



**PLAN COMMISSION AGENDA**  
Thursday, January 3, 2019 - 6:00 pm  
Town Hall - 1900 W. Grand Chute Blvd.

1. Roll Call.
2. Pledge of Allegiance.
3. Approval of Agenda.
4. Approval of Minutes – December 18, 2018 meeting.
5. Public Input.
6. Community Development Director's Report.
7. **Grand Chute Official Map 2018 Amendment** (*Deferred from December 18, 2018 Plan Commission meeting*) – **Action:** Recommend approval/denial of the 2018 amendments to Grand Chute Official Map. (*Ordinance O-01-2019*). (TOWN BOARD ACTION 1/3/2019).
8. **Certified Survey Map (CSM-01-19)** – Request by Robert H. and Gladys M. Ebben Revocable Trust, 5300 and 5510 N. McCarthy Road, for approval of a lot consolidation CSM with roadway dedication. **Action:** Recommend approval/denial of CSM-01-19. (TOWN BOARD ACTION 1/15/2019).
9. **Site Plan (SP-01-19)** – Request by Storage Shop USA, 2145 W. Pershing Street, for construction of nine (9) commercial storage/workshop buildings and associated site improvements. **Action:** Approve/deny SP-01-19.
10. Adjournment.

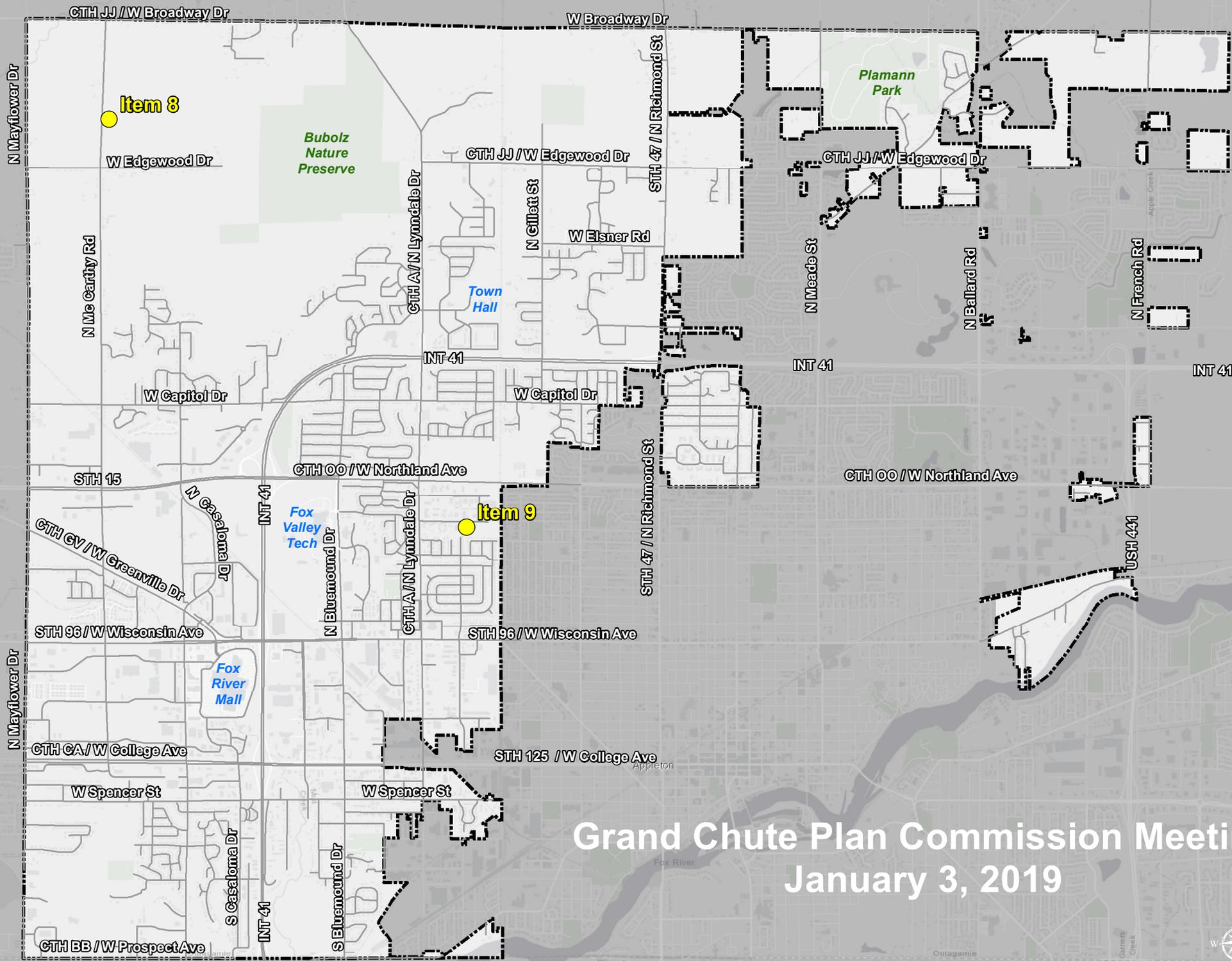
---

**Public Notice:** Agendas are posted in the following locations: Town Hall bulletin boards & Town website [www.grandchute.net](http://www.grandchute.net)  
2015 Wisconsin Act 79 allows the publication of certain legal notices on an Internet site maintained by a municipality. This law allows these types of legal notices to be posted in one physical location in the jurisdiction (instead of three) if also placed on an Internet site maintained by the local government.

**Special Accommodations:** Requests from persons with disabilities who need assistance to participate in this meeting should be made to the Clerk's Office at (920-832-5644) with at least 24-hour notice.

**Notice of Possible Quorum:** A quorum of the Town Board, Sanitary Districts, Board of Review, Community Development Authority, Licensing Committee, Parks Commission, Joint Review Board, Zoning Board of Appeals and/or Police and Fire Commission may be present at this meeting for the purpose of gathering information and possible discussion on items listed on this agenda. However, unless otherwise noted in this agenda, no official action by the Town Board, Sanitary Districts, Board of Review, Community Development Authority, Licensing Committee, Parks Commission, Joint Review Board, Zoning Board of Appeals and/or Police and Fire Commission will be taken at this meeting.

---



# Grand Chute Plan Commission Meeting January 3, 2019



## GRAND CHUTE PLAN COMMISSION MINUTES

December 18, 2018

Members Present: Chairman Dave Schowalter, Commissioner Bruce Sherman, Robert Stadel, Julie Hidde, Pam Crosby, Duane Boeckers, Cheryl Ulrich. Members Absent: Commissioner John Weber.

Also Present: James March, Town Administrator; Bob Heimann, IT Director; Brent Braun, IT Support; Katie Schwartz, Public Works Director; Karen Heyrman, Deputy Public Works Director; Robert Buckingham, Community Development Director; Michael Patza, Town Planner; interested parties (audience attendance = 7)

1. **ROLL CALL**

Chairman Schowalter opened the meeting at 6:00 p.m.

2. **PLEDGE OF ALLEGIANCE**

3. **APPROVAL OF AGENDA**

**Motion (Sherman/Boeckers) to approve the agenda.** Motion carried, all voting aye.

4. **APPROVAL OF MINUTES** – DECEMBER 4, 2018 MEETING.

**Motion (Hidde/Crosby) to approve the minutes.** Motion carried, all voting aye.

5. **PUBLIC INPUT** – There was no public input.

6. **COMMUNITY DEVELOPMENT DIRECTOR'S REPORT**

Director Buckingham noted that the 2019 Meeting Schedule/Deadline has been placed in Dropbox and on the Town website. He also reminded Commissioners that the next Plan Commission meeting will be held on Thursday, January 3, 2019.

7. **NEIGHBORHOOD INFORMATION MEETING #1** – CONDITIONAL USE PERMIT REQUESTED BY TOWN OF GRAND CHUTE TO ALLOW GRADING AND FILLING ASSOCIATED WITH THE INSTALLATION OF CULVERTS FOR THE RECONSTRUCTION OF W. ELSNER ROAD.

Chairman Schowalter opened Neighborhood Information Meeting #1 at 6:03 p.m. There was no input.

**Motion (Hidde/Sherman) to close Neighborhood Information Meeting #1 at 6:03 p.m.** Motion carried, all voting aye.

8. **CONDITIONAL USE PERMIT (CUP-11-18)** – REQUEST BY TOWN OF GRAND CHUTE TO ALLOW GRADING AND FILLING ASSOCIATED WITH THE INSTALLATION OF CULVERTS FOR THE RECONSTRUCTION OF W. ELSNER ROAD.

**Motion (Crosby/Ulrich) to approve the Conditional Use Permit (CUP-11-18) requested by the Town of Grand Chute to allow grading and filling associated with the installation of culverts for the reconstruction of W. Elsner Road.** Motion carried, all voting aye.

9. **PUBLIC HEARING #1** – GRAND CHUTE OFFICIAL MAP 2018 AMENDMENTS.

Chairman Schowalter opened Public Hearing #1 at 6:05 p.m. There was no public input.

**Motion (Crosby/Hidde) to close Public Hearing #1 at 6:05 p.m.** Motion carried, all voting aye.

10. **GRAND CHUTE OFFICIAL MAP 2018 AMENDMENTS**

**Motion (Sherman/Crosby) to defer action until the January 3, 2019 meeting.** Motion carried, all voting aye.

11. **SITE PLAN (SP-21-18)** – REQUEST BY MCCAIN FOODS USA INC., DBA MCCAIN FOODS USA, 651 N. HICKORY FARM LANE, FOR INSTALLATION OF A MODULAR PILOT FACILITY PLANT AND ASSOCIATED SITE IMPROVEMENTS.

Planner Patza stated this will be a free-standing pilot facility, placed on existing paved surface at the north side of the existing building.

**Motion (Hidde/Sherman) to approve the Site Plan (SP-21-18) requested McCain Foods USA Inc., dba McCain Foods USA, 651 N. Hickory Farm Lane, for installation of a modular pilot facility plant and associated site improvements. Motion carried, all voting aye.**

12. **SITE PLAN (SP-22-18)** – REQUEST BY FORE DREAMS, LLC, DBA CULVER'S RESTAURANT, 850 W. EVERGREEN DRIVE, FOR CONSTRUCTION OF A NEW RESTAURANT AND ASSOCIATED SITE IMPROVEMENTS.

**Motion (Sherman/Hidde) to approve the Site Plan (SP-22-18) requested Fore Dreams, LLC, dba Culver's Restaurant, 850 W. Evergreen Drive, for construction of a new restaurant and associated site improvements, subject to: (1) Town Engineer approval of drainage and erosion control plans; and, (2) Staff approval of a Landscape Plan. Motion carried, all voting aye.**

13. **SITE PLAN (SP-23-18)** – REQUEST BY COUNTRYSIDE VETERINARY SERVICES, ON PROPERTY AT 4105/4221 N. RICHMOND STREET (FUTURE GALAXY DRIVE ADDRESS), FOR CONSTRUCTION OF A VETERINARY CLINIC, ATTACHED COMMERCIAL TENANT SUITES, AND ASSOCIATED SITE IMPROVEMENTS.

**Motion (Crosby/Ulrich) to approve the Site Plan (SP-23-18) requested CountrySide Veterinary Services, on property at 4105/4221 N. Richmond Street (future Galaxy Drive address), for construction of a veterinary clinic, attached commercial tenant suites, and associated site improvements, subject to: (1) Staff approval of a land division CSM; (2) Town Engineer approval of drainage and erosion control plans; and, (3) Staff approval of Site Lighting and Landscape Plans. Motion carried, all voting aye.**

14. **SITE PLAN AMENDMENT (SPA3-38-01)** – REQUEST BY RIDGEVIEW CENTER, LLC, RIDGEVIEW HIGHLANDS VI, LLC, AND RIDGEVIEW HIGHLANDS VII, LLC, 650-664 W. RIDGEVIEW DRIVE, FOR A PARKING LOT EXPANSION AND ASSOCIATED SITE IMPROVEMENTS.

**Motion (Hidde/Sherman) to approve the Site Plan Amendment (SPA3-38-01) requested Ridgeview Center, LLC, Ridgeview Highlands VI, LLC, & Ridgeview Highlands VII, LLC, 650-664 W. Ridgeview Drive, for parking lot expansion and associated site improvements. Motion carried, all voting aye.**

15. **CERTIFIED SURVEY MAP (CSM-20-18)** – REQUEST BY LYNDA R. SALAMAN AND VALLEY INVESTMENTS LLC, 2101 AND 2221 N. OLDE CASALOMA DRIVE, FOR APPROVAL OF A TWO-LOT CSM WITH ROADWAY DEDICATION.

**Motion (Ulrich/Crosby) to recommend approval of the Certified Survey Map (CSM-20-18) requested by Lynda R. Salaman and Valley Investments, LLC, 2101 and 2221 N. Olde Casaloma Drive. Motion carried, all voting aye.**

16. ADJOURNMENT.

**Motion (Sherman/Boeckers) to adjourn the meeting at 6:16 p.m. Motion carried, all voting aye.**

Respectfully Submitted,

Tracy Olejniczak  
Com. Dev. Admin. Asst.

**To:** Chairman Schowalter and Plan Commission members  
**From:** Robert Buckingham, Community Development Director  
**Date:** December 13, 2018  
**Subject:** 2018 Official Map Amendments

---

## **BACKGROUND**

The 2018 amendments to the Town Official Map are presented for your consideration. The changes noted on the map reflect the outcome of actions taken during the course of this year. The attached Ordinance O-01-2019 will be the method for approving the amendments to the Official Map. An explanation of each proposed change follows:

- A-1 Extension of Harmony Lane per CSM No. 7529.** This CSM provided the dedication of right-of-way for the extension of Harmony Lane and the creation of a new residential lot.
- A-2 Name change from Whispering Groves Park to Maple Edge Park.** The new neighborhood park in the Whispering Groves subdivision was renamed after the street on which it is located.
- A-3 Hunters Lane cul-de-sac and roadway reservation changes.** The cul-de-sac end of this road was reconfigured and a roadway reservation for future extension of Hunters Lane was removed from the Official Map.
- A-4 Establish street reservations for W. Champion Drive and N. Silverspring Drive.** These future roadways (construction in 2019) will provide access from McCarthy Road and Greenville Drive to the Fox Cities Champion Center and surrounding properties.
- A-5 N. Westhill Boulevard street extension.** The redevelopment of the former National Envelope Corp. site (Wisconsin Ave & I41) prompted the reconstruction of the Wisconsin/Westhill intersection, including dedication of right-of-way for extension of Westhill Blvd. north of Wisconsin Avenue.
- A-6 Changed directional prefix for Forestbrook Lane.** For uniformity with the Town's street grid, the directional prefix for this private road was changed from "N." to "S."
- A-7 W. Evergreen Dr. street reservation.** This street reservation extends Evergreen Drive from its current terminus west of Gillet Street, to a future intersection with Grand Chute Blvd. The portion of this future roadway located east of the CN rail line is scheduled for construction in 2019. Pending the outcome of a petition to allow a railroad crossing the remaining portion of the roadway, to Grand Chute Blvd., would be constructed at some future time.
- A-8 Naming of STH 47 frontage road as N. Galaxy Drive and partial roadway dedication.** This frontage road will extend from Evergreen Drive to CTH JJ in the future. CSM 7662 provided for the dedication of a portion of this road north from Evergreen Drive (construction in 2019). The official name of this roadway is established as N. Galaxy Drive.
- A-9 through A-12 Leeman, Apple Ridge, E. Edgewood, North Edgewood Annexations.** Municipal boundary changes are mapped to reflect four annexations to Appleton in the northeast corner of the Town.

## **RECOMMENDATION**

**Staff supports a Plan Commission recommendation for Town Board adoption of Ordinance O-01-2019, amending the Town of Grand Chute Official Map.**

TOWN OF GRAND CHUTE

ORDINANCE, SERIES OF O-01-2019

AN ORDINANCE AMENDING THE TOWN OF GRAND CHUTE OFFICIAL MAP ESTABLISHED AND ADOPTED IN CHAPTER 475 OF THE MUNICIPAL CODE OF THE TOWN OF GRAND CHUTE, OUTAGAMIE COUNTY, WISCONSIN.

WHEREAS, Chapter 476 of the Town of Grand Chute Municipal Code provides for adoption of an Official Map, pursuant to Section 62.23 of the Wisconsin Statutes; and,

WHEREAS, it is necessary to amend said Official Map periodically in order to show new streets, and to amend or add planned future street extensions.

NOW THEREFORE BE IT ORDAINED by the Town Board of Supervisors of the Town of Grand Chute, Outagamie County, Wisconsin, that the Official Map is hereby amended as shown on the attached Exhibit "A". Said Exhibit "A" is available for viewing at the Community Development Department of the Town of Grand Chute, and on the Town's web site.

If any provision of this ordinance is invalid or unconstitutional, or the application of this ordinance to any person or circumstance is invalid or unconstitutional, such invalidity or unconstitutionality shall not affect the above provisions or applications of this ordinance, which can be given effect without the invalid or unconstitutional provision, or its application.

Approved and adopted this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Town of Grand Chute

Number Voted For \_\_\_\_\_  
Number Voted Against \_\_\_\_\_

\_\_\_\_\_  
David A. Schowalter  
Town Chairman

\_\_\_\_\_  
Angie Cain  
Town Clerk

Approved as to form:

\_\_\_\_\_  
Charles Koehler, Attorney  
Herrling Clark Law Offices  
800 N. Lynndale Drive  
Grand Chute, WI 54914



**Town of Grand Chute  
Certified Survey Map Review  
Robert H. and Gladys M. Ebben Revocable Trust**

---

**To: Plan Commission**

**From: Michael Patza, Town Planner**

**Date: December 27, 2018**

**Address: 5300 & 5510 N. McCarthy Road**

**App. #: CSM-01-19**

---

**REQUEST**

The CSM will consolidate the four existing parcels into two lots of 5.03 acres and 63.52 acres respectively. The CSM provides dedication of 33' of road right-of-way along N. McCarthy Road. Because of the R/W dedication, this CSM needs Plan Commission and Town Board approval.

**ANALYSIS**

All of the property included in the CSM is zoned AGD General Agricultural District. An existing single-family residential home and accessory buildings are located on Lot 1. The land on Lot 2 is used for agricultural crop production. The CSM meets all Town requirements for division of land.

**RECOMMENDATION**

Staff has reviewed and supports a Plan Commission recommendation for approval of the Certified Survey Map (CSM-01-19) requested by Robert H. and Gladys M. Ebben Revocable Trust, 5300 & 5510 N. McCarthy Road.



**Town of Grand Chute  
Site Plan Review  
Storage Shop USA**

---

**To:** Plan Commission  
**From:** Michael Patza, Town Planner  
**Date:** December 27, 2018  
**Address:** 2145 W. Pershing Street

**App. #: SP-01-19**

---

**REQUEST**

- 1. Proposed Use(s):** Commercial storage/self-storage use.
- 2. Project Description:** Construction of nine (9) commercial storage/workshop buildings and associated site improvements.
- 3. Plat/CSM Accurate parcel lines/lot recorded:** Yes – pending approval of a lot reconfiguration CSM.

**ANALYSIS**

Applicant proposes the construction of nine (9) new commercial storage buildings, each approximately 2,500 sq. ft. in size. The buildings will have the flexibility of being used as traditional self-storage units or occupied by commercial contractors/businesses to meet their storage needs. Each building will have the ability to be split into two separate units, and each unit will have the option of including a small office area and restrooms. The building exterior will feature a combination of brick and pre-engineered wood siding, which meets the architectural requirements outlined in the Zoning Code.

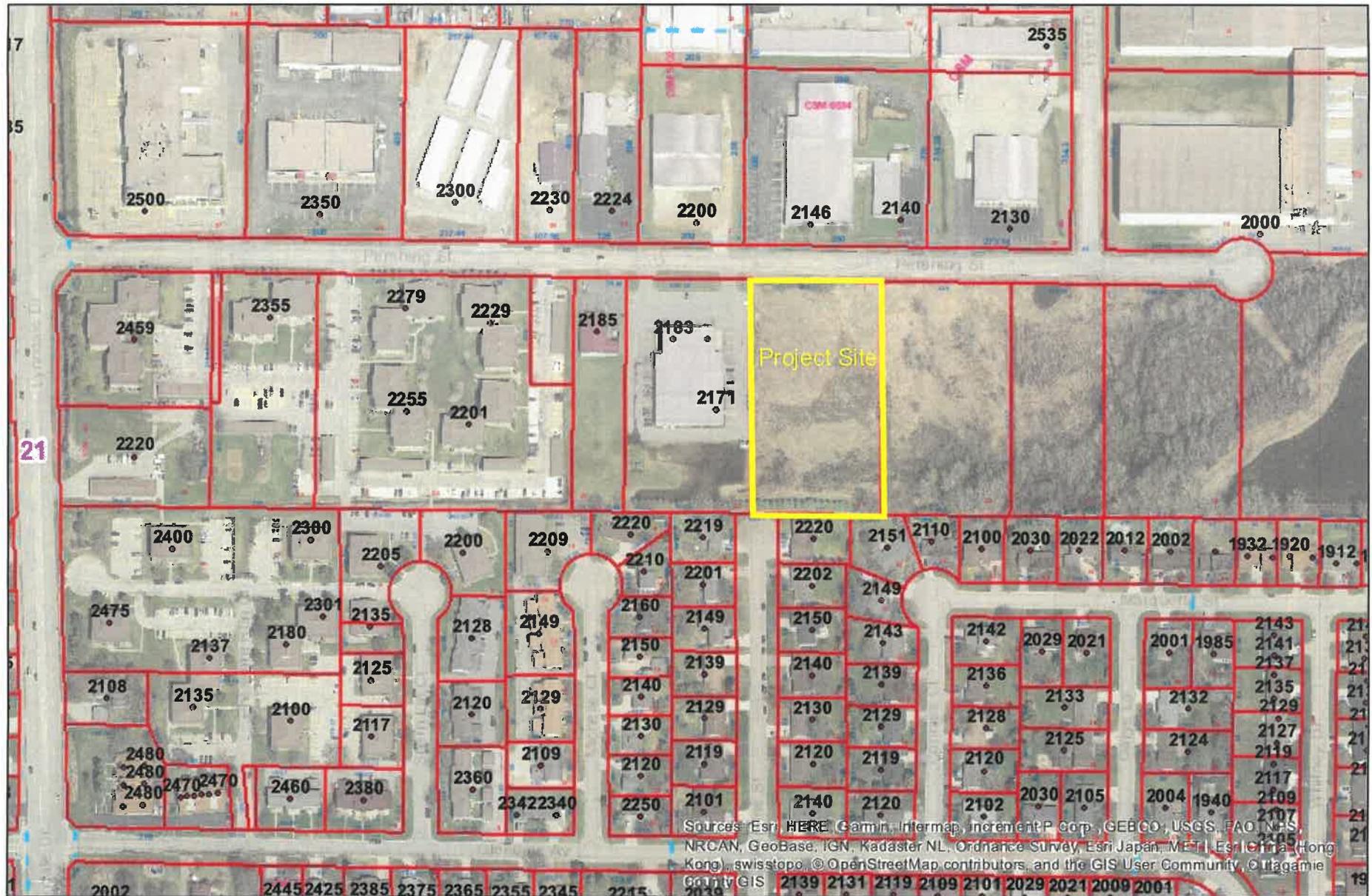
The Stormwater Management Plan for the project utilizes a small area of porous asphalt in combination with storm sewer and overland flow to direct runoff to a drainage swale on the north side of the property. The swale will direct runoff east to the existing Pershing Street retention pond. A Drainage Easement will be established across the vacant property to the east to accommodate the drainage way. The Pershing Street pond was designed to treat stormwater for this undeveloped property and the commercial and industrial properties north of W. Pershing Street. The Stormwater Management and Erosion Control Plans are under review by the Town Engineer and their approval is a condition of Site Plan approval.

A wetland delineation was conducted on the property prior to site design. The delineation identified two small pockets of wetlands on the north and south ends of the property. Both wetland pockets met the necessary criteria for artificial wetlands and were classified as exempt by the Wisconsin Department of Natural Resources. A Certified Survey Map (CSM) will be submitted to reconfigure the existing parcels to accommodate the proposed development. Staff approval of the CSM is a condition of Site Plan approval. The Landscape Plan has been approved by staff. The Site Lighting Plan is under review and staff approval is a condition of Site Plan approval. The pylon sign associated with the new development is included in the Site Plan approval. Located along the W. Pershing Street frontage, the sign will be 5' in height and 14 sq. ft. in size. All other code requirements are met with this request.

**RECOMMENDATION**

**Staff has reviewed and supports Plan Commission approval of the Site Plan (SP-01-19) requested by Storage Shop USA, 2145 W. Pershing Street, for construction of nine (9) commercial storage/workshop buildings and associated site improvements subject to: (1) Town Engineer approval of the Stormwater Management and Erosion Control Plans; (2) staff approval of a lot reconfiguration CSM; and, (3) staff approval of the Site Lighting Plan.**

# SP-01-19 -- 2145 W. Pershing Street

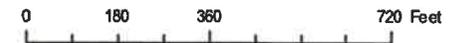


Sources: Esri, HERE, Garmin, Intermap, increment P. corp., GEBCO, USGS, FAO, NPS, NRCAN, Geobase, IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), swisstopo, © OpenStreetMap contributors, and the GIS User Community, © Itagami County GIS

**Disclaimer:** The data provided in the Town of Grand Chute Interactive GIS Map was generated from multiple sources and agencies. Every effort has been made to offer the most accurate data. However, the Town provides this information with the understanding that it is not guaranteed to be accurate, correct, or complete. The Town may make improvements to the Interactive GIS Map periodically. Conclusions drawn from this information are the responsibility of the user. The user agrees that the Town of Grand Chute shall not be held responsible for actions, claims, damages, or judgments made from this data.

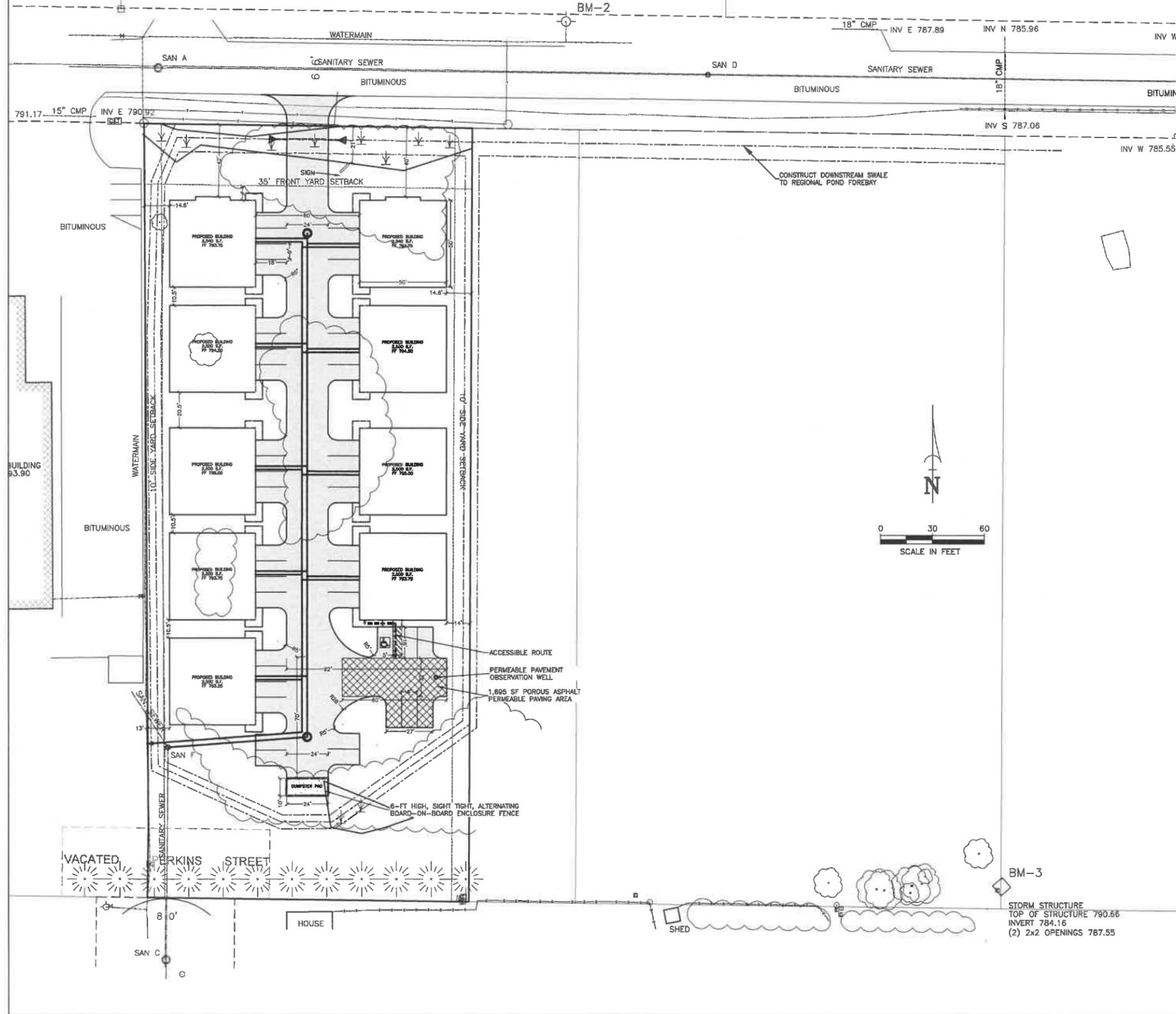
Author: Town of Grand Chute web viewer

Copyright: Town of Grand Chute



# SITE PLAN

PERSHING STREET



### ZONING DATA

CURRENT ZONING DISTRICT:  
CL - LOCAL COMMERCIAL DISTRICT

### BUILDING SETBACKS

MINIMUM FRONT YARD SETBACK: 35 FEET  
MINIMUM SIDE YARD SETBACK: 10 FEET  
MINIMUM REAR YARD SETBACK: 25 FEET

### PARKING CALCULATIONS

REQUIREMENTS OF CODE 535-49

### LANDSCAPING REQUIREMENTS

REQUIREMENTS OF CODE 535-37

### SITE DATA

LOT AREA = 83,682 SF (1.921 AC)

### LOT PROJECT AREA

EXIST OPEN SPACE = 83,682 SF (1.921 AC)  
EXIST IMPERVIOUS AREA = 0 SF (0.00 AC)  
EXIST IMPERVIOUS PERCENTAGE = 0.00%

PROP IMPERVIOUS PVMT = 19,307 SF (0.443 AC)  
PROP PERMEABLE PVMT = 1,695 SF (0.039 AC)  
PROP ROOFTOP = 20,885 SF (0.478 AC)  
PROP OPEN SPACE = 41,759 SF (0.959 AC)  
PROP IMPERVIOUS PERCENTAGE = 48.03%

### NRCS SOILS

GrB-GRAYS SILT LOAM  
HYDROLOGIC SOIL TYPE B.

### SITE/PROJECT INFORMATION

PROPERTY ADDRESS:  
WEST PERSHING STREET  
PARCEL NUMBER: 102289200

### APPLICANT:

STORAGE SHOP USA  
ATTN: GREG THOMPSON  
6810 CROSS COUNTRY ROAD  
VERONA, WI 53593  
(608) 444-1515  
ssuso@tds.net

### ENGINEER:

MARTENSON & EISELE, INC.  
ATTN: JACK RICHESON, P.E.  
1377 MIDWAY ROAD  
MENASHA, WI 54952  
jockr@martenson-eisele.com  
PHONE: 920-731-0381

### PROJECT ARCHITECT:

CONCEPTS IN ARCHITECTURE, LLC  
ATTN: JEFFERY GROENIER  
W125 AMIDON ROAD  
BROOKLYN, WI 53521  
608-698-3196

### BUILDING SIZE

PROPOSED BUILDINGS:  
FRONT TWO BUILDINGS: 2,540 SF  
OTHER BUILDINGS: 2,500 SF

### LEGAL DESCRIPTION

LOCATED IN THE SOUTHWEST 1/4  
OF THE NORTHEAST 1/4 OF  
SECTION 21, T 21 N, R 17 E, IN  
THE TOWN OF GRAND CHUTE,  
OUTAGAMIE COUNTY, WISCONSIN

### SITE PLAN NOTES

- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL TOWN OF GRAND CHUTE REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
- ALL DISTURBED AREAS ARE TO RECEIVE FOUR INCHES OF TOPSOIL, SEED, MULCH AND WATER UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED.
- ALL DIMENSIONS ARE TO THE EDGE OF BUILDING OR FACE OF CURB.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
- NO HAZARDOUS MATERIALS WILL BE STORED ON SITE.
- ALL STOP SIGNS SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE FEDERAL HIGHWAY ADMINISTRATION M.U.T.C.D. LATEST VERSION.
- THE CONTRACTOR AND/OR OWNER SHALL NOT PROCEED WITH LAND DISTURBING ACTIVITIES PRIOR TO RECEIVING WRITTEN NOTICE TO PROCEED FROM THE ENGINEER.
- NO OUTDOOR STORAGE OR DISPLAY IS PROPOSED.

### SITE PLAN LEGEND

	EXISTING CONTOUR		PROP F/L ELEVATION
	PROPOSED CONTOUR		PERTINENT DITCH OR SWALE ELEVATION
	STORM SEWER MAIN		EXISTING ELEVATION
	STORM MANHOLE		PROPOSED FIRST FLOOR ELEVATION
	2' x 3' PRECAST STORM INLET		DIRECTION OF DRAINAGE

### TOPOGRAPHIC LEGEND

	1' x 18" IRON PIPE SET		OVERHEAD POWER LINES		GAS VALVE
	1-1/4" x 30" REBAR SET		UNDERGROUND ELECTRIC		EXIST. STORM MANHOLE
	CHISELED 1/2" SET		UNDERGROUND TELEPHONE		STORM INLET
	3/4" REBAR FOUND		FIBER UNDERGROUND FIBEROPTIC		YARD DRAIN
	1" IRON PIPE FOUND		UNDERGROUND GAS		EXIST. SANITARY MANHOLE
	1-1/4" REBAR FOUND		UNDERGROUND CABLE TV		EXIST. SAN. SEWER
	2" IRON PIPE FOUND		EXIST. FENCE LINE		EXIST. SIO. SEWER
	CHISELED 3/4" FOUND		SIGN		EXIST. WATER MAIN
	GOVERNMENT CORNER		POWER POLE		EXIST. SPOT ELEVATION
	RECORDED AS		LIGHT POLE		CONTOUR W/ ELEVATION
	CONIFEROUS TREE		ELECTRIC PEDISTAL		EXIST. TOP OF CURB ELEV.
	DECIDUOUS TREE		CABLE PEDISTAL		EXIST. FLOW LINE ELEV.
	EXIST. WOODS LINE		EXIST. HYDRANT		FIRST FLOOR = 000.00
	SOIL BORING		WATER VALVE		TOPSOIL DEPTH
			WATER STOP BOX		INFILTRATION SOIL BORING

**Martenson & Eisele, Inc.**  
Planning  
Environmental  
Surveying  
Engineering  
Architecture

1377 Midway Road  
Menasha, WI 54952  
www.martenson-eisele.com  
info@martenson-eisele.com  
920.731.0381 1.800.236.0381

NO.	DATE	NO.	DATE	NO.	DATE
1	10-25-2018	2	12-5-2018	3	12-10-2018
4	12-13-2018	5	12-21-2018		

**SITE PLAN**

**STORAGE SHOP USA - PERSHING**

TOWN OF GRAND CHUTE, OUTAGAMIE COUNTY, WISCONSIN

SCALE: 10-2-2018  
BAR SCALE: COMPUTER FILE  
1-1174-001de.dwg

DRAWING NO. C1.1

# SITE PLAN-KEY NOTES

PERSHING STREET

BM-2

6'

### PAVEMENT KEY

-  CONCRETE SIDEWALK 1  
C5.1
-  STANDARD PARKING AND DRIVING AREA 3  
C5.1
-  POROUS ASPHALT PAVING AREA 6  
C5.1

### PLAN KEY LEGEND

- ① TYPICAL SIDEWALK SECTION 1  
C5.1
- ② ACCESSIBLE SIGN DETAIL 2  
C5.1
- ③ STANDARD ASPHALT PARKING 3  
C5.1
- ④ SIDEWALK CONTRACTION JOINT 4  
C5.1
- ⑤ SIDEWALK EXPANSION JOINT 5  
C5.1
- ⑥ SANITARY MANHOLE 1  
C5.2
- ⑧ PARKING STALL COUNT

### DIGGERS HOTLINE

TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

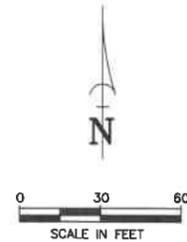
CALL 811 or  
Toll Free 1-800-242-8511  
(262)432-7910

Emergency Only (877) 500-9592  
FAX 1-800-338-3860  
FAX (414) 259-0947  
Hearing Impaired TDD 1-800-542-2289

WS. STATUTE 182.0175 (1974)  
REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE

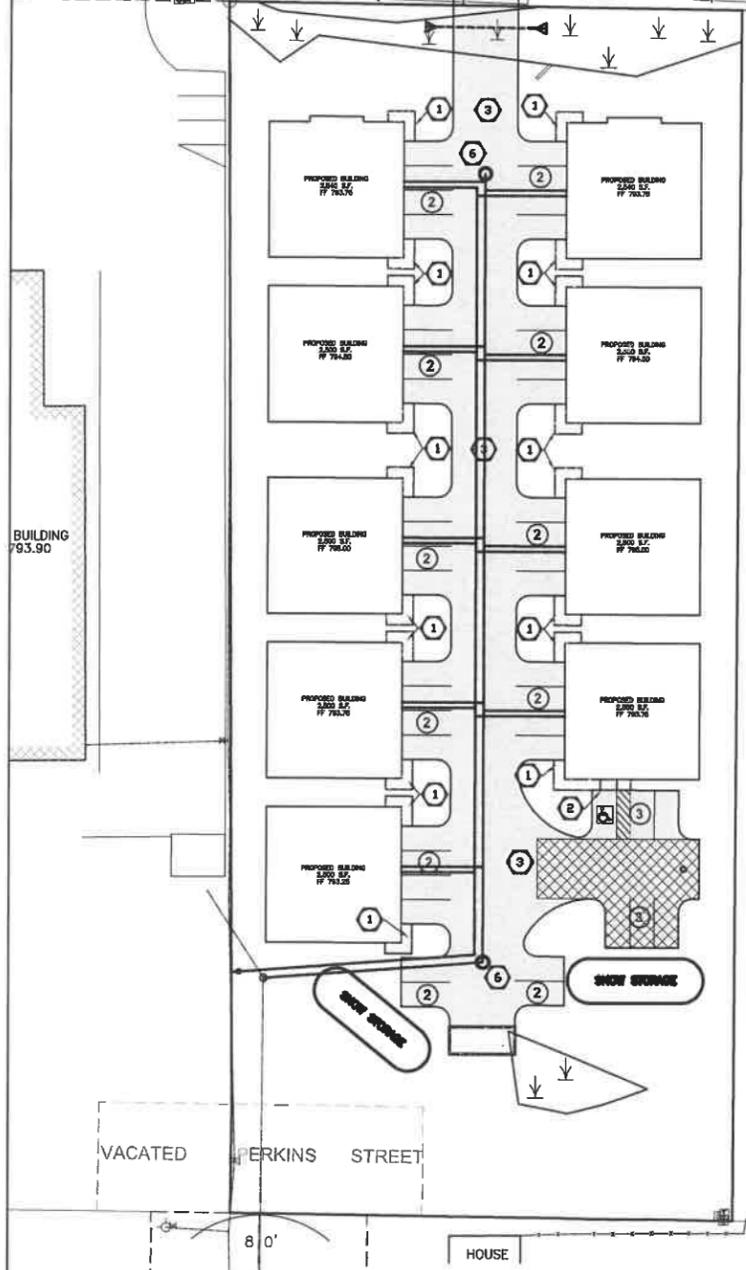
### TOPOGRAPHIC LEGEND

<ul style="list-style-type: none"> <li>■ 1" x 16" IRON PIPE SET</li> <li>▲ 1-1/4" x 30" REBAR SET</li> <li>× CHEELED "X" SET</li> <li>○ 3/4" REBAR FOUND</li> <li>□ 1" IRON PIPE FOUND</li> <li>△ 1-1/4" REBAR FOUND</li> <li>▲ 2" IRON PIPE FOUND</li> <li>● CHEELED "X" FOUND</li> <li>◆ GOVERNMENT CORNER</li> <li>( ) RECORDED AS</li> <li>* CONFERIOUS TREE</li> <li>○ DECIDUOUS TREE</li> <li>( ) EXIST. WOODS LINE</li> <li>⊕ WETLANDS</li> <li>⊙ SOIL BORING</li> </ul>	<ul style="list-style-type: none"> <li>—OH— OVERHEAD POWER LINES</li> <li>—E— UNDERGROUND ELECTRIC</li> <li>—T— UNDERGROUND TELEPHONE</li> <li>—F— UNDERGROUND FIBROPTIC</li> <li>—G— UNDERGROUND GAS</li> <li>—C— UNDERGROUND CABLE TV</li> <li>—X— EXIST. FENCE LINE</li> <li>⊙ SIGN</li> <li>⊙ POWER POLE</li> <li>⊙ GUY</li> <li>⊙ LIGHT POLE</li> <li>⊙ TELEPHONE PEDESTAL</li> <li>⊙ ELECTRIC PEDESTAL</li> <li>⊙ CABLE PEDESTAL</li> <li>⊙ EXIST. HYDRANT</li> <li>⊙ WATER VALVE</li> <li>⊙ WATER STOP BOX</li> </ul>	<ul style="list-style-type: none"> <li>⊙ GAS VALVE</li> <li>⊙ EXIST. STORM MANHOLE</li> <li>⊙ STORM INLET</li> <li>⊙ W/O SIGN</li> <li>⊙ EXIST. SANITARY MANHOLE</li> <li>⊙ EXIST. SAK. SEWER</li> <li>⊙ EXIST. STO. SEWER</li> <li>⊙ EXIST. WATER MAIN</li> <li>⊙ EXIST. SPOT ELEVATION</li> <li>⊙ CONTOUR 1/2' ELEVATION</li> <li>⊙ EXIST. TOP OF CURB ELEV.</li> <li>⊙ EXIST. FLOW LINE SLOPE</li> <li>FF = 000.00 FIRST FLOOR = 000.00</li> <li>⊙ TOPSOIL DEPTH</li> <li>⊙ INFILTRATION SOIL BORING</li> </ul>
---	--	--



BM-3

STORM STRUCTURE  
TOP OF STRUCTURE 790.66  
INVERT 784.15  
(2) 2x2 OPENINGS 787.55



**Martenson & Eisele, Inc.**  
Planning  
Environmental  
Surveying  
Engineering  
Architecture

1377 Midway Road  
Menasha, WI 54952  
www.martenson-eisele.com  
info@martenson-eisele.com  
920.731.0381 1.800.236.0381

DRAWN BY	EAE	CHECKED	JUR	APPROVED	JMS	FIELDWORK	
						NO.	DATE
** REFER TO COVER SHEET FOR REVISION DESCRIPTIONS **						NO.	DATE
1						1	10-25-2018
2						2	12-5-2018
3						3	12-10-2018
4						4	12-13-2018
5						5	12-21-2018

**SITE PLAN - KEY NOTES**

**STORAGE SHOP USA - PERSHING**

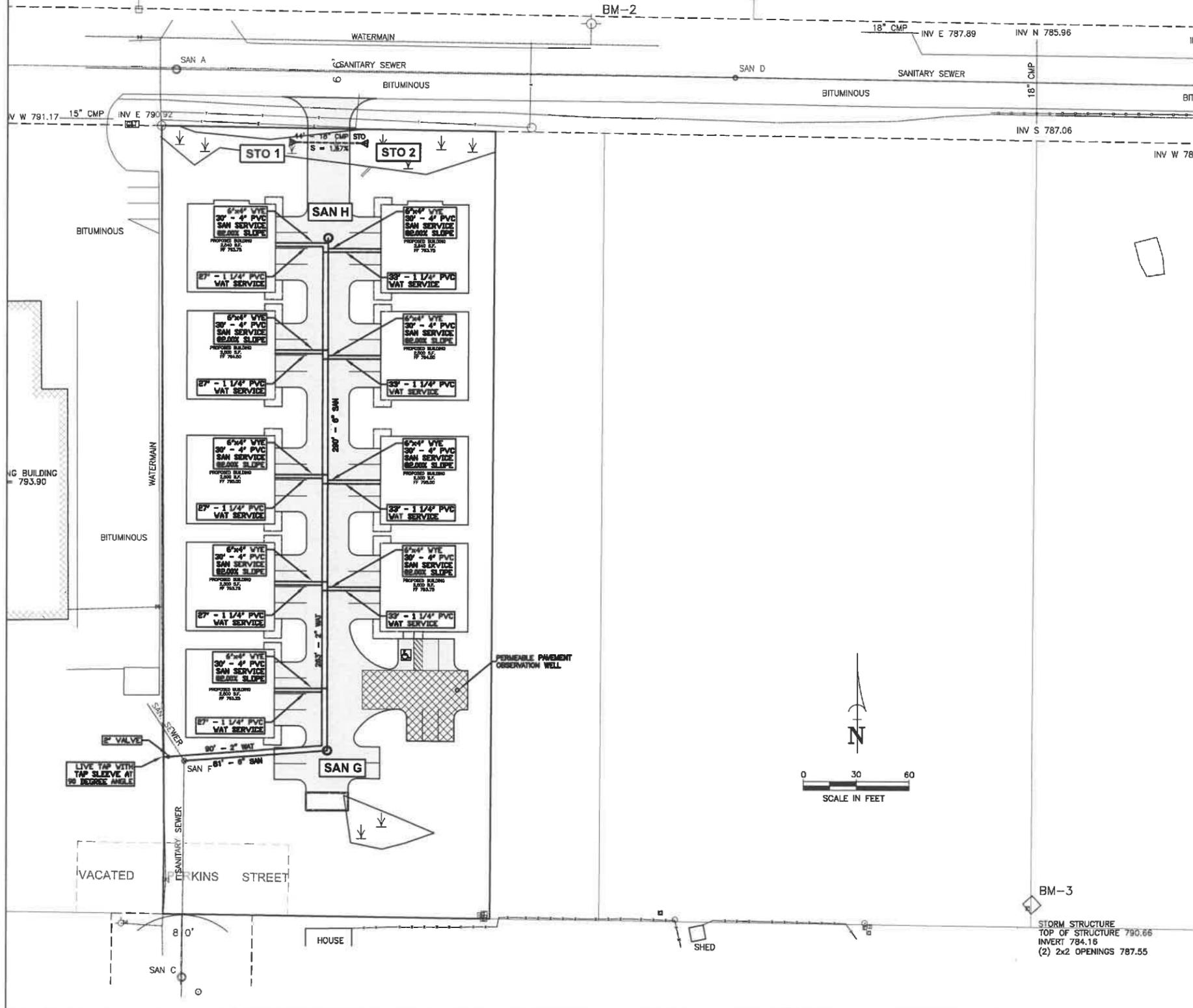
TOWN OF GRAND CHUTE, OUTAGAMIE COUNTY, WISCONSIN

SCALE	DATE
BAR SCALE	10-2-2018
COMPUTER FILE	
1-1174-001de.dwg	

DRAWING NO.  
C1.2

# UTILITY LAYOUT PLAN

PERSHING STREET



STORM UTILITY SCHEDULE		
STRUCTURE ID#	INVERT ELEVATION	INLET TYPE
STO 1	INV 18" E 789.15	18" ENDWALL
STO 2	INV 18" E 788.45	18" ENDWALL

SANITARY UTILITY SCHEDULE				
STRUCTURE ID#	RIM ELEVATION	INVERT ELEVATION	STRUCTURE DEPTH (FT.)	NOTES
SAN G	792.28	INV 6" N.S.W 784.58	7.70	48" DIA MANHOLE
SAN H	793.27	INV 6" S 786.60	6.67	48" DIA MANHOLE

EXISTING UTILITY SCHEDULE			
STRUCTURE ID#	RIM ELEVATION	INVERT ELEVATION	STRUCTURE DEPTH (FT.)
SAN A	792.54	778.44	14.10
SAN B	793.11		
SAN C	792.01	779.65	12.36
SAN D	791.15		
SAN E	791.15		
SAN F	792.77	783.31	9.46

- UTILITY PLAN NOTES**
- THE LOCATION OF EXISTING UTILITY FACILITIES AS SHOWN ON THE PLAN ARE APPROXIMATE. THERE MAY BE OTHER UTILITIES WITHIN THE PROJECT AREA THAT ARE NOT SHOWN. THE CONTRACTOR SHALL HAVE ALL FACILITIES LOCATED PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF A CONFLICT WITHIN THE WORK IS DISCOVERED.
  - THE UTILITY PLAN SHALL CONFORM TO THE APPROVED PRIVATE INTERCEPTOR SEWER AND WATER MAIN DESIGN APPROVED BY THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES (DPS), THE PRIVATE WATER AND SEWER SYSTEM DESIGN, CONSTRUCTION, AND MAINTENANCE IS REGULATED BY DSSPS AND SHALL BE IN ACCORDANCE WITH SPS 382.
  - ALL PUBLIC UTILITY CONNECTIONS SHALL BE DONE IN ACCORDANCE WITH THE "WISCONSIN STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION, 6TH EDITION" AND THE TOWN OF GRAND CHUTE STANDARD SPECIFICATIONS.
  - THE CONTRACTOR AND/OR OWNER SHALL NOT PROCEED WITH CONSTRUCTION ACTIVITIES UNTIL APPROPRIATE PERMITS/APPROVALS ARE OBTAINED.
  - THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL NECESSARY PERMITS FOR CONSTRUCTION.
  - THE CONTRACTOR SHALL CLEAN UP ALL EXCESS MATERIAL AND DEBRIS CAUSED AS A RESULT OF WORK UNDER THIS CONTRACT.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL DAMAGE RESULTING FROM THE PERFORMANCE OF THE WORK UNDER THIS CONTRACT.
  - CONTRACTOR SHALL DISPOSE OF NON-SUITABLE MATERIAL OFF-SITE.
  - CONTRACTOR SHALL COORDINATE BUILDING SERVICES WITH INTERIOR PLUMBING PLANS AND CONTACT ENGINEER IF THERE ARE CONFLICTS.
  - ALL PRIVATE INTERCEPTOR MAINS SHALL BE INSTALLED WITH A 6" MINIMUM BURY. CONTRACTOR SHALL PROVIDE INSULATION ABOVE PIPES WITH LESS THAN 5' OF GROUND COVER.
  - ALL NON-METALLIC BUILDING SEWER AND WATER SERVICES MUST BE INSTALLED WITH TRACER WIRE.
  - WATER SERVICES SHALL BE INSTALLED WITH EITHER 12" SEPARATION ABOVE OR 18" OF SEPARATION BELOW THE PROPOSED SANITARY SERVICE.

TOPOGRAPHIC LEGEND		
1" x 16" IRON PIPE SET	OVERHEAD POWER LINES	GAS VALVE
1-1/4" x 30" REBAR SET	UNDERGROUND ELECTRIC	EXIST STORM MANHOLE
CHECKED "X" SET	UNDERGROUND TELEPHONE	STORM INLET
3/4" REBAR FOUND	FIBER UNDERGROUND FIBROPTIC	YARD DRAIN
1" IRON PIPE FOUND	UNDERGROUND GAS	EXIST SANITARY MANHOLE
1-1/4" REBAR FOUND	CATV UNDERGROUND CABLE TV	EXIST. SAN. SEWER
2" IRON PIPE FOUND	EXIST. FENCE LINE	EXIST. STO. SEWER
CHECKED "X" FOUND	SIGN	EXIST. WATER MAIN
GOVERNMENT CORNER	POWER POLE	EXIST. SPOT ELEVATION
RECORDED AS	GUY	
CONIFEROUS TREE	TELEPHONE PEDESTAL	CONTOUR W/ ELEVATION
DECIDUOUS TREE	ELECTRIC PEDESTAL	EXIST. TOP OF CURB ELEV.
EXIST. WOODS LINE	CABLE PEDESTAL	EXIST. FLOW LINE ELEV.
WETLANDS	EXIST. HYDRANT	FF = 000.00 FIRST FLOOR = 000.00
SOIL BORING	WATER VALVE	TOPSOIL DEPTH
	WATER STOP BOX	INFILTRATION SOIL BORING

**Martenson & Eisele, Inc.**  
 Planning  
 Environmental  
 Surveying  
 Engineering  
 Architecture  
 1377 Midway Road  
 Menasha, WI 54952  
 www.martenson-eisele.com  
 info@martenson-eisele.com  
 920.731.0381 1.800.236.0381

DRAWN BY		CHECKED		APPROVED		FIELDWORK	
NO.	DATE	NO.	DATE	NO.	DATE	NO.	DATE
1	10-25-2018						
2	12-5-2018						
3	12-10-2018						
4	12-13-2018						
5	12-21-2018						

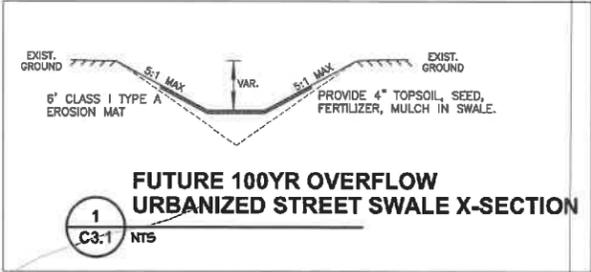
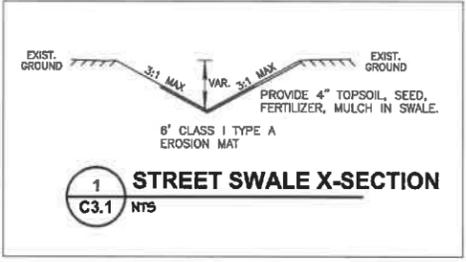
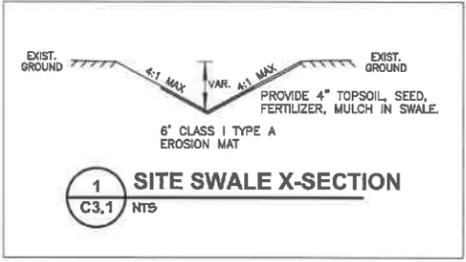
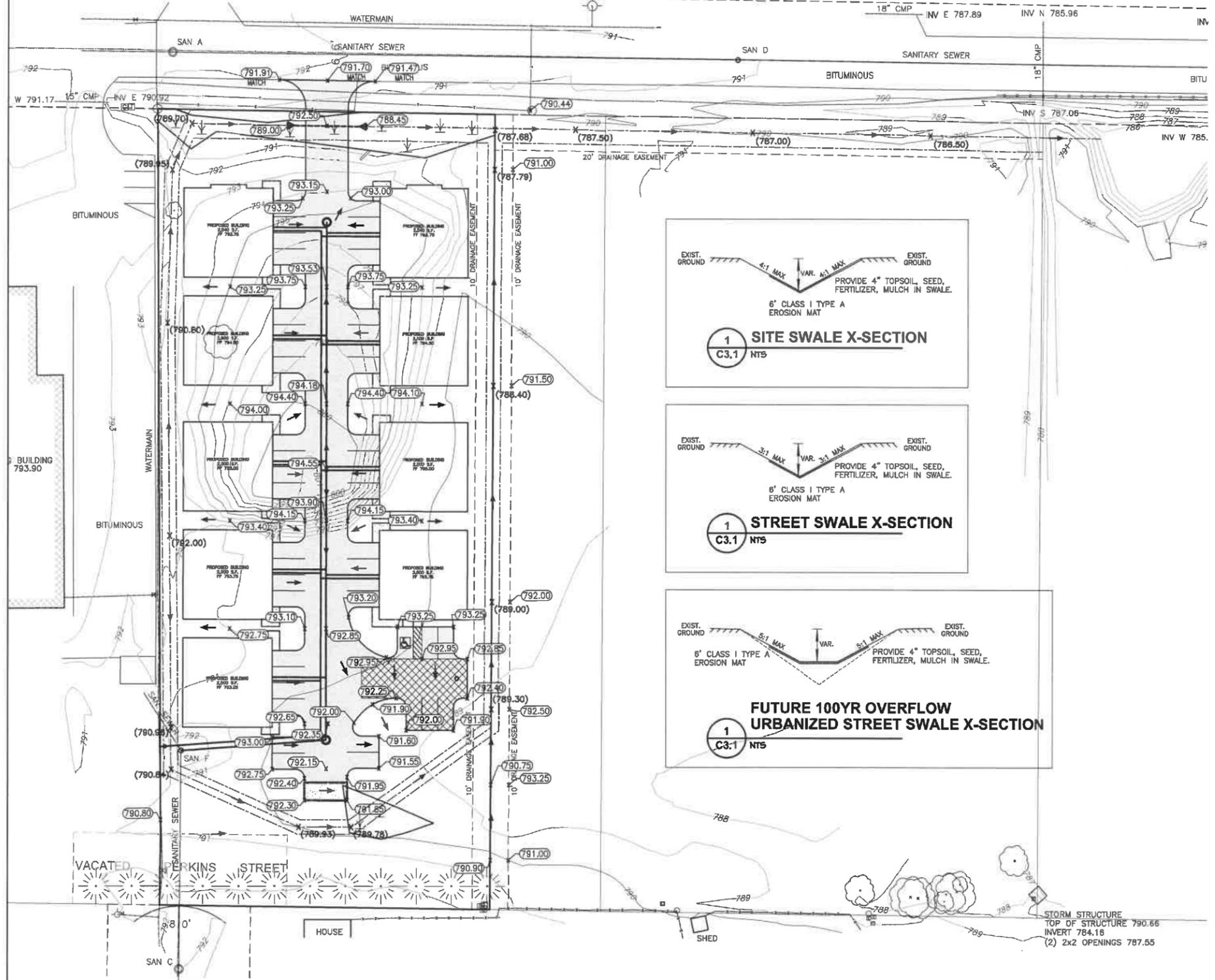
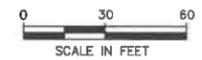
**UTILITY LAYOUT PLAN**  
**STORAGE SHOP USA - PERSHING**  
 TOWN OF GRAND CHUTE, OUTAGAMIE COUNTY, WISCONSIN

SCALE: BAR SCALE  
 DATE: 10-2-2018  
 COMPUTER FILE: 1-1174-001de.dwg

DRAWING NO. C2.1

# DRAINAGE PLAN

PERSHING STREET



	EXISTING CONTOUR	X (000.00)	PROP F/L ELEVATION
	PROPOSED CONTOUR	X (000.00)	PERTINENT DITCH OR SWALE ELEVATION
	STORM SEWER MAIN	*#37.5	EXISTING ELEVATION
	STORM MANHOLE	000.0	PROPOSED FIRST FLOOR ELEVATION
	2' x 3' PRECAST STORM INLET		DIRECTION OF DRAINAGE
			DRAINAGE SWALE

- DRAINAGE PLAN NOTES**
- THE LOCATION OF EXISTING UTILITY FACILITIES AS SHOWN ON THE PLAN ARE APPROXIMATE. THERE MAY BE OTHER UTILITIES WITHIN THE PROJECT AREA THAT ARE NOT SHOWN. THE CONTRACTOR SHALL HAVE ALL FACILITIES LOCATED PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF A CONFLICT WITHIN THE WORK IS DISCOVERED.
  - ALL WORK IN THE PUBLIC RIGHT OF WAY SHALL BE DONE IN ACCORDANCE WITH THE TOWN OF GRAND CHUTE STANDARD SPECIFICATIONS, ALONG WITH THE LATEST EDITION OF THE STATE OF WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR ROAD & BRIDGE CONSTRUCTION.
  - THE PROPOSED ELEVATIONS SHOWN ON THE DRAINAGE PLANS THAT ARE ADJACENT TO ABUTTING PROPERTIES MAY VARY FROM 5' TO 10' FROM THE PROPERTY CORNERS.
  - THE LANDSCAPER SHALL UTILIZE THE PROPOSED ELEVATIONS. THE LANDSCAPER SHALL NOT GRADE UP TO ANY PEDESTAL OR ANY OTHER STRUCTURE TO DETERMINE ELEVATION.
  - THE CONTRACTOR AND/OR OWNER SHALL NOT PROCEED WITH CONSTRUCTION ACTIVITIES UNTIL APPROPRIATE PERMITS/APPROVALS ARE OBTAINED.
  - THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL NECESSARY PERMITS FOR CONSTRUCTION.
  - THE CONTRACTOR SHALL CLEAN UP ALL EXCESS MATERIAL AND DEBRIS CAUSED AS A RESULT OF WORK UNDER THIS CONTRACT.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL DAMAGE RESULTING FROM THE PERFORMANCE OF THE WORK UNDER THIS CONTRACT.
  - CONTRACTOR SHALL DISPOSE OF NON-SUITABLE MATERIAL OFF-SITE.

**DIGGERS HOTLINE**

TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

CALL 811 or Toll Free 1-800-242-8511 (262)432-7910  
Emergency Only (877) 500-9592  
FAX 1-800-336-3860  
FAX (414) 259-0947  
Hearing Impaired TDD 1-800-542-2289

WS. STATUTE 182.0175 (1874) REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE

	1" x 16" IRON PIPE SET		OVERHEAD POWER LINES		GAS VALVE
	1-1/4" x 30" REBAR SET		UNDERGROUND ELECTRIC		EXIST. STORM MANHOLE
	CHELATED "X" SET		UNDERGROUND TELEPHONE		STORM INLET
	3/4" REBAR FOUND		UNDERGROUND FIBROPTIC		YARD SWAH
	1" IRON PIPE FOUND		UNDERGROUND GAS		EXIST. SANITARY MANHOLE
	1-1/4" REBAR FOUND		UNDERGROUND CABLE TV		EXIST. SAN. SEWER
	2" IRON PIPE FOUND		EXIST. FENCE LINE		EXIST. S.T.O. SEWER
	CHELATED "X" FOUND		POWER POLE		EXIST. WATER MAIN
	GOVERNMENT CORNER RECORDED AS		GUY		EXIST. SPOT ELEVATION
	CONIFEROUS TREE		LIGHT POLE		CONTOUR W/ ELEVATION
	DECIDUOUS TREE		TELEPHONE PEDESTAL		EXIST. TOP OF CURB CLAV.
	EXIST. WOODS LINE		ELECTRIC PEDESTAL		EXIST. FLOW LINE ELK.
	WETLANDS		CABLE PEDESTAL		# = 000.00 FIRST FLOOR = 000.00
	SOIL BORING		EXIST. HYDRANT		TOPSOIL DEPTH
			WATER VALVE		INFILTRATION SOIL BORING
			WATER STOP BOX		

**Martenson & Eisele, Inc.**  
 Planning  
 1377 Midway Road  
 Menasha, WI 54952  
 Environmental  
 Surveying  
 Engineering  
 Architecture  
 www.martenson-eisele.com  
 info@martenson-eisele.com  
 920.731.0381 1.800.236.0381

APPROVED	JWS	DATE

**DRAINAGE PLAN**

**STORAGE SHOP USA - PERSHING**

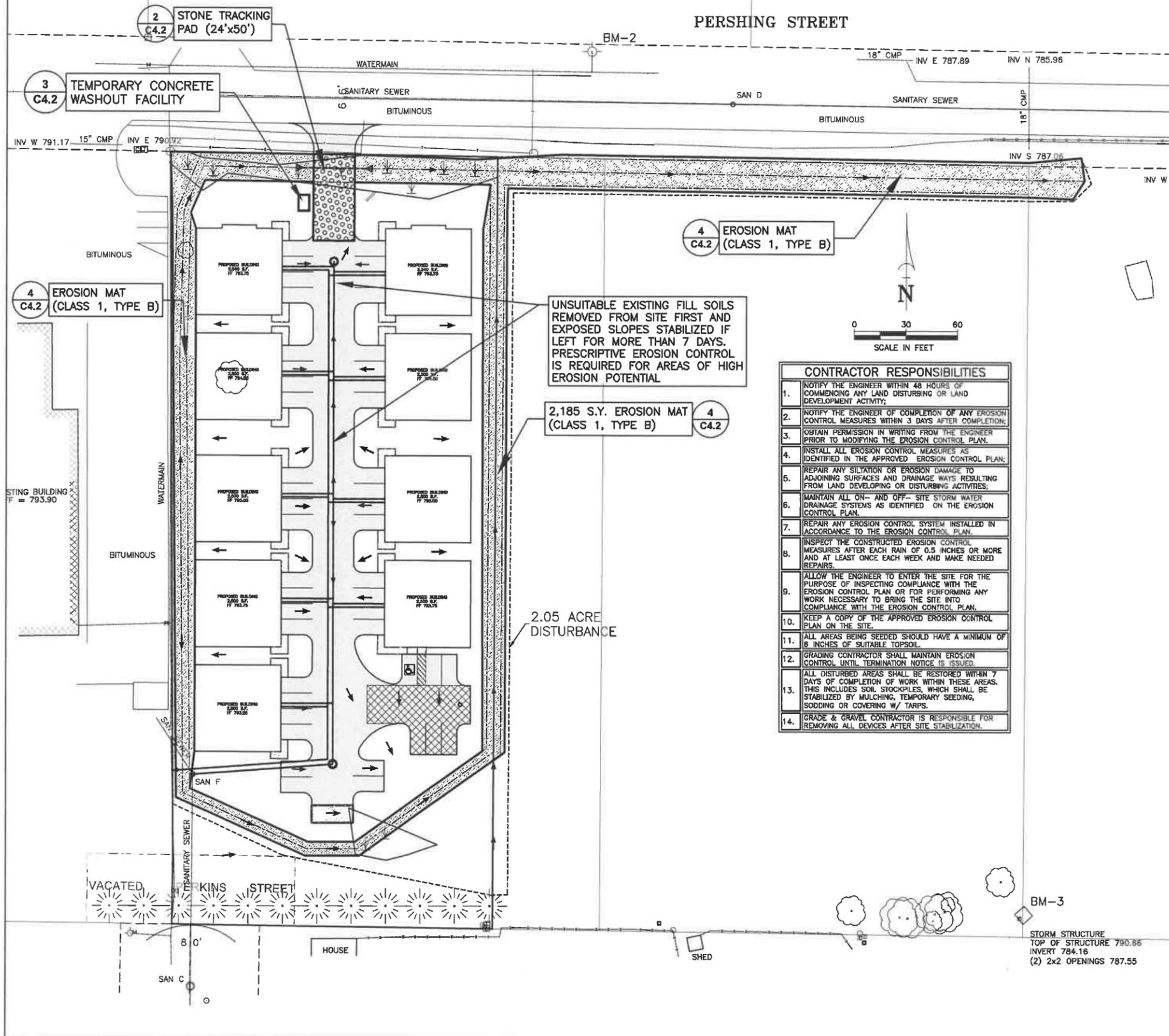
TOWN OF GRAND CHUTE, OUTAGAMIE COUNTY, WISCONSIN

SCALE	DATE
BAR SCALE	10-2-2018
COMPUTER FILE	
1-1174-001de.dwg	

DRAWING NO.  
C3.1

# EROSION CONTROL PLAN

PERSHING STREET



UNSUITABLE EXISTING FILL SOILS REMOVED FROM SITE FIRST AND EXPOSED SLOPES STABILIZED IF LEFT FOR MORE THAN 7 DAYS. PRESCRIPTIVE EROSION CONTROL IS REQUIRED FOR AREAS OF HIGH EROSION POTENTIAL.

2,185 S.Y. EROSION MAT (CLASS 1, TYPE B)

CONTRACTOR RESPONSIBILITIES	
1.	NOTIFY THE ENGINEER WITHIN 48 HOURS OF COMMENCING ANY LAND DISTURBING OR LAND DEVELOPMENT ACTIVITY.
2.	NOTIFY THE ENGINEER OF COMPLETION OF ANY EROSION CONTROL MEASURES WITHIN 3 DAYS AFTER COMPLETION.
3.	OBTAIN PERMISSION IN WRITING FROM THE ENGINEER PRIOR TO MODIFYING THE EROSION CONTROL PLAN.
4.	INSTALL ALL EROSION CONTROL MEASURES AS IDENTIFIED IN THE APPROVED EROSION CONTROL PLAN.
5.	REPAIR ANY SILTATION OR EROSION DAMAGE TO ADJOINING SURFACES AND DRAINAGE WAYS RESULTING FROM LAND DEVELOPING OR DISTURBING ACTIVITIES.
6.	MAINTAIN ALL ON- AND OFF- SITE STORM WATER DRAINAGE SYSTEMS AS IDENTIFIED ON THE EROSION CONTROL PLAN.
7.	REPAIR ANY EROSION CONTROL SYSTEM INSTALLED IN ACCORDANCE TO THE EROSION CONTROL PLAN.
8.	INSPECT THE CONSTRUCTED EROSION CONTROL MEASURES AFTER EACH RAIN OF 0.5 INCHES OR MORE AND AT LEAST ONCE EACH WEEK AND MAKE NEEDED REPAIRS.
9.	ALLOW THE ENGINEER TO ENTER THE SITE FOR THE PURPOSE OF INSPECTING COMPLIANCE WITH THE EROSION CONTROL PLAN OR FOR PERFORMING ANY WORK NECESSARY TO BRING THE SITE INTO COMPLIANCE WITH THE EROSION CONTROL PLAN.
10.	KEEP A COPY OF THE APPROVED EROSION CONTROL PLAN ON THE SITE.
11.	ALL AREAS BEING SEEDED SHOULD HAVE A MINIMUM OF 8 INCHES OF SUITABLE TOPSOIL.
12.	GRADING CONTRACTOR SHALL MAINTAIN EROSION CONTROL UNTIL TERMINATION NOTICE IS ISSUED.
13.	ALL DISTURBED AREAS SHALL BE RESTORED WITHIN 7 DAYS OF COMPLETION OF WORK WITHIN THESE AREAS. THIS INCLUDES SOIL STOCKPILES, WHICH SHALL BE STABILIZED BY MULCHING, TEMPORARY SEEDING, SODDING OR COVERING W/ TARPS.
14.	GRADE & GRAVEL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEVICES AFTER SITE STABILIZATION.

CONSTRUCTION SEQUENCE	
1.	Pre-Construction Meeting
2.	Installation of Temporary Erosion Control Measures
3.	Installation of Rock Tracking Pad
4.	Installation of Sewer and Water Services
5.	Topsoil Stripping of Site
6.	Stockpile Topsoil, Stabilize and Silt Fence Protection
7.	Rough Grading of Building Area and Pavement Areas
8.	Installation of Concrete Washout Facility
9.	Building Foundation and Footings
10.	Installation and Compaction of Stone for Parking Lots, Access Drives, and Sidewalks
11.	Install Pavement and Finish Building Construction
12.	Topsoil Placement of all Grassed and Landscaped Areas
13.	Complete Fine Grading and Landscaping
14.	Restoration of all Grassed, Landscaped, and Other Disturbed Areas
15.	Remove Temporary Erosion Control After Grass is Established
16.	Maintenance Plan

GENERAL NOTES	
1.	SITE DEWATERING. WATER PUMPED FROM THE SITE SHALL BE TREATED BY TEMPORARY SEDIMENTATION BASINS OR OTHER APPROPRIATE CONTROLS DESIGNED FOR THE HIGHEST DEWATERING PUMPING RATE. WATER MAY NOT BE DISCHARGED IN A MANNER THAT CAUSES EROSION OF THE SITE OR RECEIVING CHANNELS. (NOT ANTICIPATED)
2.	WASTE AND MATERIAL DISPOSAL. ALL WASTE AND UNUSED BUILDING MATERIALS (INCLUDING GARBAGE, DEBRIS, CLEANING WASTES, WASTEWATER, TOXIC MATERIALS OR HAZARDOUS MATERIALS) SHALL BE PROPERLY DISPOSED OF AND NOT ALLOWED TO BE CARRIED BY RUNOFF INTO A RECEIVING CHANNEL OR STORM SEWER SYSTEM.
3.	TRACKING. THIS SITE SHALL STABILIZE THE EXISTING DRIVE WITH 3" TO 6" (12" THICK) CLEAR AGGREGATE SUFFICIENT TO PREVENT SEDIMENT FROM BEING TRACKED ONTO PUBLIC OR PRIVATE ROAD WAYS AS APPROVED BY THE DIRECTOR. ANY SEDIMENT REACHING A PUBLIC OR PRIVATE ROAD SHALL BE REMOVED BEFORE THE END OF EACH WORK DAY. FLUSHING MAY NOT BE USED UNLESS THE SEDIMENT WILL BE CONTROLLED BY A FILTER FABRIC BARRIER, SEDIMENT TRAP, SEDIMENT BASIN OR EQUIVALENT. TRACKING PAD DIMENSIONS ARE SHOWN ON THE EROSION CONTROL PLAN (24'x50' MIN).
4.	DRAIN INLET PROTECTION. ALL ON-SITE STORM DRAIN INLETS AND THE IMPACTED DOWNSTREAM INLETS SHALL BE PROTECTED WITH THE CATCH-ALL CONFIGURATION. OFF-SITE CULVERTS SHALL BE PROTECTED WITH SAND BAG CULVERT CHECKS.
5.	SEDIMENT CLEANUP. ALL OFF-SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF A STORM EVENT SHALL BE CLEANED UP BY THE END OF THE NEXT WORK DAY. ALL OTHER OFF-SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF LAND DISTURBING ACTIVITIES SHALL BE CLEANED UP BY THE END OF THE WORK DAY.
6.	DISTURBANCE TIMING. ALL ACTIVITIES ON THE SITE SHALL BE CONDUCTED IN A LOGICAL SEQUENCE TO MINIMIZE THE AREA OF BARE SOIL EXPOSED AT ANY ONE TIME. EXISTING VEGETATION SHALL BE MAINTAINED AS LONG AS POSSIBLE.

EROSION CONTROL NOTES	
1.	THE CONTRACTOR SHALL INSTALL SILT FENCE AROUND THE PERIMETER OF THE PROJECT AS SHOWN ON THIS PLAN PRIOR TO ANY CONSTRUCTION INCLUDING STRIPPING TOPSOIL.
2.	ALL EROSION CONTROL DEVICES SHALL BE MAINTAINED BY THE CONTRACTOR UNTIL THE COMPLETION OF HIS CONTRACT.
3.	THE CONTRACTOR SHALL MAINTAIN SAID EROSION CONTROL DEVICES UNTIL THE COMPLETION OF HIS CONTRACT AND SHALL NOT REMOVE THE EROSION CONTROL DEVICES UNTIL VEGETATION IS ESTABLISHED.
4.	THE GRADING CONTRACTOR SHALL SEED AND MULCH ALL DISTURBED AREAS IMMEDIATELY WHEN FINAL GRADE IS ESTABLISHED. SEED MIXTURE SHALL BE ACCORDING TO THE SPECIFICATION.
5.	THE CONTRACTORS SHALL PREVENT TRACKING ON EXISTING STREETS. ANY SEDIMENT TRACKED ONTO EXISTING STREETS SHALL BE CLEANED UP DAILY.
6.	INSTALLATION AND MAINTENANCE OF EROSION CONTROL SHALL BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS.
7.	SILT FENCES DAMAGED DURING LATERAL CONSTRUCTION SHALL BE REPAIRED AS SOON AS WORK IS COMPLETE IN THAT AREA.

EROSION CONTROL PLAN KEY LEGEND	
	1 SILT FENCE (C4.2)
	2 TRACKING PROTECTION (C4.2)
	3 EROSION CONTROL MAT DETAIL (CLASS 1, TYPE B) (C4.2)
	4 TEMPORARY CONCRETE WASHOUT FACILITY (C4.2)

TOPOGRAPHIC LEGEND			
	1\"/>		Overhead power lines
	1-1/4\"/>		Underground electric
	Chiselled 1\"/>		Underground telephone
	3/4\"/>		Underground fiberoptic
	1\"/>		Underground gas
	1-1/4\"/>		Underground cable TV
	2\"/>		Exist. fence line
	Chiselled 1\"/>		Sign
	Government corner		Power pole
	Recorded as		Guy
	Coniferous tree		Light pole
	Deciduous tree		Telephone pedestal
	Exist. woods line		Electric pedestal
	Wetlands		Cable pedestal
	Sol boring		Dist. hydrant
			Water valve
			Water stop box
			Gas valve
			Exist. storm manhole
			Storm inlet
			Yard drain
			Exist. sanitary manhole
			Exist. san. sewer
			Exist. sto. sewer
			Exist. water man
			Exist. spot elevation
			Contour w/ elevation
			Exist. top of curb elev.
			Exist. flow line elev.
			First floor = 000.00
			Topsoil depth
			Infiltration sol. boring

**Martenson & Eisele, Inc.**  
 Planning  
 Environmental  
 Surveying  
 Engineering  
 Architecture  
 1377 Midway Road  
 Menasha, WI 54952  
 www.martenson-eisele.com  
 info@martenson-eisele.com  
 920.731.0381 1.800.236.0381

NO.	DATE	NO.	DATE
1	10-25-2018	1	10-25-2018
2	12-5-2018	2	12-5-2018
3	12-10-2018	3	12-10-2018
4	12-13-2018	4	12-13-2018
5	12-21-2018	5	12-21-2018

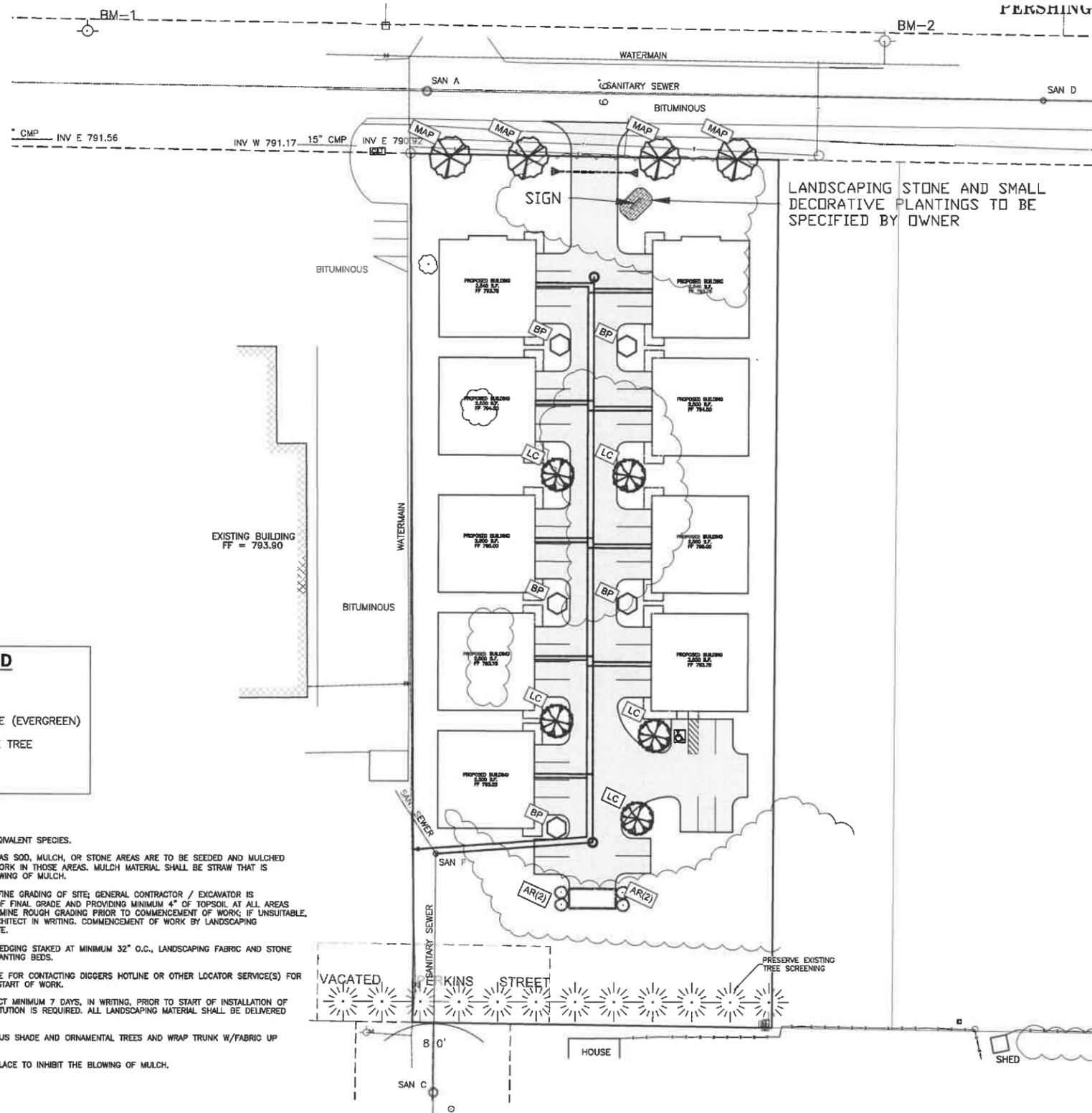
**EROSION CONTROL PLAN**  
**STORAGE SHOP USA - PERSHING**  
 TOWN OF GRAND CHUTE, OUTAGAMIE COUNTY, WISCONSIN

SCALE: BAR SCALE  
 DATE: 10-2-2018  
 COMPUTER FILE: 1-1174-001de.dwg

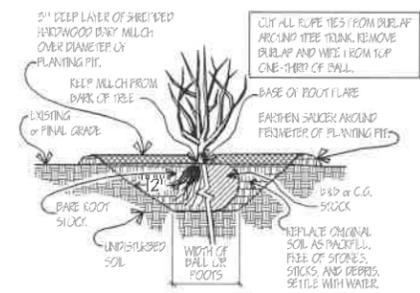
DRAWING NO. C4.1

# LANDSCAPING PLAN

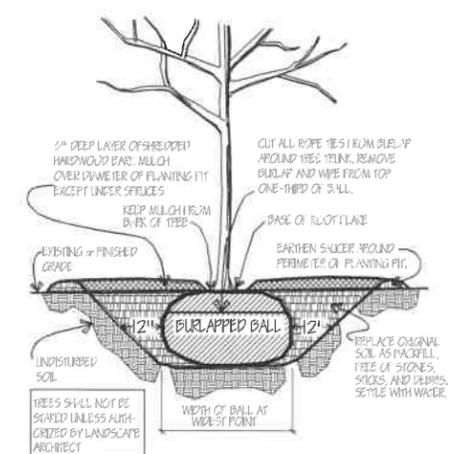
NAME	PLANT SYMBOL	QUANTITY	Min. Size at Planting	Height at Maturity	Width at Maturity
Paper Birch	BP	5	2'-1/2"	50'	36'
American Red Maple Tree	MAP	4	2'-1/2"	40-60'	25-45'
Lilac Japanese Tree	LC	5	1'-1/2"	20-25'	15'
Pyramidal Arborvitae (Evergreen)	AR	4	5'	18-25'	3-5'



LANDSCAPING STONE AND SMALL DECORATIVE PLANTINGS TO BE SPECIFIED BY OWNER



SHRUB PLANTING DETAIL  
NO SCALE



TREE PLANTING DETAIL  
NO SCALE

TOPOGRAPHIC LEGEND	
1" x 12" IRON PIPE SET	OVERHEAD POWER LINES
1-1/4" x 30" REBAR SET	UNDERGROUND ELECTRIC
CHESSLED "X" SET	UNDERGROUND TELEPHONE
3/4" REBAR FOUND	FIBER- UNDERGROUND FIBEROPTIC
1" IRON PIPE FOUND	UNDERGROUND GAS
1-1/4" REBAR FOUND	CANV- UNDERGROUND CABLE TV
2" IRON PIPE FOUND	EXIST. FENCE LINE
CHESSLED "X" FOUND	BORN
ORIGINATOR CORNER	POWER POLE
RECORDED AS	GUY
CONFEROUS TREE	LIGHT POLE
DECIDUOUS TREE	TELEPHONE PEDESTAL
EXIST. WOODS LINE	ELECTRIC PEDESTAL
WETLANDS	CABLE PEDESTAL
SOIL BORING	EXIST. HYDRANT
	WATER VALVE
	WATER STOP BOX
	GAS VALVE
	EXIST. STORM MANHOLE
	STORM INLET
	YARD DRAIN
	EXIST. SANITARY MANHOLE
	EXIST. SAN. SEWER
	EXIST. WATER MAIN
	EXIST. SPOT ELEVATION
	CONTOUR W/ ELEVATION
	EXIST. TOP OF CURB ELEV.
	EXIST. FURN. LING. ELEV.
	CABLE FEEDSTOCK
	FT = 0.0000 FIRST FLOOR = 0.0000
	TOPSOIL DEPTH
	INFILTRATION SOIL BORING

LANDSCAPE LEGEND	
	PAPER BIRCH
	PYRAMIDAL ARBORVITAE (EVERGREEN)
	AMERICAN RED MAPLE TREE
	LILAC JAPANESE TREE

**LANDSCAPING NOTES:**

PLANT SELECTIONS CAN BE REPLACED WITH AN EQUIVALENT SPECIES.

ALL DISTURBED GROUND AREAS NOT DESIGNATED AS SOIL, MULCH, OR STONE AREAS ARE TO BE SEEDED AND MULCHED WITHIN SEVEN (7) DAYS AFTER COMPLETION OF WORK IN THOSE AREAS. MULCH MATERIAL SHALL BE STRAW THAT IS PUNCH-CRIMPED INTO PLACE TO INHIBIT THE BLOWING OF MULCH.

LANDSCAPING CONTRACTOR IS RESPONSIBLE FOR FINE GRADING OF SITE; GENERAL CONTRACTOR / EXCAVATOR IS RESPONSIBLE FOR ROUGH GRADING TO +/- 1" OF FINAL GRADE AND PROVIDING MINIMUM 4" OF TOPSOIL AT ALL AREAS DISTURBED. LANDSCAPING CONTRACTOR SHALL EXAMINE ROUGH GRADING PRIOR TO COMMENCEMENT OF WORK; IF UNSUITABLE, LANDSCAPING CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING. COMMENCEMENT OF WORK BY LANDSCAPING CONTRACTOR INDICATES ACCEPTANCE OF SUBSTRATE.

LANDSCAPING CONTRACTOR SHALL PROVIDE VINYL EDGING STAKED AT MINIMUM 32" O.C., LANDSCAPING FABRIC AND STONE MATERIAL AT LOCATIONS INDICATED AND WITHIN PLANTING BEDS.

LANDSCAPING CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING DIGGERS HOTLINE OR OTHER LOCATOR SERVICE(S) FOR LOCATION OF UNDERGROUND UTILITIES PRIOR TO START OF WORK.

LANDSCAPING CONTRACTOR SHALL NOTIFY ARCHITECT MINIMUM 7 DAYS, IN WRITING, PRIOR TO START OF INSTALLATION OF SPECIFIED SPECIES IS NOT AVAILABLE AND SUBSTITUTION IS REQUIRED. ALL LANDSCAPING MATERIAL SHALL BE DELIVERED SAME DAY AS INSTALLATION.

LANDSCAPING CONTRACTOR SHALL BRACE DECIDUOUS SHADE AND ORNAMENTAL TREES AND WRAP TRUNK W/FABRIC UP MINIMUM 36" ABOVE FINISH GRADE.

STRAW MULCH SHALL BE PUNCH CRIMPED INTO PLACE TO INHIBIT THE BLOWING OF MULCH.

**Martenson & Eisele, Inc.**  
 Planning  
 Environmental  
 Surveying  
 Engineering  
 Architecture  
 1377 Midway Road  
 Menasha, WI 54952  
 www.martenson-eisele.com  
 info@martenson-eisele.com  
 920.731.0381 1.800.236.0381

NO.	DATE	APPROVED	REVISION DESCRIPTIONS
1	10-25-2018	JMS	
2	12-5-2018	JMS	
3	12-10-2018	JMS	
4	12-13-2018	JMS	
5	12-21-2018	JMS	

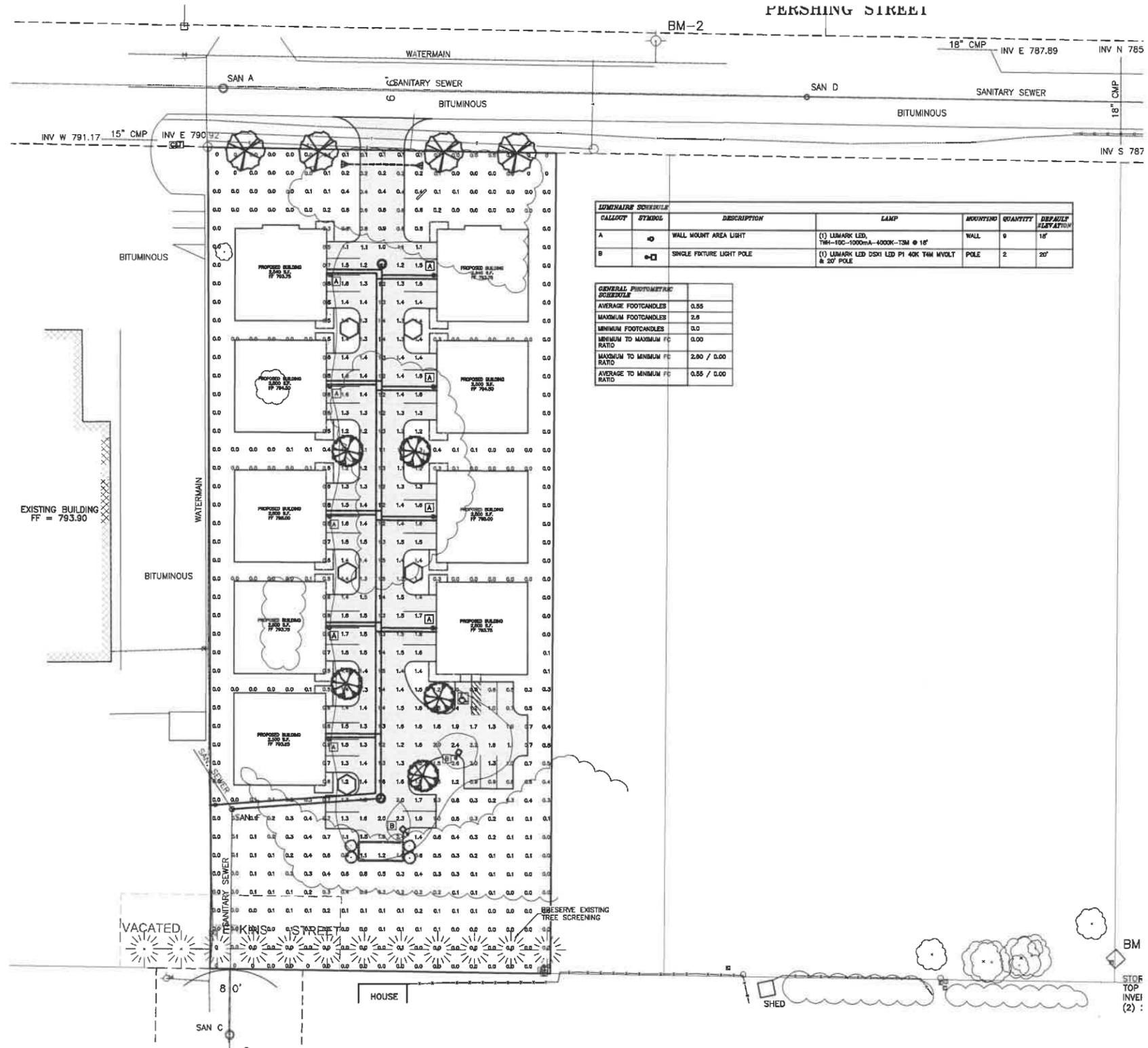
**LANDSCAPING PLAN**  
**STORAGE SHOP USA - PERSHING**  
 TOWN OF GRAND CHUTE, OUTAGAMIE COUNTY, WISCONSIN

SCALE	DATE
BAR SCALE	10-2-2018

COMPUTER FILE  
 1-1174-001de.dwg

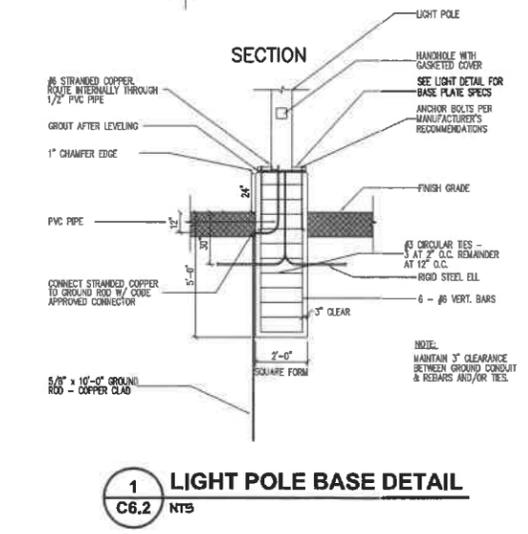
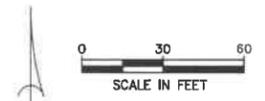
DRAWING NO.  
 C6.1

# LIGHTING PLAN



CALLOUT	SYMBOL	DESCRIPTION	LAMP	HEIGHT	QUANTITY	DEFAULT SPACING
A	⊙	WALL MOUNT AREA LIGHT	(1) LUMARK LED, TH1-10C-1000mA-4000K-TSM @ 1'6"	WALL	9	1'6"
B	⊙	SINGLE FIXTURE LIGHT POLE	(1) LUMARK LED DSKI LED P1 40K 14W MVOLT @ 20' POLE	POLE	2	20'

GENERAL PHOTOMETRIC DATA	
AVERAGE FOOTCANDLES	0.55
MAXIMUM FOOTCANDLES	3.8
MINIMUM FOOTCANDLES	0.0
MINIMUM TO MAXIMUM FC RATIO	0.00
MAXIMUM TO MINIMUM FC RATIO	2.00 / 0.00
AVERAGE TO MINIMUM FC RATIO	0.55 / 0.00



TOPOGRAPHIC LEGEND				
—OH—	OVERHEAD POWER LINES	⊙	GAS VALVE	
—E—	UNDERGROUND ELECTRIC	⊙	EXIST. STORM MANHOLE	
—T—	UNDERGROUND TELEPHONE	⊙	STORM INLET	
—FIBER—	UNDERGROUND FIBEROPTIC	⊙	YARD BRANCH	
—G—	UNDERGROUND GAS	⊙	EXIST. SANITARY MANHOLE	
—CMTV—	UNDERGROUND CABLE TV	⊙	EXIST. SAN. SEWER	
—X—X—	EXIST. FENCE LINE	⊙	EXIST. STD. SEWER	
⊙	SIGN	⊙	EXIST. WATER MAIN	
⊙	POWER POLE	⊙	EXIST. SPOT ELEVATION	
⊙	GUY	⊙	CONTOUR W/ ELEVATION	
⊙	LIGHT POLE	⊙	EXIST. TOP OF CURB ELEV.	
⊙	TELEPHONE PEDestal	⊙	EXIST. FLOW LINE ELEV.	
⊙	ELECTRIC PEDestal	⊙	EXIST. FLOOR FIN. ELEV.	
⊙	CABLE PEDestal	⊙	FF = 0.0000 FIRST FLOOR = 0.00.00	
⊙	DIST. HYDRANT	⊙	⊙	TOPSOIL DEPTH
⊙	WATER VALVE	⊙	⊙	INFILTRATION SOIL BORING
⊙	WATER STOP BOX	⊙		

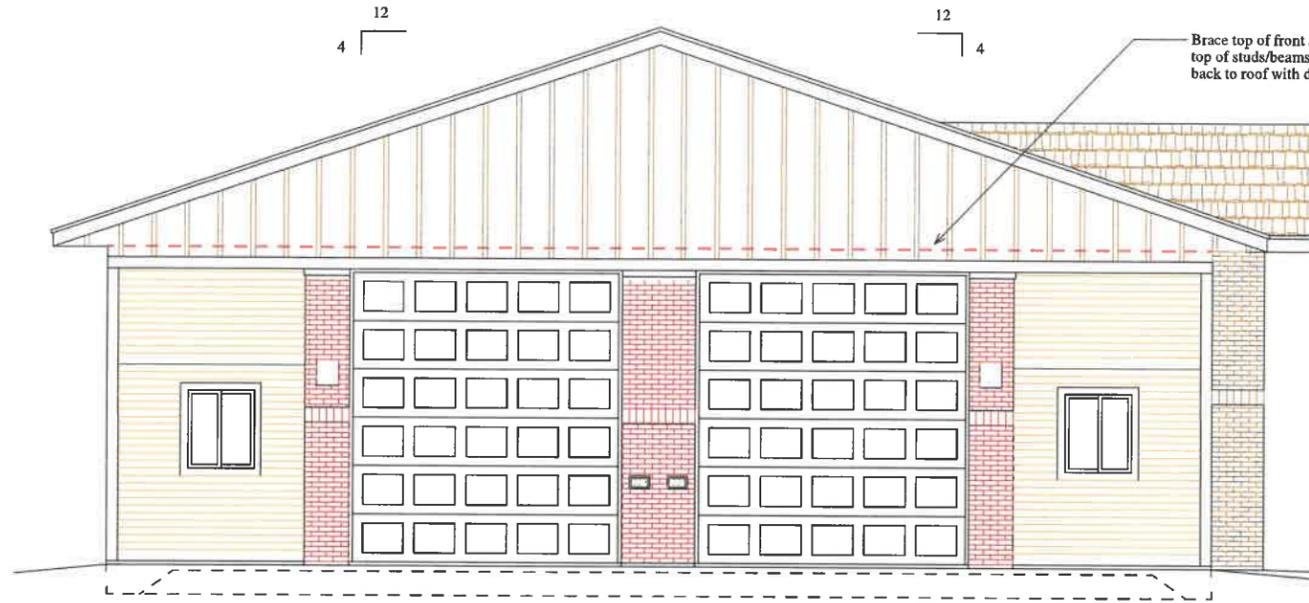
**Martenson & Eisele, Inc.**  
 1377 Midway Road  
 Menasha, WI 54952  
 www.martenson-eisele.com  
 info@martenson-eisele.com  
 920.731.0381 1.800.236.0381

DRAWN BY	CHECKED	APPROVED	FIELDWORK	
			JWS	NO.
EAE	JUR		DATE	NO.
**REFER TO COVER SHEET FOR REVISION DESCRIPTIONS**				
NO.	DATE	NO.	DATE	NO.
1	10-25-2018			
2	12-5-2018			
3	12-10-2018			
4	12-18-2018			
5	12-21-2018			

**LIGHTING PLAN**  
**STORAGE SHOP USA - PERSHING**  
 TOWN OF GRAND CHUTE, OUTAGAMIE COUNTY, WISCONSIN

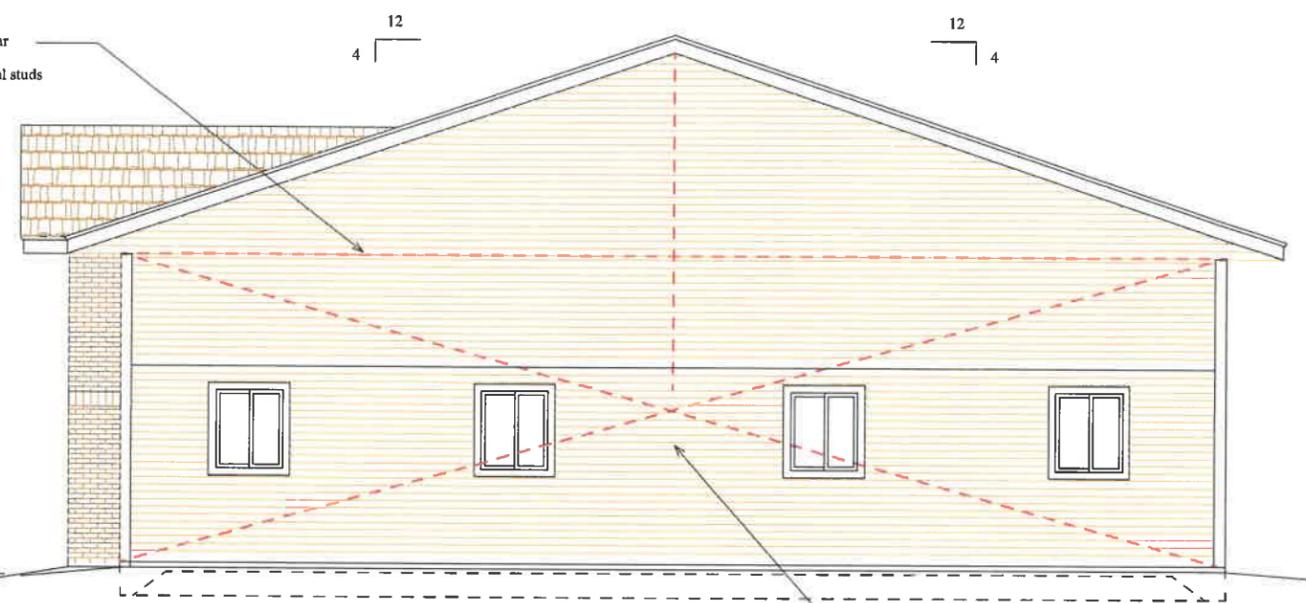
SCALE	DATE
BAR SCALE	10-2-2018
COMPUTER FILE	
1-1174-001de.dwg	

DRAWING NO.  
C6.2



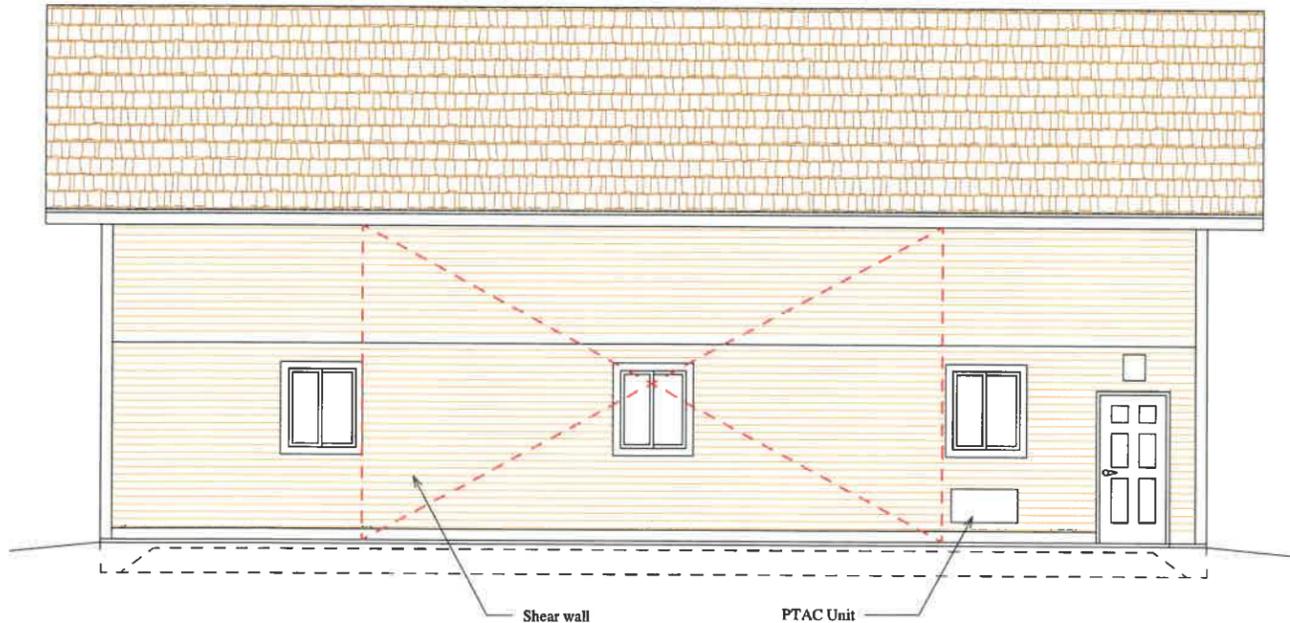
Front Elevation

Scale = 1/4"=1'-0"



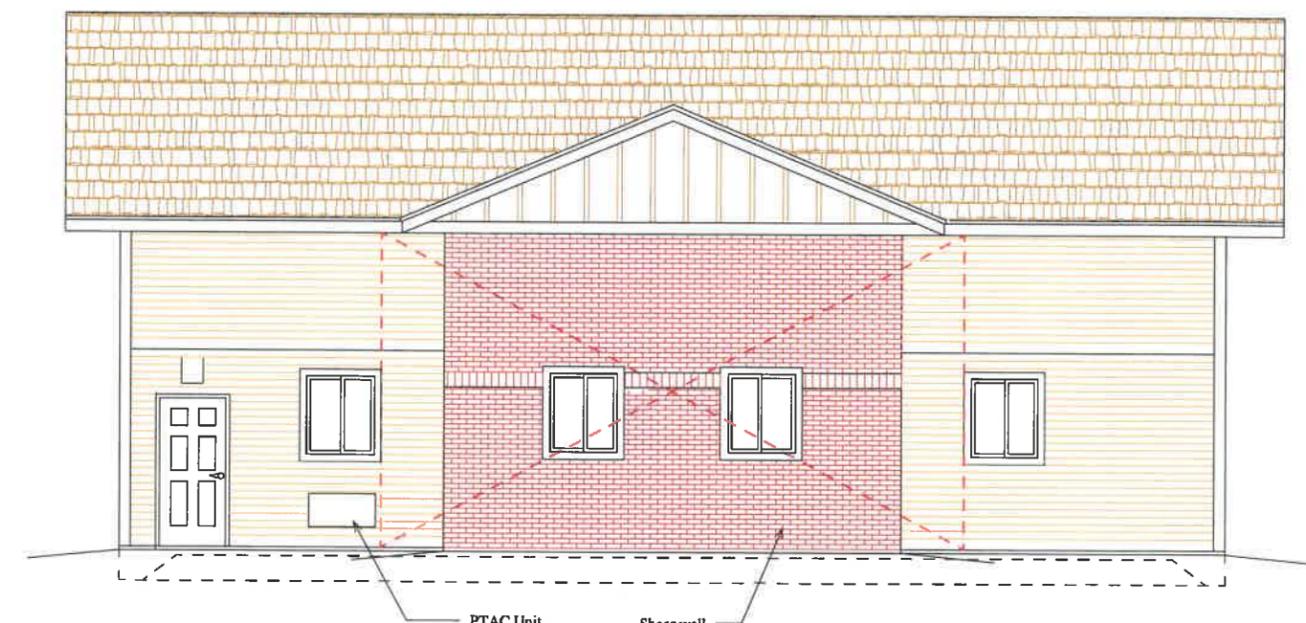
Rear Elevation

Scale = 1/4"=1'-0"



Left Elevation

Scale = 1/4"=1'-0"



Right Elevation

Scale = 1/8"=1'-0"

Jeffery Croenier, Architect  
 W125 Amidon Road  
 Brooklyn, WI 53521  
 608-698-3196  
 This document contains confidential or proprietary information of Concepts in Architecture, LLC. Neither this document nor its contents are to be reproduced, distributed, used, or disclosed without authorization.

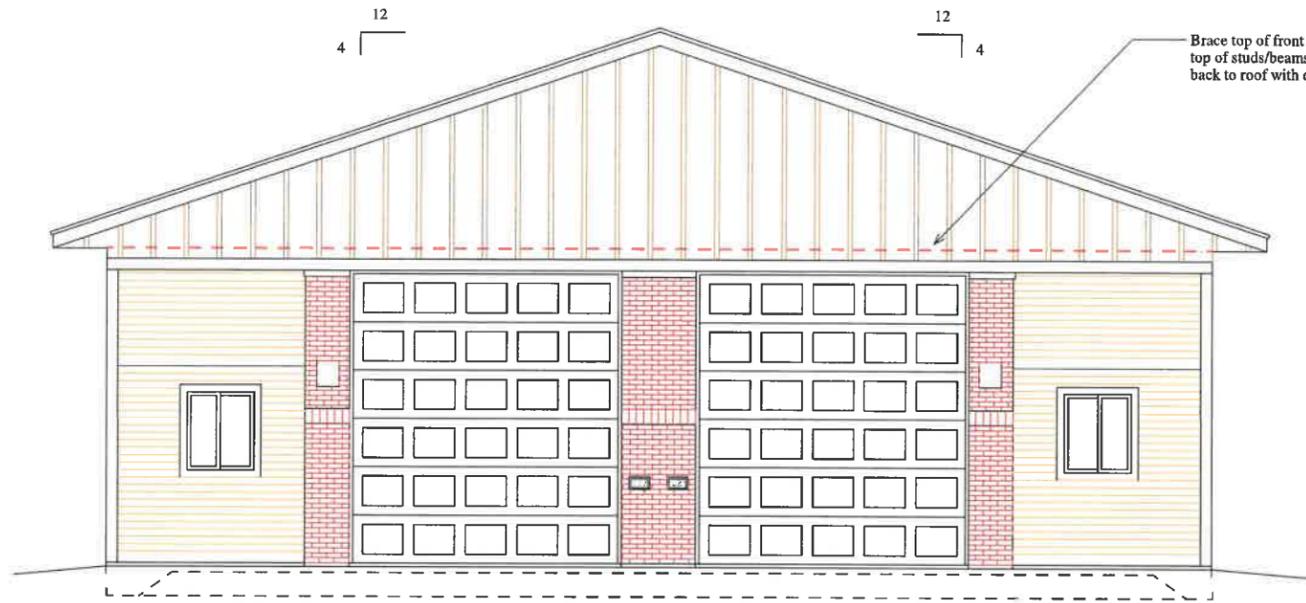
Concepts  
 in  
 Architecture, LLC

Proposed for: StorageShopUSA  
 Greg Thompson - Owner  
 6810 Cross Country Road  
 Verona, WI 53593  
 Address:

Project: StoragshopUSA  
 City of Mequon, WI  
 Address:  
 Sheet Title: Elevations "B"

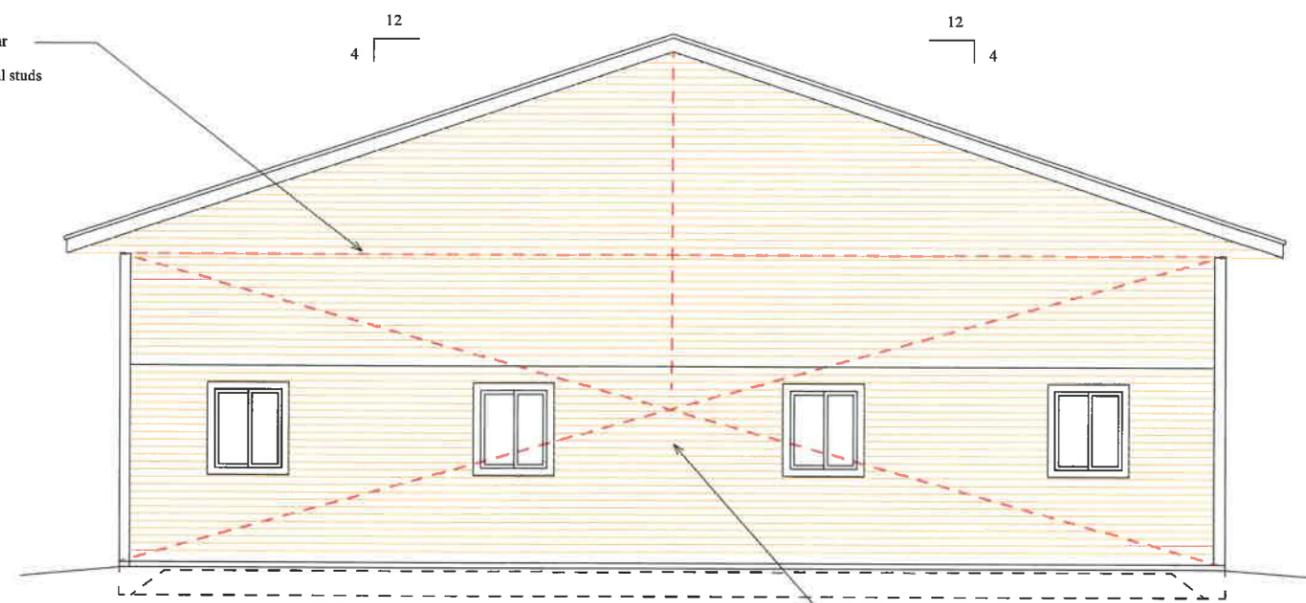
Date: 02-07-2018  
 Scale: As Noted  
 Job #: 06-01

SHEET  
 A3.1



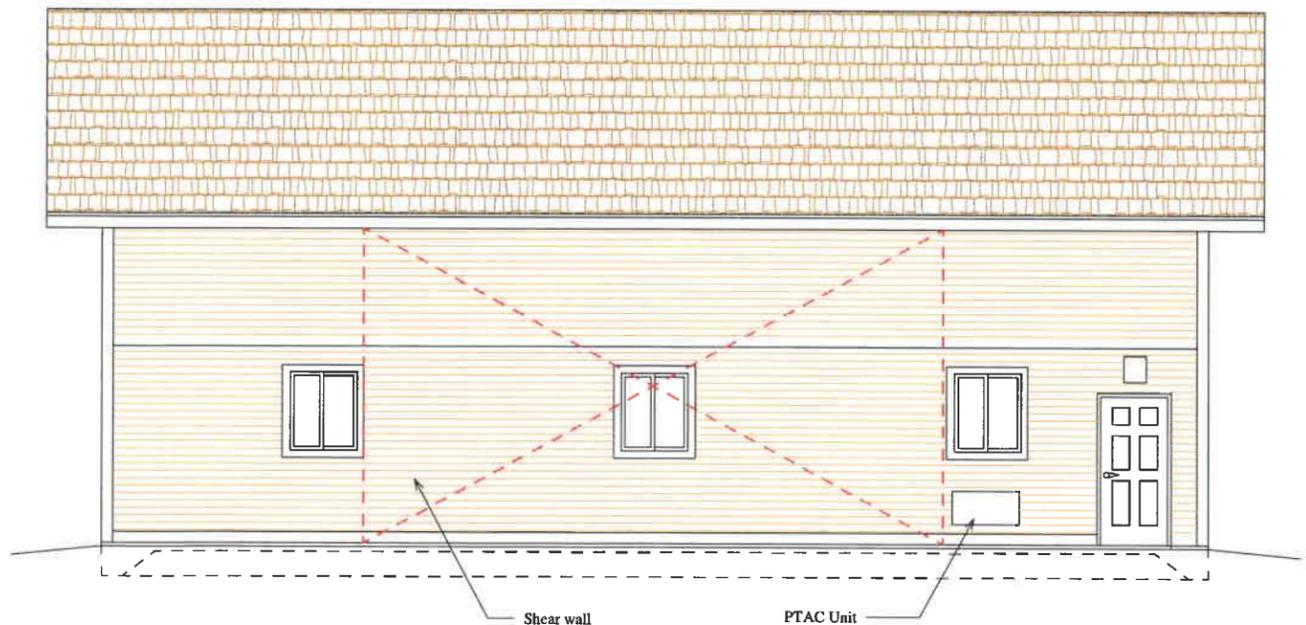
Front Elevation

Scale = 1/4"=1'-0"



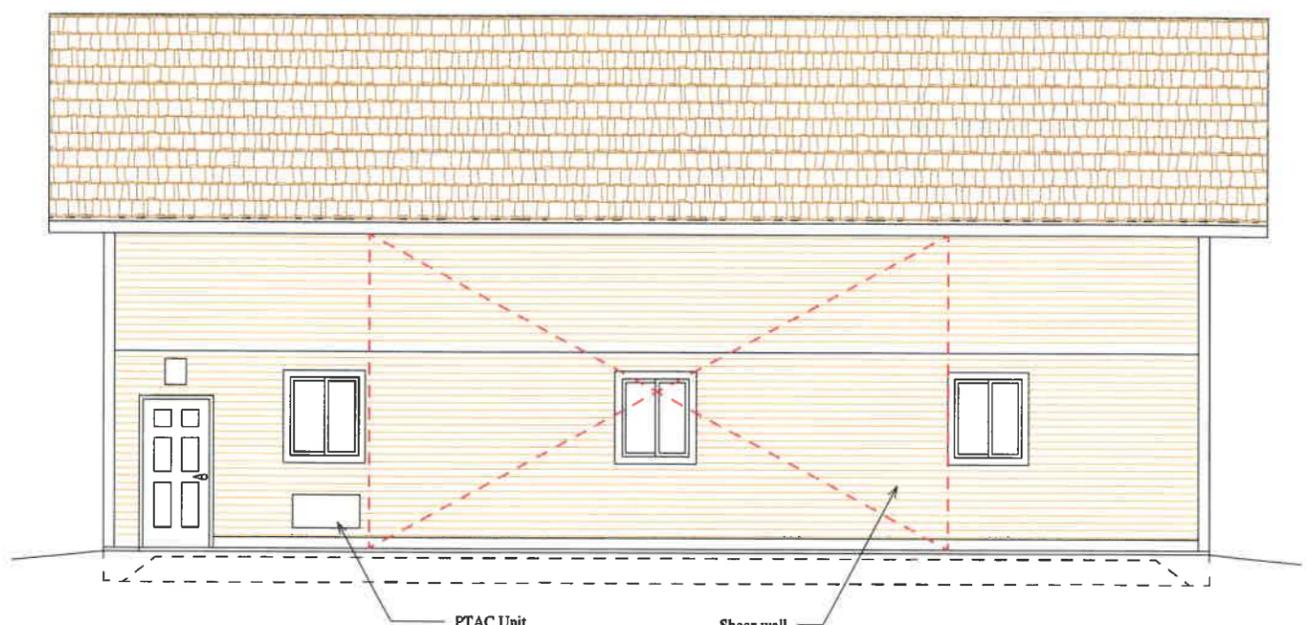
Rear Elevation

Scale = 1/4"=1'-0"



Left Elevation

Scale = 1/4"=1'-0"



Right Elevation

Scale = 1/8"=1'-0"

Jeffery Groenier, Architect  
 W125 Amidon Road  
 Brooklyn, WI 53521  
 608-698-3196  
 This document contains confidential or proprietary information. Any reuse or other use of this document for the information herein is to be prohibited, distributed, used, or disclosed without authorization.

Concepts  
 Architecture, LLC

Proposed for: StorageShopUSA  
 Greg Thompson - Owner  
 6810 Cross Country Road  
 Verona, WI 53593  
 Address:

Project: StoragshopUSA  
 City of Mequon, WI  
 Address:  
 Sheet Title: Elevations "A"

Date: 02-07-2018  
 Scale: As Noted  
 Job #: 06-01

SHEET  
 A3.0

er Drive, Wausau, WI 54401 715-842-0402  
www.graphichouseinc.com

4-2017	QUOTE NUMBER: MJ-12489	JOB NUMBER: XX-XXX
	REVISION: 0-0-0000	

- SIGN
- JM. TUBES TOP &
- BRACKETS
- PANEL & MOUNTING
- VENT
- 5 Geranium
- 5 Cobalt Blue
- nyl
- to Match
- ght Grey Vinyl



LOCATION ON WHICH THE SIGNAGE IS TO BE INSTALLED. THE CLIENT HAS THE SOLE RESPONSIBILITY FOR THE STRUCTURAL INTEGRITY OF ANY EXISTING STRUCTURES TO SUPPORT THE SIGNAGE.

THIS IS AN ORIGINAL DESIGN CREATED BY GRAPHIC HOUSE, INCORPORATED. THE SUBMITTED DESIGN IS ORIGINAL AND IS PROTECTED UNDER COPYRIGHT LAWS OF THE UNITED STATES, TITLE 17 UNITED STATES CODE. YOU AGREE NOT TO COPY, PHOTOGRAPH, MODIFY OR SHARE DIRECTLY OR INDIRECTLY ANY OF THE FOREGOING HELD BY YOU OR PERMIT ANY THIRD PARTY TO DO ANY OF THE FOREGOING WITHOUT THE WRITTEN CONSENT OF GRAPHIC HOUSE, INC. A DESIGN FEE OF NOT LESS THAN \$5000 WILL BE CHARGED OR COPIED BY ANYONE WHILE IN YOUR POSSESSION. THIS DOES NOT EXCLUDE ADDITIONAL COMPENSATION THAT MAY BE AWARDED DUE TO COPYRIGHT INFRINGEMENT.

RELEASE AUTH: \_\_\_\_\_

PLEASE REVIEW SPECS & PROOF CAREFULLY - CHECK FOR TYPOGRAPHICAL ERRORS & OMISSIONS, LAYOUT ACCURACY, ETC. CUSTOMER HAS SOLE RESPONSIBILITY FOR ANY ERRORS. DISCLAIMER: THE INK COLORS SHOWN IN THIS RENDERING PROVIDE CONCEPTUAL COLORS & GRAPHICS LOCATIONS ONLY. THE COLORS MAY VARY FROM AUTOMOTIVE PAINTS, PANTONE OR VINYL COLORS THAT WILL BE USED ON OR IN THE SIGN(S) SHOWN. ALL SIZES, SHAPES, COLORS, ETC. ARE CONCEPTUAL & MAY VARY.