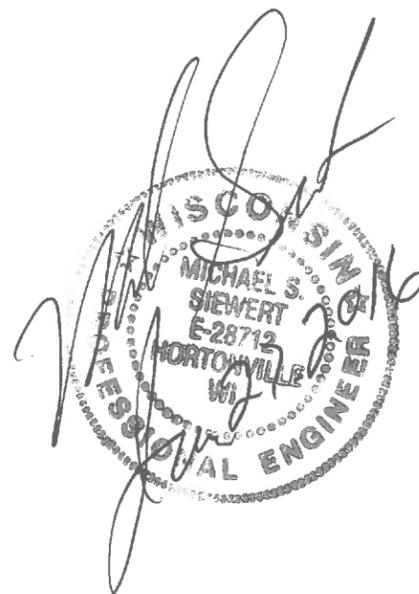
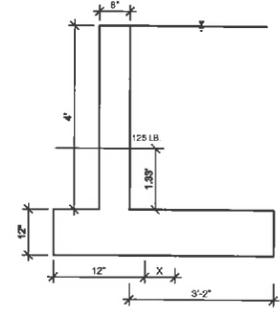
# SITE PLAN / EROSION CONTROL PLAN



MAPPED 100 YEAR FLOODPLAIN - FLOODWAY  
 PER FEMA MAP NO. 55087C0313D  
 EFFECTIVE JULY 22, 2010  
 ELEVATION = 768.57



**WALL DESIGN**  
 NOT TO SCALE



SITE PLAN NOTES	
1.	ALL WORK AND MATERIALS SHALL COMPLY WITH ALL TOWN OF GRAND CHUTE REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
2.	ALL DISTURBED AREAS ARE TO RECEIVE FOUR INCHES OF TOPSOIL, SEED, MULCH AND WATER UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED.
3.	ALL DIMENSIONS ARE TO THE EDGE OF BUILDING OR FACE OF CURB.
4.	CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
5.	NO HAZARDOUS MATERIALS WILL BE STORED ON SITE.
6.	ALL STOP SIGNS SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE FEDERAL HIGHWAY ADMINISTRATION M.U.T.C.D. LATEST VERSION.
7.	THE CONTRACTOR AND/OR OWNER SHALL NOT PROCEED WITH LAND DISTURBING ACTIVITIES PRIOR TO RECEIVING WRITTEN NOTICE TO PROCEED FROM THE ENGINEER.
8.	NO OUTDOOR STORAGE OR DISPLAY IS PROPOSED.

TOPOGRAPHIC LEGEND	
1" x 18" IRON PIPE SET	OVERHEAD POWER LINES
1-1/4" x 30" REBAR SET	UNDERGROUND ELECTRIC
CHESEBRED "X" SET	UNDERGROUND TELEPHONE
3/4" REBAR FOUND	UNDERGROUND FIBEROPTIC
1" IRON PIPE FOUND	UNDERGROUND GAS
SEPTIC VENT	UNDERGROUND CABLE TV
2" IRON PIPE FOUND	EXIST. FENCE LINE
CHESEBRED "X" FOUND	SIGN
GOVERNMENT CORNER RECORDED AS	POWER POLE
CONFEROUS TREE	SUIT
DECIDUOUS TREE	LIGHT POLE
EXIST. WOODS LINE	TELEPHONE PEDESTAL
WETLANDS	ELECTRIC PEDESTAL
TELEPHONE MANHOLE	CABLE PEDESTAL
	EXIST. HYDRANT
	WATER VALVE
	WATER STOP BOX
	WALK LIGHT
	EXIST. STORM MANHOLE
	STORM INLET
	YARD DRAIN
	EXIST. SANITARY MANHOLE
	EXIST. SAN. SEWER
	EXIST. STO. SEWER
	EXIST. WATER MAIN
	EXIST. SPOT ELEVATION
	CONTOUR W/ ELEVATION
	EXIST. TOP OF CURB ELEV.
	EXIST. FLOW LINE ELEV.
	FIRST FLOOR = 000.00
	TOPSOIL DEPTH
	DRAIN
	METER OR FLAG POLE

**Martenson & Eisele, Inc.**  
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 www.martenson-eisele.com  
 info@martenson-eisele.com  
 920.731.0381 1.800.236.0381

DRAWN BY	EAE	DATE	APPROVED	MSS	REVISION
NO.					

**SITE PLAN / EROSION CONTROL PLAN**  
**ALEXANDER EYE CLINIC**  
 TOWN OF GRAND CHUTE, OUTAGAMIE COUNTY, WISCONSIN

SCALE: BAR SCALE  
 DATE: 6/27/2016  
 COMPUTER FILE: 1-0178-005da.dwg  
 DRAWING NO. 1-0178-005

**Town of Grand Chute  
Site Plan Review  
SCA Holdings LLC, dba Alexander Eye Institute**

---

**To:** Plan Commission  
**From:** Michael Patza, Town Planner  
**Date:** July 15, 2016  
**Address:** 250 N. Metro Drive

**App. #: SP-16-16**

---

**REQUEST**

- 1. **Proposed Use(s):** Continued eye care center
- 2. **Project Description:** Construction of a flood protection retaining wall
- 3. **Plat/CSM Accurate parcel lines/lot recorded:** Yes

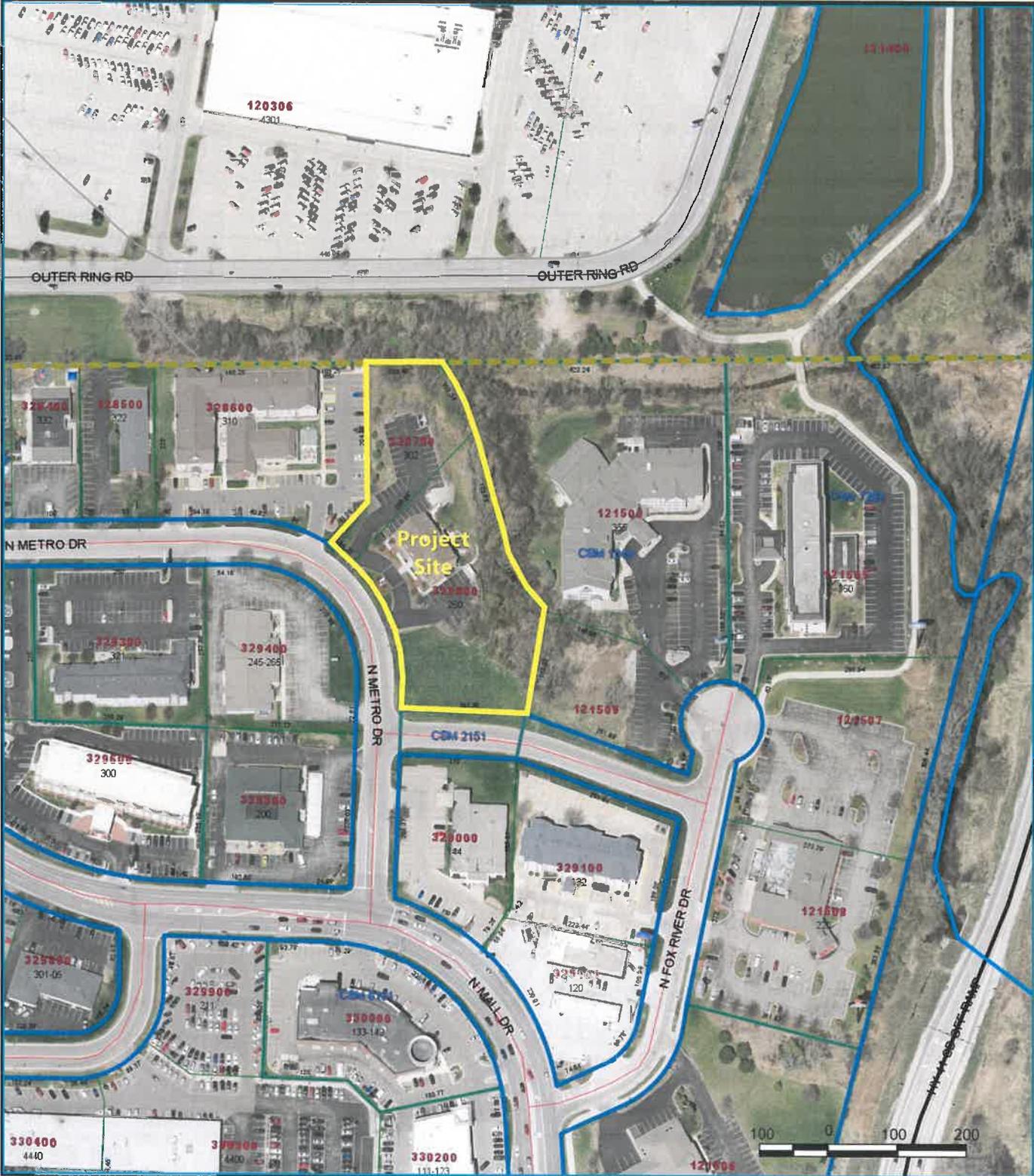
**ANALYSIS**

Applicant proposes the construction of a flood protection retaining wall and other improvements to resolve the flooding issues on the property. The clinic recently installed an egress door in the lower level in order to treat patients in that location. The door was installed below the 100 year flood plain elevation, which has created flooding issues in that area. In addition to the retaining wall, a small storm sewer system will be installed to prevent future flooding issues in the area directly northeast of the building. A small portion of the parking lot to the north of the building will be removed, graded, and then repaved as a part of this project. The Stormwater Management and Erosion Control Plans are under review by the Town Engineer and their approval is a condition of Site Plan approval. All other code requirements are met with this request.

**RECOMMENDATION**

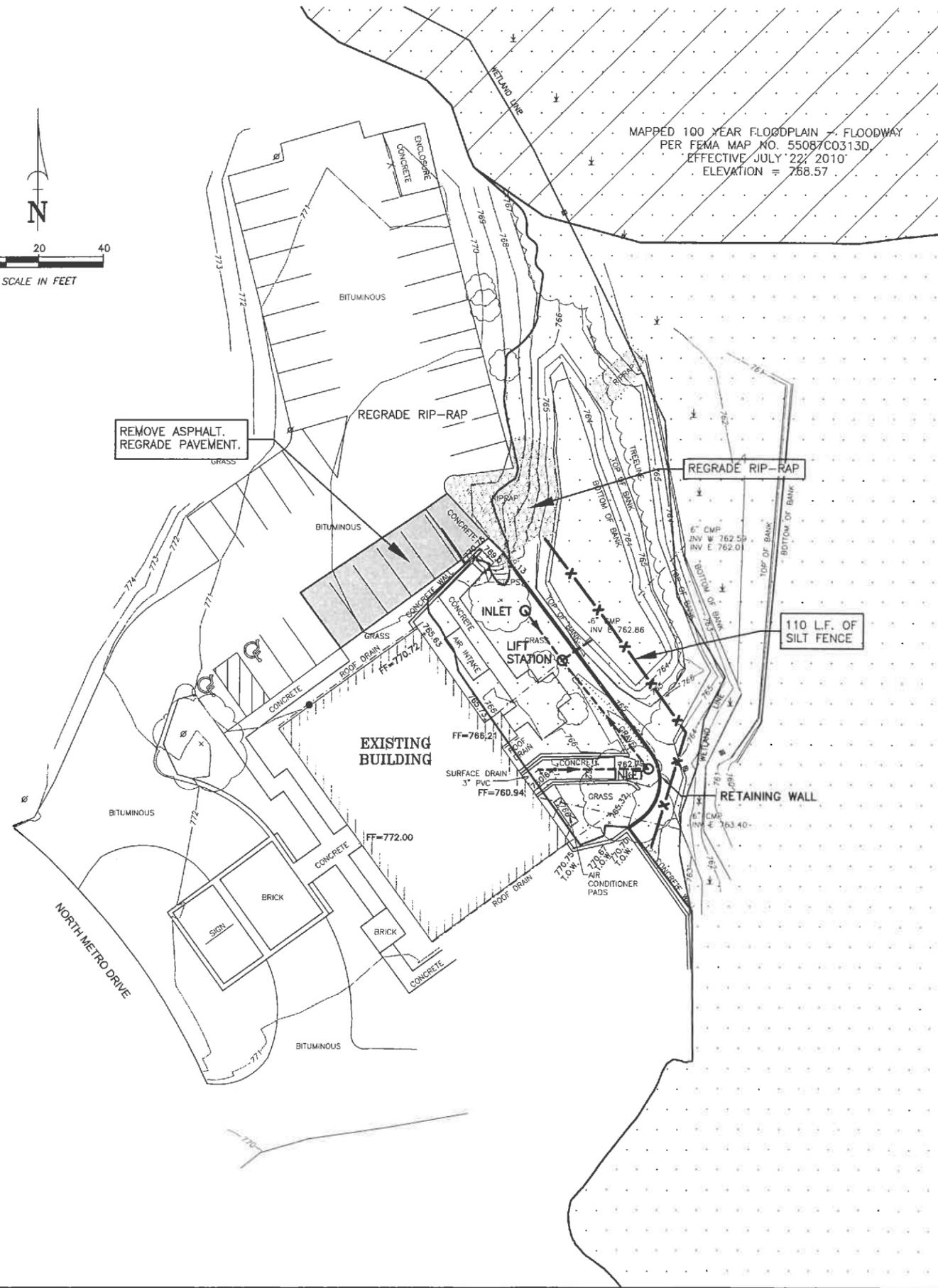
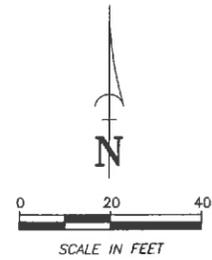
Staff has reviewed and supports Plan Commission approval of the Site Plan (SP-16-16) requested by SCA Holdings LLC, dba Alexander Eye Institute, 250 N. Metro Drive, for the construction of a flood protection retaining wall, subject to: (1) Town Engineer approval of the Stormwater Management and Erosion Control Plans; and, (2) Town Board approval of Conditional Use Permit CUP-08-16.

# SP-16-16 -- 250 N. Metro Drive

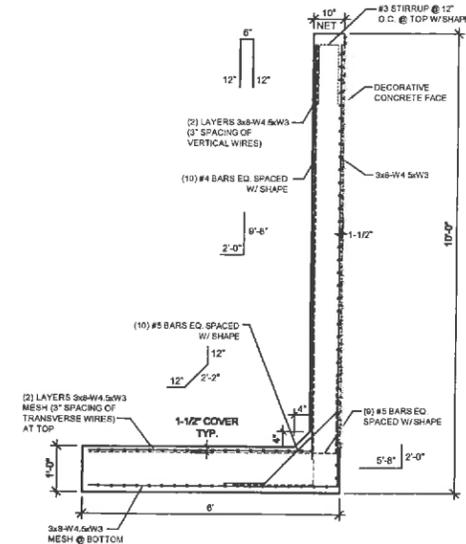


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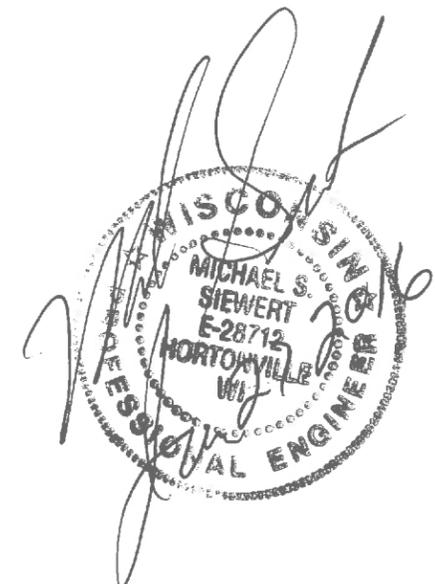
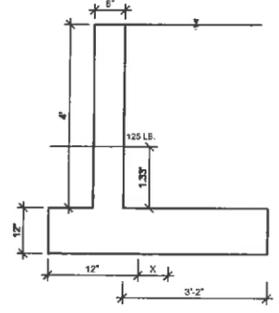
# SITE PLAN / EROSION CONTROL PLAN



MAPPED 100 YEAR FLOODPLAIN - FLOODWAY  
 PER FEMA MAP NO. 55087C0313D  
 EFFECTIVE JULY '22, 2010  
 ELEVATION = 768.57



**WALL DESIGN**  
 NOT TO SCALE



SITE PLAN NOTES	
1.	ALL WORK AND MATERIALS SHALL COMPLY WITH ALL TOWN OF GRAND CHUTE REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
2.	ALL DISTURBED AREAS ARE TO RECEIVE FOUR INCHES OF TOPSOIL, SEED, MULCH AND WATER UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED.
3.	ALL DIMENSIONS ARE TO THE EDGE OF BUILDING OR FACE OF CURB.
4.	CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
5.	NO HAZARDOUS MATERIALS WILL BE STORED ON SITE.
6.	ALL STOP SIGNS SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE FEDERAL HIGHWAY ADMINISTRATION M.U.T.C.D, LATEST VERSION.
7.	THE CONTRACTOR AND/OR OWNER SHALL NOT PROCEED WITH LAND DISTURBING ACTIVITIES PRIOR TO RECEIVING WRITTEN NOTICE TO PROCEED FROM THE ENGINEER.
8.	NO OUTDOOR STORAGE OR DISPLAY IS PROPOSED.

TOPOGRAPHIC LEGEND		
■ 1" x 16" IRON PIPE SET	—OH— OVERHEAD POWER LINES	⊙ WALK LIGHT
▲ 1-1/4" x 30" REBAR SET	—E— UNDERGROUND ELECTRIC	⊙ EXIST. STORM MANHOLE
× CHEASED "X" SET	—T— UNDERGROUND TELEPHONE	⊙ STORM INLET
○ 3/4" REBAR FOUND	—F— UNDERGROUND FIBEROPTIC	⊙ YARD DRAIN
⊙ 1" IRON PIPE FOUND	—G— UNDERGROUND GAS	⊙ EXIST. SANITARY MANHOLE
⊙ SEPTIC VENT	—GTY— UNDERGROUND CABLE TV	—S— EXIST. SAN. SEWER
⊙ 2" IRON PIPE FOUND	—X— EXIST. FENCE LINE	—S— EXIST. STO. SEWER
⊙ CHEASED "X" FOUND	⊙ SIGN	—S— EXIST. WATER MAIN
⊙ GOVERNMENT CORNER	⊙ POWER POLE	⊙ EXIST. SPOT ELEVATION
⊙ RECORDED AS	⊙ GUY	⊙ EXIST. TOP OF CURB ELEV.
⊙ CONIFEROUS TREE	⊙ LIGHT POLE	⊙ EXIST. FLOW LINE ELEV.
⊙ DECIDUOUS TREE	⊙ TELEPHONE PEDISTAL	⊙ EXIST. FIRST FLOOR = 000.00
⊙ EXIST. WOODS LINE	⊙ ELECTRIC PEDISTAL	⊙ TOPSOIL DEPTH
⊙ WETLANDS	⊙ CABLE PEDISTAL	⊙ DRAIN
⊙ TELEPHONE MANHOLE	⊙ EXIST. HYDRANT	⊙ METER OR FLAG POLE
	⊙ WATER VALVE	
	⊙ WATER STOP BOX	

**Martenson & Eisele, Inc.**  
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 Menasha, WI 54952  
 www.martenson-eisele.com  
 info@martenson-eisele.com  
 920.731.0381 1.800.236.0381

NO.	DATE	BY	REVISION

**SITE PLAN / EROSION CONTROL PLAN**  
**ALEXANDER EYE CLINIC**  
 TOWN OF GRAND CHUTE, OUTAGAMIE COUNTY, WISCONSIN

SCALE	DATE
BAR SCALE	6/27/2016
COMPUTER FILE	
1-0178-005de.dwg	

DRAWING NO.  
 1-0178-005

14/15.

**Town of Grand Chute  
Special Exception Request  
Rami Realty LLC, dba Kaldas Center for Fertility, Surgery &  
Pregnancy, S.C.**

---

**To:** Plan Commission  
**From:** Michael Patza, Town Planner  
**Date:** July 28, 2016  
**Address:** 701 S. Nicolet Road

**App. #: SE-16-16**

---

**REQUEST**

1. **Proposed Use:** Medical office use
2. **Project Description:** Operation of an electronic message center
3. **Plat/CSM Accurate parcel lines/lot recorded:** Yes

**ANALYSIS**

Applicant seeks approval to operate an electronic message center that will be a part of new monument sign at its medical office location. The new sign will be 9' – 6" in height and 60 sq. ft. in height, including a 23 sq. ft. electronic message center. The electronic message center will be equipped with automatic light sensors that adjust sign brightness according to the intensity of ambient light levels. The Sign Code enumerates a series of standards and technical requirements that must be met in the operation of this electronic message center.

**FINDINGS OF FACT IN GRANTING OF A SPECIAL EXCEPTION**

- a. **The establishment, maintenance or operation of the proposed Special Exception use or structure at the proposed location will not be detrimental or injurious to the use and enjoyment of existing uses on adjacent properties or properties in the vicinity. *Found.***
- b. **The establishment, maintenance or operation of the proposed Special Exception use or structure, alone or in combination with other existing Special Exception uses and structures in the vicinity will not cause traffic hazards. *Found.***
- c. **Adequate provision is made for surface water drainage, ingress and egress to the property, and off-street parking. *Found.***
- d. **Adequate public facilities and services are available for the proposed Special Exception use of structure. *Found.***

**RECOMMENDATION**

Staff has reviewed and supports a Plan Commission recommendation for approval of the Special Exception Permit (SE-16-16) requested by Rami Realty LLC, dba Kaldas Center for Fertility, Surgery & Pregnancy, S.C., 701 S. Nicolet Road, to allow operation of an electronic message center sign.

CLIENT: KALDAS CENTER

LOCATION: 701 NICOLET ROAD, APPLETON, WI

DRAWN BY: BILL V

SALESPERSON: KELLI LAX

DATE: 05/19/2016

DESIGN #: D9782

PAGE: 4

REVISION LOG:	INTL	DATE	DESCRIPTION
	BV	6/24/2016	OPT. 2

**MONUMENT SIGN**

QUANTITY: 1

SIDES: D/F

LIGHTING: LED (WHITE)

CABINET: FABRICATED ALUM. (16")

FACES: ROUTED ALUMINUM & BACKED W/  
IMPACT RESISTANT WHITE ACRYLIC

GRAPHICS: DIGITAL PRINT DUAL SURFACE (ICON)  
DIGITAL PRINT ON PERF (TEXT)

MESS CENTER: 19MM WATCHFIRE (RGB)

REVEAL: 3"

RF VS FIBER: RF

TEMP PROBE: YES

POLE COVER: FABRICATED ALUMINUM (16") W/  
TEXTURE PLUS-STONE WALL (FAUX  
STONE, PAINT TO MATCH BUILDING)

PHOTO EYE: NO

MOUNTING: DIRECT EMBEDMENT

INSTRUCTION: CSC TO FABRICATE AND INSTALL  
NEW MONUMENT SIGN.

**COLORS:**

■ P-1/C-1 SW 6621-EMOTIONAL (MATCH PMS 7417C)

■ P-2/C-2 MATCH PMS BLACK 7C (KALDAS CENTER TEXT)

■ P-3 MATCH COLOR ON FASCIA OF BUILDING

■ P-4 MATCH STONE COLOR ON BUILDING

■ P-5 WHITE W/ MATTE FINISH

■ P-5 MATCH WINDOW TRIM (BLACK?)

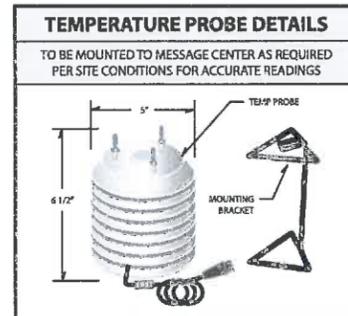
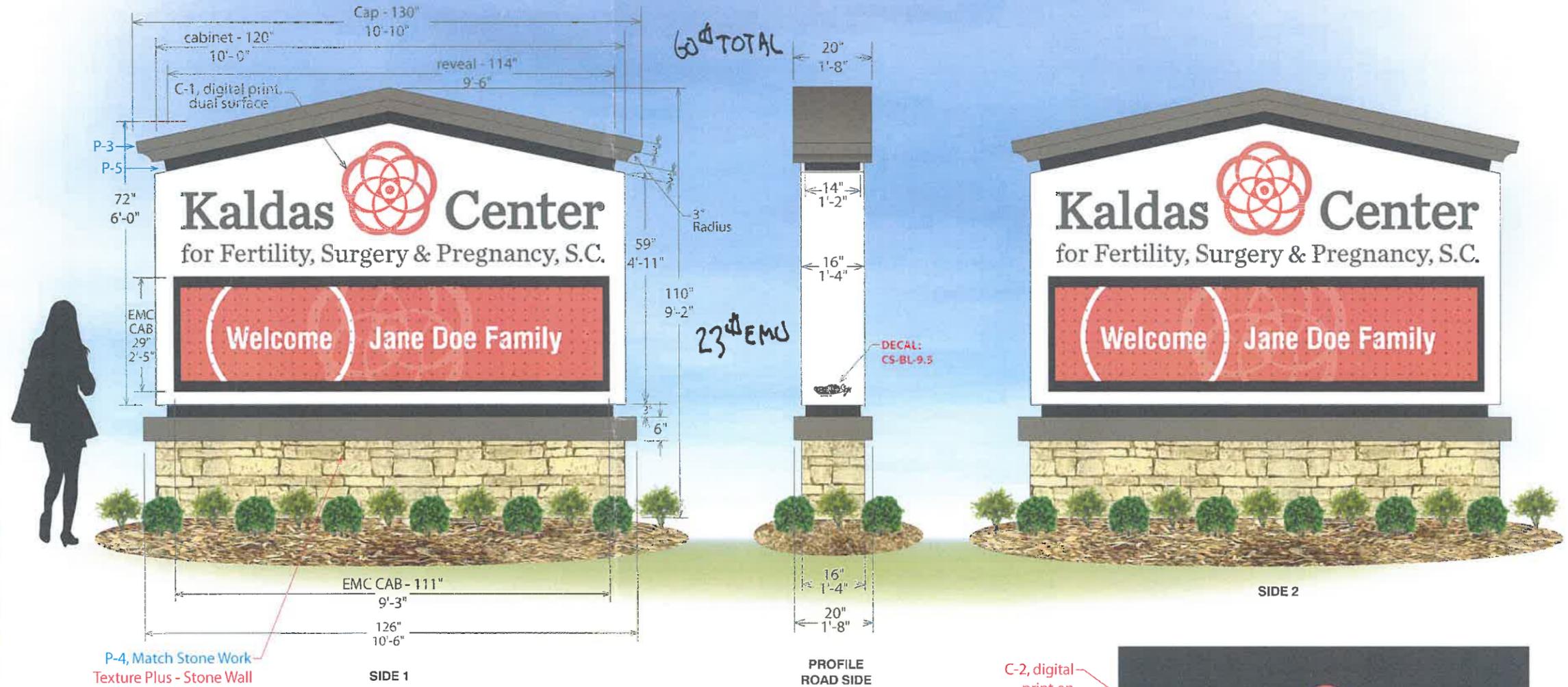
CUSTOMER SIGNATURE FOR DESIGN APPROVAL:

DATE

**MONUMENT: OPT 2**

**W/ EMC**

B OPTION 2 DETAIL  
1 SCALE: 3/8" = 1'



B RENDERING  
2 NTS

B NIGHT VIEW  
3 NTS

COLOR REQUIRED BEFORE PRODUCTION

SURVEY REQUIRED BEFORE PRODUCTION

CONCEPTUAL DRAWING ONLY - NOT FOR FABRICATION PURPOSES (SIZES ARE APROX)

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MATCH STONE, FASCIA & WINDOW TRIM

SITE, DETERMINE PLACEMENT



**Town of Grand Chute  
Site Plan Amendment Review  
Rami Realty LLC, dba the Kaldas Center for Fertility, Surgery &  
Pregnancy, S.C.**

---

**To: Plan Commission**

**From: Michael Patza, Town Planner**

**Date: July 28, 2016**

**Address: 701 S. Nicolet Road**

**App. #: SPA1-09-16**

---

**REQUEST**

- 1. Proposed Use(s):** Medical office use
- 2. Project Description:** Installation of a monument sign including an electronic message center
- 3. Plat/CSM Accurate parcel lines/lot recorded:** Yes

**ANALYSIS**

Applicant proposes the construction of a new monument sign including an electronic message center for its medical office location. The new sign will be 9' – 6" in height and 60 sq. ft. in size, including a 23 sq. ft. electronic message center. The sign will be located on the southeast side of the property with frontage on S. Nicolet Road. The consideration of the Site Plan Amendment is subject to Town Board approval of a Special Exception (SE-16-16) for the operation of an electronic message center. All code requirements are met with this request.

**RECOMMENDATION**

Staff has reviewed and supports Plan Commission approval of the Site Plan (SPA1-09-16) requested by Rami Realty LLC, dba the Kaldas Center for Fertility, Surgery & Pregnancy, S.C., 701 S. Nicolet Road, for installation of a monument sign, including an electronic message center, subject to Town Board approval of a Special Exception (SE-16-16) for the property.

**CLIENT:** KALDAS CENTER  
**LOCATION:** 701 NICOLET ROAD, APPLETON, WI  
**DRAWN BY:** BILL V  
**SALESPERSON:** KELLI LAX  
**DATE:** 05/19/2016  
**DESIGN #:** D9782  
**PAGE:** 4

REVISION LOG:	INTL	DATE	DESCRIPTION
	BV	6/24/2016	OPT. 2

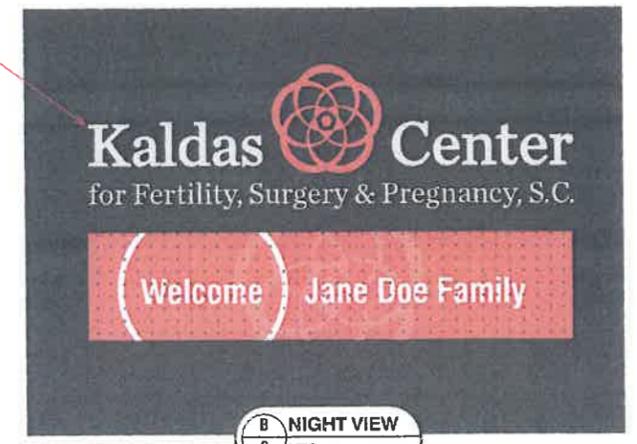
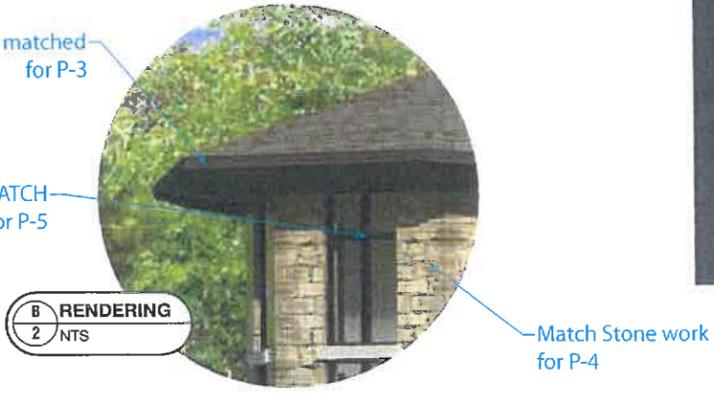
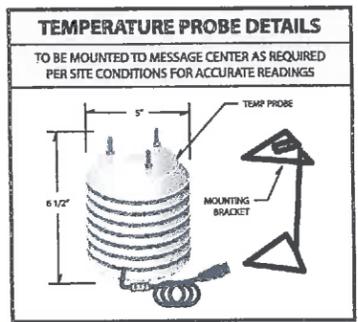
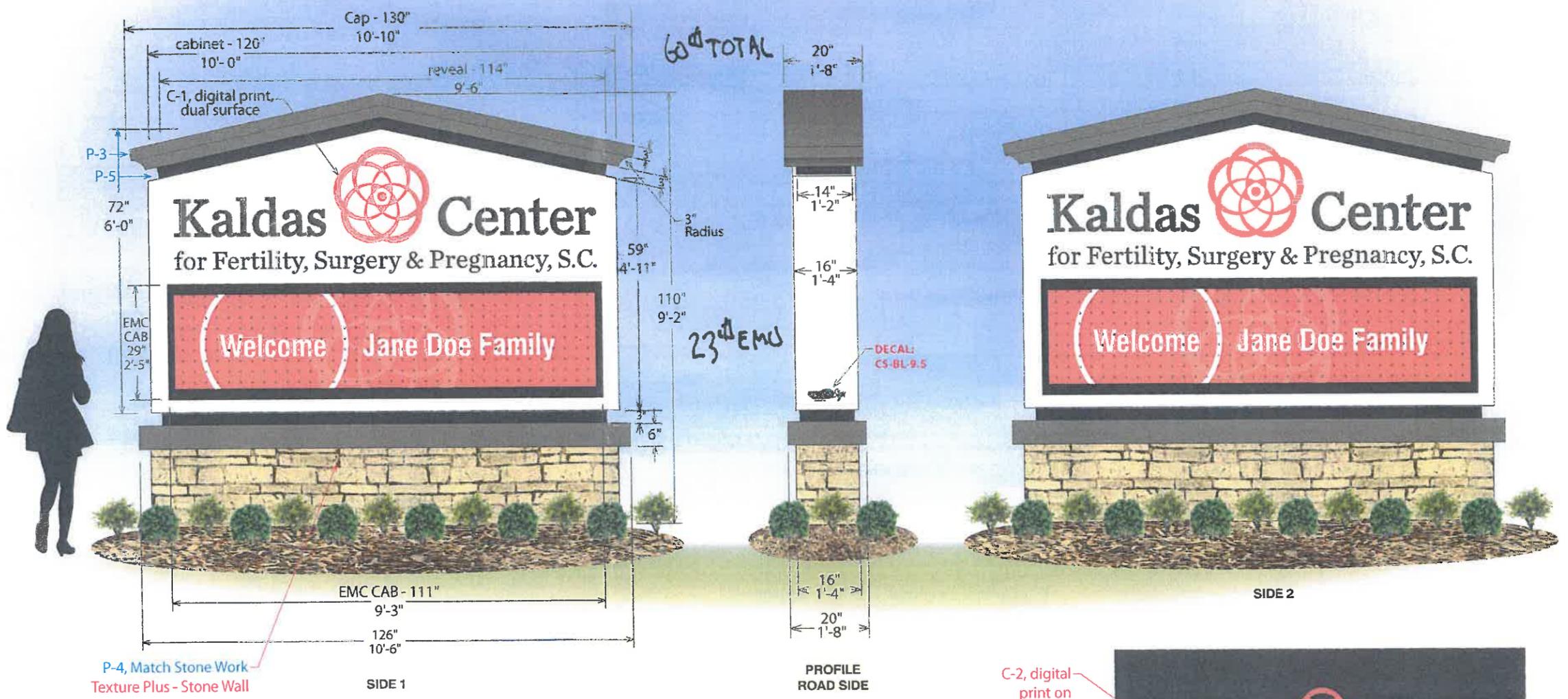
### MONUMENT SIGN

- QUANTITY:** 1
- SIDES:** D/F
- LIGHTING:** LED (WHITE)
- CABINET:** FABRICATED ALUM. (16")
- FACES:** ROUTED ALUMINUM & BACKED W/ IMPACT RESISTANT WHITE ACRYLIC
- GRAPHICS:** DIGITAL PRINT DUAL SURFACE (ICON) DIGITAL PRINT ON PERF (TEXT)
- MESS CENTER:** 19MM WATCHFIRE (RGB)
- REVEAL:** 3"
- RF VS FIBER:** RF
- TEMP PROBE:** YES
- POLE COVER:** FABRICATED ALUMINUM (16") W/ TEXTURE PLUS-STONE WALL (FAUX STONE, PAINT TO MATCH BUILDING)
- PHOTO EYE:** NO
- MOUNTING:** DIRECT EMBEDMENT
- INSTRUCTION:** CSC TO FABRICATE AND INSTALL NEW MONUMENT SIGN.

- COLORS:**
- P-1/C-1 SW 6621-EMOTIONAL (MATCH PMS 7417C)
  - P-2/C-2 MATCH PMS BLACK 7C (KALDAS CENTER TEXT)
  - P-3 MATCH COLOR ON FASCIA OF BUILDING
  - P-4 MATCH STONE COLOR ON BUILDING
  - P-5 WHITE W/ MATTE FINISH
  - P-5 MATCH WINDOW TRIM (BLACK?)

**CUSTOMER SIGNATURE FOR DESIGN APPROVAL:**  
 \_\_\_\_\_  
**DATE** \_\_\_\_\_

**B** OPTION 2 DETAIL  
**1** SCALE: 3/8" = 1'



CONCEPTUAL DRAWING ONLY - NOT FOR FABRICATION PURPOSES (SIZES ARE APROX)

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MATCH STONE, FASCIA & WINDOW TRIM

SITE, DETERMINE PLACEMENT



17/18.

**Town of Grand Chute  
Special Exception Request  
Michael Shoemaker, dba The Euro Shop, LLC  
Automotive Sales, Service and Repair**

---

**To: Plan Commission**  
**From: Robert Buckingham, Community Development Director**  
**Date: July 27, 2016**  
**Address: 2437 W. College Avenue App. #: SE-17-16**

---

**REQUEST**

1. **Proposed Use(s):** Automotive sales, service and repair
2. **Project Description:** Assume ownership/operation of approved auto use at the site
3. **Plat/CSM Accurate parcel lines/lot recorded:** Yes

**ANALYSIS**

A Special Exception (SE-08-15) for this site was approved for and issued to Fox Valley Motors in 2015. The current applicant is a former employee of Fox Valley Motors. He has taken over the business from the previous owner and will now operate it as The Euro Shop. There are no other changes to the building or property and all code requirements are met with this request. A new Special Exception Permit must be approved for this change in ownership.

**FINDINGS OF FACT IN GRANTING OF A SPECIAL EXCEPTION**

- a. **The establishment, maintenance or operation of the proposed Special Exception use or structure at the proposed location will not be detrimental or injurious to the use and enjoyment of existing uses on adjacent properties or properties in the vicinity. Yes.**
- b. **The establishment, maintenance or operation of the proposed Special Exception use or structure, alone or in combination with other existing Special Exception uses and structures in the vicinity will not cause traffic hazards. Yes.**
- c. **Adequate provision is made for surface water drainage, ingress and egress to the property, and off-street parking. Yes.**
- d. **Adequate public facilities and services are available for the proposed Special Exception use of structure. Yes.**

**RECOMMENDATION**

Staff has reviewed and supports a Plan Commission recommendation for approval of the Special Exception Permit (SE-17-16) requested by Michael Shoemaker, dba The Euro Shop LLC, 2437 W. College Avenue, for operation of an automobile sales, service and repair business.

**Town of Grand Chute  
Condominium Plat Review  
Casaloma Condos Incorporated**

---

**To: Plan Commission**

**From: Robert Buckingham, Community Development Director**

**Date: July 27, 2016**

**Address: 1830 N. Margaret Street**

**App#: CP-02-16**

---

**REQUEST**

- 1. Proposed Use(s):** Single-family condominium homes
- 2. Project Description:** 13 detached single-family homes
- 3. Plat/CSM Accurate parcel lines/lot recorded:** Yes, new condominium plat pending

**ANALYSIS**

This residential development was approved as a PUD for condominiums in 2014, and a site plan was approved in 2015. To date, construction has been undertaken on 2 homes. Under the terms of the PUD agreement, the property owner had the option to either build and own all the homes as rental property or build and sell the homes as detached single-family condos. He has now chosen the latter option. Homes will be 1200 - 1500 s.f., 2- or 3-bedroom, 2-bath walkout style, with a 2-stall attached garage. Seven homes will front on the east side of Margaret Street and 6 homes will front on the south side of Trasino Way. The stormwater management plan consists of using overland flow and storm sewer to direct runoff through an on-site detention pond and then to an existing regional pond located near Federated Drive. These stormwater facilities have been installed and approved. The Condominium Plat has been reviewed and meets all statutory requirements. The development plans conform to the approved Special Exception Permit (SE-21-14) and the approved Site Plan (SP-05-15) for the project.

**RECOMMENDATION**

**Staff has reviewed and supports a Plan Commission recommendation for approval of the Condo Plat for Casaloma Condos Incorporated (CP-02-16).**

# CASALOMA CONDOS INCORPORATED

ALL OF LOT 1, CERTIFIED SURVEY MAP NO. 7047, FILED IN THE OFFICE OF THE REGISTER OF DEEDS FOR OUTAGAMIE COUNTY, WISCONSIN, IN VOLUME 42 ON PAGE 7047, AS DOCUMENT NO. 2050972, BEING PART OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 20, TOWNSHIP 21 NORTH, RANGE 17 EAST, TOWN OF GRAND CHUTE, OUTAGAMIE COUNTY, WISCONSIN.

## LEGEND

- △ P.K. NAIL FOUND
- 3/4" O.D. REBAR FOUND
- 1" O.D. IRON PIPE FOUND
- × CORNER FALLS IN OPEN GATE STORM MANHOLE, NO MONUMENT SET
- ⊕ GOVERNMENT CORNER
- ② UNIT, BUILDING OR BOUNDARY CORNER COORDINATE

BEARINGS ARE REFERENCED TO THE OUTAGAMIE COUNTY COORDINATE SYSTEM, IN WHICH THE NORTH LINE OF THE SOUTHWEST 1/4, SECTION 20, ASSUMED TO BEAR N 88°15'18" E



**COMMON ELEMENTS**  
INCLUDE THE PRIVATE STREETS AND PEDESTRIAN WALKWAYS, IF ANY, SITUATED ON THE LAND.

**LIMITED COMMON ELEMENTS**  
THE LIMITED COMMON ELEMENTS ARE THE AREAS IMMEDIATELY ADJACENT TO THE PERIMETER OF THE UNIT ENVELOPE INTENDED FOR THE EXCLUSIVE USE OF THE UNIT'S OWNER INCLUDING DECKS, PATIOS, DRIVEWAYS, STEPS, STOOPS, AND SIDEWALKS THAT EXTEND BEYOND THE ENVELOPE PERIMETER.

THERE SHALL BE SUCH PERMANENT EASEMENTS THROUGH AND OVER THE PROPERTY AND EACH OF THE UNITS AS MAY BE NECESSARY FOR THE INSTALLATION, MAINTENANCE, REPLACEMENT AND REPAIR OF THE COMMON ELEMENTS, UTILITIES, SEWERS AND OTHER UNITS.

SINGLE FAMILY UNITS ARE A MINIMUM OF 10 FEET APART.

### SURVEYOR'S CERTIFICATE

I, GARY A. ZHRINGER, HEREBY CERTIFY THAT THIS PLAT IS A CORRECT REPRESENTATION OF THE CONDOMINIUM DESCRIBED AND THE IDENTIFICATION AND LOCATION OF EACH UNIT AND THE COMMON ELEMENTS CAN BE DETERMINED FROM THE PLAT.

DATED THIS 10TH DAY OF JUNE, 2016

*Gary A. Zhringer*  
GARY A. ZHRINGER,  
PROFESSIONAL LAND SURVEYOR S-2098

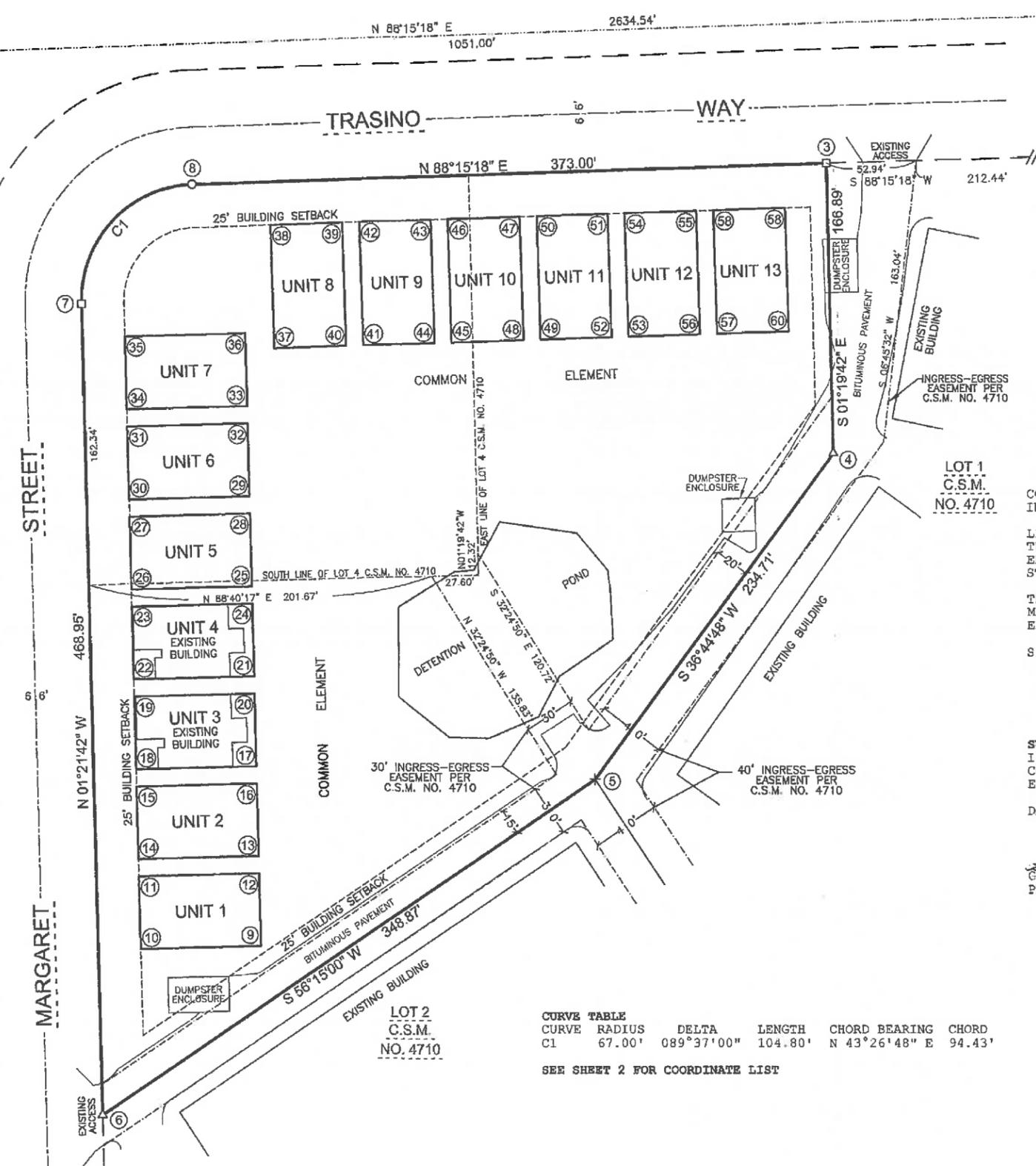


CURVE	RADIUS	DELTA	LENGTH	CHORD BEARING	CHORD
C1	67.00'	089°37'00"	104.80'	N 43°26'48" E	94.43'

SEE SHEET 2 FOR COORDINATE LIST

① WEST 1/4 CORNER SECTION 20 T21N, R17E P.K. NAIL FND.

② CENTER OF SECTION 20 T21N, R17E P.K. NAIL FND.



PREPARED BY:  
**Martenson & Eisele, Inc.**  
1377 Midway Road  
Menasha, WI 54952  
www.martenson-eisele.com  
info@martenson-eisele.com  
920.731.0381 1.800.236.0381  
Planning  
Environmental  
Surveying  
Engineering  
Architecture

**Town of Grand Chute  
Site Plan Revision Review  
1401 Appleton LLC, dba Anytime Fitness**

---

**To:** Plan Commission

**From:** Michael Patza, Town Planner

**Date:** July 28, 2016

**Address:** 1401 N. Casaloma Drive

**App. #: SP-10-16**

---

**REQUEST**

- 1. Proposed Use(s):** Continued fitness center occupancy of property
- 2. Project Description:** Building addition and associated site improvements
- 3. Plat/CSM Accurate parcel lines/lot recorded:** Yes

**ANALYSIS**

Applicant proposes a 2,745 sq. ft. addition to the existing fitness center and associated site improvements. The materials and architectural elements of the new addition will match the existing building.

The Site Plan for this project was approved by the Plan Commission on June 21, 2016. The approval included a variance reducing the wetland setback from 50' to 25' for additional parking areas. This project also required a Conditional Use Permit to be approved by Outagamie County. A variance was requested from the Outagamie County Board of Adjustments to allow a portion of the new parking lot to be within the 75' setback from Mud Creek. The variance request was denied and subsequent revisions have been made to avoid impacting the setback area. After reviewing the revised plans, Outagamie County has approved the Conditional Use Permit for this project.

The configuration of the building addition has been modified and shifted slightly north. A mezzanine will be incorporated into the building addition to account for the space lost by redesigning the building footprint of the addition. The changes from the revisions to the Site Plan are summarized in the table included in Exhibit A. The new Site Plan will allow a circular traffic pattern to be maintained for the property, while keeping development completely out of the 75' setback from Mud Creek. All other code requirements are met with this request.

**RECOMMENDATION**

**Staff has reviewed and supports Plan Commission approval of the Site Plan (SP-10-16) requested by 1401 Appleton LLC, dba Anytime Fitness, 1401 N. Casaloma Drive, for approval of revisions to the previously approved Site Plan to allow a building addition, parking lot expansion and associated site improvements.**

# Exhibit A

## **Roach & Associates, LLC**

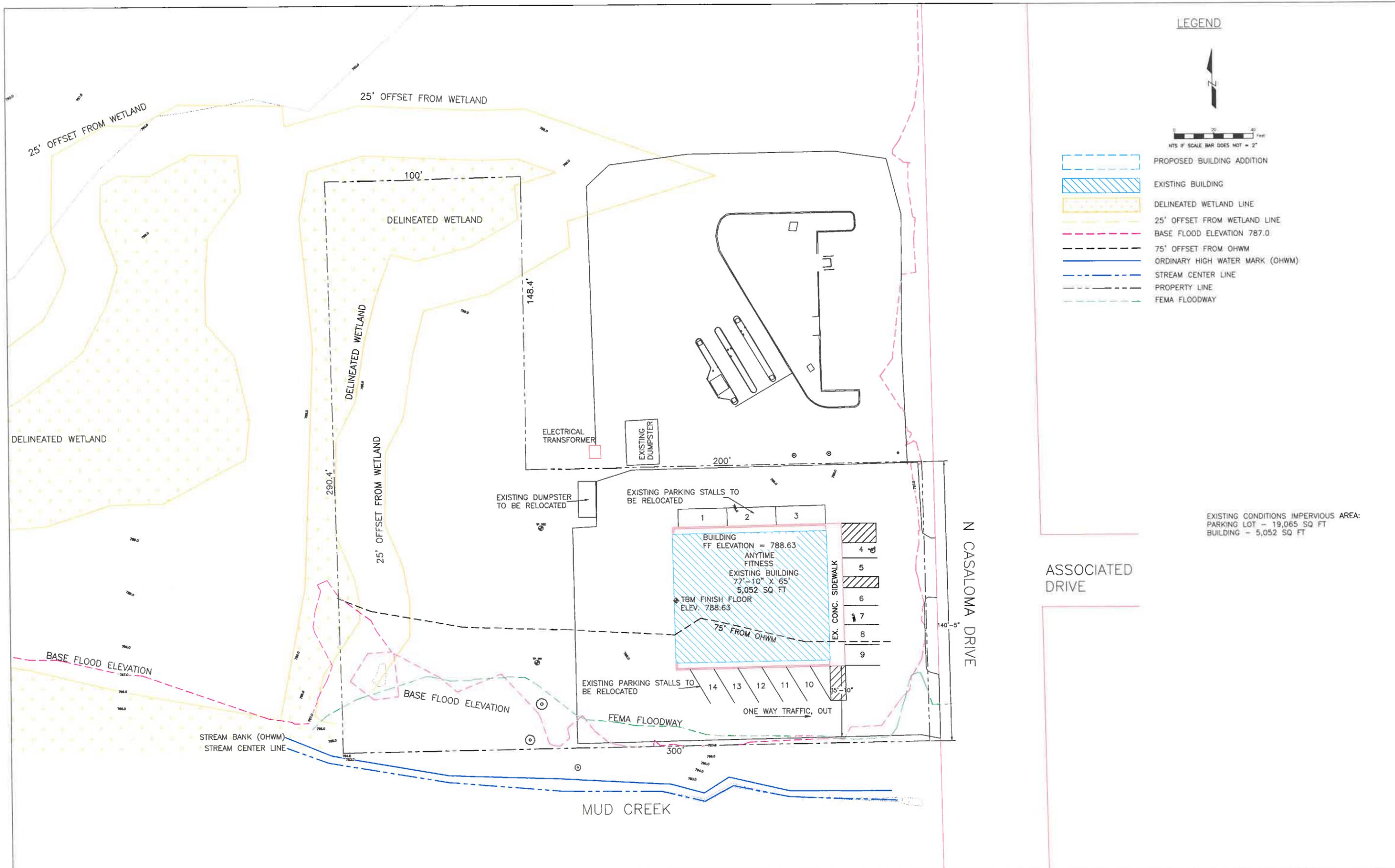
**Dairy Business and Management Consulting  
Environmental Engineering**

856 N Main Street • Seymour, WI 54165 • Phone 920-833-6340 • Fax 920-833-9851

### **Anytime Fitness Expansion Summary of Change Worksheet**

<b>Item</b>	<b>Approved 6/22/16</b>	<b>Revised</b>	<b>Units</b>
Building Area	2,700	2,745	Sq. Ft.
New Parking lot Pervious	9,697	7,430	Sq. Ft.
Rolling Curb	291	254	LF
Concrete Curb	128	186	LF
New Impervious Area			
Building New Impervious	443	673	Sq. Ft.
New Parking Lot Impervious	1,109	1,359	Sq. Ft.
New Impervious Area Total	<b>1,552</b>	<b>2,032</b>	Sq. Ft.





LEGEND



- PROPOSED BUILDING ADDITION
- EXISTING BUILDING
- DELINEATED WETLAND LINE
- 25' OFFSET FROM WETLAND LINE
- BASE FLOOD ELEVATION 787.0
- 75' OFFSET FROM OHWM
- ORDINARY HIGH WATER MARK (OHWM)
- STREAM CENTER LINE
- PROPERTY LINE
- FEMA FLOODWAY

EXISTING CONDITIONS IMPERVIOUS AREA:  
 PARKING LOT - 19,065 SQ FT  
 BUILDING - 5,052 SQ FT

ASSOCIATED DRIVE

N CASALOMA DRIVE

MUD CREEK

DATE	REVISION DATE	BY	DESCRIPTION OF REVISION	REVISION DATE	BY	DESCRIPTION OF REVISION
05/09/2016	07/19/2016	CJF	REVISED PROPOSED BUILDING AND PARKING LOT DIMENSIONS			
DRAWN BY: DAB, CJF						
CHECKED BY: JMR, RGS						

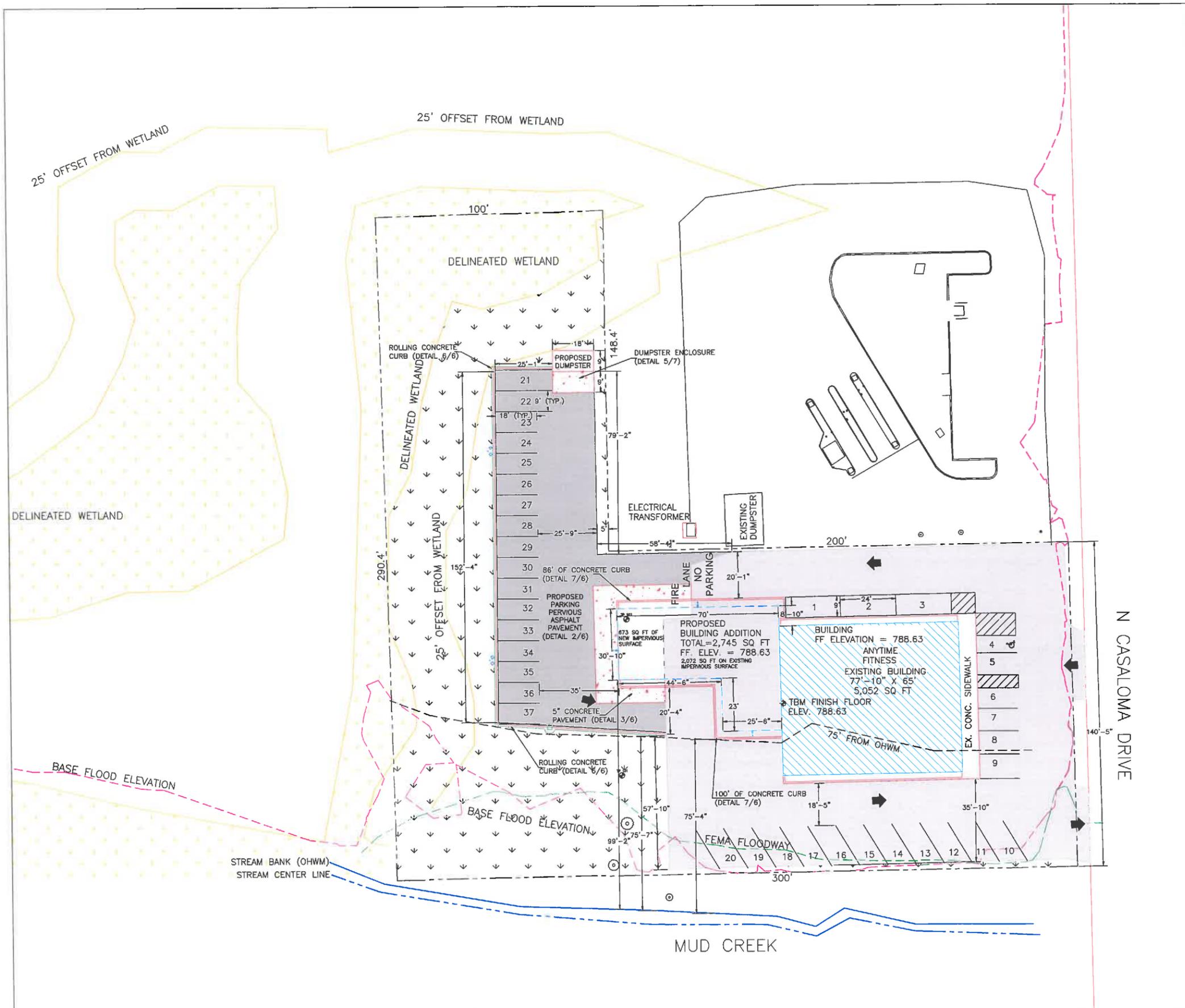
ANYTIME FITNESS  
 1401 N CASALOMA DRIVE  
 OUTAGAMIE COUNTY, WISCONSIN

SCALE:  
 1" = 20'

EXISTING SITE  
 CONDITIONS

Roach & Associates, LLC  
 Dairy Business and Management Consulting  
 Environmental Engineering  
 856 North Main Street, Seymour, WI, 54165 PH: 920-833-6340 Fax: 920-833-9851

SHEET NO.  
 2



**LEGEND**



- PROPOSED BUILDING ADDITION
- EXISTING BUILDING
- DELINEATED WETLAND LINE
- 25' OFFSET FROM WETLAND LINE
- BASE FLOOD ELEVATION 787.0
- 75' OFFSET FROM OHWM
- ORDINARY HIGH WATER MARK (OHWM)
- STREAM CENTER LINE
- PROPERTY LINE
- FEMA FLOODWAY
- EXISTING ASPHALT PAVEMENT (IMPERVIOUS)
- PROPOSED POROUS ASPHALT PAVEMENT (PERVIOUS) 7,430 SQ FT
- PROPOSED CONCRETE PAVEMENT (IMPERVIOUS) 1,359 SQ FT
- GREEN SPACE
- PROPOSED 18" ROLLING CONCRETE CURB 254 LF
- LIGHT POLE
- WALL PACK

**NOTE**  
 ALL AREAS DESIGNATE AS "GREEN SPACE" SHALL BE TOPSOILED TO A DEPTH OF 6 INCHES, SEEDED AND MULCHED. AREA TO BE RAKED FREE OF STONES AND CLUMPS.  
 EXISTING CONDITIONS IMPERVIOUS AREA:  
 PARKING LOT - 19,065 SQ FT  
 BUILDING - 5,052 SQ FT

ASSOCIATED DRIVE

PROPOSED CONDITIONS IMPERVIOUS AREA:  
 EXISTING PARKING LOT - 16,980 SQ FT  
 PROPOSED PARKING LOT - 1,359 SQ FT  
 EXISTING AND PROPOSED BUILDINGS - 7,797 SQ FT

<b>PARKING</b>	
EXISTING PARKING	STALLS: 1 - 20
PROPOSED PARKING	STALLS: 21-37
TOTAL STALLS = 37	

**SITE DATA**  
 TOTAL AREA = 1.28 ACRES OR 55,968 SQ FT  
 BUILDING AREA = 0.18 ACRES OR 7,797 SQ FT (13.9%)  
 SIDEWALK/PARKING LOT AREA = 0.59 ACRES 25,769 SQ FT (46.0%)  
 GREEN SPACE = 0.39 ACRES OR 16,973 SQ FT (30.3%)  
 DELINEATED WETLANDS = 0.12 ACRES OR 5,429 SQ FT (9.7%)

**LEGAL DESCRIPTION OF PROPERTY**  
 CSM 2949 LOT 2 (PLATTED OUT OF PRT  
 SE SE SEC 19-21-17) 1.43 AC M/L

DATE:	REVISION DATE	BY	DESCRIPTION OF REVISION	REVISION DATE	BY	DESCRIPTION OF REVISION
05/09/2016	05/27/2016	CJF	ADDED DUMPSTER ENCLOSURE DETAIL 5/7			
DRAWN BY: DAB, CJF	07/19/2016	CJF	REVISED PROPOSED BUILDING AND PARKING LOT DIMENSIONS			
CHECKED BY: JMR, RGS	07/27/2016	CJF	REVISED FIRE LANE AND NORTH PARKING			

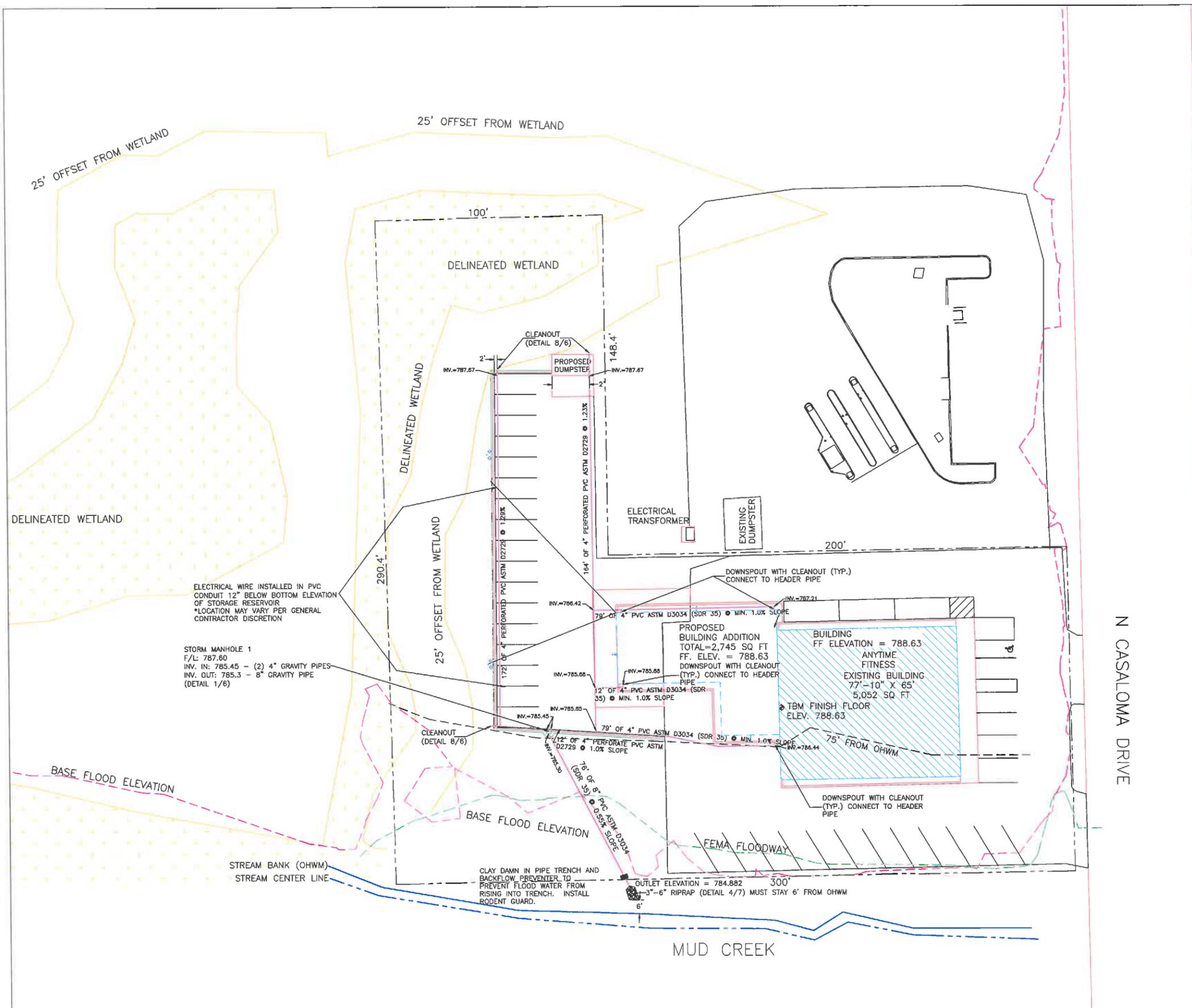
ANYTIME FITNESS  
 1401 N CASALOMA DRIVE  
 OUTAGAMIE COUNTY, WISCONSIN

SCALE:  
 1" = 20'

SITE PLAN

Roach & Associates, LLC  
 Dairy Business and Management Consulting  
 Environmental Engineering  
 856 North Main Street, Seymour, WI, 54165 PH: 920-833-6340 Fax: 920-833-9851

SHEET NO.  
 3



**LEGEND**



- PROPOSED BUILDING ADDITION
- EXISTING BUILDING
- DELINEATED WETLAND LINE
- 25' OFFSET FROM WETLAND LINE
- BASE FLOOD ELEVATION 787.0
- 75' OFFSET FROM OHWM
- ORDINARY HIGH WATER MARK (OHWM)
- STREAM CENTER LINE
- PROPERTY LINE
- FEMA FLOODWAY

EXISTING CONDITIONS IMPERVIOUS AREA:  
 PARKING LOT - 19,065 SQ FT  
 BUILDING - 5,052 SQ FT

ASSOCIATED DRIVE

N CASALOMA DRIVE

**UTILITY NOTES:**  
 ALL NON PERFORATED PIPES TO BE PVC ASTM D3034 (SDR 35)  
 PERFORATED UNDERDRAIN TO BE PVC ASTM D2729  
 PIPE INSTALLATION (DETAIL 5/6)

DATE:	REVISION DATE	BY	DESCRIPTION OF REVISION	REVISION DATE	BY	DESCRIPTION OF REVISION
05/09/2016						
DRAWN BY: DAB, CJF	06/06/2016	CJF	REVISED UTILITY PLAN AND ASSOCIATED DETAILS	*	*	*
CHECKED BY: JMR, RGS	07/19/2016	CJF	REVISED PROPOSED BUILDING AND PARKING LOT DIMENSIONS			

ANYTIME FITNESS  
 1401 N CASALOMA DRIVE  
 OUTAGAMIE COUNTY, WISCONSIN

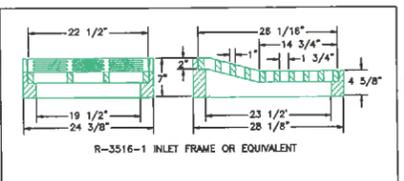
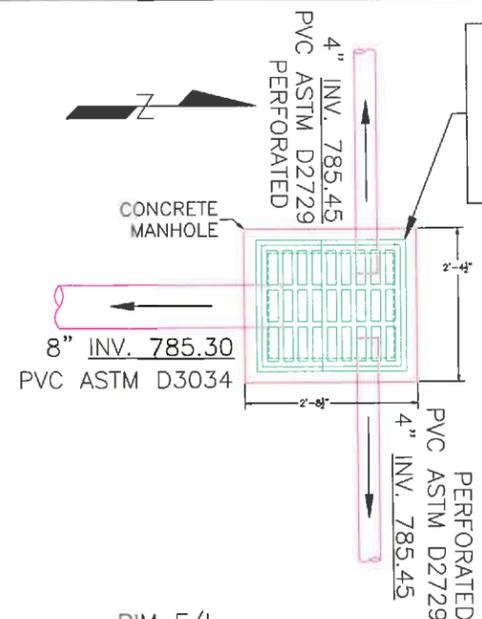
SCALE:  
 1" = 20'

UTILITY PLAN

Roach & Associates, LLC  
 Dairy Business and Management Consulting  
 Environmental Engineering  
 856 North Main Street, Seymour, WI, 54165 PH: 920-833-6340 Fax: 920-833-9851

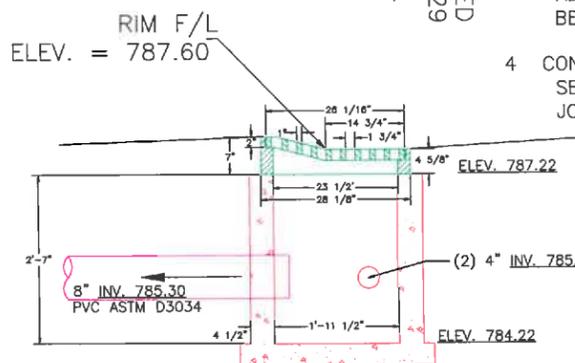
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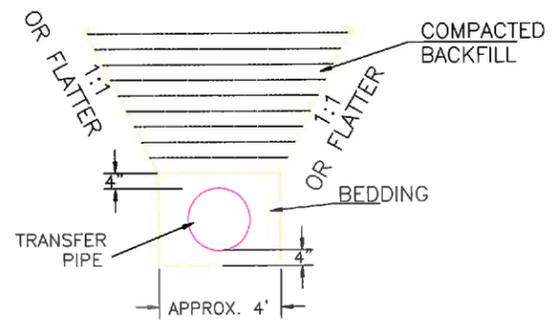


**DETAIL KEY NOTES:**

- FOR ALL PIPE PENETRATIONS USE CAST IN PLACE ASTM C-923 PIPE CONNECTOR
- MANHOLE IS TO BE ASTM C-478
- CONCRETE ADJUSTING RINGS AS REQUIRED. (4" MIN. AND 12" MAX. ALL ADJUSTING RINGS LESS THAN 4" SHALL BE RUBBER.)
- CONTINUOUS 1-1/4" X 1-1/4" JOINT SEAL OR EQUIVALENT AT ANY JOINT (ANY JOIN MUST BE TONGUE & GROOVE)



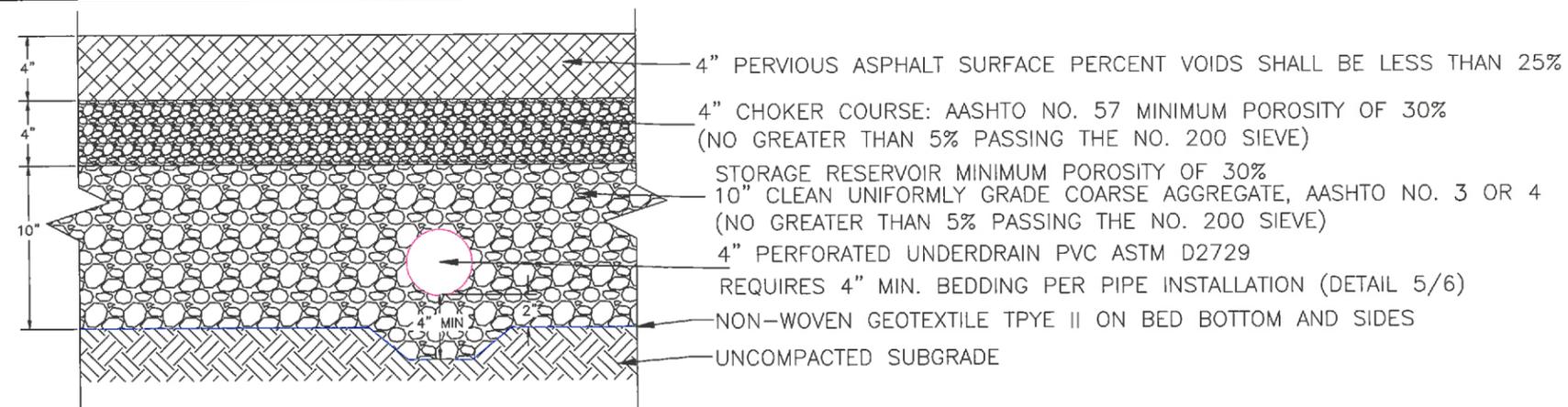
**1 STORM MANHOLE 1**  
6 NTS



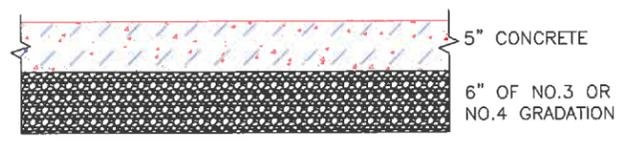
**PIPE BEDDING AND BACKFILL NOTES:**

- BED THE TRANSFER PIPE WITH CLEAN, 3/4" CLEAR STONE COMPACTED IN 4 IN. LIFTS TO 6" ABOVE TOP OF PIPE FROM THE RECEPTION TANK TO THE EMBANKMENT CENTERLINE.
- COMPACT BACKFILL AS SPECIFIED

**5 PIPE INSTALLATION**  
6 NTS



**2 PERVIOUS ASPHALT PAVEMENT**  
6 NTS



TYPICAL SECTION

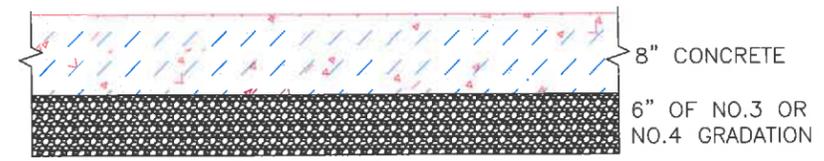
**GENERAL CONSTRUCTION NOTES:**

- JOINTS, IF USED, ARE TO BE SPACED AS SPECIFIED ELSEWHERE
- SITE PREPARATION: REMOVE ALL ORGANIC AND UNCOMPACTED MATERIAL BEFORE PLACING SUBGRADE.

FIBER REINFORCEMENT OPTIONS  
 FONTA FERRO 2 1/4" - 4.0 LBS/CY  
 TUF-STRAND SF - 4.9 LBS/CY

**3 5" CONCRETE PAVEMENT**  
6 NTS

\*ALL CONCRETE TO BE 3,500 PSI



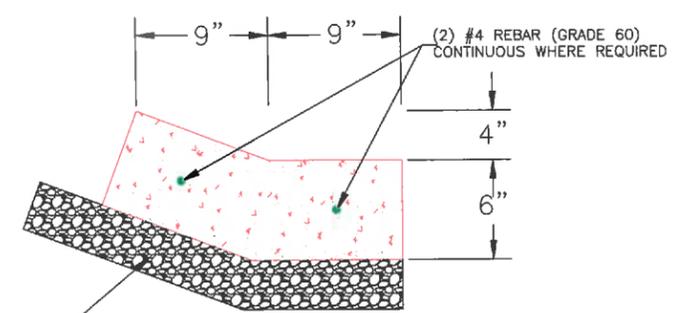
TYPICAL SECTION

**GENERAL CONSTRUCTION NOTES:**

- JOINTS, IF USED, ARE TO BE SPACED AS SPECIFIED ELSEWHERE
- SITE PREPARATION: REMOVE ALL ORGANIC AND UNCOMPACTED MATERIAL BEFORE PLACING SUBGRADE.

FIBER REINFORCEMENT OPTIONS  
 FONTA FERRO 2 1/4" - 4.0 LBS/CY  
 TUF-STRAND SF - 4.9 LBS/CY

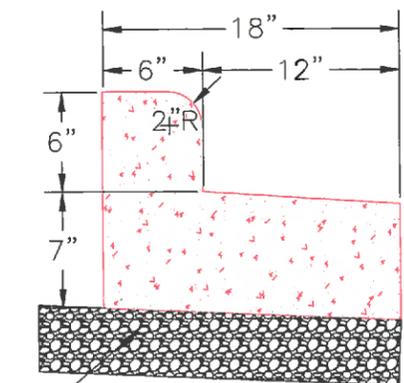
**4 8" CONCRETE PAVEMENT**  
6 NTS



3" MINIMUM COMPACTED AGGREGATE BASE COURSE MATERIAL, AASHTO NO. 57

NOTE:  
 PROVIDE 1" EXPANSION JOINTS AT 300' INTERVALS AND 3 FEET EACH SIDE OF INLET CASTINGS OR AS SPECIFIED. PROVIDE CONTRACTION JOINTS EVERY 10' OF AS DIRECTED.

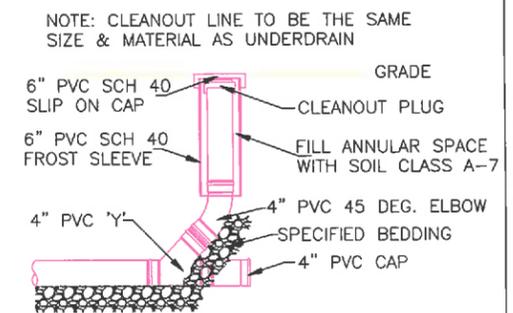
**6 ROLLING CONCRETE CURB**  
6 NTS



3" MINIMUM COMPACTED AGGREGATE BASE COURSE MATERIAL, AASHTO NO. 57

NOTE:  
 1. PROVIDE 1" EXPANSION JOINTS AT 300' INTERVALS OR AS SPECIFIED. PROVIDE CONTRACTION JOINTS EVERY 30' OF AS DIRECTED.  
 2. AT REMOVAL AND REPLACEMENT AREAS AND AT TIES TO EXISTING CURB PROVIDE 2-#5 BARS, 18" LONG. DRILL AND EPOXY INTO EXISTING CURB 9 INCHES.

**7 CONCRETE CURB**  
6 NTS



NOTE: CLEANOUT LINE TO BE THE SAME SIZE & MATERIAL AS UNDERDRAIN

**8 CLEANOUT**  
6 NTS

DATE	REVISION DATE	BY	DESCRIPTION OF REVISION	REVISION DATE	BY	DESCRIPTION OF REVISION
05/09/2016	05/05/2016	CJF	REVISED DETAIL 1, 2 AND ADDED DETAIL B	*	*	*
DAB, CJF	07/19/2016	CJF	REVISED PROPOSED BUILDING AND PARKING LOT DIMENSIONS			
CHECKED BY: JMR, RGS						

ANYTIME FITNESS  
 1401 N CASALOMA DRIVE  
 OUTAGAMIE COUNTY, WISCONSIN

SCALE: NTS  
**CONSTRUCTION DETAILS**

Roach & Associates, LLC  
 Dairy Business and Management Consulting  
 Environmental Engineering  
 856 North Main Street, Seymour, WI, 54165 PH: 920-833-6340 Fax: 920-833-9851

SHEET NO. 6

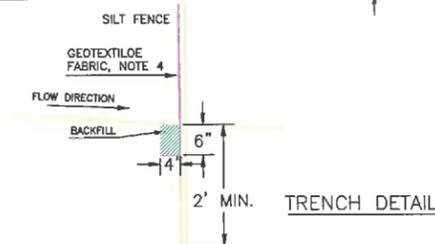
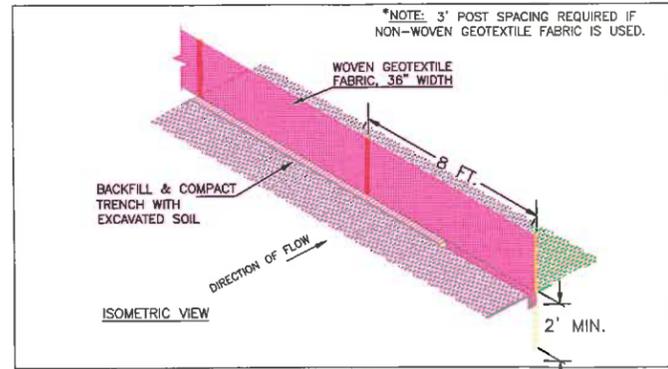
TEST REQUIREMENT	METHOD	VALUE *
MINIMUM GRAB TENSILE STRENGTH IN THE MACHINE DIRECTION	ASTM D 4632	120 LBS.
MINIMUM GRAB TENSILE STRENGTH IN THE CROSS MACHINE DIRECTION	ASTM D 4632	100 LBS.
MAXIMUM APPARENT OPENING SIZE EQUIVALENT STANDARD SIEVE	ASTM D 4751	NO. 30
MINIMUM PERMITTIVITY	ASTM D 4491	0.05 SEC <sup>-1</sup>
MAXIMUM PERMITTIVITY	ASTM D 4491	0.135 SEC <sup>-1</sup> OR 10 gpm/sq ft at 50 mm constant head.
MINIMUM ULTRAVIOLET STABILITY PERCENTAGE OF STRENGTH RETAINED AFTER 500 HOURS OF EXPOSURE	ASTM D 4355	70%

\* ALL NUMERICAL VALUES REPRESENT MINIMUM/MAXIMUM AVERAGE ROLL VALUES. (FOR EXAMPLE, THE AVERAGE OF MINIMUM TEST RESULTS ON ANY ROLL IN A LOT SHOULD MEET OR EXCEED THE MINIMUM SPECIFIED VALUES.)

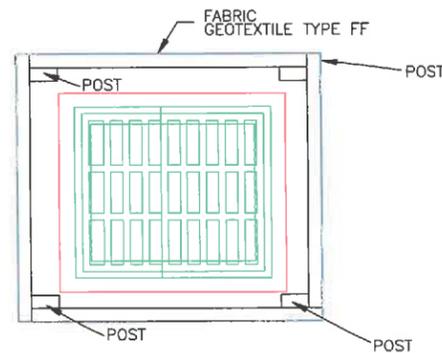
BILL OF MATERIALS	
ITEM	QUANTITY
SUPPORT POSTS	
GEOTEXTILE	500 FT.
FASTENERS	AS REQUIRED

**NOTES:**

- THE GEOTEXTILE FABRIC SHALL BE PLACED IN THE EXCAVATED TRENCH, BACKFILLED, AND COMPACTED TO THE EXISTING GROUND SURFACE.
- WOODEN SUPPORT POSTS SHALL BE A MINIMUM DIMENSION OF 1-1/8" x 1-1/8" AIR OR KILN DRIED OF HICKORY OR OAK AND 4 FEET LONG. STEEL POSTS SHALL BE STUDDED "TEE" OR "U" TYPE WITH A MINIMUM WEIGHT OF 1.3 POUNDS PER LINEAL FOOT AND 5 FEET LONG. POST SPACING SHALL BE A MAXIMUM OF 8 FEET FOR WOVEN FABRIC AND 3 FEET FOR NON-WOVEN FABRIC.
- THE GEOTEXTILE FABRIC SHALL BE ATTACHED DIRECTLY TO THE UPSLOPE SIDE OF WOODEN POSTS WITH 0.5 INCH STAPLES IN AT LEAST 3 PLACES, OR WITH WOODEN LATH AND NAILS. ATTACHMENT TO STEEL POSTS WILL BE BY WIRE FASTENERS OR 50 POUND PLASTIC TIE STRAPS ON THE UPSLOPE SIDE.
- THE GEOTEXTILE FABRIC SHALL CONSIST OF EITHER WOVEN OR NON-WOVEN POLYESTER, POLYPROPYLENE, STABILIZED NYLON, POLYETHYLENE, OR POLYVINYLIDENE CHLORIDE. NON-WOVEN FABRIC MAY BE NEEDLE PUNCHED, HEAT BONDED, RESIN BONDED, OR COMBINATIONS THEREOF. ALL FABRIC SHALL MEET THE FOLLOWING REQUIREMENTS:



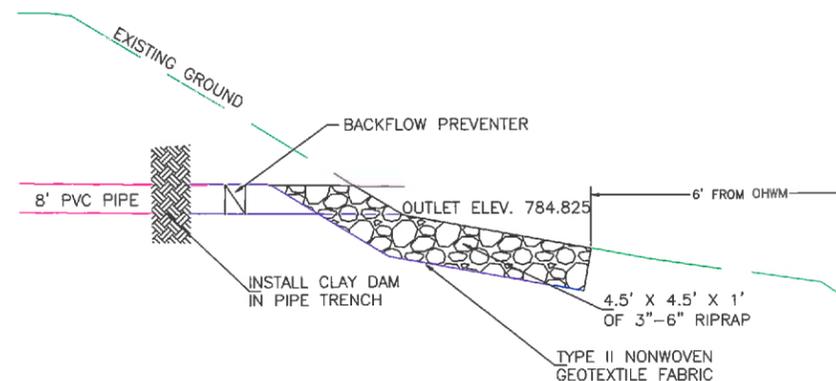
**1**  
**7** SILT FENCE  
NTS



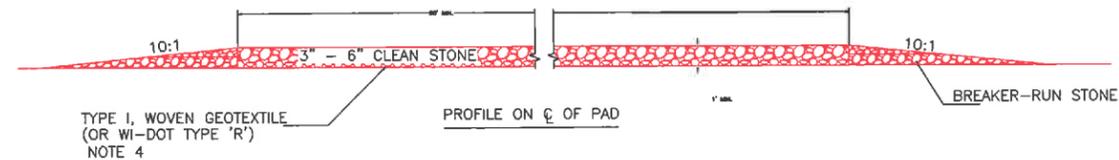
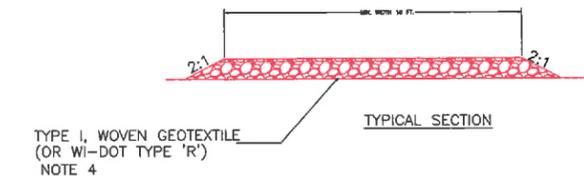
POSTS AND CROSS BRACING TO BE 2" X 4"

GEOTEXTILE TYPE FF TO BE 2'-6" WITH 6" BURIED IN GROUND AND ATTACHED TO POSTS AND CROSS BRACING

**3**  
**7** INLET PROTECTION  
NTS



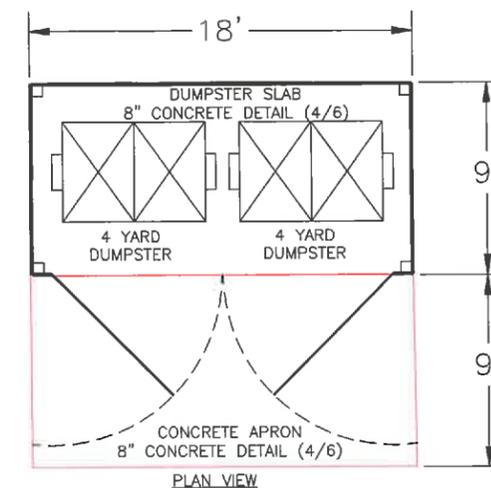
**4**  
**7** RIPRAP  
NTS



VOLUME OF STONE----- 45.5 TONS.  
35 CU.YD.

- TRACKING PAD SHALL BE INSTALLED PRIOR TO CONSTRUCTION TRAFFIC.
- TRACKING PAD SHALL BE INSTALLED TO THE FULL WIDTH OF THE EGRESS POINT.
- TRACKING PAD SHALL BE 3" - 6" STONE WITH LESS THAN 10% FINES. 10:1 APPROACHES TO PADS MAY BE BREAKER-RUN STONE.
- WHERE SATURATED CONDITIONS ARE EXPECTED, PAD SHALL BE UNDERLAIN BY TYPE I, WOVEN GEOTEXTILE. (WI-DOT TYPE 'R')
- SURFACE WATER SHALL BE DIVERTED AWAY FROM TRACKING PAD OR CONVEYED THROUGH WITH A CULVERT.

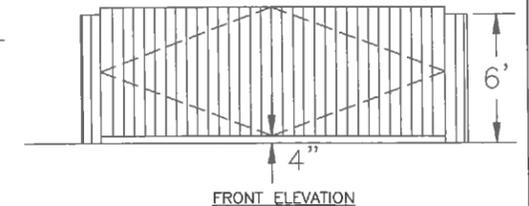
**2**  
**7** TRACKING PAD  
NTS



NOTES  
-SCREENING SHALL CONSIST OF SIX FOOT HIGH, SIGHT-TIGHT, ALTERNATING BOARD ON BOARD FENCE

-ALL BOARDS TO BE 3/4" X 6" X 6'

-RELOCATE EXISTING SCREENING OR CONSTRUCT A NEW SCREENING



**5**  
**7** DUMPSTER ENCLOSURE  
NTS

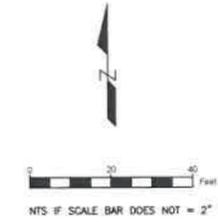
DATE	REVISION DATE	BY	DESCRIPTION OF REVISION	REVISION DATE	BY	DESCRIPTION OF REVISION
05/09/2016	05/27/2016	CJF	ADDED DUMPSTER ENCLOSURE DETAIL 5/7			
DRAWN BY: DAB, CJF						
CHECKED BY: JMR, RGS						

ANYTIME FITNESS  
1401 N CASALOMA DRIVE  
OUTAGAMIE COUNTY, WISCONSIN

SCALE:  
NTS  
EROSION CONTROL  
DETAILS

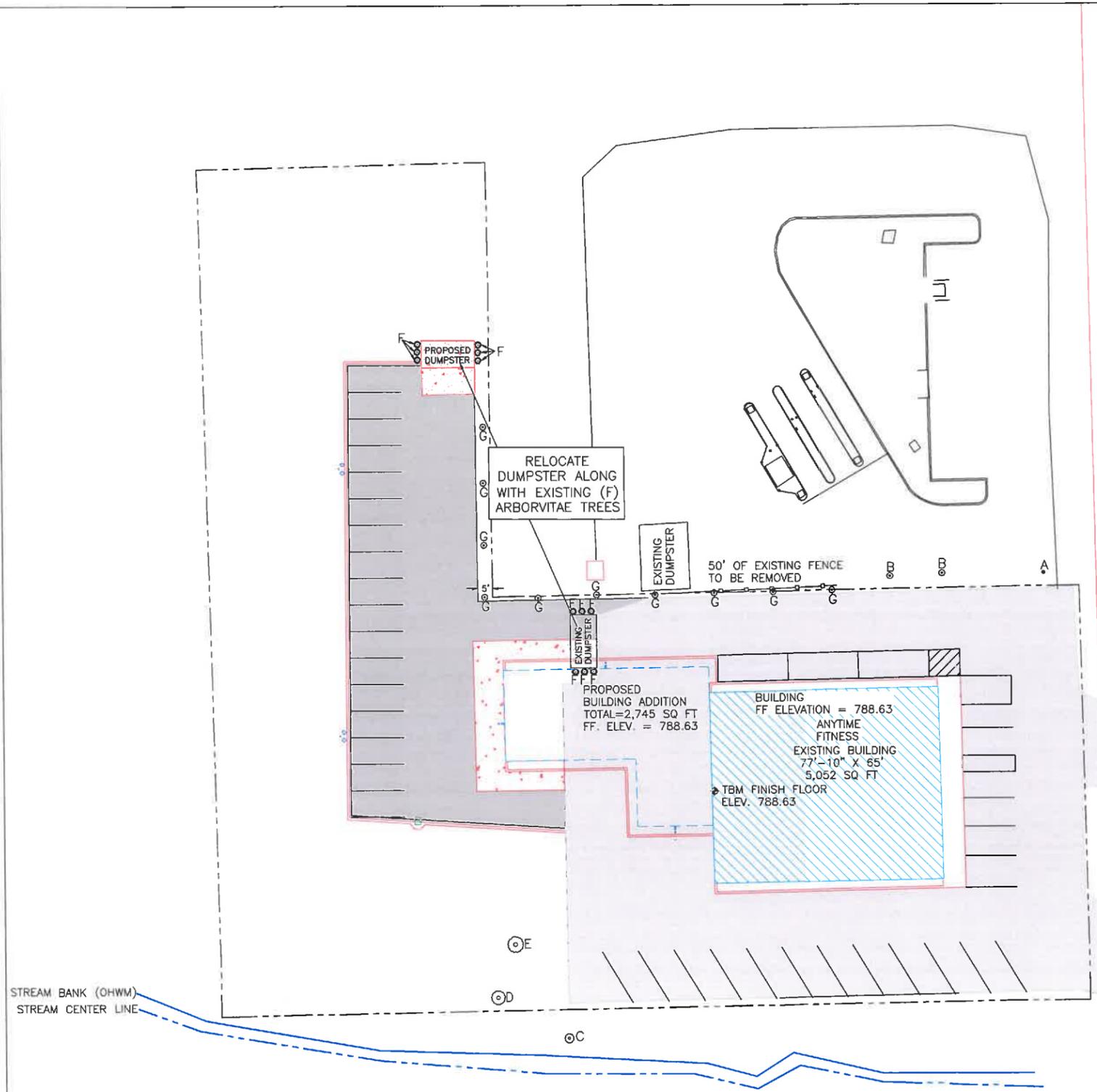
Roach & Associates, LLC  
Dairy Business and Management Consulting  
Environmental Engineering  
856 North Main Street, Seymour, WI, 54165 PH: 920-833-6340 Fax: 920-833-9851

SHEET NO.  
7



COUNT	MARK	COMMON NAME	SIZE
EXISTING-TREES			
1	A	SKYLINE HONEY LOCUST	3" DIAMETER
2	B	CRAB TREE	6" DIAMETER
1	C	BOX ALDER	8" DIAMETER
1	D	BOX ALDER	16" DIAMETER
1	E	BOX ALDER	14" DIAMETER
*6	F	ARBORVITAE HOLMSTRUP	6' TALL
PROPOSED-TREES			
10	G	MOUNTBATTEN JUNIPER	5'-6' TALL

\* EXISTING ARBORVITAE HOLMSTRUP MAY BE REPLACED WITH NEW 6' TALL ARBORVITAE HOLMSTRUP TREE IF UNABLE TO RELOCATE





## MEMORANDUM

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**To:** Chairman Schowalter and Plan Commission members

**From:** Michael Patza, Town Planner

**Date:** July 28, 2016

**Address:** Proposed new Town park north of Town Hall

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### BACKGROUND

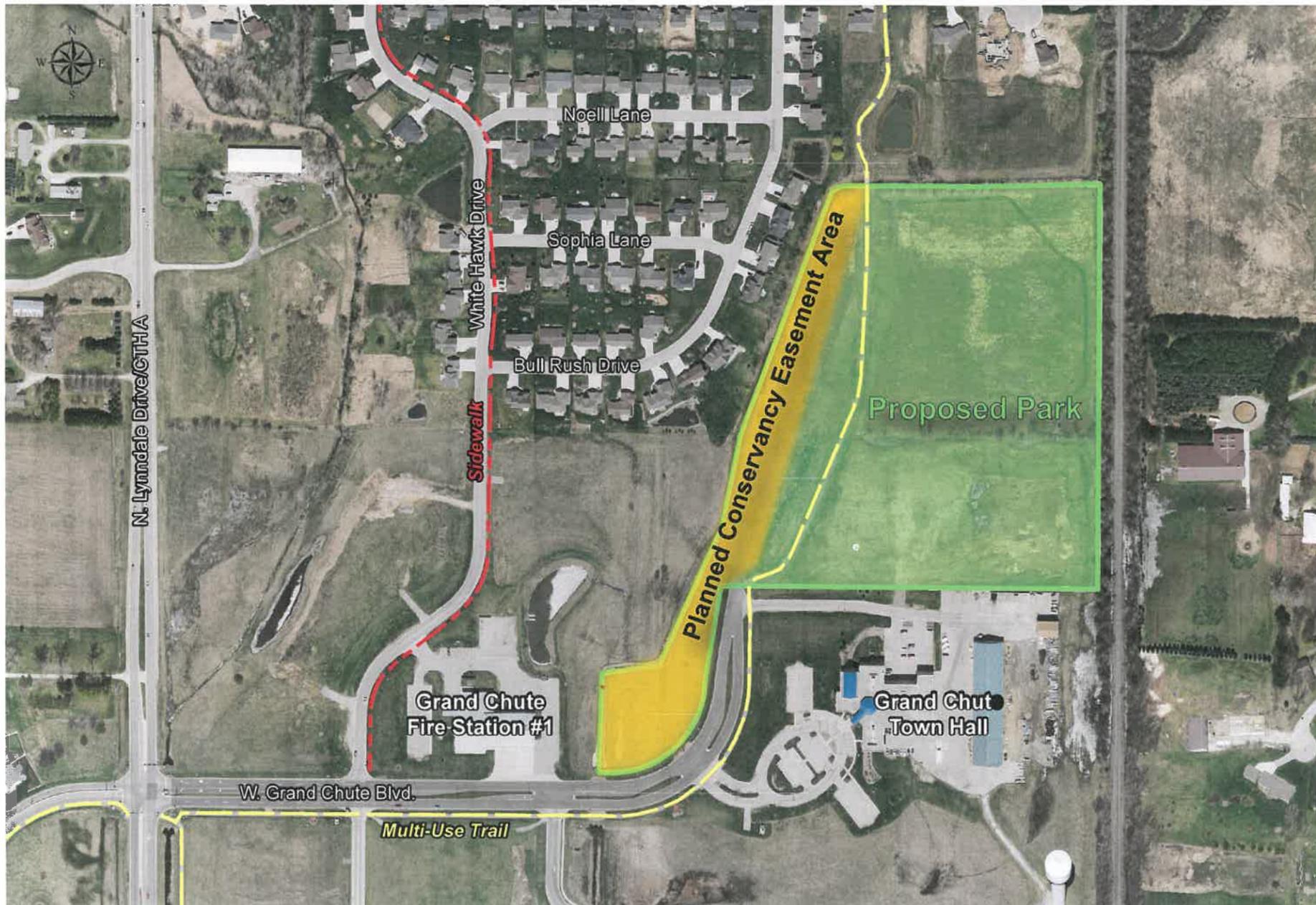
The Town owns the two parcels directly to the north of the Town Hall, identified on Exhibit A, which together make up 23.8 acres. Over the past several years there has been a great deal of discussion and several ideas generated regarding developing this property into a park. The property is currently zoned AGD General Agricultural District and parks are a permitted use under this classification.

In January 2016, the Park Commission and staff began working on the preliminary planning stages to develop a new Town park on this property. A Park Development Committee was created, as a subsection of the Park Commission, to focus solely on this project. East Central Wisconsin Regional Planning Commission (ECWRPC) assisted the Town with the planning process, which resulted in the development of a Concept Plan. The public participation process included a survey, a public workshop, and an additional outreach event that coincided with National Trails Day. The response from residents has been overwhelmingly positive. Of the 240 survey respondents, 93% indicated they would support a new park in this location. The information gathered through the public participation process has helped prioritize the types of facilities that would be included in the new park and has guided the development of the Concept Plan.

There are substantial environmental considerations associated with this property that will directly impact any type of park facilities development. A navigable stream borders the property on the west and north sides, and wetland areas are also present. Fieldwork for a wetland delineation was recently completed and the final report, which will formally identify the wetland areas, is expected shortly. After the wetland delineation report is complete, there will be an accurate measurement of the amount of usable land, which will help identify the facilities that could be incorporated into the new park.

Moving forward, staff has developed a timeline, which is included in Exhibit B. Pending approvals, a planning consultant would be contracted to develop a Master Plan for the new park. The Master Plan would be developed using the information provided in the Concept Plan to specifically detail new facilities in the park. The consultant would also prepare bidding documents for new facilities that would be done with the first phase of construction. Due to the size of the new park and the cost associated with new facilities, implementation of the Master Plan would be done in phases over an extended period of time. The only action needed by the Plan Commission at the August 4, 2016 meeting would be to schedule a Public Hearing for the new park at the Plan Commission meeting on August 16, 2016.

Exhibit A - Proposed Park Location



**Exhibit B - Town of Grand Chute -- New Town Park Development Process**

August	Sept	Oct	Nov	Dec	Jan	Feb	Mar	Apr	May	June	July	August	Sept	Oct	Nov	Dec		
2016					2017													
<p>August 4 - Plan Commission will discuss the Concept Plan timeline and schedule a Public Hearing for 8/16.</p> <p>August 16 - Plan Commission holds a Public Hearing and makes recommendation to Town Board regarding the Concept Plan and dedicating the property as Parkland.</p>	<p>September 6 - Town Board will (1) act on the recommendation to approve the Concept Plan, (2) act on a resolution dedicating the property as Parkland, and (3) act on a recommendation to solicit proposals for a Master Plan.</p> <p>September 27 - Open bids for Master Plan.</p>	<p>October 4 - Town Board will act on a recommendation to approve the proposal for Master Plan. Consultant work on Master Plan begins October 17. Park Development Committee works with consultant during development of Master Plan.</p>	<p>Master Plan Development</p>	<p>Park Commission reviews final Draft of Master Plan and makes recommendation to Plan Commission.</p> <p>Plan Commission reviews Master Plan and makes recommendation to Town Board.</p> <p>Town Board will act on recommendation to approve the Master Plan.</p>	<p>Park Commission reviews Site Plan for first phase of park facilities.</p> <p>Plan Commission reviews Site Plan for first phase of park facilities.</p> <p>Town Board acts on authorizing bidding and construction plans for first phase of park facilities.</p>	<p>Construction plans and bidding documents are developed for first phase of park facilities.</p>	<p>Open bids for park facilities.</p>	<p>First phase park facilities construction.</p>										