



PLAN COMMISSION AGENDA
Tuesday, November 5, 2019 - 6:00 pm
Town Hall - 1900 W. Grand Chute Blvd.

1. Roll Call.
2. Pledge of Allegiance.
3. Approval of Agenda.
4. Approval of Minutes – October 15, 2019 meeting.
5. Public Input.
6. Community Development Director's Report.
7. **Public Hearing #1** – Special Exception Permit (SE-18-19) requested by Offsets Garage LLC, dba Branded Title Co., 1060 N. Perkins Street, for operation of an automotive sales and service business. **Action:** Hear testimony/close meeting.
8. **Special Exception (SE-18-19)** – Request by Offsets Garage LLC, dba Branded Title Co., 1060 N. Perkins Street, for operation of an automotive sales and service business. **Action:** Recommend approval/denial of SE-18-19. (TOWN BOARD ACTION 11/19/2019)
9. **Public Hearing #2** – Rezoning (Z-04-19) requested by Russell L. Obermeier to rezone property at 5100 W. Schroth Lane from CL Local Commercial District to R-5 Multifamily Residence District. **Action:** Hear testimony/close hearing.
10. **Rezoning (Z-04-19)** – Request by Russell L. Obermeier to rezone property at 5100 W. Schroth Lane from CL Local Commercial District to R-5 Multifamily Residence District. **Action:** Recommend approval/denial of Z-04-19. (TOWN BOARD ACTION 11/19/2019) *Ordinance O-11-2019.*
11. **Site Plan (SP-24-19)** – Request by Schroth Lane Holding LLC, dba Silverstone Memory Care, Inc., 5100 W. Schroth Lane, for construction of a 44-unit senior assisted living facility and associated site improvements. **Action:** Approve/deny SP-24-19.
12. **Site Plan Amendment (SPA1-00-75)** – Request by Main Concrete Inc., 401 N. Perkins Street, for construction of a commercial storage building and associated site improvements. **Action:** Approve/deny SPA1-00-75.
13. **Public Participation Plan for Town of Grand Chute Comprehensive Plan 2020-2040** – Recommend approval/denial of the Public Participation Plan for Town of Grand Chute Comprehensive Plan 2020-2040. (TOWN BOARD ACTION 11/19/2019) *Resolution TBR-19-2019.*
14. Adjournment.

Public Notice: Agendas are posted in the following locations: Town Hall bulletin boards & Town website www.grandchute.net 2015 Wisconsin Act 79 allows the publication of certain legal notices on an Internet site maintained by a municipality. This law allows these types of legal notices to be posted in one physical location in the jurisdiction (instead of three) if also placed on an Internet site maintained by the local government.

Special Accommodations: Requests from persons with disabilities who need assistance to participate in this meeting should be made to the Clerk's Office at (920-832-5644) with at least 24-hour notice.

Notice of Possible Quorum: A quorum of the Town Board, Sanitary Districts, Board of Review, Community Development Authority, Licensing Committee, Parks Commission, Joint Review Board, Zoning Board of Appeals and/or Police and Fire Commission may be present at this meeting for the purpose of gathering information and possible discussion on items listed on this agenda. However, unless otherwise noted in this agenda, no official action by the Town Board, Sanitary Districts, Board of Review, Community Development Authority, Licensing Committee, Parks Commission, Joint Review Board, Zoning Board of Appeals and/or Police and Fire Commission will be taken at this meeting.

GRAND CHUTE PLAN COMMISSION MINUTES

October 15, 2019

Members Present: Chairman Dave Schowalter, Commissioners Robert Stadel, Bruce Sherman, Julie Hidde, John Weber, Duane Boeckers, Pam Crosby, Cheryl Ulrich.

Also Present: James March, Town Administrator; Brent Braun, IT Director; Denise Herron and Tim Tanglin, IT Systems/Network Engineers; Katie Schwartz, Public Works Director; Karen Heyrman, Deputy Public Works Director; Robert Buckingham, Community Development Director; Tracy Olejniczak, Administrative Assistant; interested parties (audience attendance = 5)

1. **ROLL CALL**

Chairman Schowalter opened the meeting at 6:00 p.m.

2. **PLEDGE OF ALLEGIANCE**

3. **APPROVAL OF AGENDA**

Motion (Sherman/Crosby) to approve the agenda. Motion carried, all voting aye.

4. **APPROVAL OF MINUTES** – OCTOBER 1, 2019 MEETING.

Motion (Hidde/Weber) to approve the minutes. Motion carried, all voting aye.

5. **PUBLIC INPUT** – There was no public input.

6. **COMMUNITY DEVELOPMENT DIRECTOR'S REPORT** – No report.

7. **PUBLIC HEARING #1** – REZONING (Z-02-19) REQUESTED BY YORKSHIRE PROPERTIES, LLC TO REZONE PROPERTIES AT THE SOUTHEAST CORNER OF N. WALDOCH DRIVE AND W. MICHAELS DRIVE FROM CL LOCAL COMMERCIAL DISTRICT TO R-4 MULTIFAMILY RESIDENCE DISTRICT.

Chairman Schowalter opened Public Hearing #1 at 6:02 p.m.

Attorney Brian Hamill, Dempsey Law LLC, advised that he was representing the petitioners for both rezoning requests before the Commission. He displayed a poster board of the immediate neighborhood, pointing out the townhomes that Yorkshire Properties successfully developed across the street. They would like to build similar units on the land requested for rezoning. He noted that based on a previous meeting with Town officials, and based on the staff report for the rezoning, the Comprehensive Plan for the property has been noted as a prime reason for recommendation to deny the request. He noted that the Plan is being updated soon and stated his opinion that it should be malleable, and reviewed based on changed circumstances. Concerning commercial development opportunities, he stated that it looks like the trend will be to less brick and mortar buildings in the future. He suggested that the Comprehensive Plan may need to recognize the need for less commercial land than was once believed to be the case. He stated his opinion that the concept of multifamily development being too a high number is not really going to change regardless of the outcome of the pending requests. He stated that units under this zoning class could be sold as condos, which would more closely align with the single-family market. He noted that the second rezoning request does not include land fronting on McCarthy Road, which would remain available for commercial uses. He concluded by providing some information on the economic benefit to the Town if the rezoning were approved and multifamily development was allowed.

Henry Chou, Yorkshire Properties, LLC, explained their prior experience in getting rezoning for multifamily across the street, and the success of the townhomes they built. They would like to continue with similar units on the land being requested for rezoning. He stated that they own both commercial and residential properties in Grand Chute and that commercial occupancy rates have been lower since the recession.

Julie Huth and Rod Huth, 602 N. Waldoch Drive, stated that they own a commercial office building that adjoins lands requested for rezoning by both petitioners. She explained the loss in property value over the years despite it being a fully leased building, including her own accounting firm. She expressed concern over the value of the

property in the future if more multifamily development is allowed. Among their concerns with the townhomes across the street is an increased number of strangers parking vehicles in her lot, residents placing trash in her refuse corrals, dog waste not being picked off her lot. They both expressed their concern that these problems may only increase if more units are allowed next door. He stated his opinion that with the expansion taking place nearby at the Appleton International Airport, the land in this area should draw more interest for business development. He also noted that they installed security cameras on the exterior of the building to protect themselves should any of the children who come on the property would get injured. She concluded by stating that they have had to accept the fact that their property is worth less now than what they originally paid for it, but they are concerned by the effect more multifamily development would have. They object to this rezoning request.

Motion (Sherman/Hidde) to close Public Hearing #1 at 6:23 p.m. Motion carried, all voting aye.

8. **REZONING (Z-02-19)** – REQUEST BY YORKSHIRE PROPERTIES, LLC TO REZONE PROPERTIES AT THE SOUTHEAST CORNER OF N. WALDOCH DRIVE AND W. MICHAELS DRIVE FROM CL LOCAL COMMERCIAL DISTRICT TO R-4 MULTIFAMILY RESIDENCE DISTRICT.

Director Buckingham noted for the record that two written comments received regarding the request. Evan Kelly, 613 N. Waldoch Drive, supports more townhomes. Bobby Fischer, 609 N. Waldoch Drive, supports the rezoning but would like to see duplex units that are more environmentally friendly than the unit he resides in.

Director Buckingham provided an overview of current zoning and land use in this area. He stated that staff recommendation is to deny the request and retain the CL Local Commercial District classification of the property, which is consistent with the Comprehensive Plan. He noted that before the petitioner purchased the land in question, staff informed them that the property would not be favorably recommended for rezoning to multifamily classification. He stated that if historic development trends continue, Grand Chute could be fully built-out within 20-25 years. The McCarthy-Mayflower corridor between College and Wisconsin Avenue is a key commercial growth area that needs to be preserved. He noted that five office buildings are already established in the area of the two rezoning requests and this use of the land matches the Comprehensive Plan. He stated the Comprehensive Plan was adopted just 9 years ago and that the land use projections for the area are still valid today. He noted that Grand Chute has a greater concentration of multifamily development than surrounding communities. He advised that it is not in the Town's best interests at this time to promote multifamily development on land that is reserved for future commercial growth, noting that there are better areas available for multifamily. He also noted that staff and the Town Attorney met with the petitioner and their attorney to explain the Town's position. They were encouraged to participate in the Comprehensive Plan update process.

Chairman Schowalter stated that Grand Chute had \$138 million of construction activity in 2018, and \$68 million of activity to date in 2019, which is a strong indicator of the vitality of our commercial sector.

Commissioner Sherman stated that the Comprehensive Plan is our leading document and we need to follow the guidance it provides. He stated his intent to vote for denial of the rezoning request.

Commissioner Hidde also stated her intent to vote for denial. She stated that the fact the petitioner was informed before purchasing the property that the Town intended to retain commercial zoning was an important consideration.

Motion (Sherman/Hidde) to recommend denial of the request (Z-02-19) by Yorkshire Properties, LLC, to rezone properties at the southeast corner of N. Waldoch Drive and W. Michaels from CL Local Commercial District to R-4 Multifamily Residence District (Ordinance O-09-2019). Motion carried, all voting aye.

9. **PUBLIC HEARING #2** – REZONING (Z-03-19) REQUESTED BY NORTH SHORE BANK FSB TO REZONE PROPERTIES ON W. MICHAELS DRIVE, N. ALTENHOVEN DRIVE, AND W. GRANDE MARKET DRIVE FROM CL LOCAL COMMERCIAL DISTRICT TO R-4 MULTIFAMILY RESIDENCE DISTRICT.

Chairman Schowalter opened Public Hearing #2 at 6:32 p.m.

Attorney Brian Hamill, Dempsey Law LLC, spoke on behalf of the petitioner. He stated that his client has been trying to sell/develop this property for much longer than the 9 years the Comprehensive Plan has been in existence. He suggested that at some point after a property has been marketed for many years without success, the Town should look at the Comprehensive Plan and Zoning Map to put them more in line with the market. He stated that the potential is there to develop the property for multifamily use, working around wetlands areas. He also noted that the rezoning request does not include land fronting on McCarthy Road, which would remain available for commercial uses. He stated that his client just cannot sit on this land anymore, given the lack of response from commercial developers. He concluded by stating that similar to what was reported by a commercial property owner in the previous hearing, his client's property has also declined in value.

Motion (Hidde/Crosby) to close Public Hearing #2 at 6:37 p.m. Motion carried, all voting aye.

10. **REZONING (Z-03-19)** – REQUEST BY NORTH SHORE BANK FSB TO REZONE PROPERTIES ON W. MICHAELS DRIVE, N. ALTENHOFEN DRIVE, AND W. GRANDE MARKET DRIVE FROM CL LOCAL COMMERCIAL DISTRICT TO R-4 MULTIFAMILY RESIDENCE DISTRICT.

Director Buckingham referred Commission members to the staff report for background on the rezoning request and the findings behind the recommendation to deny the request. He noted that the property in question remains to be an important part of the land inventory for future commercial development. He stated that the petitioner and their real estate consultant have been encouraged to participate in the Comprehensive Plan update process. The Town is also willing to look at ways to help overcome some of the site challenges at this property. Specifically, the Town is in the early planning stages for a regional stormwater pond in this corridor. This would allow runoff from the subject property to be directed to this pond instead of having to provide on-site stormwater facilities.

Motion (Sherman/Boeckers) to recommend denial of the request (Z-03-19) by North Shore Bank FSB to rezone properties on W. Michaels Drive, N. Altenhofen Drive, and W. Grande Market Drive from CL Local Commercial District to R-4 Multifamily Residence District (Ordinance O-10-2019). Motion carried, all voting aye.

11. ADJOURNMENT.

Motion (Sherman/Crosby) to adjourn the meeting at 6:42 p.m. Motion carried, all voting aye.

Respectfully Submitted,

Tracy Olejniczak/BB
Com. Dev. Admin. Asst.

7/8.

**Town of Grand Chute
Special Exception Request
Offsets Garage LLC, dba Branded Title Co.**

To: Plan Commission

From: Michael Patza, Town Planner

Date: October 30, 2019

Address: 1060 N. Perkins Street

App. #: SE-18-19

REQUEST

1. **Proposed Use:** Operation of an automotive sales and service business.
2. **Project Description:** Sale and service of automobiles, no changes to site.
3. **Plat/CSM Accurate parcel lines/lot recorded:** Yes.

ANALYSIS

Applicant seeks approval to sell and service automobiles at this location. The site serves as a secondary location for the parent business, which specializes in the sale and installation of aftermarket vehicle accessories. Due to the size of the site and available parking, a maximum of 10 vehicles "for sale" may be displayed at any given time. The limit on the number of vehicles will be a condition of the Special Exception permit.

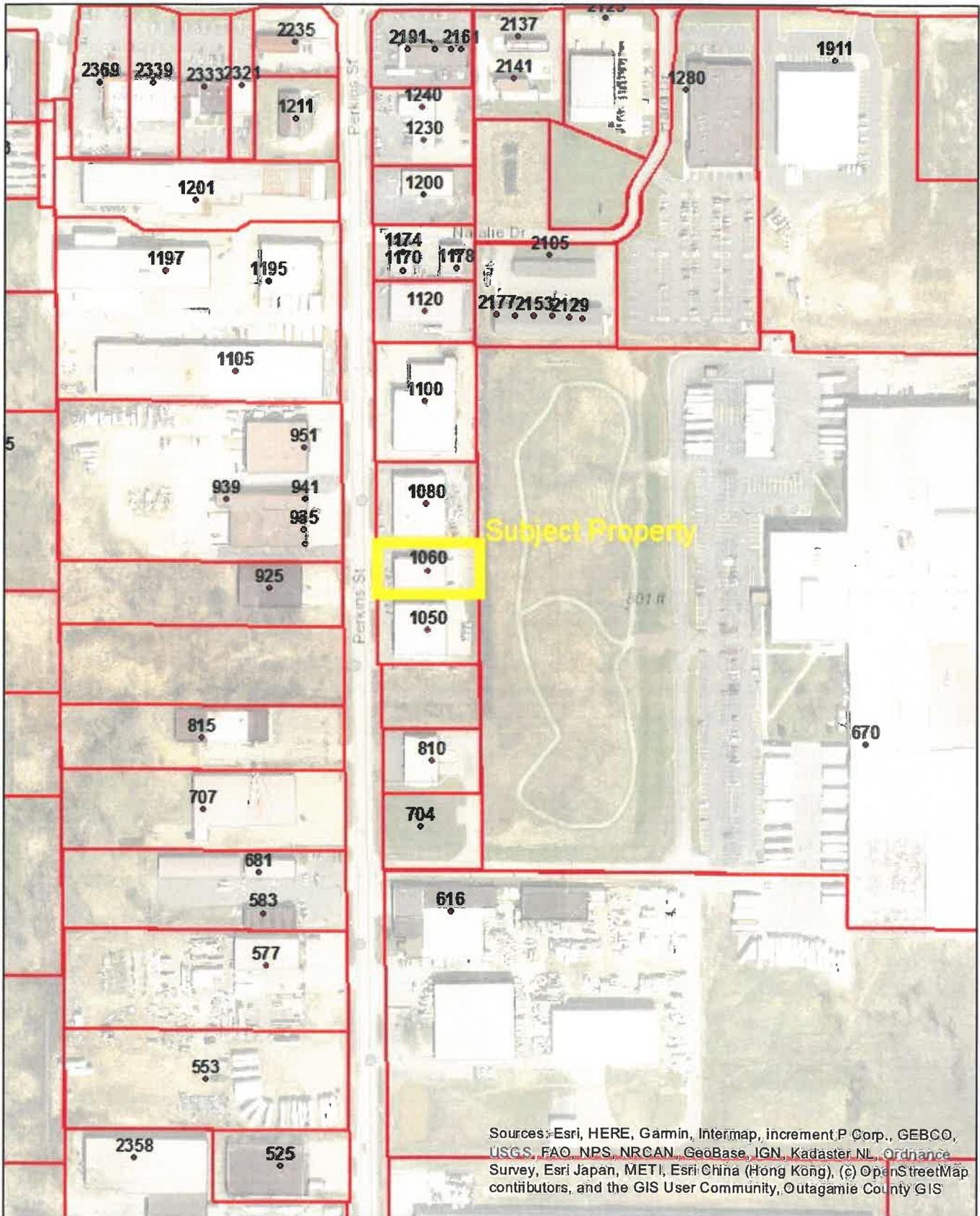
FINDINGS OF FACT IN GRANTING OF A SPECIAL EXCEPTION

- a. **The establishment, maintenance or operation of the proposed Special Exception use or structure at the proposed location will not be detrimental or injurious to the use and enjoyment of existing uses on adjacent properties or properties in the vicinity. Yes.**
- b. **The establishment, maintenance or operation of the proposed Special Exception use or structure, alone or in combination with other existing Special Exception uses and structures in the vicinity will not cause traffic hazards. Yes.**
- c. **Adequate provision is made for surface water drainage, ingress and egress to the property, and off-street parking. Yes.**
- d. **Adequate public facilities and services are available for the proposed Special Exception use of structure. Yes.**

RECOMMENDATION

Staff has reviewed and supports a Plan Commission recommendation for approval of the Special Exception Permit (SE-18-19) requested by Offsets Garage LLC, dba Branded Title Co., 1060 N. Perkins Street, to allow the operation of an automotive sales and service business, with a condition that no more than 10 vehicles "for sale" shall be displayed on the property at any given time.

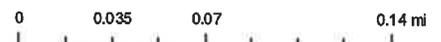
SE-18-19 -- 1060 N. Perkins Street



Sources: Esri, HERE, Garmin, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), (c) OpenStreetMap contributors, and the GIS User Community, Outagamie County GIS

Disclaimer: The data provided in the Town of Grand Chute Interactive GIS Map was generated from multiple sources and agencies. Every effort has been made to offer the most accurate data. However, the Town provides this information with the understanding that it is not guaranteed to be accurate, correct, or complete. The Town may make improvements to the Interactive GIS Map periodically. Conclusions drawn from this information are the responsibility of the user. The user agrees that the Town of Grand Chute shall not be held responsible for actions, claims, damages, or judgments made from this data.

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9/24/2019

To Whom it May Concern:

Offsets Garage, LLC, d.ba.: Branded Title Co would like to acquire a special exception permit to be a used car dealership. We are currently purchasing vehicles and restoring them.

We would have 10 or less vehicles on lot at 1060 N Perkin St, Appleton WI 54914 at a time. Hours of operation would be set from 9 am - 5 pm.

Thank you for your time and consideration,

A handwritten signature in black ink, appearing to read "Shawn Chartier". The signature is stylized and cursive.

Shawn Chartier
Member
Offsets Garage

9/10.

**Town of Grand Chute
Rezoning Request
Russell L. Obermeier**

To: Plan Commission
From: Michael Patza, Town Planner
Date: October 30, 2019
Address: 5100 W. Schroth Lane

App. #: Z-04-19

REQUEST

Applicant requests the rezoning of this 3.4 acre parcel from **CL Local Commercial District** to **R-5 Multifamily Residence District**.

ANALYSIS

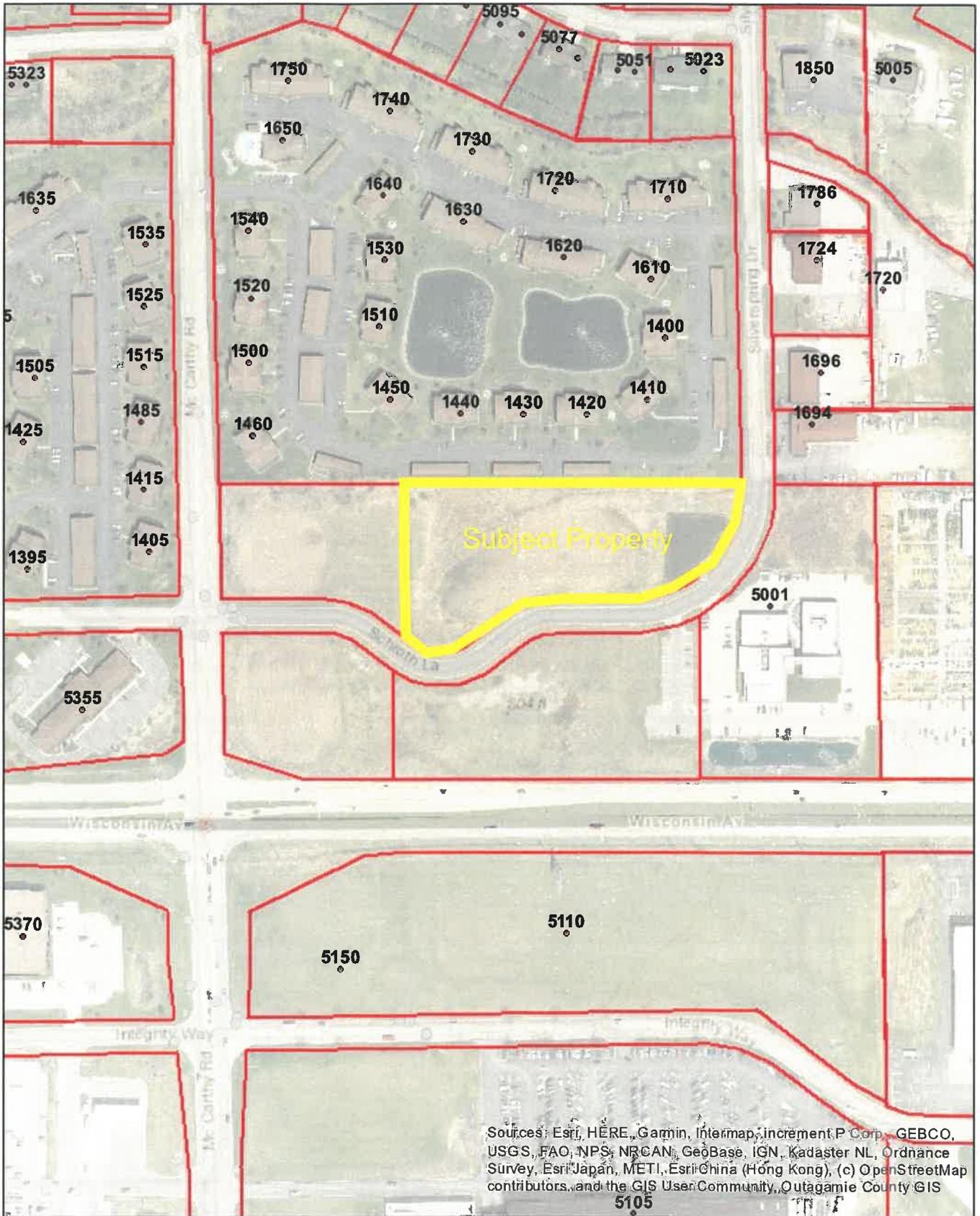
The rezoning is requested to allow development of a 44-unit senior assisted living facility specializing in memory care. The project represents a high-quality development with building materials that include brick and natural stone elements, generous site landscaping, and a courtyard area for residents. The intended use of the property and rezone to a multifamily residential classification is consistent with the adjacent multifamily development to the north. The site is ideally suited for R-5 Multifamily Residence District zoning classification, as it is a transitional district between existing residential development and commercial areas.

A Certified Survey Map has been recorded to establish the 3.4 acre parcel required for this project. The 2.15 acre parcel on the corner of W. Schroth Lane and N. McCarthy Road is not included in the rezoning request and will be reserved for commercial development. The rezoning of this property to a multifamily classification requires an amendment to the Grand Chute Comprehensive Plan to reflect Urban – Multi-Family Residential use.

RECOMMENDATION

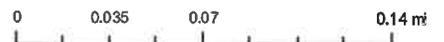
Staff has reviewed and supports a Plan Commission recommendation to amend the Comprehensive Plan to reflect Urban – Multi-family Residential use for property located at 5100 W. Schroth Lane, and to rezone the property from CL Local Commercial District to R-5 Multifamily Residence District (Ordinance No. O-11-2019).

Z-04-19 -- 5100 W. Schroth Lane



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Author:
Copyright:



**Project Narrative:
Tanglewood Assisted Living
Town of Grand Chute
Outagamie County, Wisconsin**



Tanglewood is a proposed 44-person community based residential facility.

The facility design having smaller living quarters than traditional residential housing requires a denser residential zoning classification with 44-units/rooms on 3.4 acres or 12.94 units per acre. The rezoning from local commercial (CL) to Multifamily Residence R-5 will accommodate the requested density. The parcel overall will have significant green space to that of 64% that far exceeds the land use requirement.

Document #: 2175200
 Date: 10-30-2019 Time: 11:07 AM
 Pages: 3 Fee: \$30.00
 County: OUTAGAMIE COUNTY State: WI

Sarah R. Van Camp

SARAH R VAN CAMP, REGISTER OF DEEDS
 Returned to: FILED

Certified Survey Map No. 7822

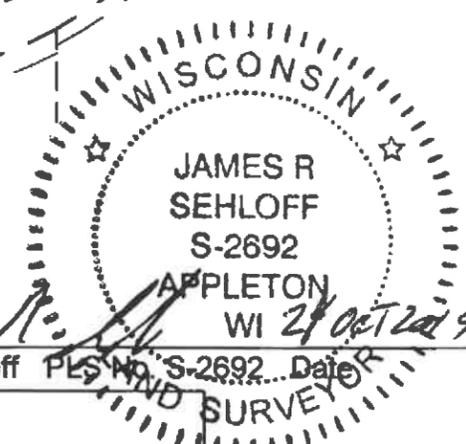
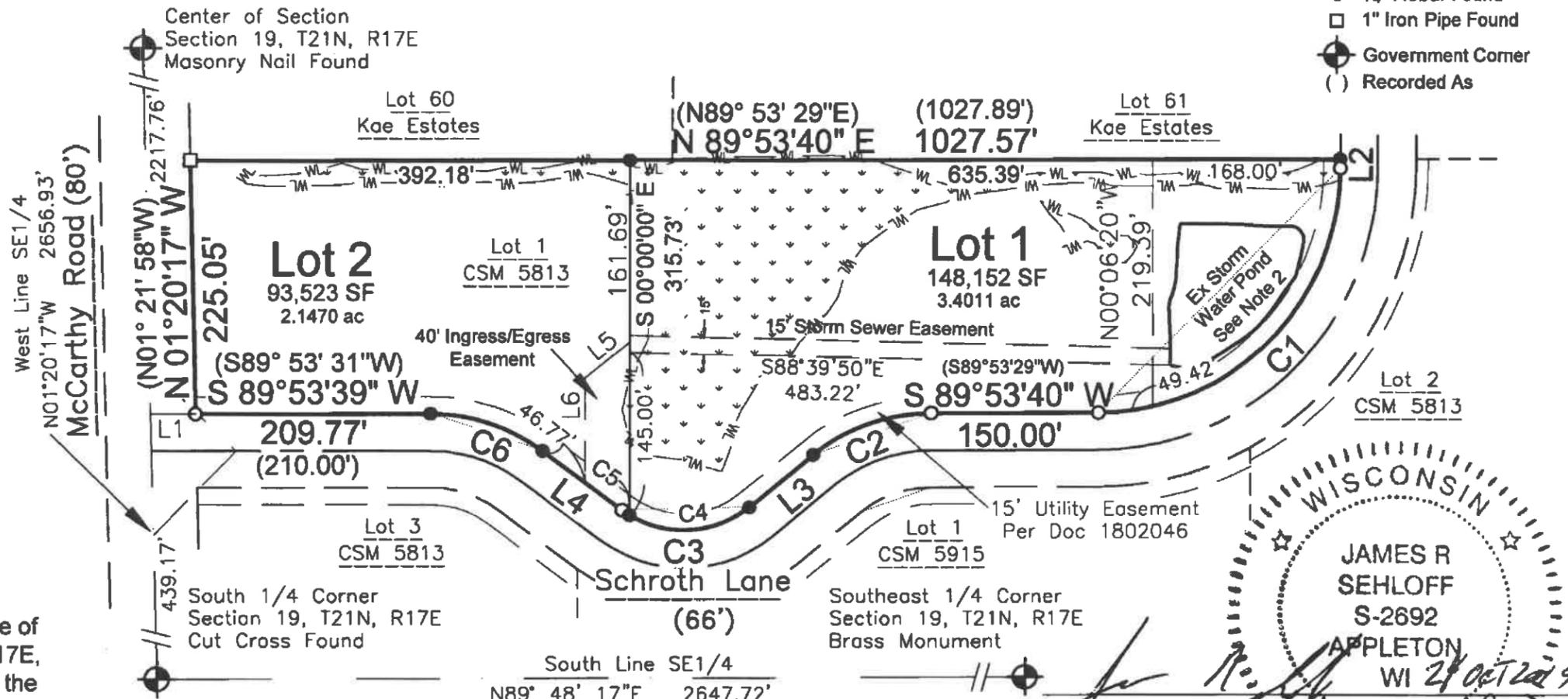
All of Lot 1 Certified Survey Map 5813 being part of the Southwest 1/4 of the Southeast 1/4 of Section 19,
 Township 21 North, Range 17 East, Town of Grand Chute, Outagamie County, Wisconsin.

LEGEND

- 3/4" x 18" Steel Rebar @ 1.50lbs/LF SET
- 3/4" Rebar Found
- 1" Iron Pipe Found
- ⊕ Government Corner
- () Recorded As



Bearings are referenced to the South line of the Southeast 1/4, Section 19, T21N, R17E, assumed to bear N89°48'17"E, base on the Outagamie County Coordinate System.



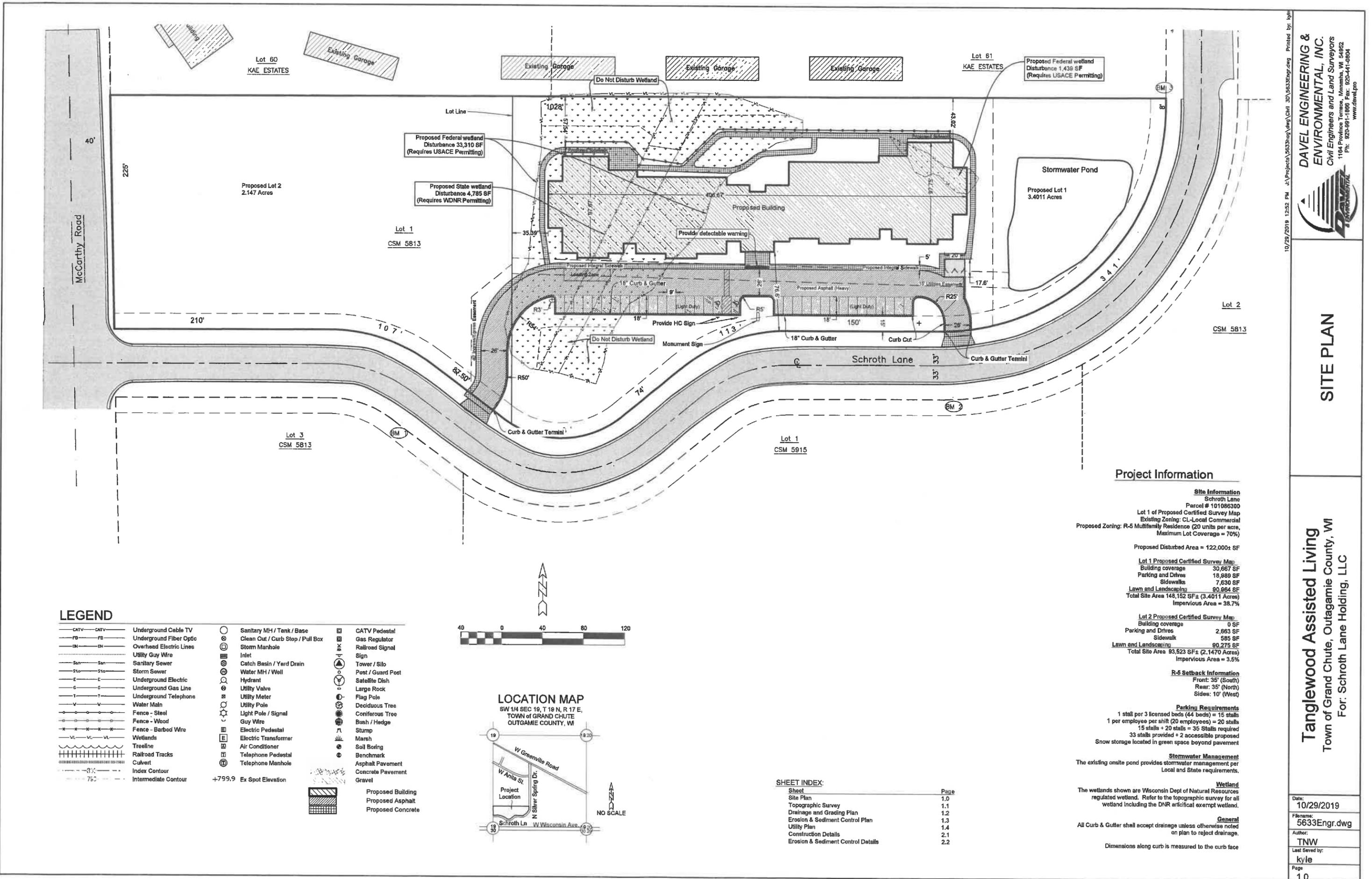
James R. Sehloff PLS No. S-2692 Date 21 OCT 2019

Survey for:
 Ryan Krumrie
 Hager, Dewick, Zuenglear, S.C
 200 S Washington St Ste 200
 Green Bay, WI 54301



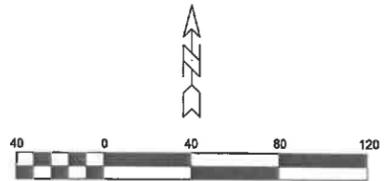
LINE TABLE			
Line	Bearing	Recorded	Length
L1	N 89°53'39" E		40.01'
L2	S 00°06'20" E	(S00°06'31"E)	7.99'
L3	S 50°52'40" W	(S50°52'29"W)	74.00'
L4	N 53°13'33" W	(N53°13'31"W)	87.50'
L5	N 51°23'14" E		51.19'
L6	S 00°00'00" E		92.73'

CURVE TABLE						
Curve	Radius	Chord Direction	Recorded	Chord Length	Arc Length	Central Angle
C1	217.00'	S 44°53'36" W	(S44°53'25"W)	306.88'	340.86'	89°59'54"
C2	166.00'	S 70°23'10" W	(S70°22'59"W)	110.87'	113.04'	39°01'01"
C3	92.98'	S 88°49'47" W	(S88°49'29"W)	114.37'	123.18'	75°54'33"
C4	92.98'	S 86°05'08" W		107.22'	114.27'	70°25'15"
C5	92.98'	N 55°57'35" W		8.90'	8.91'	5°29'18"
C6	165.93'	N 71°39'50" W	(N71°40'01"W)	105.02'	106.86'	36°53'53"



LEGEND

- | | | | | | |
|-------------|-------------------------|----------------------------------|----------------------------------|-------------------|-------------------|
| CATV - CATV | Underground Cable TV | Sanitary MH / Tank / Base | Sanitary MH / Tank / Base | CATV Pedestal | CATV Pedestal |
| FD - FD | Underground Fiber Optic | Clean Out / Curb Stop / Pull Box | Clean Out / Curb Stop / Pull Box | Gas Regulator | Gas Regulator |
| EM - EM | Overhead Electric Lines | Storm Manhole | Storm Manhole | Railroad Signal | Railroad Signal |
| UGW - UGW | Utility Guy Wire | Inlet | Inlet | Sign | Sign |
| SS - SS | Sanitary Sewer | Catch Basin / Yard Drain | Catch Basin / Yard Drain | Tower / Silo | Tower / Silo |
| Sto - Sto | Storm Sewer | Water MH / Well | Water MH / Well | Post / Guard Post | Post / Guard Post |
| E - E | Underground Electric | Hydrant | Hydrant | Satellite Dish | Satellite Dish |
| G - G | Underground Gas Line | Utility Valve | Utility Valve | Large Rock | Large Rock |
| T - T | Underground Telephone | Utility Meter | Utility Meter | Flag Pole | Flag Pole |
| V - V | Water Main | Utility Pole | Utility Pole | Deciduous Tree | Deciduous Tree |
| FS - FS | Fence - Steel | Light Pole / Signal | Light Pole / Signal | Coniferous Tree | Coniferous Tree |
| FW - FW | Fence - Wood | Guy Wire | Guy Wire | Bush / Hedge | Bush / Hedge |
| VBW - VBW | Fence - Barbed Wire | Electric Pedestal | Electric Pedestal | Stump | Stump |
| W - W | Wetlands | Electric Transformer | Electric Transformer | Marsh | Marsh |
| TL - TL | Tree Line | Air Conditioner | Air Conditioner | Soil Boring | Soil Boring |
| RT - RT | Railroad Tracks | Telephone Pedestal | Telephone Pedestal | Benchmark | Benchmark |
| C - C | Culvert | Telephone Manhole | Telephone Manhole | Asphalt Pavement | Asphalt Pavement |
| IC - IC | Index Contour | | | Concrete Pavement | Concrete Pavement |
| 75.0 - 75.0 | Intermediate Contour | | | Gravel | Gravel |
| | | +799.9 Ex Spot Elevation | | Proposed Building | Proposed Building |
| | | | | Proposed Asphalt | Proposed Asphalt |
| | | | | Proposed Concrete | Proposed Concrete |



LOCATION MAP



SHEET INDEX:

Sheet	Page
Site Plan	1.0
Topographic Survey	1.1
Drainage and Grading Plan	1.2
Erosion & Sediment Control Plan	1.3
Utility Plan	1.4
Construction Details	2.1
Erosion & Sediment Control Details	2.2

Project Information

Site Information
 Schroth Lane
 Parcel # 101068300
 Lot 1 of Proposed Certified Survey Map
 Existing Zoning: CL-Local Commercial
 Proposed Zoning: R-5 Multifamily Residence (20 units per acre, Maximum Lot Coverage = 70%)
 Proposed Disturbed Area = 122,000± SF

Lot 1 Proposed Certified Survey Map
 Building coverage 30,667 SF
 Parking and Drives 18,889 SF
 Sidewalks 7,630 SF
 Lawn and Landscaping 90,864 SF
 Total Site Area 148,152 SF± (3.4011 Acres)
 Impervious Area = 38.7%

Lot 2 Proposed Certified Survey Map
 Building coverage 0 SF
 Parking and Drives 2,863 SF
 Sidewalk 585 SF
 Lawn and Landscaping 90,275 SF
 Total Site Area 93,523 SF± (2.1470 Acres)
 Impervious Area = 3.5%

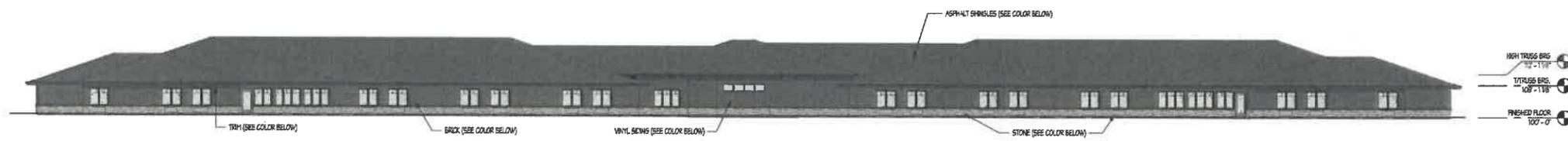
R-5 Setback Information
 Front: 35' (South)
 Rear: 35' (North)
 Sides: 10' (West)

Parking Requirements
 1 stall per 3 licensed beds (44 beds) = 15 stalls
 1 per employee per shift (20 employees) = 20 stalls
 15 stalls + 20 stalls = 35 Stalls required
 33 stalls provided + 2 accessible proposed
 Snow storage located in green space beyond pavement

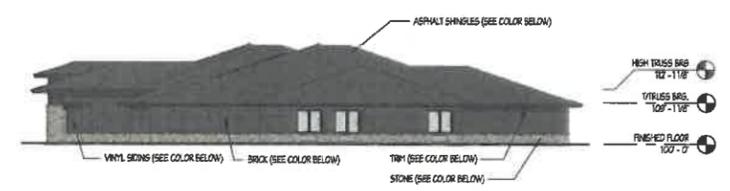
Stormwater Management
 The existing onsite pond provides stormwater management per Local and State requirements.

Wetland
 The wetlands shown are Wisconsin Dept of Natural Resources regulated wetland. Refer to the topographic survey for all wetland including the DNR artificial exempt wetland.

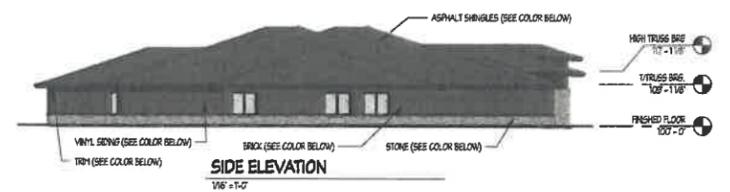
General
 All Curb & Gutter shall accept drainage unless otherwise noted on plan to reject drainage.
 Dimensions along curb is measured to the curb face



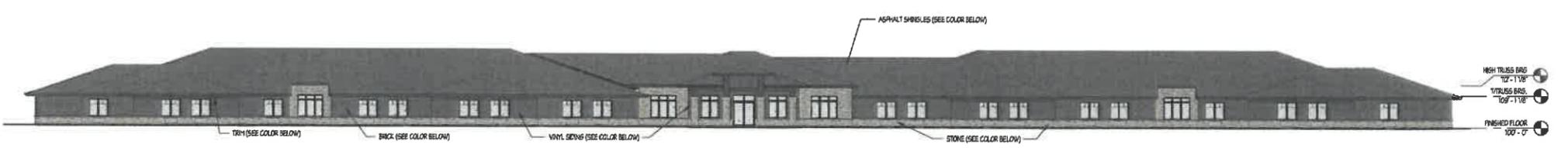
BACK ELEVATION
1/8" = 1'-0"



SIDE ELEVATION
1/8" = 1'-0"



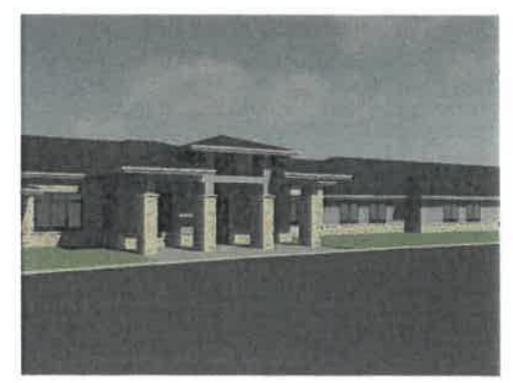
SIDE ELEVATION
1/8" = 1'-0"



FRONT ELEVATION
1/8" = 1'-0"



- ASPHALT SHINGLES
CERTAINTED - LANDMARK -
BLACK WALNUT
- BRICK - ELDORADO STONE
TUNDRA BRICK - IRONSIDE
- VINYL SIDING -
CERTAINTED - SLATE
- STONE
BOULDER CREEK -
PRAIRIE BLUFF - LANER



PROGRESS SET - NOT FOR CONSTRUCTION

ELEVATIONS	
<p>TANGLEWOOD ASSISTED LIVING FACILITY</p>	<p>SCHROTH LANE HOLDING, LLC 200 S. WASHINGTON STREET, SUITE 200, GREEN BAY, WI 54301</p>
<p>GRUNWALDT & HALVERSON Architects Engineers 3113 MacArthur Way, Plover, WI 54467 715 344-8647 www.grunwaldthalverson.com</p>	
<p>DRAWN: Author</p> <p>CHECKED: Designer</p> <p>DATE: 10.09.2019</p> <p>SCALE: AS NOTED</p> <p>JOB NO.: 18023</p>	<p>SHEET</p> <p style="font-size: 2em; font-weight: bold; text-align: center;">A1</p>

**Town of Grand Chute
Site Plan Review
Schroth Lane Holding LLC, dba Silverstone Memory Care, Inc.**

To: Plan Commission
From: Michael Patza, Town Planner
Date: October 31, 2019
Address: 5100 W. Schroth Lane **App. #: SP-24-19**

REQUEST

- 1. Proposed Use(s):** Senior assisted living facility.
- 2. Project Description:** Construction of a 44-unit senior assisted living facility and associated site improvements.
- 3. Plat/CSM Accurate parcel lines/lot recorded:** Yes.

ANALYSIS

Applicant proposes the construction of a 30,667 sq. ft. senior assisted living facility that specializes in memory care. The development will include 44 units with a range of care options for residents. A 35-stall parking lot on the south side of the building will accommodate parking for staff and visitors. The building exterior includes brick and natural stone elements, which meet the architectural requirements outlined in the Zoning Code. The development will feature walking paths and a courtyard on the north side of the building. Site access will be from two driveways on W. Schroth Lane, with one of the driveways located on the parcel to the west. A cross-access easement will allow the development to utilize this driveway.

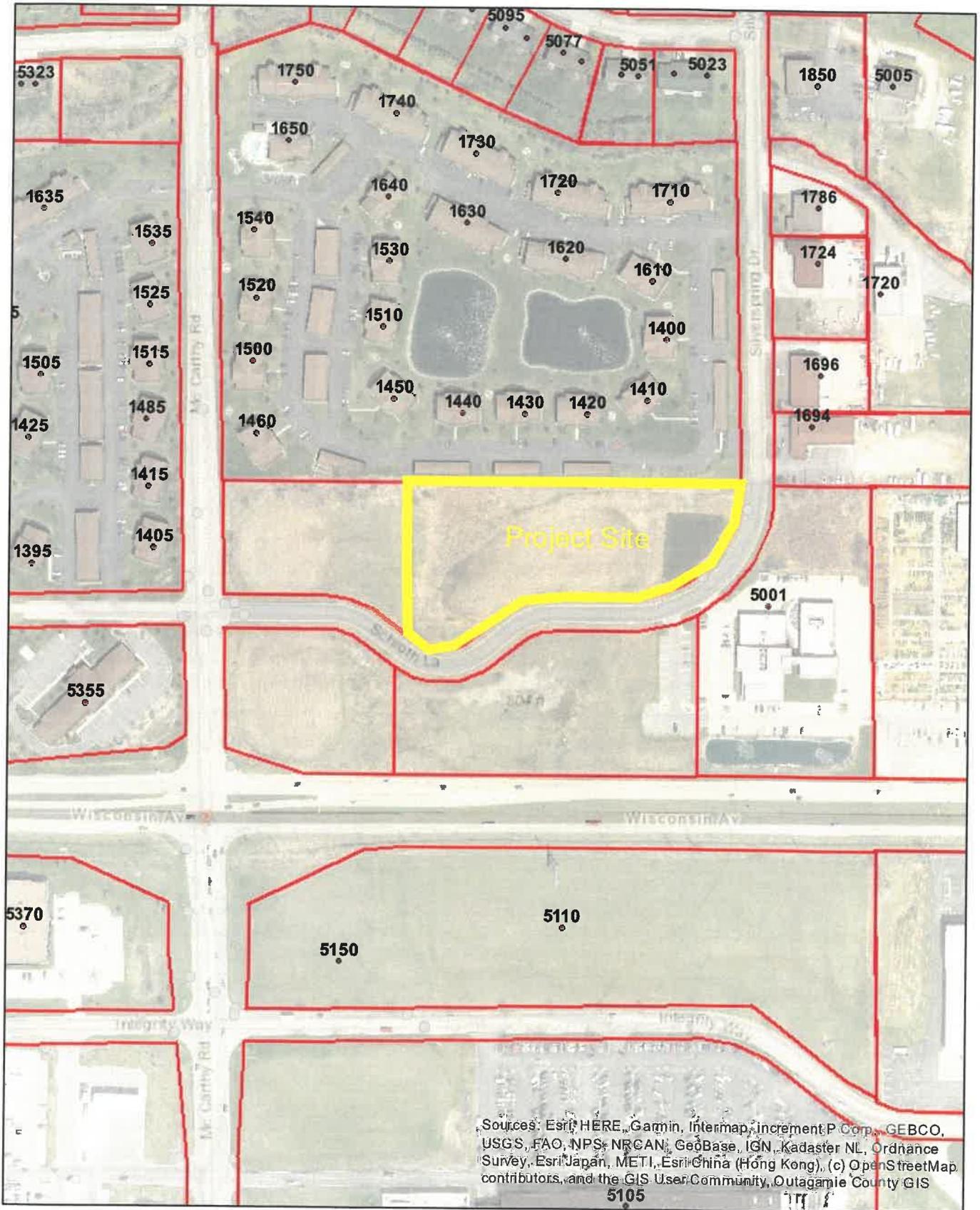
A wetland delineation was conducted on the property in advance of the proposed development. Portions of the areas identified as wetlands met the necessary criteria for artificial wetlands and were classified as exempt by the WDNR. Areas of wetlands will be impacted by the development and final approval and permitting by the WDNR and Army CORPS is required to proceed with the proposed site plan.

The Stormwater Management Plan for the project consists of using storm sewer and overland flow to direct runoff to the existing stormwater pond on the east end of the property. The stormwater pond was designed and constructed for future runoff from this property. The Town Engineer has approved the Stormwater Management and Erosion Control Plans. The Landscaping and Site Lighting Plans have been approved by staff. All other code requirements are met with this request.

RECOMMENDATION

Staff has reviewed and supports Plan Commission approval of the Site Plan (SP-24-19) requested by Schroth Lane Holding LLC, dba Silverstone Memory Care, Inc., 5100 W. Schroth Lane, for construction of a 44-unit senior assisted living facility and associated site improvements, subject to Town Board approval of rezoning request Z-04-19.

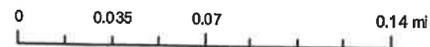
SP-24-19 -- 5100 W. Schroth Lane

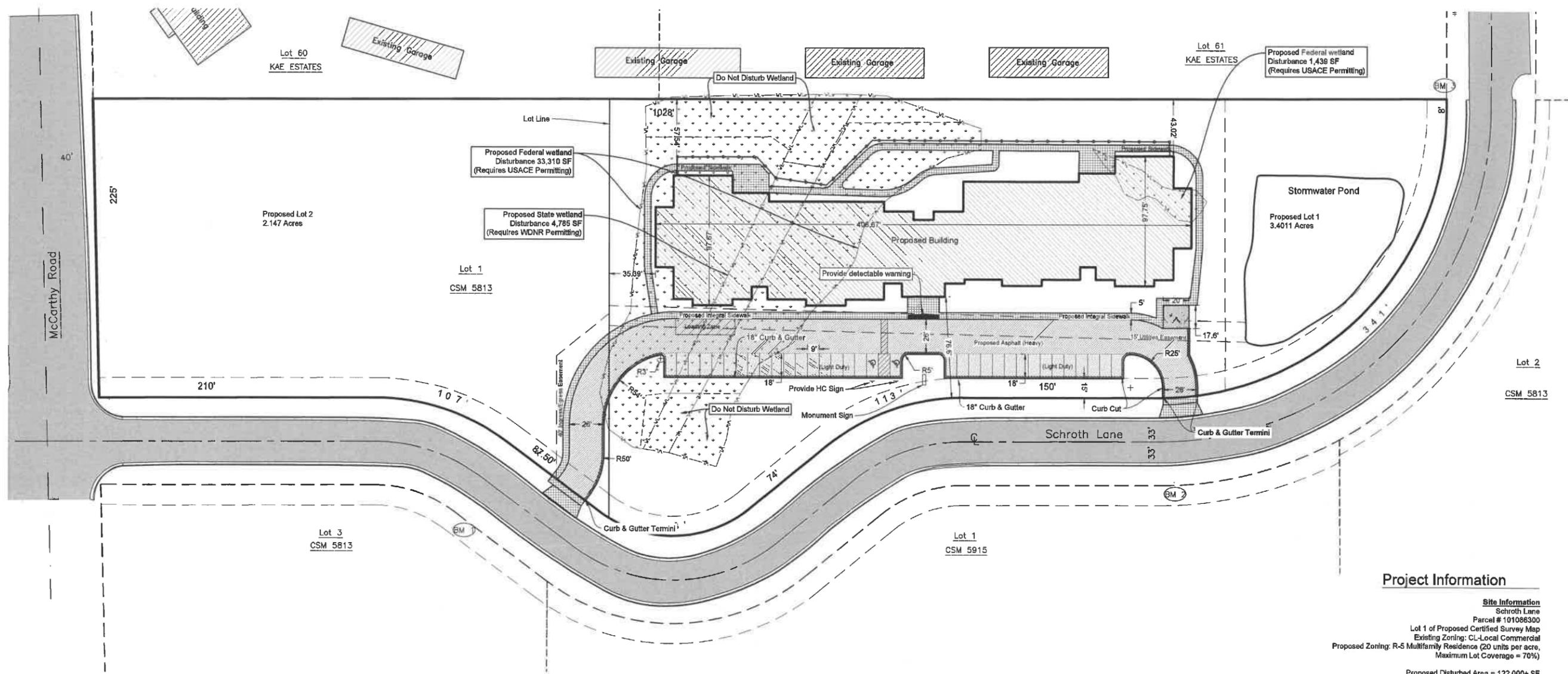


Sources: Esri, HERE, Garmin, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), (c) OpenStreetMap contributors, and the GIS User Community, Outagamie County GIS

Disclaimer: The data provided in the Town of Grand Chute Interactive GIS Map was generated from multiple sources and agencies. Every effort has been made to offer the most accurate data. However, the Town provides this information with the understanding that it is not guaranteed to be accurate, correct, or complete. The Town may make improvements to the Interactive GIS Map periodically. Conclusions drawn from this information are the responsibility of the user. The user agrees that the Town of Grand Chute shall not be held responsible for actions, claims, damages, or judgments made from this data.

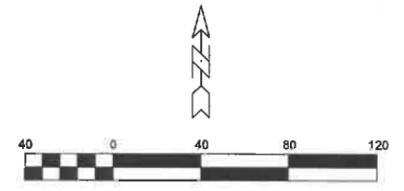
Author:
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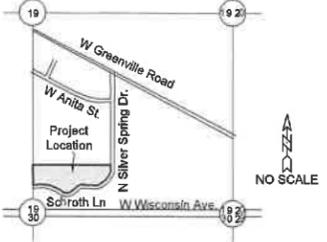


LEGEND

<ul style="list-style-type: none"> --- CATV --- CATV --- --- FD --- FD --- --- OH --- OH --- --- UGW --- UGW --- --- San --- San --- --- Sto --- Sto --- --- E --- E --- --- G --- G --- --- T --- T --- --- V --- V --- --- F --- F --- --- F --- F --- --- F --- F --- --- VL --- VL --- --- RR --- RR --- --- C --- C --- --- 800 --- 800 --- --- 752 --- 752 --- 	<ul style="list-style-type: none"> ○ Sanitary MH / Tank / Base ⊗ Clean Out / Curb Stop / Pull Box ⊕ Storm Manhole ⊖ Inlet ⊗ Catch Basin / Yard Drain ⊕ Water MH / Well ⊗ Hydrant ⊕ Utility Valve ⊗ Utility Meter ⊕ Utility Pole ⊗ Light Pole / Signal ⊕ Guy Wire ⊗ Electric Pedestal ⊕ Electric Transformer ⊗ Air Conditioner ⊕ Telephone Pedestal ⊗ Telephone Manhole ⊕ Ex Spot Elevation 	<ul style="list-style-type: none"> ⊗ CATV Pedestal ⊕ Gas Regulator ⊗ Railroad Signal ⊕ Sign ⊗ Tower / Silo ⊕ Post / Guard Post ⊗ Satellite Dish ⊕ Large Rock ⊗ Flag Pole ⊕ Deciduous Tree ⊗ Coniferous Tree ⊕ Bush / Hedge ⊗ Stump ⊕ Soil Boring ⊗ Benchmark ⊕ Asphalt Pavement ⊗ Concrete Pavement ⊕ Gravel ▨ Proposed Building ▨ Proposed Asphalt ▨ Proposed Concrete
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LOCATION MAP
SW 1/4 SEC 19, T 19 N, R 17 E,
TOWN OF GRAND CHUTE
OUTAGAMIE COUNTY, WI



SHEET INDEX:

Sheet	Page
Site Plan	1.0
Topographic Survey	1.1
Drainage and Grading Plan	1.2
Erosion & Sediment Control Plan	1.3
Utility Plan	1.4
Construction Details	2.1
Erosion & Sediment Control Details	2.2

Project Information

Site Information
Schroth Lane
Parcel # 101086300
Lot 1 of Proposed Certified Survey Map
Existing Zoning: CL-Local Commercial
Proposed Zoning: R-5 Multifamily Residence (20 units per acre, Maximum Lot Coverage = 70%)
Proposed Disturbed Area = 122,000± SF

Lot 1 Proposed Certified Survey Map
Building coverage 30,687 SF
Parking and Drives 18,989 SF
Sidewalks 7,630 SF
Lawn and Landscaping 90,954 SF
Total Site Area 148,152 SF± (3.4011 Acres)
Impervious Area = 38.7%

Lot 2 Proposed Certified Survey Map
Building coverage 0 SF
Parking and Drives 2,863 SF
Sidewalk 585 SF
Lawn and Landscaping 90,275 SF
Total Site Area 93,523 SF± (2.1470 Acres)
Impervious Area = 3.5%

R-5 Setback Information
Front: 35' (South)
Rear: 35' (North)
Sides: 10' (West)

Parking Requirements
1 stall per 3 licensed beds (44 beds) = 15 stalls
1 per employee per shift (20 employees) = 20 stalls
15 stalls + 20 stalls = 35 Stalls required
33 stalls provided + 2 accessible proposed
Snow storage located in green space beyond pavement

Stormwater Management
The existing onsite pond provides stormwater management per Local and State requirements.

Wetland
The wetlands shown are Wisconsin Dept of Natural Resources regulated wetland. Refer to the topographic survey for all wetland including the DNR artificial exempt wetland.

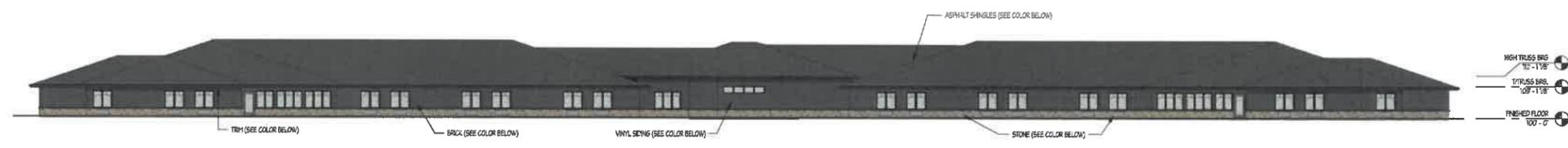
General
All Curb & Gutter shall accept drainage unless otherwise noted on plan to reject drainage.
Dimensions along curb is measured to the curb face

10/29/2019 12:52 PM U:\Projects\5633\Eng\DWG\Civil_3D\5633Engr.dwg Printed by: Kyle
DAVEL ENGINEERING & ENVIRONMENTAL, INC.
 Civil Engineers and Land Surveyors
 1164 Province Terrace, Menasha, WI 54952
 Ph: 920-991-1886 Fax: 920-441-0804
 www.davelinc.com

Tanglewood Assisted Living
 Town of Grand Chute, Outagamie County, WI
 For: Schroth Lane Holding, LLC

SITE PLAN

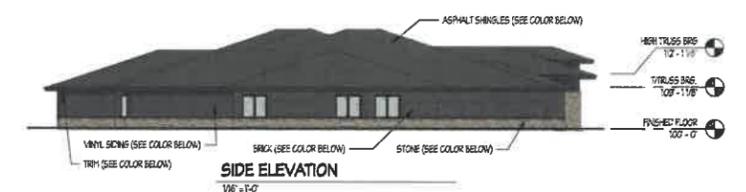
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 Author: TNW
 Last Saved by: kyle
 Page 1.0



BACK ELEVATION
1/8" = 1'-0"



SIDE ELEVATION
1/8" = 1'-0"



SIDE ELEVATION
1/8" = 1'-0"



FRONT ELEVATION
1/8" = 1'-0"



DUMPSTER FRONT VIEW
1/8" = 1'-0"



DUMPSTER SIDE VIEW
1/8" = 1'-0"

- BRICK - ELDORADO STONE
- TUNDRA BRICK - IRONSIDE
- ASPHALT SHINGLES
- CERTAINTEED - LANDMARK - BLACK WALNUT
- VINYL SIDING - CERTAINTEED - SLATE
- STONE
- BOULDER CREEK - PRAIRIE BLUFF - LANER



PROGRESS SET - NOT FOR CONSTRUCTION

ELEVATIONS

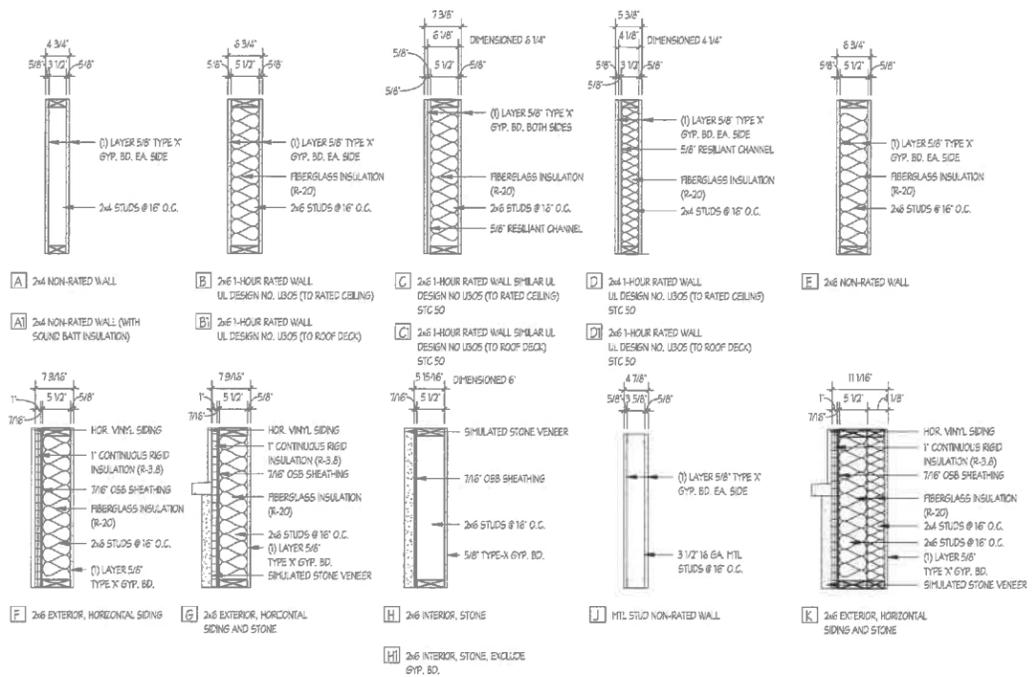
TANGLEWOOD ASSISTED LIVING FACILITY

SCHROTH LANE HOLDING, LLC
200 S WASHINGTON STREET, SUITE 200, GREEN BAY, WI 54301

GH GRUNWALDT & HALVERSON
Architects | Engineers
3113 MacArthur Way, P.O. Box 54467
715 344-8647 www.grunwaldthalverson.com

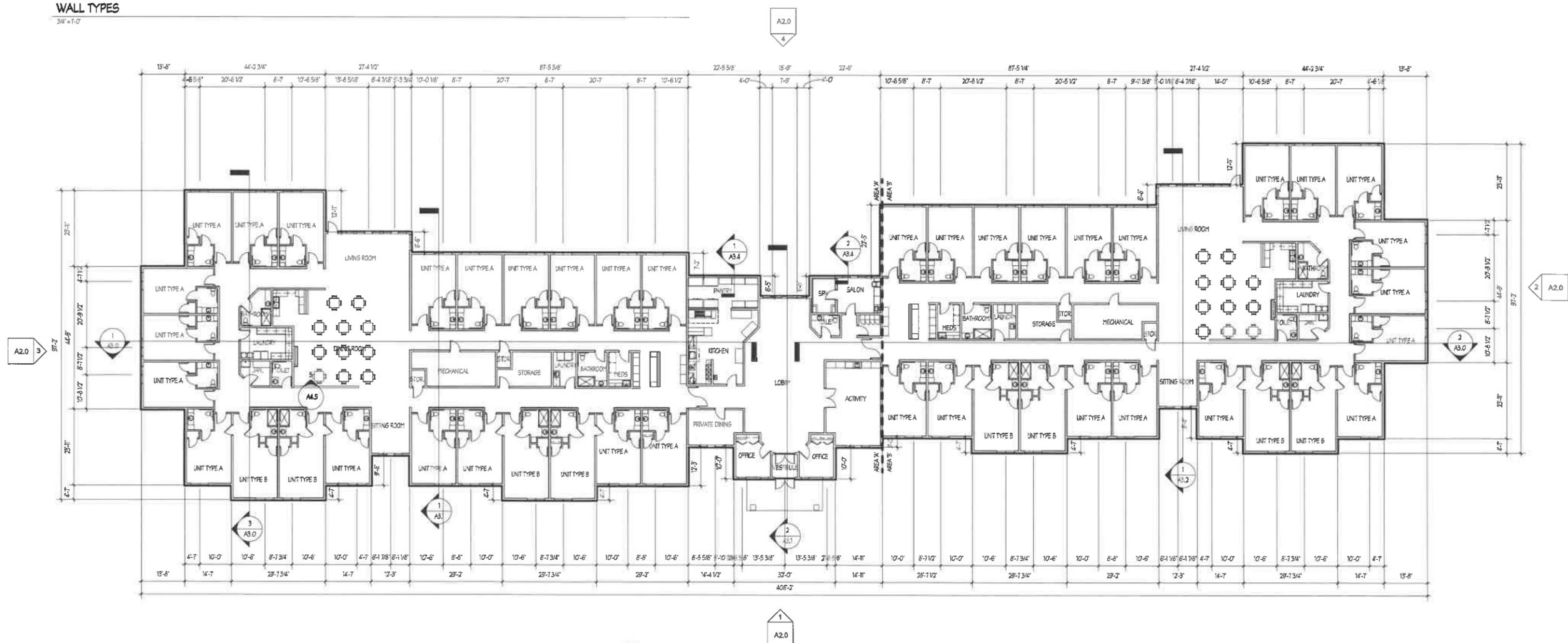
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SCALE	AS NOTED
JOB NO.	19029
SHEET	

A1



WALL DIMENSION NOTES:
ALL EXTERIOR WALL DIMENSIONS ARE TAKEN FROM THE OUTSIDE OF WALL SHEATHING.
WALL SHEATHING DIMENSIONED AT 1/2"; ACTUAL WALL SHEATHING DIMENSION 7/16"
ALL INTERIOR WALL DIMENSIONS ARE TAKEN FROM FACE OF STUD WALL FRAMING, OR FACE OF RC CHANNEL, WHERE PRESENT.
EXCEPTION DIMENSIONS NOTED "FINISHED" ARE DIMENSIONED TO THE FINISHED GYP. BD.

FOUNDATION WALL NOTES:
EXTERIOR FOUNDATION WALL ALIGNS WITH EXTERIOR SHEATHING OF STUD WALL ABOVE



OVERALL FLOOR PLAN

TANLEWOOD
Owner
Owner Address

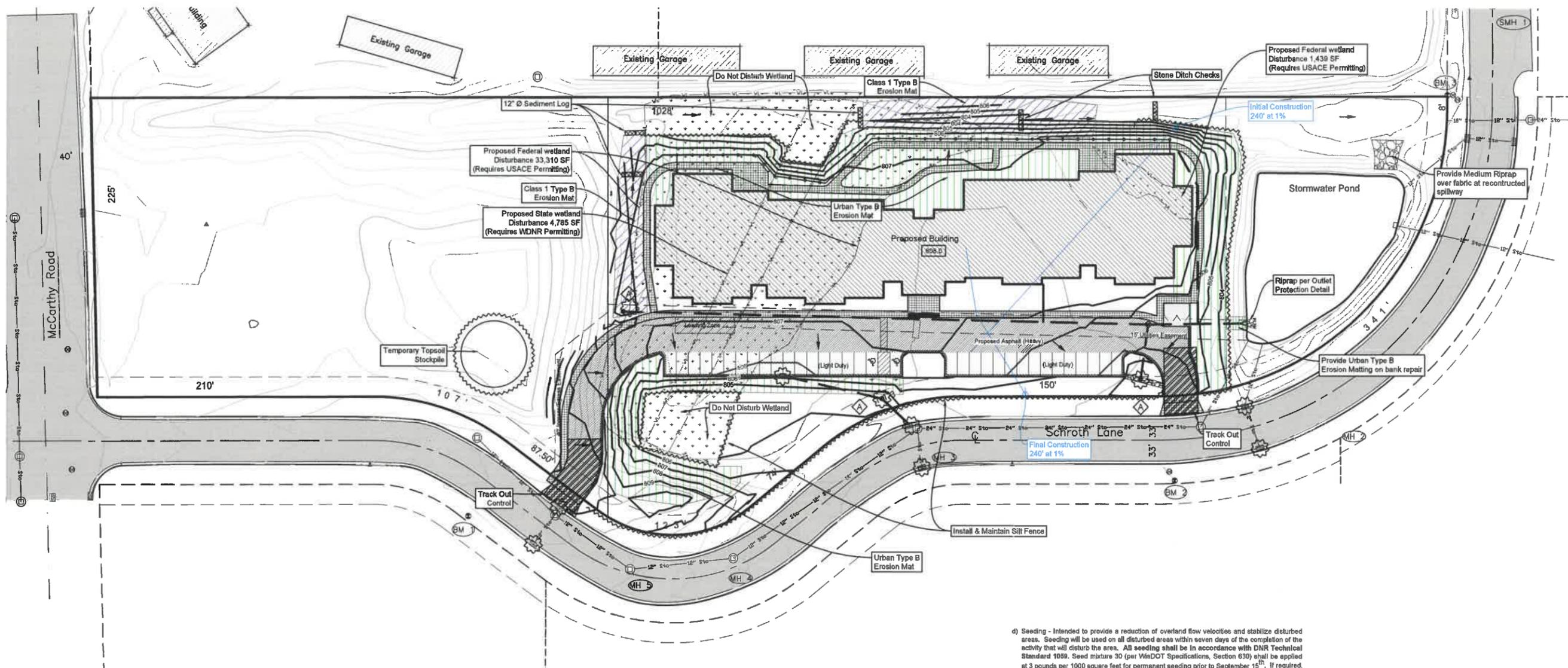
GRUNWALDT & HALVERSON
Architects | Engineers
3113 MacArthur Way | Plover, WI 54447
715 344-8647 | www.grunwaldthalverson.com



DRAWN: Author
CHECKED: Cedar
DATE: 08.21.2019
SCALE: AS NOTED
JOB NO.: 19023
SHEET

A1.0

PROGRESS SET - NOT FOR CONSTRUCTION



LEGEND

<ul style="list-style-type: none"> Underground Cable TV Underground Fiber Optic Overhead Electric Lines Utility Guy Wire Sanitary Sewer Storm Sewer Underground Electric Underground Gas Line Underground Telephone Water Main Fence - Steel Fence - Wood Fence - Barbed Wire Wetlands Traffic Railroad Tracks Culvert Index Contour Intermediate Contour Proposed Storm Sewer Proposed Sanitary Sewer Proposed Watermain Proposed Contour Proposed Swale Proposed Culvert Proposed Silt Fence Prop. Drainage Direction Proposed Ditch Check Proposed Tracking Pad Proposed Building Proposed Asphalt Proposed Concrete Proposed Gravel 	<ul style="list-style-type: none"> Sanitary MH / Tank / Base Clean Out / Curb Stop / Pull Box Storm Manhole Inlet Catch Basin / Yard Drain Water MH / Well Hydrant Utility Valve Utility Meter Utility Pole Light Pole / Signal Guy Wire Electric Pedestal Electric Transformer Air Conditioner Telephone Pedestal Telephone Manhole Ex Spot Elevation Proposed Storm Manhole Proposed Curb Inlet Prop. Catch Basin / Yard Drain Proposed Endwall Proposed Rip Rap Prop. Flowline Spot Elev. Prop. Top of Walk Elev. Existing Grade Proposed Inlet Protection Type of Inlet Protection CATV Pedestal Gas Regulator Railroad Signal Sign Tower / Silo Post / Guard Post Satellite Dish Large Rock Flag Pole Deciduous Tree Coniferous Tree Bush / Hedge Slump Marsh Soil Boring Benchmark Asphalt Pavement Concrete Pavement Gravel Proposed Sanitary Manhole Proposed Hydrant Proposed Reducer Proposed Plug Proposed Valve Proposed Curb Stop Proposed Tee Proposed 90° Bend Proposed 45° Bend Proposed 22.5° Bend
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Construction Soil Loss
 The Universal Soil Loss Equation (MNR spreadsheet) was utilized to estimate construction sediment discharge and examine compliance with soil loss requirements (less than 5 tons per acre per year). The development will produce 1.1 tons per acre, based on using perimeter silt fence for sediment removal. Prescriptive control measures (installation of erosion matting - stabilization of steep slopes) is required as a continuous construction process. Refer to Appendix A for soil loss spreadsheets and related mapping.

Planned Sediment and Erosion Control Practices
 All erosion control practices shall be in place prior to disturbing the site. All sediment and erosion control devices and methods shall be in accordance with DNR Technical Standards and the WisDOT Erosion Control product acceptability lists (PAL). It is the responsibility of the Contractor to minimize the area disturbed and the duration of the disturbance. Erosion control measures shall be maintained on a continuing basis until the site is permanently stabilized. Erosion controls must be in place at the end of each work day with all off-site sediments being cleaned daily or as necessary as no sediment flushing is allowed.

- Diverting Flow**
- a) Permanent Diversion - Intended to divert runoff around disturbed areas to a location where the water can be discharged without adversely impacting the receiving area or channel. Permanent diversions will be used to route runoff to the storm sewer and the pond.
 - 1) Overland Flow
 - a) Silt Fence - Intended to provide a temporary barrier to the transportation of sediment offsite. Silt fence also reduces the velocity of sheet flow, thereby reducing the erosion potential of flowing water. Silt fencing is not to be used in areas of channelized flow and sediment deposits shall be removed when a 6 inch depth is reached. The silt fence shall be repaired or replaced as necessary to maintain a barrier. All Silt Fence shall be installed and maintained in accordance with DNR Technical Standard 1066. It will be placed at the following locations:
 - i) along the site boundary where runoff will leave the site;
 - ii) and at the toe of soil piles if the pile will remain in place for more than seven (7) days.
 - b) Sediment Gate Barrier - Intended to intercept and detain small amounts of sediment from construction operations to prevent sediment from leaving the site. Sediment Gate Barriers are not to be used in areas of channelized flow. All Sediment Gate Barriers shall be installed and maintained in accordance with DNR Technical Standard 1055. Sediment Gate Barriers may be used in place of silt fence around soil stockpiles.
 - c) Mulching and Erosion Mat - Intended to reduce the amount of erosion caused by raindrop impact, high overland and concentrated flow velocities and assist the establishment of both temporary and permanent vegetation. All Erosion Mat shall be installed and maintained in accordance with DNR Technical Standards 1052 and 1053 and all Mulching with DNR Technical Standard 1058. In addition to mulching, Erosion Mat is required per plan with installation per manufacturer specifications.

- d) Seeding - Intended to provide a reduction of overland flow velocities and stabilize disturbed areas. Seeding will be used on all disturbed areas within seven days of the completion of the activity that will disturb the area. All seeding shall be in accordance with DNR Technical Standard 1059. Seed mixture 30 (per WisDOT Specifications, Section 630) shall be applied at 3 pounds per 1000 square feet for permanent seeding prior to September 15th. If required, temporary seeding shall consist of Oats, Rye, Winter Wheat, and/or Annual Ryegrass applied at rates and during the season specified by the Technical Standard but no later than November 1st. Sod placement may occur at any time sod is available and the sod end soil are not frozen.
- 3) Trapping Sediment in Channelized Flow
 - a) Ditch Checks - Intended to settle suspended sediment in channelized flow by reducing the flow velocity. All Ditch Checks shall be installed and maintained in accordance with DNR Technical Standard 1062. Ditch Checks will be used where indicated on the plan. Additional ditch checks may be required in areas where erosion is occurring.
- 4) Permanent Channel Stabilization
 - a) Armored Waterway - Intended to establish a non-erosive lining in the channel to prevent erosion. This can be accomplished using riprap. All areas immediately downstream of storm outfalls shall have riprap per plan.
 - b) Vegetated Waterway - Intended to establish permanent vegetation to reduce the velocity of concentrated runoff thereby protecting the waterway from erosion. The type of erosion mat used will depend upon the velocity of the runoff in the channel and are specified in accordance with DOT Erosion Control Product Acceptability Lists (PAL). Vegetated waterways will be used in the following areas:
 - i) drainage swales as indicated on the plans;
- 5) Inlet Protection Barriers - Intended to prevent the sedimentation of storm water conveyance structures. All Inlet Protection Barriers shall be installed and maintained in accordance with DNR Technical Standard 1060. As required, inlet protection barriers will be used at all storm sewer inlets as indicated on the plans.
- 6) Stone Tracking Pad - Intended to reduce the amount of sediment transported onto public roads. The Tracking Pad shall be installed and maintained in accordance with DNR Technical Standard 1057. A tracking pad will be constructed at the site entrances as indicated on the plan.
- 7) Dust Control - Intended to reduce surface to air transport of dust during construction. Dust control shall be implemented with the use of methods provided in DNR Technical Standard 1065. These methods include the use of polymers, seeding, and mulch.
- 8) Dewatering BMP - Intended to reduce the amount of sediment conveyed due to dewatering practices. Dewatering practices require compliance with DNR Technical Standard 1061. The use of geotextile bags is required to prevent sedimentation during construction. The bags shall meet the requirements of DNR Technical Standard 1061. Upon completion of the dewatering operation, all materials must be disposed of properly in accordance with all state and local requirements. Dewatering may be required for foundation installation with bag discharge to the existing stormwater pond in a non-erosive manner.
- 9) Waste Material - All onsite waste and construction materials shall be handled and disposed of properly. No pavement material, runoff from concrete washout, or other waste material is allowed to enter the storm sewer system or receiving waters.

Sequence of Construction

- 1) Obtain plan approval and other applicable permits.
- 2) Install all sediment control measures, strip topsoil and stockpile for reuse, November 2019.
- 3) Construct sanitary lateral, water service, and storm sewer construction, November 2019.
- 4) Grade & Gravel parking and building areas upon completion of the utility construction. Field inspect and add additional measures if necessary, November - December 2019.
- 5) Stabilize lawn and ditch areas no later than one week after final grade is established. No later than December 15, 2019 or immediately upon completion.
- 6) Construct building, December 2019 - March 2020.
- 7) Watering may be necessary to establish healthy and well rooted vegetation. Temporary measures may only be removed once final site stabilization has occurred.

Maintenance Plan

The contractor is responsible for inspection and maintenance of sediment and erosion control measures until the project is completed. The inspections shall be made every seven days or within 24-hours of a rainfall event of 0.50-inch or greater. Any practices that are damaged or not working properly shall be repaired by the end of the day. Accumulated sediment shall be removed when it has reached a height of one-half the height of the structure. In addition, the following measures shall be taken:

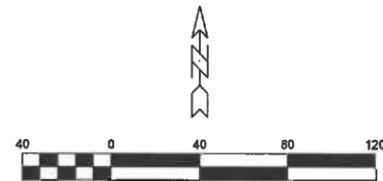
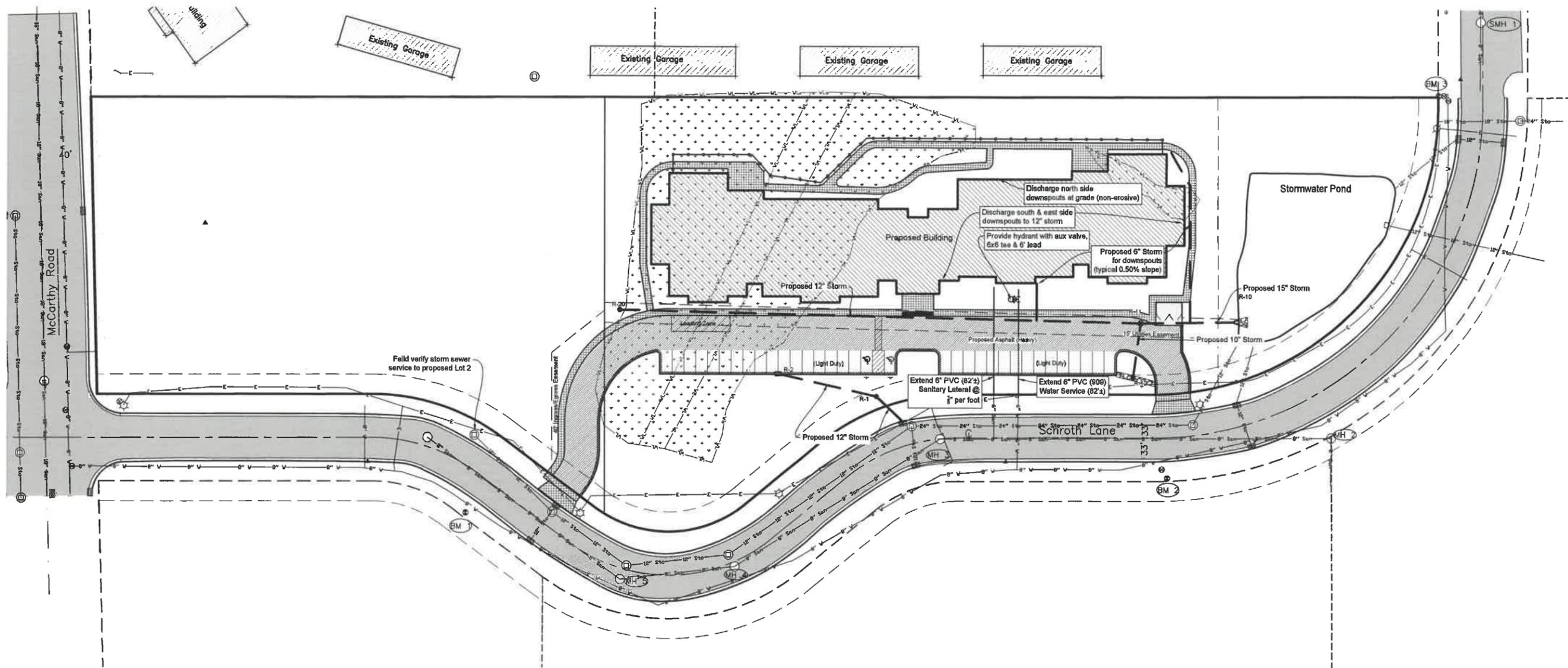
- 1) All seeded areas will be re-seeded and mulched as necessary according to the specifications in the planned practices to maintain a vigorous, dense vegetated cover.
- 2) Remove silt fence and temporary structures only after final stabilization and vegetative cover is established.
- 3) Avoid the use of fertilizers and pesticides in or adjacent to channels or ditches.
- 4) Construction and waste materials shall be properly disposed.

Weekly inspection reports shall be maintained by the contractor. These reports shall document inspections and maintenance performed. The date and time of the inspections, the inspector's name, and the status of construction and any maintenance performed. Refer to Appendix C of the Erosion and Sediment Control Plan (report) or visit <http://dnr.wi.gov/topic/stormwater/construction/forms.html> for a template. Upon request, the inspection reports shall be made available to the owner, the engineer, the Town of Grand Chute, or the Wisconsin Department of Natural Resources.



EROSION & SEDIMENT CONTROL PLAN

Tanglewood Assisted Living
 Town of Grand Chute, Outagamie County, WI
 For: Schroth Lane Holding, LLC



LEGEND

- CATV ---
 - Fiber Optic ---
 - Overhead Electric Lines ---
 - Utility Guy Wire ---
 - Sanitary Sewer ---
 - Storm Sewer ---
 - Underground Electric ---
 - Underground Gas Line ---
 - Underground Telephone ---
 - Water Main ---
 - Fence - Steel ---
 - Fence - Wood ---
 - Fence - Barbed Wire ---
 - Welllands ---
 - Tressline ---
 - Railroad Tracks ---
 - Culvert ---
 - Index Contour ---
 - Intermediate Contour ---
 - Proposed Building ---
 - Proposed Asphalt ---
 - Proposed Concrete ---
 - Proposed Gravel ---
- Sanitary MH / Tank / Base
 - Clean Out / Curb Stop / Pull Box
 - Storm Manhole
 - Inlet
 - Catch Basin / Yard Drain
 - Water MH / Well
 - Hydrant
 - Utility Valve
 - Utility Pole
 - Light Pole / Signal
 - Guy Wire
 - Electric Pedestal
 - Electric Transformer
 - Air Conditioner
 - Telephone Pedestal
 - Telephone Manhole
 - CATV Pedestal
 - Gas Regulator
 - Railroad Signal
 - Sign
 - Tower / Silo
 - Post / Guard Post
 - Satellite Dish
 - Large Rock
 - Flag Pole
 - Deciduous Tree
 - Coniferous Tree
 - Bush / Hedge
 - Stump
 - Marsh
 - Soil Boring
 - Benchmark
 - Asphalt Pavement
 - Concrete Pavement
 - Gravel
- +799.9 Ex Spot Elevation

Private Sewer and Water shall be constructed in accordance with the State of Wisconsin Standard Specifications for Sewer and Water Construction, and all Special Provisions of the Town of Grand Chute.

Contractor to obtain Town of Grand Chute Right-of-Way permit prior to any work located within the right-of-way and easements dedicated to the Town of Grand Chute. Any work within the right-of-way shall be in accordance with Town specifications. Notify the Department of Public Works five days prior to commencing work within right-of-way or easements.

Existing utilities shown are indicated in accordance with available records and field measurements. This plan may not correctly or completely show all buried utilities. The contractor shall be responsible for obtaining exact locations and elevations of all utilities, including sewer & water from the owners of the respective utilities. All utility owners shall be notified by the contractor 72 hours prior to excavation. Contact Digger's Hotline (1-800-242-8511) for exact utility locations.

The Contractor shall verify all staking and field layout against the plan and field conditions prior to constructing the work and immediately notify the Engineer of any discrepancies.

The Contractor shall comply with all conditions of the Erosion Control Plan and the Storm Water discharge Permit. All Erosion Control shall be done in accordance with the Plan and Wisconsin DNR Technical Standards.

The outside services are shown to stop at a point 5 feet outside the foundation wall. The Contractor shall be responsible for coordination of continuation of the services into the building to properly coincide with the interior plumbing plans, and compliance with all plumbing permits.

The Contractor is responsible for compliance with Department of Safety & Professional Services, Chapter SPS 382, for lateral construction and cleanout locations. Maintain 6.5 foot cover on water service.

The Contractor shall coordinate with provider for electric, gas, and telecommunication service connection and relocations.

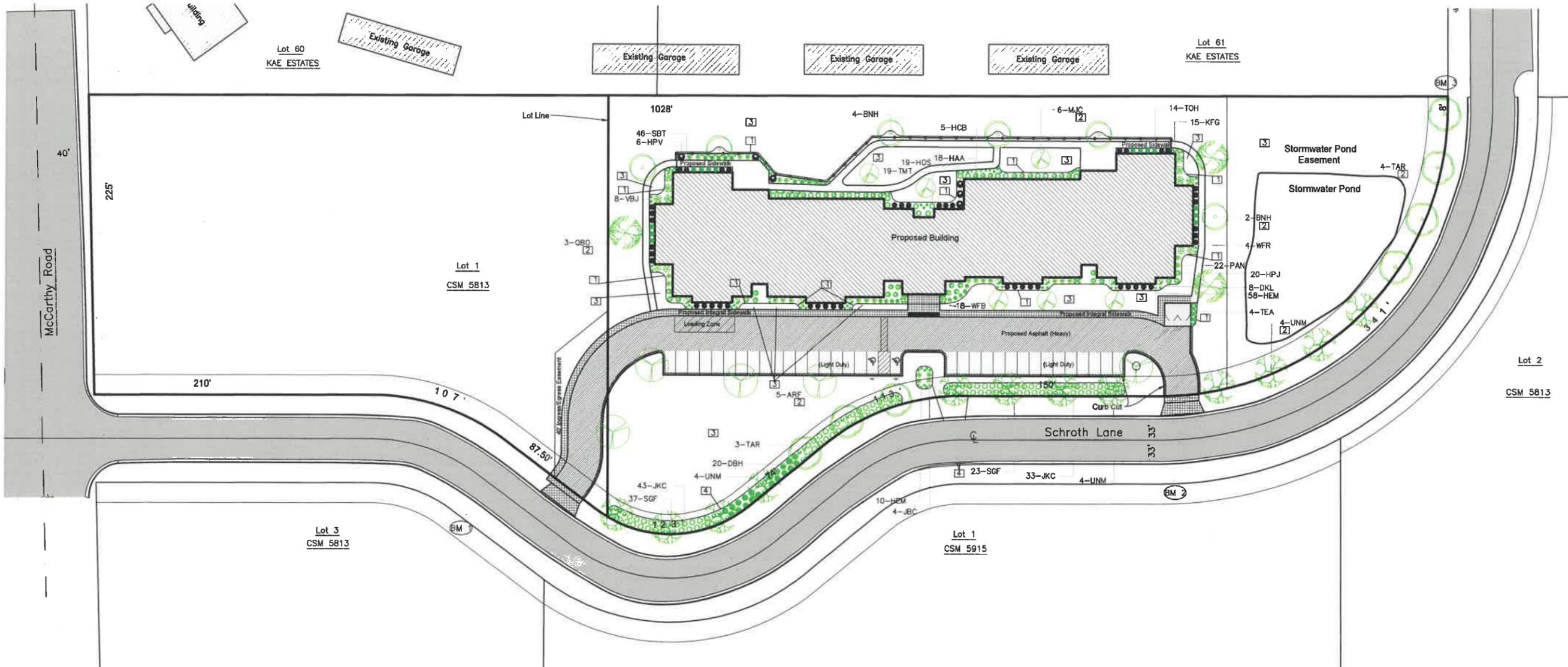
Pipe lengths are measured to center of structure. Endwalls are included in pipe length.

STORM SEWER STRUCTURE SUMMARY

Structure	Phase	Type	Size	Cover	Final Grade Elev	Pipe Invert	Pipe Depth	Total Depth
R-1.	1	Round Inlet	36" ID	R-1550 Open	804.10	800.57	3.53	5.00
R-2.	1	Inlet	3x2' ID	R-3067	805.68	800.88	4.82	5.00
R-10.	1	Endwall						
R-11.	1	MH (48)	48" ID	R-1710	805.42	799.87	5.55	5.55
R-12.	1	Round Inlet	36" ID	R-1550 Open	804.00	800.41	3.59	5.00
R-20.	1	Round Inlet	36" ID	R-1550 Open	806.30	802.06	4.24	5.00

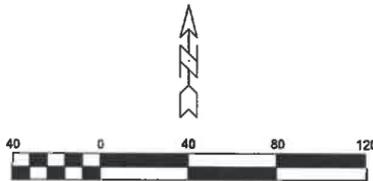
STORM SEWER PIPE SUMMARY

Reach	US DS	US Inv	DS Inv	Length	Slope	Size (in)	Node Drop	Phase	Total Area (SF)	Grass (SF)	Roof (SF)	Pavement (SF)	Runoff (GPM)	Pipe Flow (GPM)	Capacity (GPM)	Runoff (cfs)	Pipe Flow (cfs)	Capacity (cfs)	Velocity (ft/s)	Capacity Check
R-1.	Inl H	800.57	800.50	23	0.0030	12	0.00	1	0	0	0	0	0	761	948	0.00	1.70	2.11	2.7	--
R-2.	R-1.	800.86	800.57	98	0.0030	12	0.00	1	42563	25933	0	16630	761	761	948	1.70	1.70	2.11	2.7	--
R-11.	R-10.	799.87	799.50	74	0.0050	15	0.00	1	0	0	0	0	0	918	2221	0.00	2.05	4.95	4.0	--
R-12.	R-11.	800.41	800.20	41	0.0050	10	0.00	1	11006	4706	0	6300	239	239	753	0.53	0.53	1.68	3.1	--
R-20.	R-11.	802.06	800.07	397	0.0050	12	0.00	1	24591	9256	15335	0	679	679	1225	1.51	1.51	2.73	3.6	--



LEGEND

- CATV- CATV
- FO- FO
- OH- OH
- San- San
- Slo- Slo
- E- E
- G- G
- T- T
- W- W
- Fence - Steel
- Fence - Wood
- Fence - Barbed Wire
- Wetlands
- TreeLine
- Railroad Tracks
- Culvert
- Index Contour
- Intermediate Contour
- +799.9 Ex Spot Elevation
- Sanitary MH / Tank / Base
- Clean Out / Curb Stop / Pull Box
- Storm Manhole
- Inlet
- Catch Basin / Yard Drain
- Water MH / Well
- Hydrant
- Utility Valve
- Utility Meter
- Utility Pole
- Light Pole / Signal
- Guy Wire
- Electric Pedestal
- Electric Transformer
- Air Conditioner
- Telephone Pedestal
- Telephone Manhole
- Sanitary MH / Tank / Base
- Clean Out / Curb Stop / Pull Box
- Storm Manhole
- Inlet
- Catch Basin / Yard Drain
- Water MH / Well
- Hydrant
- Utility Valve
- Utility Meter
- Utility Pole
- Light Pole / Signal
- Guy Wire
- Electric Pedestal
- Electric Transformer
- Air Conditioner
- Telephone Pedestal
- Telephone Manhole
- CATV Pedestal
- Gas Regulator
- Railroad Signal
- Sign
- Tower / Silo
- Post / Guard Post
- Satellite Dish
- Large Rock
- Flag Pole
- Deciduous Tree
- Coniferous Tree
- Bush / Hedge
- Stump
- Marsh
- Soil Boring
- Benchmark
- Asphalt Pavement
- Concrete Pavement
- Gravel
- Proposed Building
- Proposed Asphalt
- Proposed Concrete



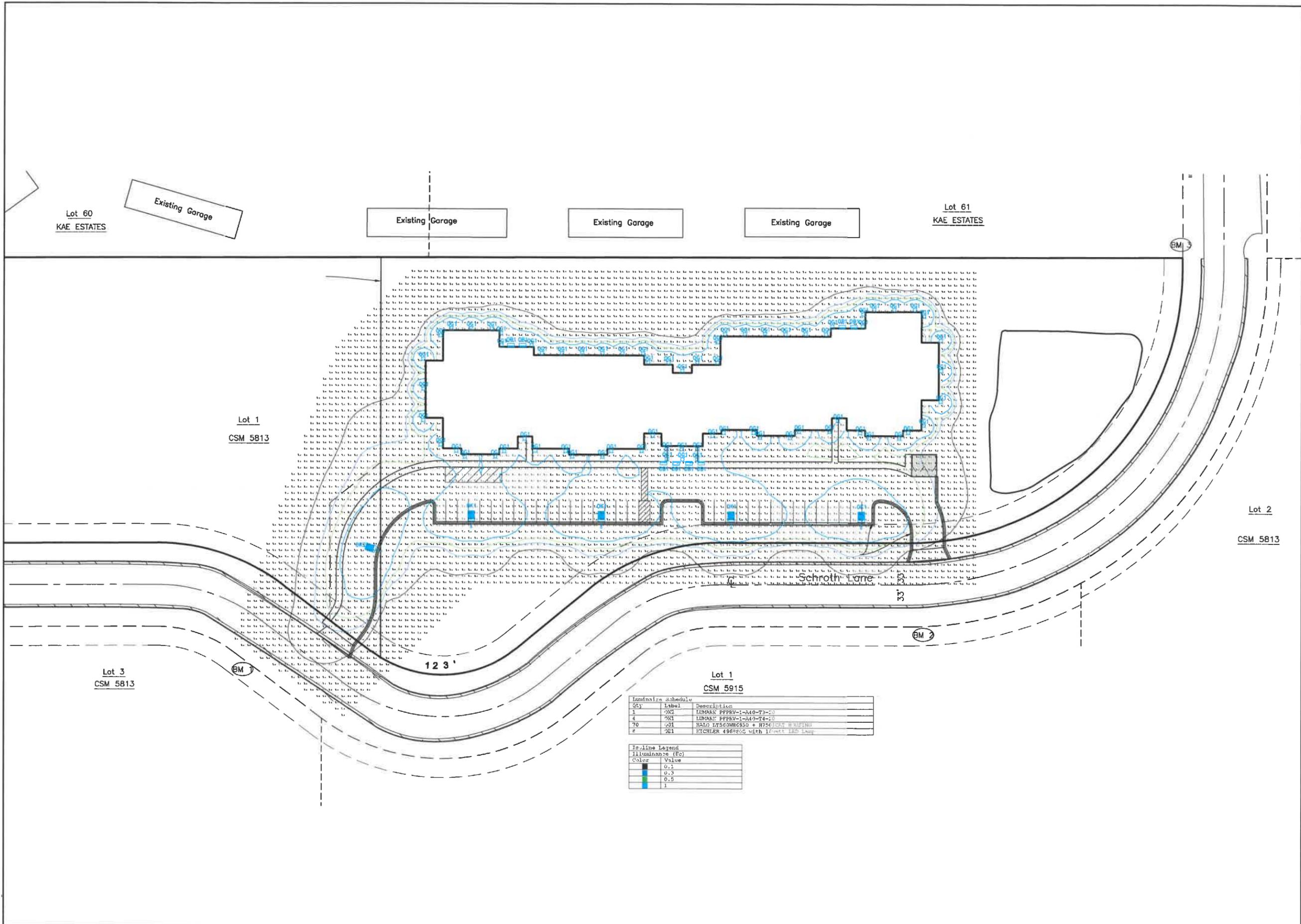
Plant List	Quantity	Notes
1-ARF-5	1	Aspen Red Fir
1-BNH-2	2	Baldern Norway Spruce
1-TOH-14	14	Thuja Occidentalis
1-UNM-4	4	Ulmus Minor
1-WFR-4	4	Wormy Elm
1-37-SGF	37	Small Green Foliage
1-43-JKC	43	Japanese Cedar
1-20-DBH	20	Deciduous Broadleaf
1-5-ARF	5	Aspen Red Fir
1-3-TAR	3	Taxus Canadensis
1-10-HEM	10	Hemlock
1-4-JBC	4	Japanese Cedar
1-23-SGF	23	Small Green Foliage
1-33-JKC	33	Japanese Cedar
1-4-UNM	4	Ulmus Minor
1-18-HAA	18	Holly
1-19-TMT	19	Taxus Canadensis
1-19-HOS	19	Holly
1-5-HCB	5	Hydrangea
1-6-MJC	6	Mountain Juniper
1-15-KFG	15	Kentucky Bluegrass
1-4-TAR	4	Taxus Canadensis
1-22-PAN	22	Panicle
1-20-HPJ	20	Hydrangea
1-8-DKL	8	Deciduous
1-58-HEM	58	Hemlock
1-4-TEA	4	Tea Olive
1-4-UNM	4	Ulmus Minor

10/25/2019 9:33 AM J:\Projects\06533\dwg\Landsc\Landscape r10-22-19.dwg Printed by: Kyle
DAVEL ENGINEERING & ENVIRONMENTAL, INC.
 Civil Engineers and Land Surveyors
 1764 Province Terrace, Menasha, WI 54852
 Ph: 920-991-1866 Fax: 920-441-0804
 www.davel.pro

LANDSCAPE PLAN

Tanglewood Assisted Living
 Town of Grand Chute, Outagamie County, WI
 For: Schroth Lane Holding, LLC

Date:	10/25/2019
Filename:	Landscape r10-22-19.
Author:	TNW
Last Saved by:	kyle
Page:	L-1.0



QTY	Label	Description
1	0K2	LUMARK PPRV-1-A40-T3-20
4	0K1	LUMARK PPRV-1-A40-T4-20
70	0E1	HALO ITC500950 - 175/100T MINIPIST
2	0E1	KICHLER 4968202 with 17mm LED Lamp

Illuminance Legend	
Color	Value
Light Blue	0.1
Medium Blue	0.3
Dark Blue	0.5
Black	1

**Town of Grand Chute
Site Plan Amendment Review
Main Concrete Inc.**

To: Plan Commission

From: Michael Patza, Town Planner

Date: October 30, 2019

Address: 401 N. Perkins Street

App. #: SPA1-00-75

REQUEST

- 1. Proposed Use(s):** Commercial use.
- 2. Project Description:** Construction of a commercial storage building and associated site improvements.
- 3. Plat/CSM Accurate parcel lines/lot recorded:** Yes.

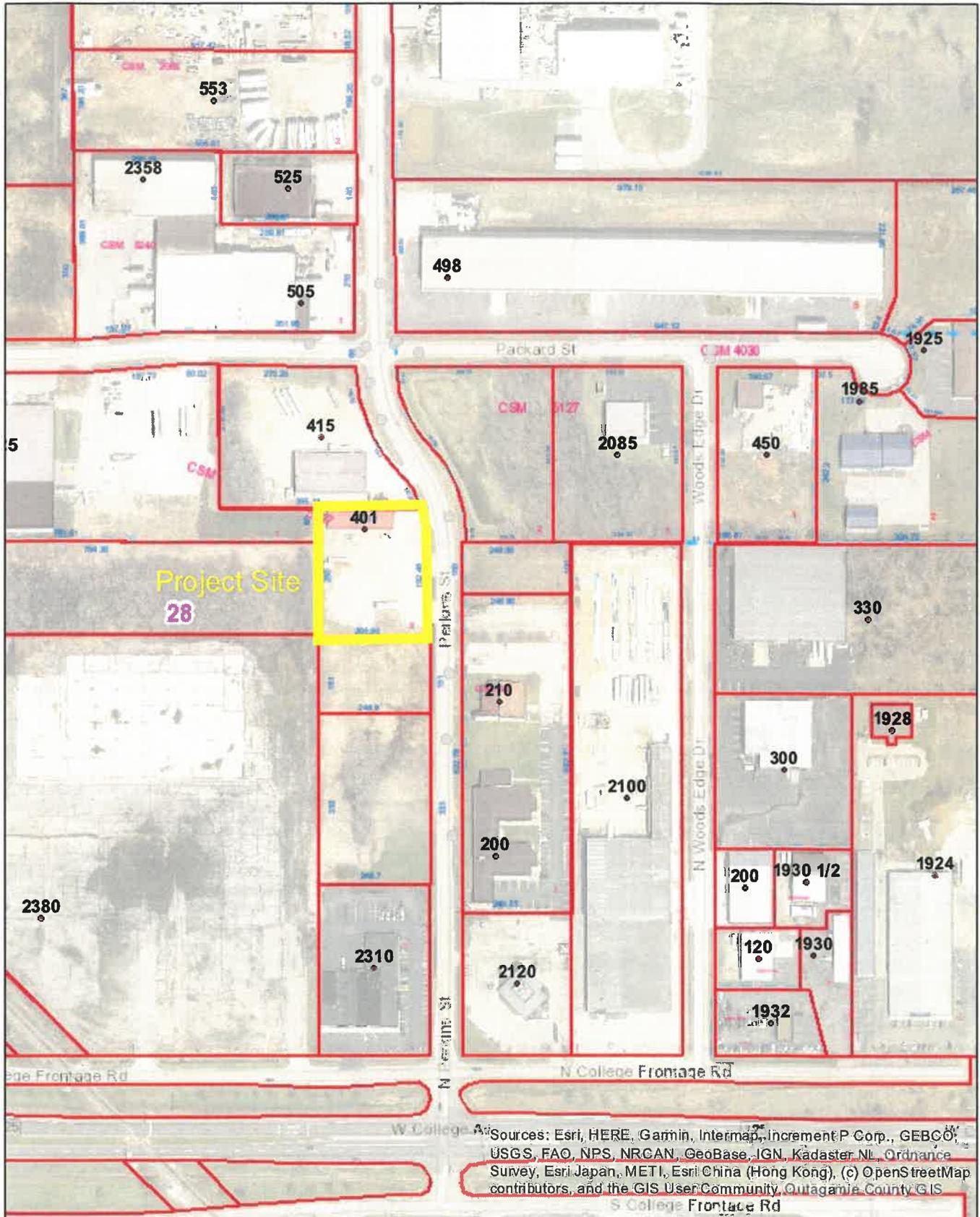
ANALYSIS

Applicant proposes the construction of a 2,400 sq. ft. cold storage building for salt storage to be used with their snow removal business. The building will be open on the east side and will be located over an area of the site that is currently gravel. A concrete pad will extend 20 feet east of the proposed structure. Additional gravel area to the east of the existing building will be paved as part of the project. The project will not create additional impervious area and site drainage will remain unchanged. All other code requirements are met with this request.

RECOMMENDATION

Staff has reviewed and supports Plan Commission approval of the Site Plan Amendment (SPA1-00-75) requested by Main Concrete Inc., 405 N. Perkins Street, for construction of a commercial storage building and associated site improvements.

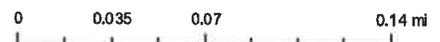
SPA1-00-75 -- 401 N. Perkins Street



Sources: Esri, HERE, Garmin, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), (c) OpenStreetMap contributors, and the GIS User Community, Outagamie County GIS

Disclaimer: The data provided in the Town of Grand Chute Interactive GIS Map was generated from multiple sources and agencies. Every effort has been made to offer the most accurate data. However, the Town provides this information with the understanding that it is not guaranteed to be accurate, correct, or complete. The Town may make improvements to the Interactive GIS Map periodically. Conclusions drawn from this information are the responsibility of the user. The user agrees that the Town of Grand Chute shall not be held responsible for actions, claims, damages, or judgments made from this data.

Author:
Copyright:

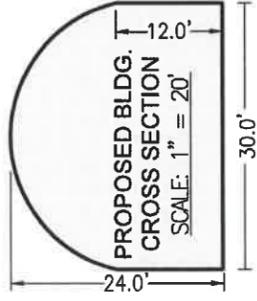
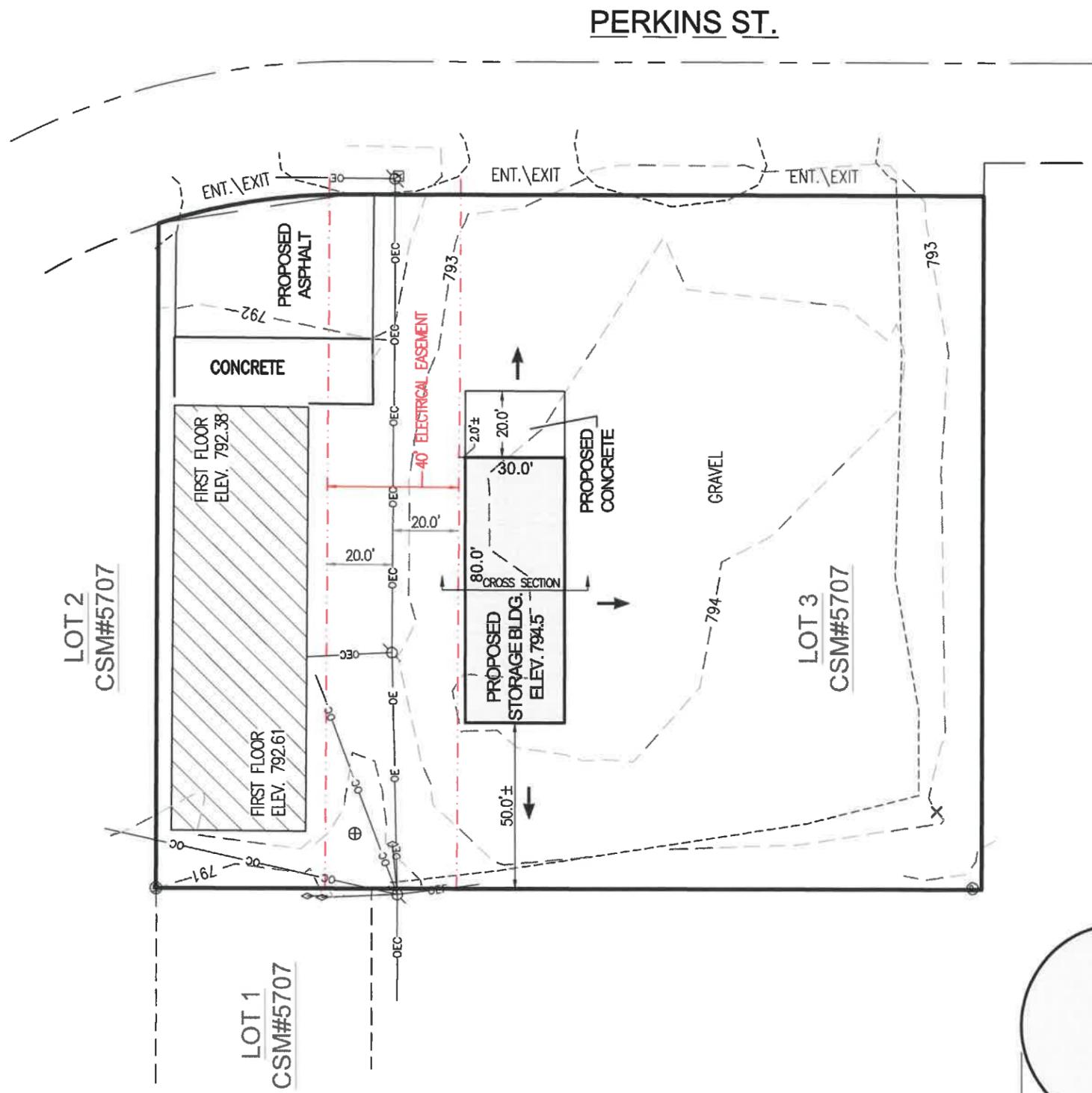


"SITE PLAN"

PROPERTY ADDRESS: 401 N. PERKINS STREET

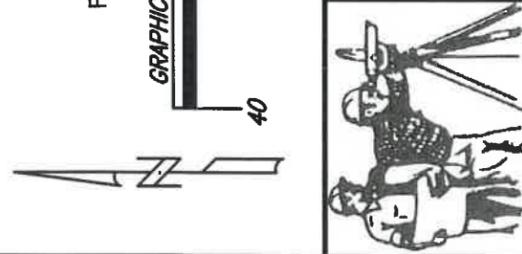
TAX PARCEL ID NUMBER: 101108402

LOT 3 OF CERTIFIED SURVEY MAP NUMBER 5707 AS RECORDED IN VOLUME 33 OF CERTIFIED SURVEY MAPS ON PAGE 5707 AS DOCUMENT NUMBER 1773172, SECTION 28, TOWNSHIP 21 NORTH, RANGE 17 EAST, TOWN OF GRAND CHUTE, OUTAGAMIE COUNTY, WISCONSIN.



- LEGEND:**
- = 3/4" X 18" SOLID ROUND IRON REBAR SET, WEIGHING 1,502 LBS. PER LIN. FT.
 - ⊗ = 3/4" SOLID ROUND IRON REBAR FOUND
 - ⊕ = IRON PIPE FOUND
 - () = RECORDED AS
 - ⊕ = CATCH BASIN
 - ⊕ = POWER POLE
 - ⊕ = DOWN GUY
 - ⊕ = COMMUNICATION PEDESTAL
 - ⊕ = OVERHEAD ELECTRICAL
 - ⊕ = OVERHEAD COMMUNICATION
 - ⊕ = OVERHEAD ELECTRICAL COMMUNICATION
 - ⊕ = OVERHEAD ELECTRICAL FIBER OPTIC
 - ← = PROPOSED DRAINAGE DIRECTION

CLIENT:
MIKE MAIN
N210 DEPOT ROAD
FREMONT, WISCONSIN 54940

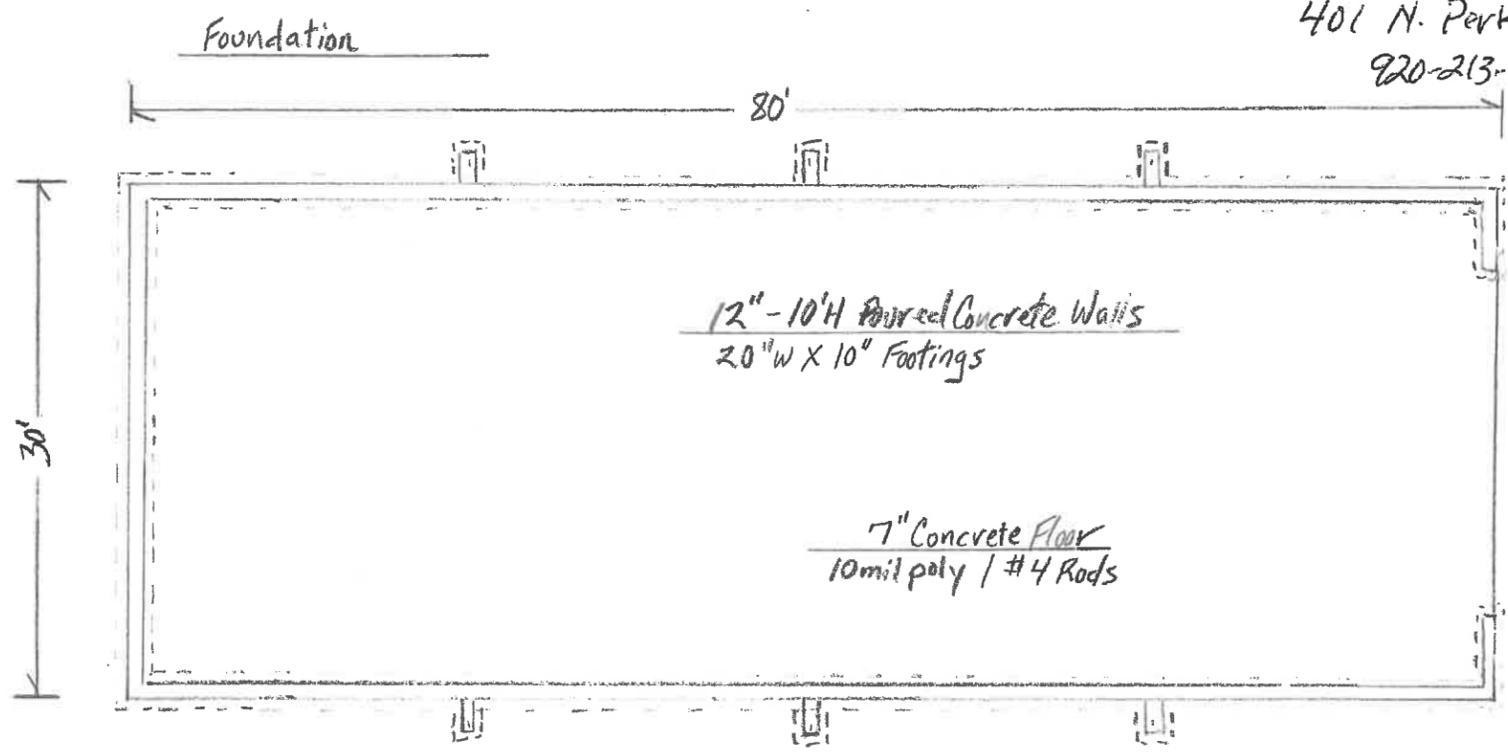


CAROW LAND SURVEYING CO., INC.

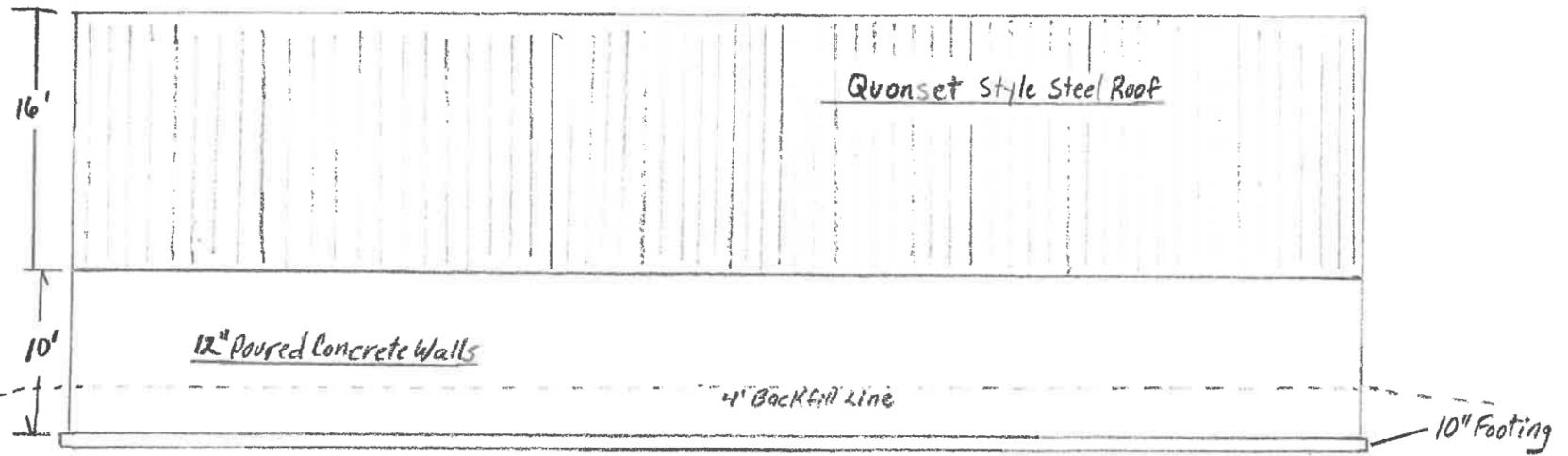
615 N. LYNNDALE DRIVE, P.O. BOX 1297
APPLETON, WISCONSIN 54912-1297
PHONE: (920)731-4168 FAX: (920)731-5673

SCALE: 1" = 40'
DRAWN BY: mct RDD
PROJECT NO.: A1910.2

Michael Main
401 N. Perkins St., Grand Chute
920-213-6246
mainconcrete@gmail.com



Side Elevation



MEMORANDUM

To: Chairman Schowalter and Plan Commission members
From: Michael Patza, Town Planner
Date: October 29, 2019
Subject: Public Participation Plan for the Town of Grand Chute Comprehensive Plan 2020-2040

BACKGROUND

The Town of Grand Chute Comprehensive Plan 2010-2030 was adopted in 2009. It provides guidance and direction to the Town on future development and land use decisions, investments in public infrastructure and community facilities, and methods of delivering municipal services to residents. State Statutes require Comprehensive Plans to be updated or re-adopted every 10 years. As the Town begins the update process, adopting a Public Participation Plan to engage the public and solicit input is one of the first required steps.

ANALYSIS

The attached Public Participation Plan will engage a wide range of stakeholders with diverse perspectives to provide input regarding the Grand Chute Comprehensive Plan update. The plan consists of 6 elements to allow participation through a variety of outreach techniques that aim to reach residents from all demographic groups within the Town. Gathering information from a wide range of perspectives, along with positive engagement and open dialogue, are key components in providing valuable public input and establishing a shared vision for the Town's future. A timeline outlining the public participation process is included in Attachment A of the Public Participation Plan.

RECOMMENDATION

Staff supports a Plan Commission recommendation for approval of the Public Participation Plan for the Town of Grand Chute Comprehensive Plan 2020-2040 (Resolution TBR-19-2019).

Grand Chute Comprehensive Plan 2020-2040

Public Participation Plan

Background Information – Grand Chute Comprehensive Plan

The Grand Chute Comprehensive Plan provides guidance and direction to the Town on future development and land use decisions, investments in public infrastructure and community facilities, and methods of delivering municipal services to residents. The Comprehensive Plan, adopted in 2009, consists of the 15 plan elements listed below:

Land Use	Natural Resources	Housing	Economic Development	Transportation – Auto
Transportation – Pedestrian, Bicycle, & Transit	Sanitary Sewer Service	Water Service	Stormwater Management	Parks & Recreation
Community Appearance & Design	Health & Safety	Energy & Renewable Energy	Intergovernmental Cooperation	Plan Implementation

Update to the Grand Chute Comprehensive Plan

The update process will reestablish and prioritize goals and objectives of the Comprehensive Plan by analyzing current data and trends. Each of the plan elements will be evaluated to determine which elements will be included in the updated plan, and if any new elements need to be included. The process will also help identify new issues and opportunities in the community. A timeline of the update process, including a timeline of the public participation process, is included in Attachment A.

Below is a list of key priorities that will be addressed during the update process:

- Update Demographic Data Including:
 - * Population
 - * Employment
 - * Economic Profile
 - * Housing
- Evaluate and Reestablish Plan Elements
- Identify Issues and Opportunities for Plan Elements
- Reestablish Goals and Priorities
- Update Existing Land Use Data
- Update Future Land Use Map and Development Districts
 - * Evaluate existing inventory of land suitable for development and prioritize future development
- Incorporate New Zoning Code and Other Plans Documents Including:
 - * Sign Code
 - * Comprehensive Outdoor Recreation Strategy
 - * Pedestrian & Bicycle Strategy
 - * Others



Public Participation Process

The public participation process will engage a wide range of stakeholders with diverse perspectives to provide input regarding the Grand Chute Comprehensive Plan update. The process will allow participation through a variety of outreach techniques that aim to reach residents from all demographic groups within the Town. Gathering information from a wide variety of perspectives, along with positive engagement and open dialogue, are key components in providing valuable public input and establishing a shared vision for the future of the community.

Elements of Public Participation Process

Element 1 – Grand Chute Comprehensive Plan Advisory Panel

The panel is comprised of a diverse group of individuals with a wide variety of personal and professional perspectives. The panel will meet approximately 5 times over a 12-month period to provide direction and input during the update process. Below is a list of groups/organizations represented on the panel:

- ***Grand Chute Plan Commission***
- ***Grand Chute Town Board***
- ***Grand Chute Park Commission***
- ***Appleton Area School District***
- ***East Central Wisconsin Regional Planning Commission***
- ***Commercial Developer***
- ***Residential Developer***
- ***Public Works Department Staff***
- ***Fire Department Staff***
- ***Police Department Staff***
- ***Town Residents (multiple representatives are residents)***

Element 2 – Public Meetings

Public meetings provide an opportunity for engagement and input from members of the public. Plan Commission and Town Board meetings are open to the public and meeting materials are posted in advance in accordance with State law. Any action taken by Plan Commission or Town Board regarding the Grand Chute Comprehensive Plan will occur at a legally convened meeting with time provided for public input. Additionally, as required by State law, a Public Hearing will be held at a Plan Commission meeting prior to action on the updated Grand Chute Comprehensive Plan. The Public Hearing will be publicly notice in accordance with State law.

Element 3 – Public Survey

An online survey will be developed and shared through a variety of methods to gather input from residents, business owners, developers, and other key stakeholders. The survey will collect input related to multiple Comprehensive Plan elements. The survey will be open for at least three months and information collected will be summarized for use by staff and the Comprehensive Plan Advisory Panel during the update process.



Element 4 – Town Newsletter/Website/Social Media

The Town newsletter, website and social media accounts are all effective tools to share information and keep the public informed about the update process. The Town newsletter is distributed three times annually to residents and can be used to share information regarding the update process, public survey, public workshops, and other potential events. The Town website and social media accounts can be used to share information and collect feedback from the public. A draft version of the updated plan will be available for public review on the Town website for a period of 30 days prior to action by the Plan Commission and Town Board.

Element 5 – ESRI ArcGIS Hub

To enhance public engagement, the town will utilize ESRI ArcGIS Hub, an online mapping application, throughout the update process. This program is an easy-to-configure community engagement platform that organizes people, data, and tools through information-driven initiatives. ArcGIS Hub will serve as a bridge between staff and the public during the update process. Residents and other stakeholders can utilize this application anytime, simply by clicking a link. Staff will leverage this application to collect survey responses, share data, show progress, and connect stakeholders.



Element 6 – Public Workshops and Community Events

Two public workshops will be held during the update process. The first workshop is scheduled for April 2020 and will be used to engage the public with interactive activities and provide valuable interaction with staff. This workshop will be focused on gathering public input and sharing information regarding the update process. The second workshop, scheduled for September 2020, will include a presentation on the draft chapters of the updated Comprehensive Plan. Attendees will have the opportunity to provide feedback on the draft chapters and engage staff on specific plan elements. Town staff may also choose to attend community events to share information and solicit public input during the update process.

Attachment A - Comprehensive Plan Update and Public Participation Timeline on Following Page

TOWN OF GRAND CHUTE

RESOLUTION, SERIES OF TBR-19-2019

A RESOLUTION OF THE TOWN OF GRAND CHUTE, OUTAGAMIE COUNTY, WISCONSIN, ADOPTING A PUBLIC PARTICIPATION PLAN FOR THE TOWN OF GRAND CHUTE COMPREHENSIVE PLAN 2020-2040

WHEREAS, pursuant to Section 66.1001 of the Wisconsin Statutes, any program or action of a local governmental unit that affects land use, including but not limited to zoning, subdivision regulation and official mapping, shall be consistent with that local governmental unit's adopted Comprehensive Plan beginning January 1, 2010, and such plan must address the nine elements as required by Wisconsin Statutes Section 66.1001(2); and

WHEREAS, Section 66.1001(4)(a) of the Wisconsin Statutes requires that the Town Board adopt written procedures designed to foster public participation at every stage of Comprehensive Plan preparation, including open discussion, communication programs, information services and public meetings for which advance notice has been provided, and that such written procedures shall also provide for wide distribution of draft plan materials, an opportunity for the public to submit written comments on the plan materials, and a process for the governing body to respond to such comments; and

WHEREAS, the Town of Grand Chute believes that meaningful public involvement is a key component in the comprehensive planning process and essential to establishing a shared vision for the Town's future; and,

WHEREAS, the Public Participation Plan includes procedures designed to foster public participation and ensure that draft plan materials are distributed and available for public review and comment.

NOW, THEREFORE, BE IT RESOLVED by the Town Board of Supervisors for the Town of Grand Chute, Outagamie County, Wisconsin, that the Public Participation Plan for the Town of Grand Chute Comprehensive Plan 2020-2040 is hereby approved.

Approved and adopted this _____ day of _____, 2019.

Number Vote For _____

Number Voted Against _____

Town of Grand Chute

David A. Schowalter
Town Chairman

Angie Cain
Town Clerk