



PLAN COMMISSION AGENDA

Tuesday, September 20, 2016 6:00 p.m.
Town Hall - 1900 W. Grand Chute Blvd.

1. Roll Call.
2. Pledge of Allegiance.
3. Approval of Agenda.
4. Approval of Minutes – September 6, 2016 meeting.
5. Public Input.
6. Community Development Director's Report.
7. **Site Plan (SP-20-16)** – Request by Unison Credit Union, 750 W. Evergreen Drive, for construction of a new commercial building and associated site improvements. **Action:** Approve/deny SP-20-16.
8. **Site Plan Amendment (SPA1-17-15)** – Request by Navitus Health Solutions LLC, dba Navitus Health Solutions, 1025 W. Navitus Drive, for a new monument sign. **Action:** Approve/deny SPA1-17-15.
9. **Grand Chute Code Update** – Staff report on progress with code amendments for implementing natural landscaping standards. (*Discussion-only. No action to be taken at this meeting*)
10. Adjournment.

A quorum of the Town Board, Park Commission, Police and Fire Commission, Board of Appeals, and Licensing Committee may be present at this meeting. No official action of these bodies will be taken.

Accommodation Notice-Any person requiring special accommodation who wishes to attend this meeting should contact **(Administration at 832-1573)** at least 48 hours in advance.

GRAND CHUTE PLAN COMMISSION MINUTES

September 6, 2016

Members Present: Chairman Dave Schowalter, Commissioners Bruce Sherman, Robert Stadel, Julie Hidde, Vivian Huth, Duane Boeckers, Pam Crosby, John Weber.

Members Absent: None.

Also Present: James March, Town Administrator; Thomas Marquardt, Public Works Director; Karen Heyrman, Deputy Public Works Director; Bob Heimann, IT Director; Robert Buckingham, Community Development Director; Michael Patza, Town Planner; other interested parties (audience attendance = 2)

1. **ROLL CALL**

Chairman Schowalter opened the meeting at 6:00 p.m.

2. **PLEDGE OF ALLEGIANCE**

3. **APPROVAL OF AGENDA.**

Motion (Sherman/Boeckers) to approve the agenda. Motion carried, all voting aye.

4. **APPROVAL OF MINUTES** – AUGUST 16, 2016 MEETING.

Motion (Stadel/Hidde) to approve the minutes. Motion carried, all voting aye.

5. **PUBLIC INPUT**– None.

6. **COMMUNITY DEVELOPMENT DIRECTOR'S REPORT**

Director Buckingham provided an update on 2016 construction activity and recently announced plans for redevelopment of the former National Envelope Company site.

7. **SITE PLAN AMENDMENT (SPA1-00-01)** – REQUEST BY METRO DRIVE, LLC, 245 METRO DRIVE, TO REPLACE AN EXISTING MULTI-TENANT PYLON SIGN WITH A NEW MULTI-TENANT PYLON SIGN.

Motion (Hidde/Huth) to approve the Site Plan Amendment (SPA1-00-01) requested by Metro Drive, LLC, 245 Metro Drive, to replace an existing multi-tenant pylon sign with a new multi-tenant pylon sign. Motion carried, all voting aye.

8. **SITE PLAN AMENDMENT (SPA1-00-85)** – REQUEST BY OMSAI, LLC, DBA BUDGET INN OF APPLETON, 1032 S. WESTLAND DRIVE, TO REPLACE AN EXISTING PYLON SIGN WITH A NEW PYLON SIGN.

Planner Patza reviewed the disclaimer note to be included with this project approval. The Town Attorney has developed the disclaimer wording based on pending action by the Town with regard to the termination of this property's hotel license.

Motion (Stadel/Crosby) to approve the Site Plan Amendment (SPA1-00-85) requested by OMSAI, LLC, dba Budget Inn of Appleton, 1032 S. Westland Drive, to replace an existing pylon sign with a new pylon sign. The approval of this Site Plan Amendment does not constitute an express or implied Hotel License renewal. The owner may proceed with this project at its own risk. The Town reserves all rights for the termination of the Hotel License for this property. Motion carried, all voting aye.

9. **SITE PLAN AMENDMENT (SPA1-00-98)** – REQUEST BY ABBYBANK, 1500 N. CASALOMA DRIVE, TO REPLACE AN EXISTING PYLON SIGN WITH A NEW PYLON SIGN.

Motion (Huth/Crosby) to approve the Site Plan Amendment (SPA1-00-96) requested by AbbyBank, 1500 N. Casaloma Drive, to replace an existing pylon sign with a new pylon sign. Motion carried, all voting aye.

10. ADJOURNMENT.

Motion (Sherman/Boeckers) to adjourn at 6:07 p.m. Motion carried, all voting aye.

Respectfully Submitted,

Tracy Olejniczak
Community Development Secretary

DRAFT

**Town of Grand Chute
Site Plan Review
Unison Credit Union**

To: Plan Commission
From: Michael Patza, Town Planner
Date: September 15, 2016
Address: 750 W. Evergreen Drive

App. #: SP-20-16

REQUEST

- 1. **Proposed Use(s):** Financial institution/credit union
- 2. **Project Description:** Construction of a new commercial building and associated site improvements
- 3. **Plat/CSM Accurate parcel lines/lot recorded:** Yes

ANALYSIS

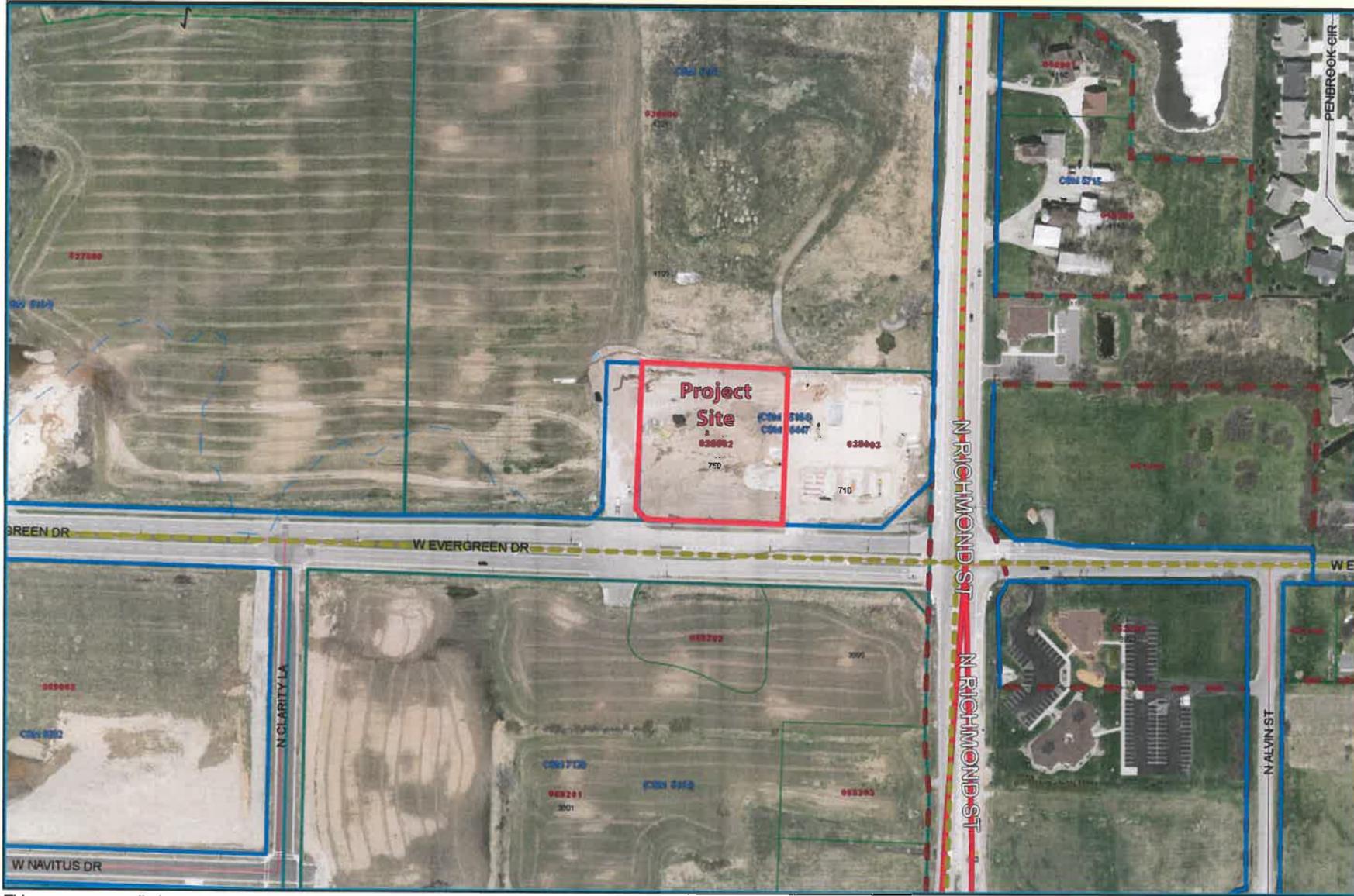
Applicant proposes the construction of a 4,400 sq. ft. commercial building and associated site improvements. The 1.8 acre parcel is zoned CL Local Commercial District. The building exterior will feature the use of brick and stone elements, which meet the architectural requirements outlined in the Zoning Code. There are two access points associated with this development, one from W. Evergreen Drive and the other on the north side of the property, connecting to the private access road that leads to Kwik Trip. The credit union will feature 3 drive-up lanes for customers that will be located on the north side of the building. Parking will be provided along the east side of the property.

The Drainage Plan for the project consists of using overland flow and storm sewer to direct runoff to the Butterfly Fields Regional Detention Pond, which is located to the west of this property. The Drainage and Erosion Control Plans are being reviewed by the Town Engineer and their approval is a condition of Site Plan approval. The Landscape Plan is being reviewed by staff and its approval is a condition of Site Plan approval. The Site Lighting Plan has been approved by staff. All other code requirements are met with this request.

RECOMMENDATION

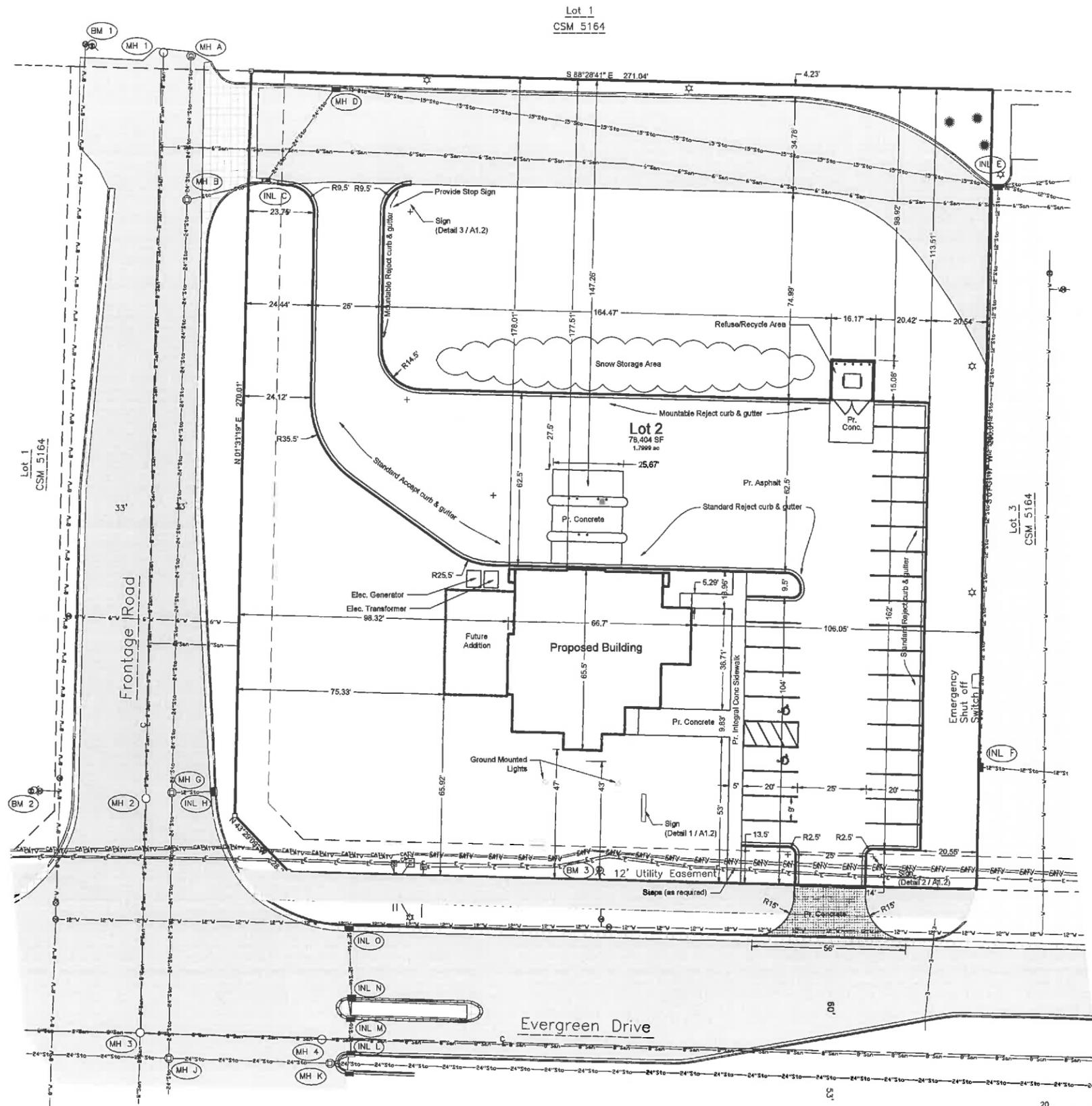
Staff has reviewed and supports Plan Commission approval of the Site Plan (SP-20-16) requested by Unison Credit Union, 750 W. Evergreen Drive, for construction of a new commercial building and associated site improvements subject to: (1) Town Engineer approval of the Drainage and Erosion Control Plans; and, (2) staff approval of the Landscape Plan.

SP-20-16 -- 1750 W. Evergreen Drive



This map was compiled using data believed to be accurate; however, a degree of error is inherent in all maps. This map was distributed "AS-IS" without warranties of any kind, either expressed or implied, including but not limited to warranties of suitability to a particular purpose or use. No attempt has been made in either the design or production of the maps to define the limits or jurisdiction of any federal, state, or local government. Detailed on-the-ground surveys





LEGEND

—CIV—CIV—	Underground Cable TV	○	Sanitary MH / Tank / Base	□	Telephone Pedestal
—FD—FD—	Underground Floor Drain	⊙	Clean Out / Curb Stop / Pull Box	□	CATV Pedestal
—OH—OH—	Overhead Electric Lines	⊕	Storm Manhole	□	Gas Regulator
—S—S—	Sanitary Sewer	⊕	Inlet	□	Sign
—Sto—Sto—	Storm Sewer	⊕	Catch Basin / Yard Drain	□	Post / Guard Post
—E—E—	Underground Electric	⊕	Hydrant	⊕	Deciduous Tree
—G—G—	Underground Gas Line	⊕	Utility Valve	⊕	Coniferous Tree
—T—T—	Underground Telephone	⊕	Utility Meter	⊕	Bush / Hedge
—W—W—	Water Main	⊕	Light Pole / Signal	⊕	Benchmark
—V—V—	Index Contour	⊕	Electric Pedestal	⊕	Asphalt Pavement
—	Intermediate Contour	⊕	Electric Transformer	⊕	Concrete Pavement
		+	+799.9	⊕	Gravel
				⊕	

Project Information

Building
 Occupancy Classification: Business - B (non-separated)
 Construction Classification: Type VB (non-sprinklered)
 Number of proposed and future employees: 10 - 15
 Gross Floor Area: 4,790 sq. ft. (single story with partial basement)

Site Information

Proposed Credit Union
 750 W Evergreen Drive
 Parcel # 101038002
 Lot 2 Certified Survey Map No. 6447
 Zoning: Local Commercial
 Street/Front Yard Setback: 35'
 Side Yard Setback: 10'
 Rear Yard Setback: 25'

Existing Impervious Area = 10,073 SF (12.8%)
 Total Development Impervious Area = 37,514 SF (47.8%)
 (Includes future building addition)

Proposed Disturbed Area = 60,000 +/- SF

Proposed/Future Building Footprint 4,347 SF
 Proposed/Existing Parking, Drives, & Sidewalk 33,167 SF
 Lawn and Landscaping 40,890 SF
 Total Site Area 78,404 SF (1.7999 Acres)

Parking
 Requirements (Bank):
 5 stalls per 1,000 SF of floor area = 24 stalls

Stalls Provided:
 25 proposed stalls + 2 Handicap stalls (Proposed)

Parking lot striping shall be 4" painted yellow.

No Hazardous materials will be stored on the site. No outdoor storage is proposed.

Snow storage shall be located beyond curb in lawn areas per plan.

Owner:
 Unison Credit Union
 1616 Crooka Ave.
 Kaukauna, WI 54130

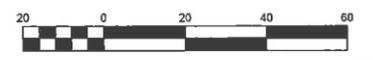
Architect:
 Keller, Inc.
 John Elrick, Project Manager
 N216 State Road 55
 PO Box 620
 Kaukauna, WI 54130

SHEET INDEX:

Sheet	Page
Site Plan	C1.0
Topographic Survey	C1.1
Drainage & Grading Plan	C1.2
Erosion Control Plan	C1.3
Utility Plan	C1.4
Construction and Erosion & Sediment Control Details	C2.1

SITE PLAN

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PROPOSED BUILDING FOR:

Unison Credit Union

WISCONSIN
 APPLETON,

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REVISIONS

PROJECT MANAGER: J. ELRICK

DESIGNER: katie

DRAWN BY: MDB

EXPEDITOR: -----

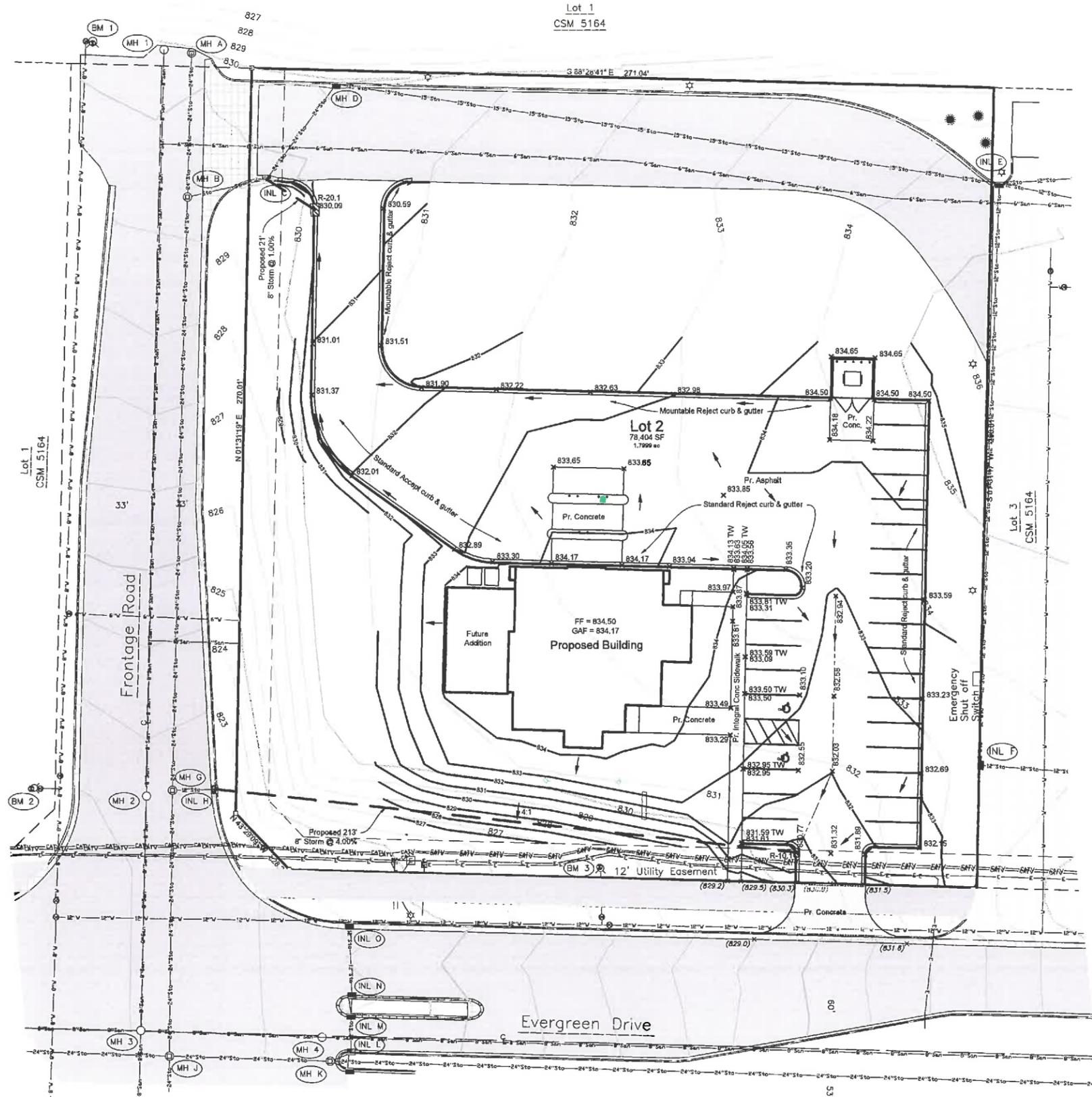
SUPERVISOR: -----

PRELIMINARY NO.: -----

CONTRACT NO.: -----

DATE: 9.8.2016

SHEET: **C1.0**



LEGEND

—CATV—CATV—	Underground Cable TV	○	Sanitary MH / Tank / Base	□	Telephone Pedestal
—FD—FD—	Underground Fiber Optic	⊗	Clear Cut / Curb Stop / Pull Box	□	CATV Pedestal
—OH—OH—	Overhead Electric Lines	⊕	Storm Manhole	□	Gas Regulator
—UW—UW—	Utility Guy Wire	⊖	Inlet	□	Sign
—San—San—	Sanitary Sewer	⊙	Catch Basin / Yard Drain	□	Post / Guard Post
—Sto—Sto—	Storm Sewer	⊗	Hydrant	⊙	Deciduous Tree
—E—E—	Underground Electric	⊕	Utility Valve	⊙	Coniferous Tree
—G—G—	Underground Gas Line	⊖	Utility Meter	⊙	Bush / Hedge
—T—T—	Underground Telephone	⊕	Light Pole / Signal	⊙	Benchmark
—W—W—	Water Main	⊕	Electric Pedestal	⊙	Asphalt Pavement
—	Index Contour	⊕	Electric Transformer	⊙	Concrete Pavement
—	Intermediate Contour	⊕	Ex Spot Elevation	⊙	Gravel
—	Proposed Storm Sewer	⊕	Proposed Storm Manhole	⊙	
—	Proposed Contour	⊕	Proposed Curb Inlet	⊙	
—	Proposed Swale	⊕	Prop. Catch Basin / Yard Drain	⊙	
—	Proposed Culvert	⊕	Prop. Endwall	⊙	
—	Prop. Prowline Spot Elev.	⊕	Prop. Drainage Rip Rap	⊙	
—	Prop. Top of Walk Elev.	⊕	Prop. Drainage Direction	⊙	
—	Existing Grade	⊕	FF=000.0 Prop. Finished Floor Elev.	⊙	

- NOTES:**
- Existing utilities shown are indicated in accordance with available records and field measurements. The contractor shall be responsible for obtaining exact locations & elevations of all utilities, including sewer and water from the owners of the respective utilities. All utility owners shall be notified by the contractor 72 hours prior to excavation. Contact Digger's Hotline (1-800-242-8511) for exact utility locations.
 - The Contractor shall verify all staking and field layout against the plan and field conditions prior to constructing the work and immediately notify the Engineer of any discrepancies.
 - Vegetation beyond slopes shall remain.
 - The contractor shall minimize the area disturbed by construction as the project is constructed. Disturbed areas shall be seeded as soon as final grade is established. Contractor shall replace topsoil and then seed, fertilize and mulch all lawn areas within 1 week of topsoil placement.
 - Contractor shall remove all excess materials from the site. Earthwork contractors shall verify topsoil depth.
 - All sediment and erosion control devices and methods shall be in accordance with the Wisconsin DNR Technical Standards.
 - The contractor shall make weekly inspections and inspections within 1 day of any rainfall exceeding 0.5 inches of the sediment and erosion control devices throughout construction. The inspection reports shall be made available to the owner at the end of the construction or upon demand during construction.
 - Contractor is responsible for compliance with Department of Safety & Professional Services, Chapter SPS 382, for lateral construction and cleanout locations.
 - Updated survey and title search have not been authorized and the boundary and easements shown may be inaccurate or incomplete.
 - This parcel is part of an approved storm water management plan with the use of Town of Grand Chute Regional Storm Water Pond (Butterfly Field Regional Pond).

BENCHMARKS (NAVD 88)

BM 0	NGS PID 0F0995	Grand Chute C GPS Brass Disk	Elev	835.70
BM 1	Fire Hydrant, Arrow on Flange	NW Corner of Frontage Road	Elev	832.85
BM 2	Fire Hydrant, Tag Bolt	NW of Evergreen Drive and Frontage Road	Elev	824.05
BM 3	Fire Hydrant, Tag Bolt	2300 E of BM 2 on Evergreen Drive	Elev	829.35

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PROPOSED BUILDING FOR:

Unison Credit Union

WISCONSIN

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REVISIONS

PROJECT MANAGER: J. ELRICK

DESIGNER: Katie

DRAWN BY: MDB

EXPEDITOR: -----

SUPERVISOR: -----

PRELIMINARY NO.: -----

CONTRACT NO.: -----

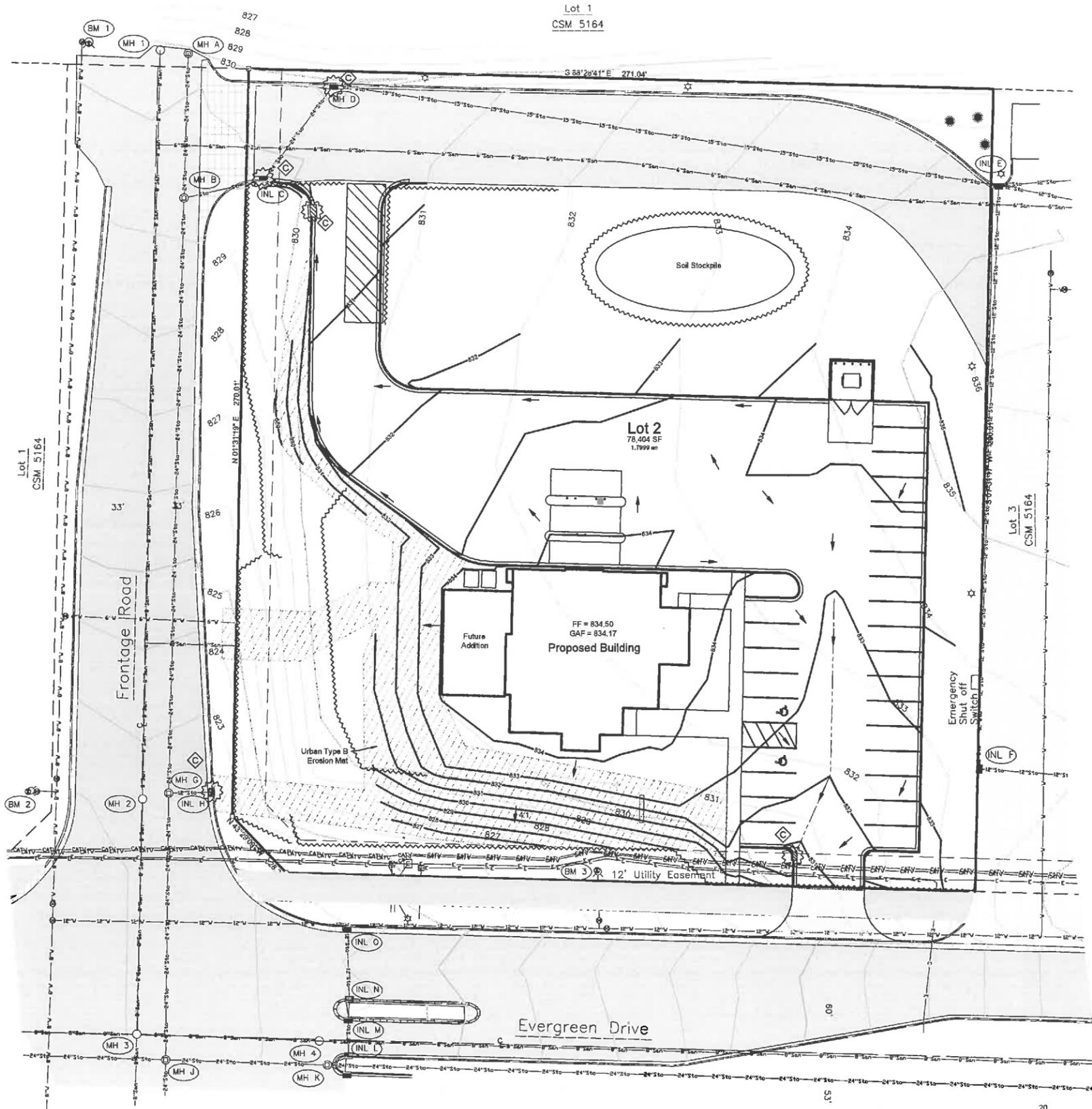
DATE: 9.8.2016

SHEET: C1.2

DRAINAGE & GRADING PLAN

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LEGEND

—CATV—CATV	Underground Cable TV	○	Sanitary MH / Tank / Base	□	Telephone Pedestal
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—IC—IC	Index Contour	⊕	Electric Transformer	○	Concrete Pavement
—Int—Int	Intermediate Contour	⊕	4799.9 Elevation	○	Gravel
—Prop. Storm Sewer	Proposed Storm Sewer	⊕	Proposed Storm Manhole	⊕	
—Prop. Storm Sewer	Proposed Storm Sewer	⊕	Proposed Curb Inlet	⊕	
—Prop. Storm Sewer	Proposed Storm Sewer	⊕	Prop. Catch Basin / Yard Drain	⊕	
—Prop. Storm Sewer	Proposed Storm Sewer	⊕	Proposed Endwall	⊕	
—Prop. Storm Sewer	Proposed Storm Sewer	⊕	Proposed Rip Rap	⊕	
—Prop. Storm Sewer	Proposed Storm Sewer	⊕	Proposed Erosion Mat	⊕	
—Prop. Storm Sewer	Proposed Storm Sewer	⊕	Proposed Inlet Protection	⊕	
—Prop. Storm Sewer	Proposed Storm Sewer	⊕	Type of Inlet Protection	⊕	

Planned Sediment and Erosion Control Practices
 All erosion control practices shall be in place prior to disturbing the site. All sediment and erosion control devices and methods shall be in accordance with DNR Technical Standards and the WisDOT Erosion Control product acceptability lists (PAL). It is the responsibility of the Contractor to minimize the area disturbed and the duration of the disturbance. Erosion control measures shall be maintained on a continuing basis until the site is permanently stabilized. Erosion controls must be in place at the end of each work day with all off-site sediments being cleaned daily or as necessary as no sediment flushing is allowed. Onsite soils per NRCS maps indicate Kewaunee (KtB) consisting of silt loam topsoil over clay - silty clay.

- 1) Diverting Flow
 - a) Permanent Diversion - Intended to divert runoff around disturbed areas to a location where the water can be discharged without adversely impacting the receiving area or channel. Permanent diversions will be used to route runoff to the storm inlets.
 - b) Temporary Diversion - Intended to divert runoff around disturbed areas to a location where the water can be discharged without adversely impacting the receiving area or channel. Unlike a permanent diversion, the temporary diversion will be removed upon the completion of the project. Temporary diversions will be used up slope of any soil piles to reduce the amount of sediment transported. All diversions shall be installed and maintained in accordance with DNR Technical Standard 1066.
- 2) Overland Flow
 - a) Sediment Controls - Intended to provide a temporary barrier to the transportation of sediment offsite and also reduces the velocity of sheet flow; thereby reducing the erosion potential of flowing water. Silt fencing is not to be used in areas of channelized flow and sediment deposits shall be removed when a 6 inch depth is reached. The silt fence or sediment logs shall be repaired or replaced as necessary to maintain a barrier. All Silt Fence or sediment logs shall be installed and maintained in accordance with DNR Technical Standard 1066 or 1071 respectively. It will be placed at the following locations:
 - i) along the site boundary where runoff will leave the site;
 - ii) and at the toe of soil piles if the pile will remain in place for more than seven (7) days.
 - iii) intermediate placement per plan.
 - b) Mulching and Erosion Mat - Intended to reduce the amount of erosion caused by raindrop impact, high overland and concentrated flow velocities and assist the establishment of both temporary and permanent vegetation. Mulch is to be applied to all disturbed soils during the seeding process. All Erosion Mat shall be installed and maintained in accordance with DNR Technical Standards 1082 and 1083 and all Mulching with DNR Technical Standard 1068. In addition to mulching, Erosion Mat will be used in the following areas:
 - i) on all permanent and temporary diversions;
 - ii) and on any areas with slopes greater than 4:1.
 - c) Seeding - Intended to provide a reduction of overland flow velocities and stabilize disturbed areas. Seeding will be used on all disturbed areas within seven days of the completion of the activity that will disturb the area. All seeding shall be in accordance with DNR Technical Standard 1059. Permanent seed mixture as specified per plan prior to September 15th. If required, temporary seeding shall consist of Oats, Rye, Winter Wheat, and/or Annual Ryegrass applied at rates and during the season specified by the Technical Standard but no later than November 1st.
- 3) Inlet Protection Barriers - Intended to prevent the sedimentation of storm water conveyance structures. All Inlet Protection Barriers shall be installed and maintained in accordance with DNR Technical Standard 1060. As required, inlet protection barriers will be used at all storm sewer inlets as indicated on the plans.
- 4) Stone Tracking Pad - Intended to reduce the amount of sediment transported onto public roads. The Tracking Pad shall be installed and maintained in accordance with DNR Technical Standard 1057. A tracking pad will be constructed at the site entrance as indicated on the plan.
- 5) Dust Control - Intended to reduce surface to air transport of dust during construction. Dust control shall be implemented with use of methods provided in DNR Technical Standard 1068. These methods include the use of polymers, seeding, and mulch.
- 6) Dewatering BMP - Intended to reduce the amount of sediment conveyed due to dewatering practices. Dewatering practices require compliance with DNR Technical Standard 1081. The use of geotextile bags is required to prevent sedimentation. The bags shall meet the requirements of Technical Standard 1061.

Sequence of Construction

- 1) Obtain plan approval and other applicable permits.
- 2) Install and maintain all sediment control measures: September 2016
- 3) Site grading and utility work, repair damaged sediment controls: September 2016
- 4) Construct foundation: September 2016
- 5) Grade and gravel construction of parking and drives: October 2016
- 6) Construct Building: September - November 2016
- 7) Concrete curbs, sidewalks, and asphalt paving: October 2016
- 8) Stabilize lawn and ditch areas no later than one week after final grade is established. No later than October 15, 2016, as conditions allow.
- 9) Weeding may be necessary to establish healthy and well rooted vegetation. Temporary measures may only be removed once final site stabilization has occurred.

Note: The dates provided are approximate and subject to weather conditions and overall project schedule. Several work items as listed above may occur simultaneously with others.

EROSION CONTROL PLAN

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PROPOSED BUILDING FOR:
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REVISIONS

PROJECT MANAGER: J. ELRICK
DESIGNER: kotie
DRAWN BY: MJB
EXPEDITOR: _____
SUPERVISOR: _____
PRELIMINARY NO.: _____
CONTRACT NO.: _____

DATE: 9.8.2016
SHEET: C1.3





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 FAX (715) 849-3181

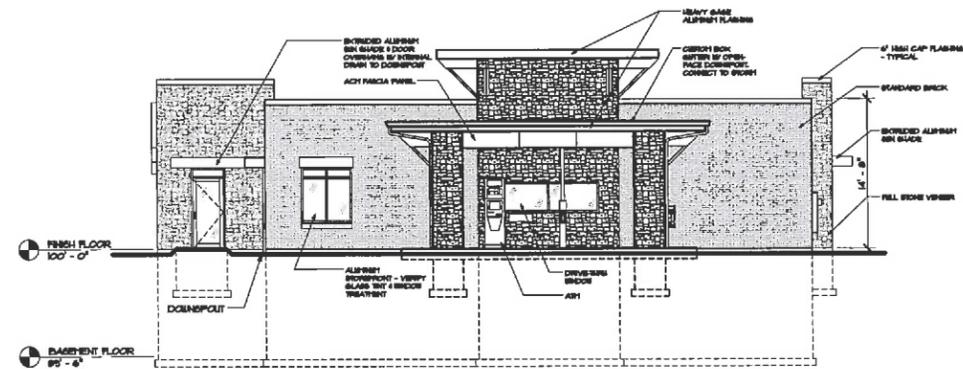
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PROPOSED BUILDING FOR:

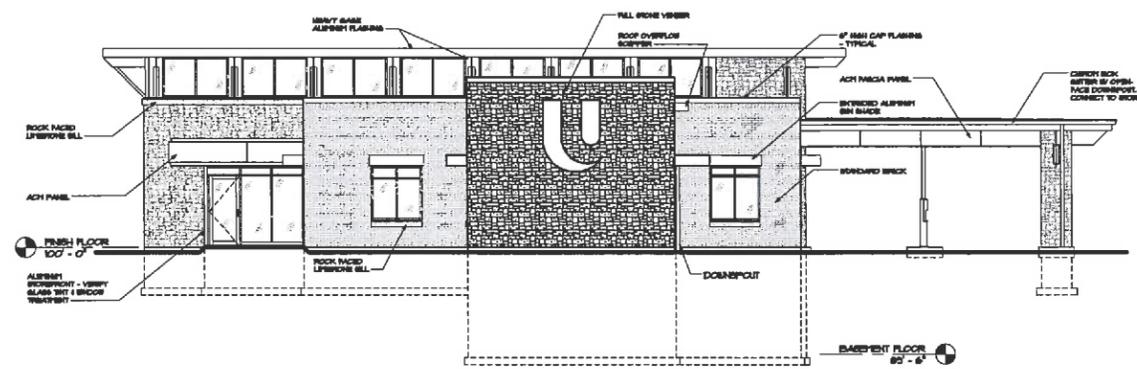
UNISON CREDIT UNION

WISCONSIN

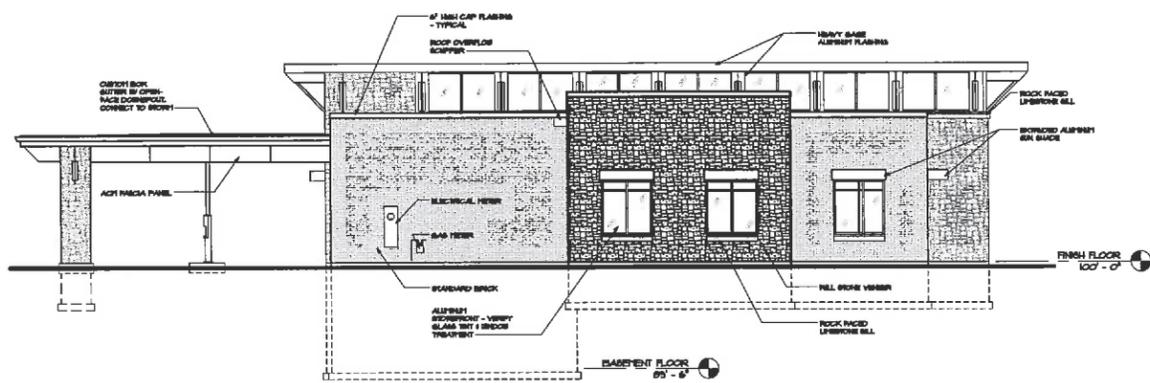
APPLETON,



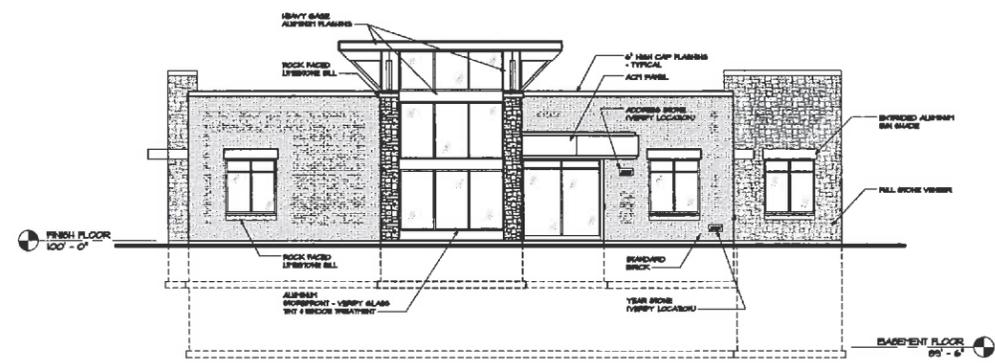
NORTH ELEVATION
 1/8" = 1'-0"



EAST ELEVATION
 1/8" = 1'-0"



WEST ELEVATION
 1/8" = 1'-0"



SOUTH ELEVATION
 1/8" = 1'-0"

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REVISIONS	
R3	07.25.2016 ACH
R4	08.10.2016 ACH
R1	05.13.2016 TDP
R2	06.17.2016 TDP

PROJECT MANAGER:	J. ELRICK
DESIGNER:	B. KLEBBIG
DRAWN BY:	TDP
EXPECITOR:	---
SUPERVISOR:	---
PRELIMINARY NO:	P1614B
CONTRACT NO:	---
DATE:	06.08.2016
SHEET:	A2.0

PRELIMINARY - NOT FOR CONSTRUCTION



Keller

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FAX (608) 318-2337

WAUSAU
5695 Lac Ave.
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www.kellerbuilds.com

PROPOSED BUILDING FOR: UNISON CREDIT UNION

WISCONSIN

APPLETON,

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REVISIONS	
R3	07.29.2016 AC1
R4	08.10.2016 AC1
R1	06.13.2016 TDP
R2	06.17.2016 TDP

PROJECT MANAGER: J. ELRICK

DESIGNER: S. KLESBKG

DRAWN BY: TDP

EXPECITOR:

SUPERVISOR:

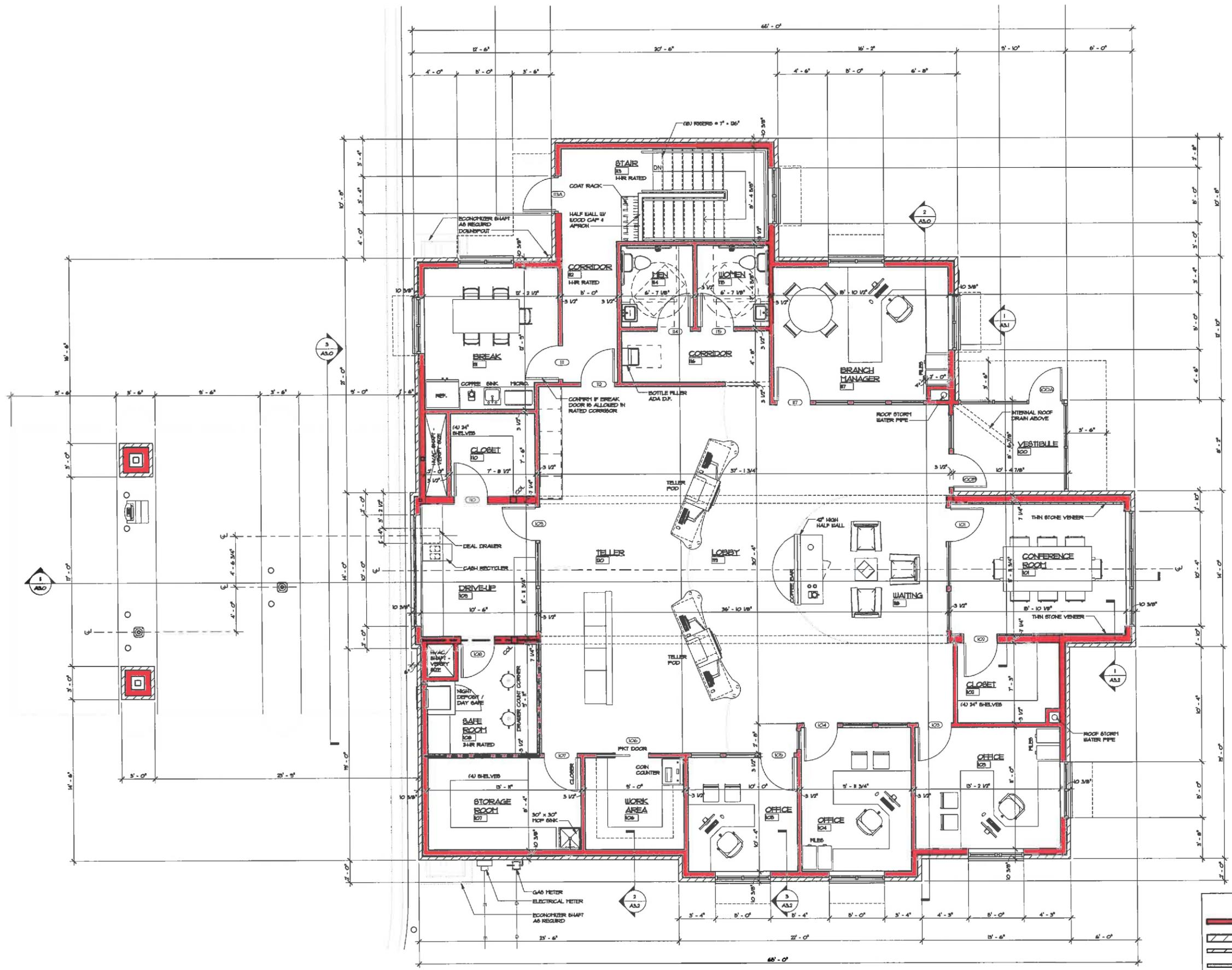
PRELIMINARY NO: P16145

CONTRACT NO:

DATE: 4.17.2014

SHEET: A1.1

PRELIMINARY - NOT FOR CONSTRUCTION

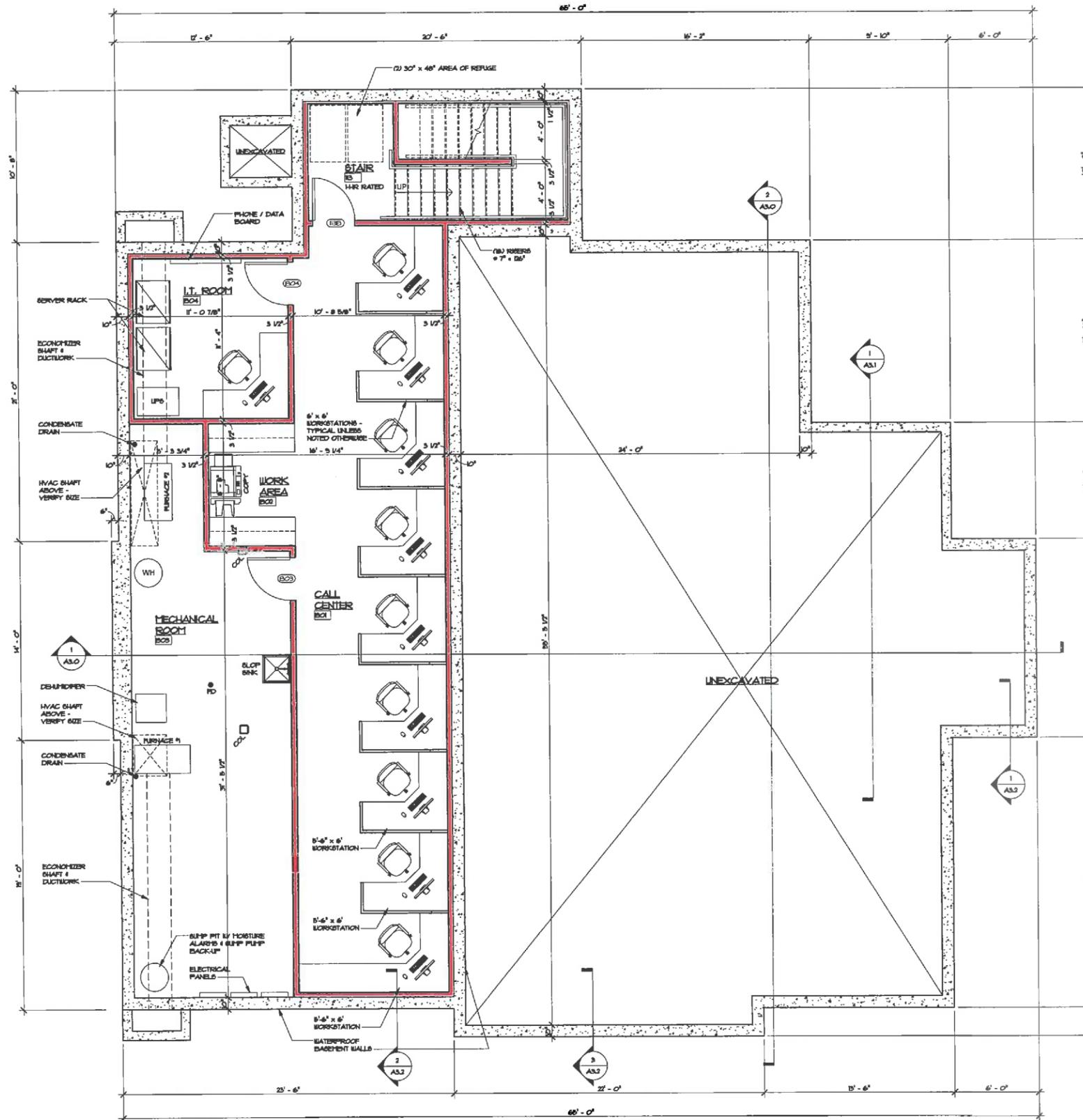


NORTH

FLOOR PLAN
 1/4" = 1'-0"
 3/16" BF

WALL KEY

	NEW WALL/FURRING
	NEW CMU WALL
	NEW MASONRY VENEER
	TYPICAL EXISTING WALL
	EXISTING CMU WALL
	DEMO WALLS



NORTH
BASEMENT FLOOR
1/4" = 1'-0" 1376 SF

WALL KEY	
	NEW WALL/FURRING
	NEW CMU WALL
	NEW MASONRY VENEER
	TYPICAL EXISTING WALL
	EXISTING CMU WALL
	EXISTING WALLS

Keller
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PROPOSED BUILDING FOR:
UNISON CREDIT UNION
APPLETON, WISCONSIN

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PRELIMINARY - NOT FOR CONSTRUCTION

REVISIONS	
R3	07.25.2016 ACM
R4	08.10.2016 ACM
R1	08.13.2016 TDP
R2	08.17.2016 TDP

PROJECT MANAGER:	J. ELRICK
DESIGNER:	S. KLEBBIG
DRAWN BY:	TDP
EXPECTOR:	—
SUPERVISOR:	—
PRELIMINARY NO.:	P1646
CONTRACT NO.:	—
DATE:	07/25/16
SHEET:	A1.0

**Town of Grand Chute
Site Plan Sign Amendment Review
Navitus Health Solutions LLC, dba Navitus Health Solutions**

To: Plan Commission

From: Michael Patza, Town Planner

Date: September 15, 2016

Address: 1025 W. Navitus Drive

App. #: SPA1-17-15

A. REQUEST

- 1. Proposed Use(s):** Continued office/call center use
- 2. Project Description:** Install new monument sign
- 3. Plat/CSM Accurate parcel lines/lot recorded:** Yes.

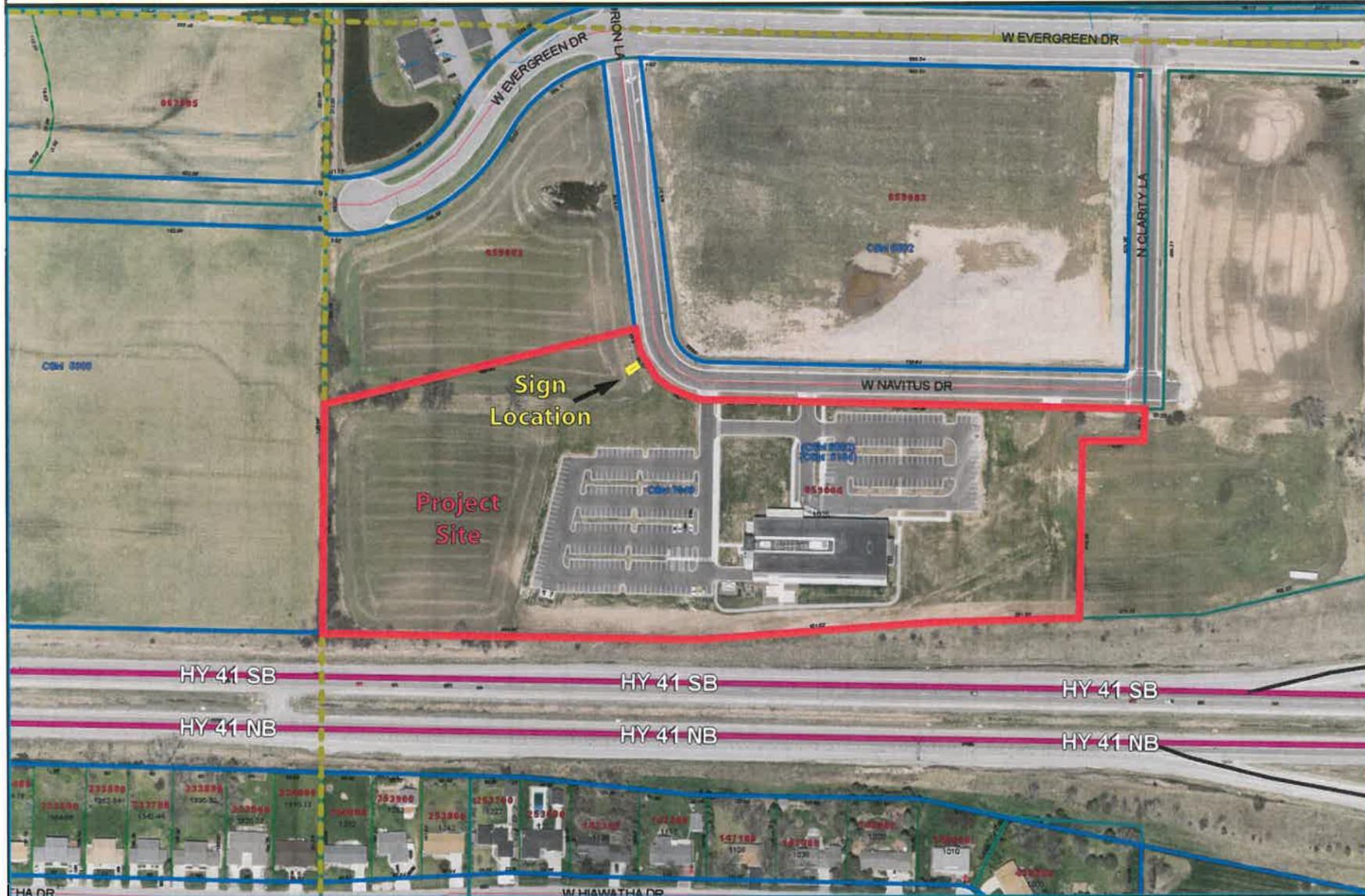
B. ANALYSIS

Applicant seeks approval for a new monument sign at the entry of the new office building addition. The sign will be 4'-6" in height and 9 sq. ft. in size. All code requirements are met with this request.

C. RECOMMENDATION

Staff has reviewed and supports Plan Commission approval of the Site Plan Amendment (SPA1-17-15) requested by Navitus Health Solutions LLC, dba Navitus Health Solutions, 1025 W. Navitus Drive, for installation of a new monument sign.

SPA1-17-15 -- 1025 W. Navitus Drive



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CLIENT:	NAVITUS
STREET ADDRESS:	1025 W NAVITUS DR
CITY / STATE:	GRAND CHUTE, WI
SCOPE:	2016 - EXTERIOR SIGNAGE
DATE:	8/5/16
SALES:	JOSH TURKOW
DESIGNER:	MIKE FRASSETTO

GENERAL SPECIFICATIONS

VOLTAGE:	
POWER DRAW:	
SQUARE FOOTAGE:	

COLOR SCHEDULE

1	PAINT SATIN BLACK
2	PAINT LIGHT GREY OF BUILDING - TBD

REQUIRED ITEMS

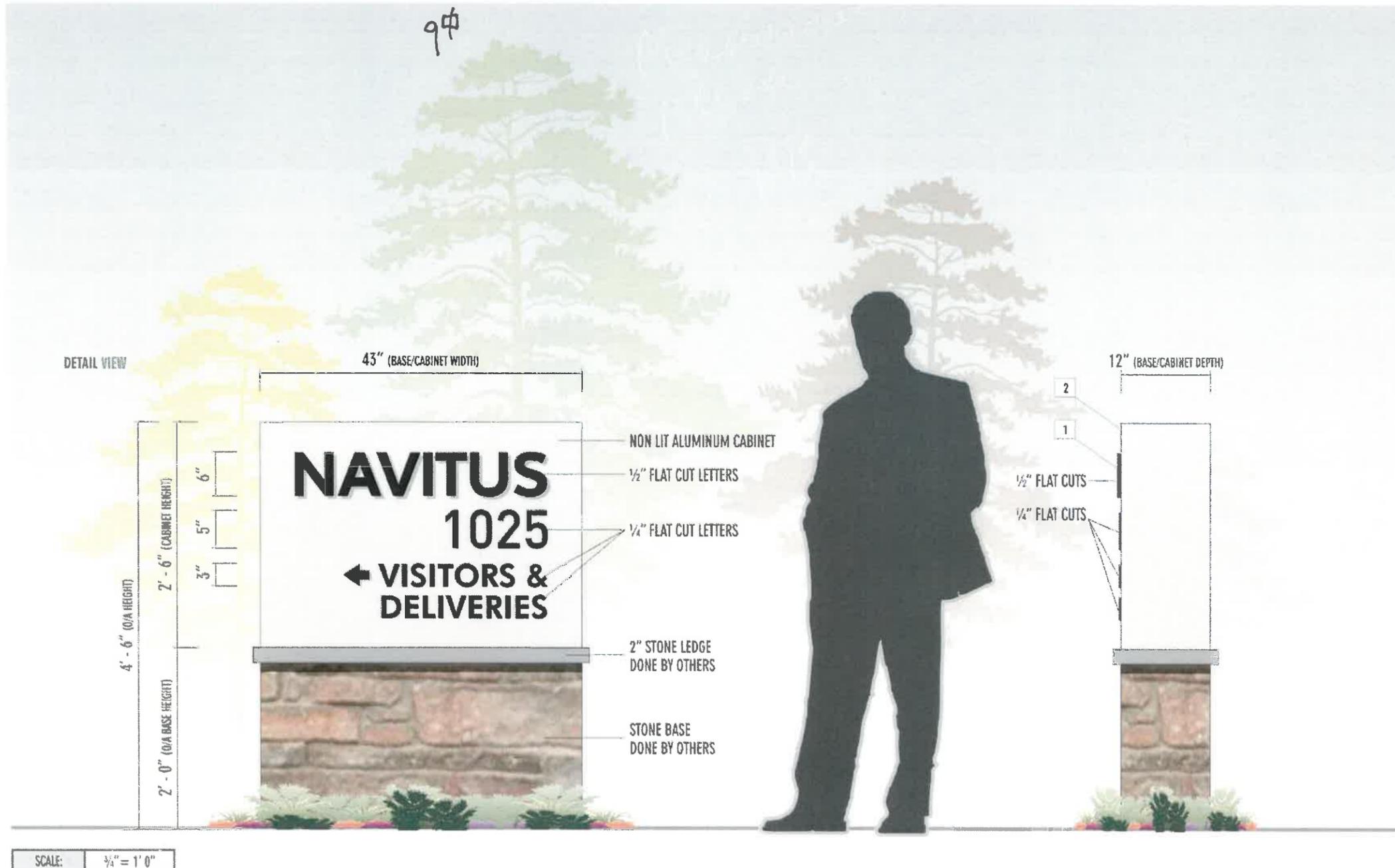
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MISC. ITEMS?	

REVISION SCHEDULE

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OPT. #1

9907

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