



**PLAN COMMISSION AGENDA**  
Tuesday, February 19, 2019 - 6:00 pm  
Town Hall - 1900 W. Grand Chute Blvd.

1. Roll Call.
2. Pledge of Allegiance.
3. Approval of Agenda.
4. Approval of Minutes – January 15, 2019 meeting.
5. Public Input.
6. Community Development Director's Report.
7. **Neighborhood Information Meeting #1** – Conditional Use Permit (CUP-01-19) requested by the Town of Grand Chute to allow grading and stream alteration associated with the replacement of a culvert under N. French Road. **Action:** Hear testimony/close meeting.
8. **Conditional Use Permit (CUP-01-19)** – Request by the Town of Grand Chute to allow grading and stream alteration associated with the replacement of a culvert under N. French Road. **Action:** *Motion to defer action until the March 5, 2019 Plan Commission meeting.*
9. **Neighborhood Information Meeting #2** – Conditional Use Permit (CUP-02-19) requested by the Town of Grand Chute to allow grading and stream alteration associated with the replacement of a culvert under E. Apple Creek Road. **Action:** Hear testimony/close meeting.
10. **Conditional Use Permit (CUP-02-19)** – Request by the Town of Grand Chute to allow grading and stream alteration associated with the replacement of a culvert under E. Apple Creek Road. **Action:** Recommend approval/denial of CUP-02-19. (TOWN BOARD ACTION 3/5/2019)
11. **Neighborhood Information Meeting #3** – Conditional Use Permit (CUP-03-19) requested by the Town of Grand Chute to allow grading, filling and a culvert crossing associated with the extension of W. Evergreen Drive, between N. Gillett Street and N. Orion Lane. **Action:** Hear testimony/close meeting.
12. **Conditional Use Permit (CUP-03-19)** – Request by the Town of Grand Chute to allow grading, filling and a culvert crossing associated with the extension of W. Evergreen Drive, between N. Gillett Street and N. Orion Lane. **Action:** Recommend approval/denial of CUP-03-19. (TOWN BOARD ACTION 3/5/2019)
13. **Public Hearing #1** – Special Exception (SE-04-19) requested by CrossPoint Church to allow temporary church use of the property at 1866 N. Casaloma Drive. **Action:** Hear testimony/close hearing.

14. **Special Exception (SE-04-19)** – Request by CrossPoint Church to allow temporary church use of the property at 1866 N. Casaloma Drive. **Action:** Recommend approval/denial of SE-04-19. (TOWN BOARD ACTION 2/19/2019)
15. **Site Plan Amendment (SPA1-05-18)** – Request by AppPro I LLC, dba Holiday Inn, 1565 N. Casaloma Drive, for installation of an illuminated pylon sign. **Action:** Approve/deny SPA1-05-18.
16. Adjournment.

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**Public Notice:** Agendas are posted in the following locations: Town Hall bulletin boards & Town website [www.grandchute.net](http://www.grandchute.net)  
2015 Wisconsin Act 79 allows the publication of certain legal notices on an Internet site maintained by a municipality. This law allows these types of legal notices to be posted in one physical location in the jurisdiction (instead of three) if also placed on an Internet site maintained by the local government.

**Special Accommodations:** Requests from persons with disabilities who need assistance to participate in this meeting should be made to the Clerk's Office at (920-832-5644) with at least 24-hour notice.

**Notice of Possible Quorum:** A quorum of the Town Board, Sanitary Districts, Board of Review, Community Development Authority, Licensing Committee, Parks Commission, Joint Review Board, Zoning Board of Appeals and/or Police and Fire Commission may be present at this meeting for the purpose of gathering information and possible discussion on items listed on this agenda. However, unless otherwise noted in this agenda, no official action by the Town Board, Sanitary Districts, Board of Review, Community Development Authority, Licensing Committee, Parks Commission, Joint Review Board, Zoning Board of Appeals and/or Police and Fire Commission will be taken at this meeting.

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## GRAND CHUTE PLAN COMMISSION MINUTES

January 15, 2019

Members Present: Chairman Dave Schowalter, Commissioner Bruce Sherman, Julie Hidde, Pam Crosby, Duane Boeckers, Cheryl Ulrich. Members Absent: Commissioner John Weber.

Also Present: James March, Town Administrator; Brent Braun, IT Director; Katie Schwartz, Public Works Director; Karen Heyrman, Deputy Public Works Director; Robert Buckingham, Community Development Director; Michael Patza, Town Planner; interested parties (audience attendance = 4)

1. **ROLL CALL**

Chairman Schowalter opened the meeting at 6:00 p.m.

2. **PLEDGE OF ALLEGIANCE**

3. **APPROVAL OF AGENDA**

**Motion (Crosby/Sherman) to approve the agenda as revised with a change to Item 15, removing Electronic and replacing with Electric for the Wisconsin Electric Power Company name.** Motion carried, all voting aye.

4. **APPROVAL OF MINUTES** – JANUARY 3, 2019 MEETING.

**Motion (Ulrich/Hidde) to approve the minutes as revised changing the second paragraph of Item 7 to read as follows: Motion (Hidde/Crosby) to recommend approval of the Grand Chute Official Map 2018 Amendments.** Motion carried, all voting aye. Motion carried, all voting aye.

5. **PUBLIC INPUT** – There was no public input.

6. **COMMUNITY DEVELOPMENT DIRECTOR'S REPORT** - Director Buckingham stated that the February 5, 2019 Plan Commission meeting will be cancelled, and the meeting previously scheduled for Thursday, February 21, 2019 is changed to Tuesday, February 19, 2019.

7. **PUBLIC HEARING #1** – SPECIAL EXCEPTION (SE-01-19) REQUESTED BY COVANTAGE CREDIT UNION, 665 W. RIDGEVIEW DRIVE, FOR OPERATION OF AN ELECTRONIC MESSAGE CENTER SIGN.

Chairman Schowalter opened Public Hearing #1 at 6:03 p.m.

Mike Johnson, representing Graphic House, spoke on behalf of the applicant and made himself available for any questions.

**Motion (Crosby/Hidde) to close Public Hearing #1 at 6:04 p.m.** Motion carried, all voting aye.

8. **SPECIAL EXCEPTION (SE-01-19)** – REQUEST BY COVANTAGE CREDIT UNION, 665 W. RIDGEVIEW DRIVE, FOR OPERATION OF AN ELECTRONIC MESSAGE CENTER SIGN.

**Motion (Stadel/Crosby) to recommend approval of the Special Exception (SE-01-19) requested by CoVantage Credit Union, 665 W. Ridgeview Drive, to allow operation of an electronic message center sign.** Motion carried, all voting aye.

9. **SITE PLAN AMENDMENT (SPA1-30-00)** – REQUEST BY COVANTAGE CREDIT UNION, 665 W. RIDGEVIEW DRIVE, TO REMOVE AN EXISTING MONUMENT SIGN AND INSTALL A NEW MONUMENT SIGN, INCLUDING AN ELECTRONIC MESSAGE CENTER SIGN.

Planner Patza stated that the new sign will be placed in the same location as the existing sign.

**Motion (Boeckers/Ulrich) to approve the Site Plan Amendment (SPA1-30-00) requested by CoVantage Credit Union, 665 W. Ridgeview Drive, to replace an existing monument sign with a new monument sign, including an electronic message center.**

In response to a questions from Commissioner Hidde, Planner Patza stated that the Sign Code imposes standards for electronic message center signs in order to mitigate possible driver distraction..

**Motion to approve SPA 1-30-00 carried, all voting aye.**

10. **PUBLIC HEARING #2** – SPECIAL EXCEPTION (SE-02-19) REQUESTED BY KWIK TRIP, INC., 1300 N. WESTHILL BOULEVARD, FOR OPERATION OF AN AUTOMOTIVE FUELING STATION AND CONVENIENCE STORE.

Chairman Schowalter opened Public Hearing #2 at 6:08 p.m.

Troy Mleziva, Real Estate Development Manager for Kwik Trip, informed the Commission that he was available to answer any questions.

Jim Greene, Greene Development PUD and current owner of the property in question, informed the Commission that he was available to answer any questions.

**Motion (Crosby/Sherman) to close Public Hearing #2 at 6:09 p.m.** Motion carried, all voting aye.

11. **SPECIAL EXCEPTION (SE-02-19)** – REQUEST BY KWIK TRIP, INC., 1300 N. WESTHILL BOULEVARD, FOR OPERATION OF AN AUTOMOTIVE FUELING STATION AND CONVENIENCE STORE.

Planner Patza provided background information on this proposed fueling station and convenience store. He noted that access to the property will be restricted to N. Westhill Blvd.

**Motion (Sherman/Hidde) to recommend approval of the Special Exception (SE-02-19) requested by Kwik Trip, Inc., 1300 N. Westhill Boulevard, for operation of an automotive fueling station and convenience store.** Motion carried, all voting aye.

12. **PUBLIC HEARING #3** – SPECIAL EXCEPTION (SE-03-19) REQUESTED BY KWIK TRIP, INC., 1300 N. WESTHILL BOULEVARD, FOR OPERATION OF AN ELECTRONIC MESSAGE CENTER SIGN.

Chairman Schowalter opened Public Hearing #3 at 6:12 p.m. There was no public input.

**Motion (Sherman/Hidde) to close Public Hearing #3 at 6:12 p.m.** Motion carried, all voting aye.

13. **SPECIAL EXCEPTION (SE-03-19)** – REQUEST BY KWIK TRIP, INC., 1300 N. WESTHILL BOULEVARD, FOR OPERATION OF AN ELECTRONIC MESSAGE CENTER SIGN.

**Motion (Ulrich/Crosby) to recommend approval of the Special Exception (SE-03-19) requested by Kwik Trip, Inc., 1300 N. Westhill Boulevard, for operation of an electronic message center sign, subject to Town Board approval of a Special Exception Amendment to the Greene Development PUD.** Motion carried, all voting aye.

14. **SITE PLAN (SP-02-19)** – REQUEST BY KWIK TRIP, INC., 1300 N. WESTHILL BOULEVARD, FOR CONSTRUCTION OF AN AUTOMOTIVE FUELING STATION, CONVENIENCE STORE, SIGNAGE, AND ASSOCIATED SITE IMPROVEMENTS.

**Motion (Hidde/Ulrich) to approve the Site Plan (SP-02-19) requested by Kwik Trip, Inc., 1300 N. Westhill Boulevard, for construction of an automotive fueling station, convenience store, signage, and associated site improvements, subject to: (1) Town Board approval of a Special Exception Amendment to the Greene Development PUD; (2) Town Board approval of Special Exception SE-02-19; and, (3) Town Board approval of Special Exception SE-03-19.**

In response to a question from Commissioner Crosby, Planner Patza noted the Special Exception Amendment will address signage change across the entire PUD, as well as other site development modifications made since the PUD was first created.

**Motion to approve SP-02-19 carried, all voting aye.**

15. **CERTIFIED SURVEY MAP (CSM-03-19)** – REQUEST BY WISCONSIN ELECTRIC POWER COMPANY, TERRY A. PILLER AND LORI L. MUELLER, OWNERS OF PROPERTIES IN THE 5000 BLOCK OF W. GREENVILLE DRIVE, FOR APPROVAL OF A 3-LOT CSM WITH ROADWAY DEDICATION.

**Motion (Sherman/Hidde) to recommend approval of the Certified Survey Map (CSM-03-19) requested by Wisconsin Electric Power Company, Terry A. Piller, and Lori L. Mueller in the 5000 block of W. Greenville Drive, for a 3-lot CSM with roadway dedication. Motion carried, all voting aye.**

16. ADJOURNMENT.

**Motion (Sherman/Boeckers) to adjourn the meeting at 6:18 p.m. Motion carried, all voting aye.**

Respectfully Submitted,

Tracy Olejniczak/BB  
Com. Dev. Admin. Asst.

**Town of Grand Chute  
Conditional Use Permit Request  
Town of Grand Chute – French Road Culvert Replacement**

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**To: Plan Commission**

**From: Robert Buckingham, Community Development Director**

**Date: February 14, 2019**

**Address: N. French Road**

**App. #: CUP-01-19**

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**REQUEST**

This project consists of replacing an existing culvert on an unnamed stream under N. French Road. The project is located approximately 500 feet north of Northland Avenue. The existing concrete box culvert will be removed and a new corrugated metal culvert will be installed. A 30-foot section of N. French Road will be reconstructed as part of this work. A County Conditional Use Permit is required to allow grading and alteration of a stream for the culvert replacement project.

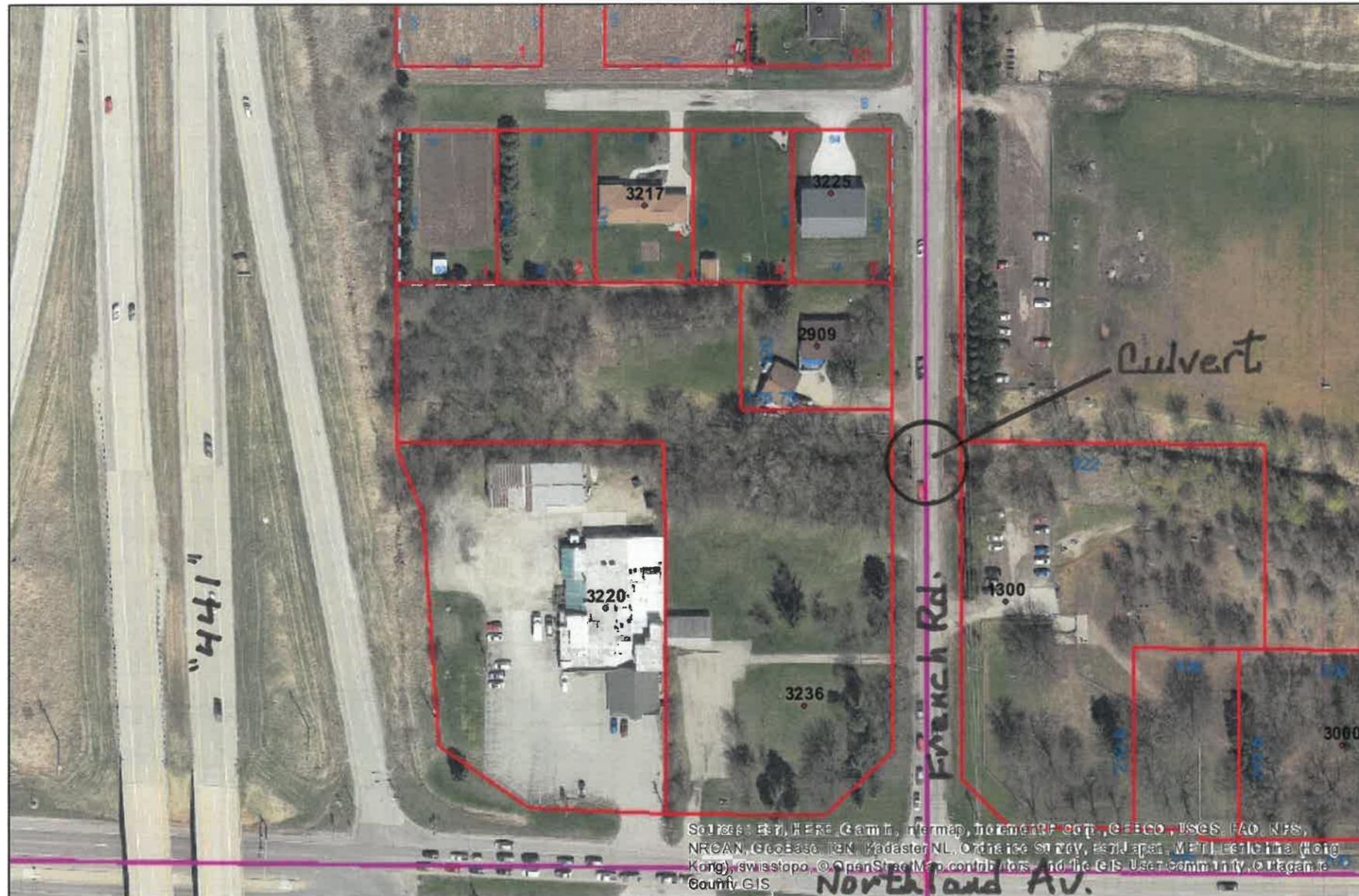
**ANALYSIS**

The results of the Backwater Analysis for this project indicates that the culvert pipe size may need to be increased from what was being designed for approval. The Town Engineer is conducting a cost comparison analysis for two options. Until a culvert pipe size is determined, the CUP cannot be acted upon.

**RECOMMENDATION**

**Staff recommends that the Plan Commission defer action on Conditional Use Permit CUP-01-19 until the March 5, 2019 meeting.**

# Town of Grand Chute Web Map

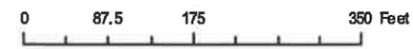


Disclaimer: The data provided in the Town of Grand Chute Interactive GIS Map was generated from multiple sources and agencies. Every effort has been made to offer the most accurate data. However, the Town provides this information with the understanding that it is not guaranteed to be accurate, correct, or complete. The Town may make improvements to the Interactive GIS Map periodically. Conclusions drawn from this information are the responsibility of the user. The user agrees that the Town of Grand Chute shall not be held responsible for actions, claims, damages, or judgments made from this data.

CUP-01-19

Author: Town of Grand Chute web viewer

Copyright: Town of Grand Chute







W:\PROJECTS\06060618\06060618\06060618\Plan Sheets\French Rd Cover\Notes\Details.dwg, 22:04:Notes, 1/17/2018 10:28:43 AM, mwright, 1:2

STANDARD ABBREVIATIONS

Table of standard abbreviations with columns for symbol, description, and symbol. Includes terms like ACRO, ASPHALT, BEH, etc.

GENERAL NOTES

- 1. THE UTILITIES SHOWN IN PLAN AND PROFILE ARE INDICATED IN ACCORDANCE WITH AVAILABLE RECORDS...
2. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL VERIFY PROPOSED SITE GRADIES BY FIELD CHECKING TWO (2) SECTIONS AND A MINIMUM OF ONE (1) SITE FEATURE SHOWN ON THESE PLANS...
3. THE PROPERTY LINES, RIGHT-OF-WAY LINES AND OTHER PROPERTY INFORMATION ON THIS DRAWING WERE DEVELOPED OR OBTAINED AS PART OF THE COUNTY GEOPRAPHIC INFORMATION SYSTEM OR THROUGH THE COUNTY PROPERTY TAX MAPS...
4. NO TREES OR SHRUBS ARE TO BE REMOVED WITHOUT PRIOR APPROVAL FROM THE OWNER.
5. A SAVED JOINT IS REQUIRED WHERE NEW HMA PAVEMENT MATCHES EXISTING ASPHALTIC CONCRETE SURFACE.

STANDARD SYMBOLS (PLAN VIEW ONLY)

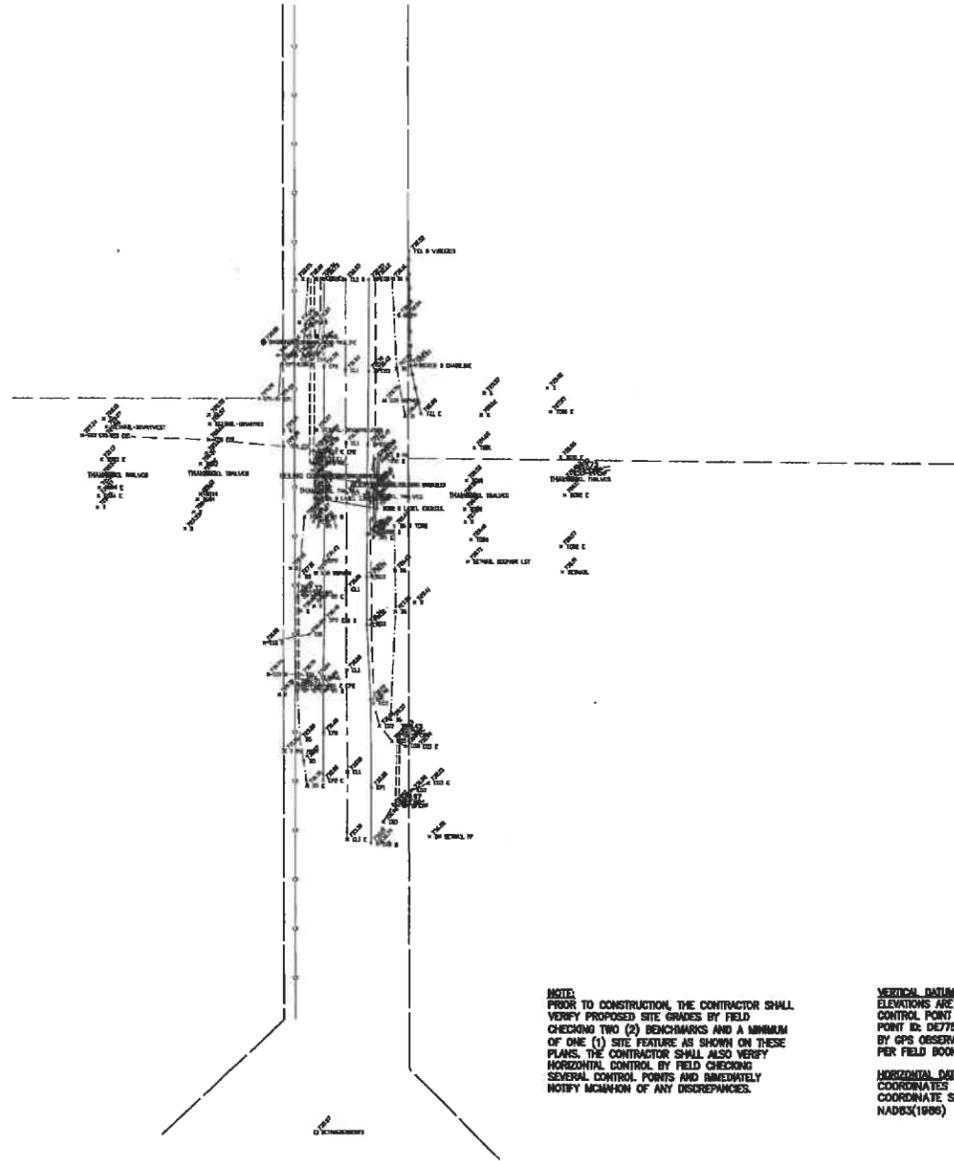
Table of standard symbols for plan view only, including symbols for iron pipe found, telephone cable, electric cable, utilities, fiber optic cable, gas main, cable television, ditch line, street, property line, right-of-way line, existing contours, proposed contours, existing and proposed sanitary sewers, water mains, storm sewers, curbs and gutters, culverts, and various pavement types.

EROSION & SEDIMENT CONTROL PLAN

BEST MANAGEMENT PRACTICES
THE CONTRACTOR IS RESPONSIBLE FOR FURNISHING, INSTALLING, MAINTAINING AND REMOVING BEST MANAGEMENT PRACTICES IN ACCORDANCE WITH WISCONSIN DEPARTMENT OF NATURAL RESOURCES (DNR) TECHNICAL STANDARDS. THESE STANDARDS MAY BE FOUND ON THE DNR WEBSITE AT https://www.dnr.wisconsin.gov/Information/TechnicalStandards.htm
BEST MANAGEMENT PRACTICES SPECIFIED FOR THIS PROJECT ARE AS FOLLOWS:
[ ] LAND APPLICATION OF POLYACRYLAMIDE (1050) [X] DE-WATERING (1081)
[X] WATER APPLICATION OF POLYMERS (1051) [ ] DITCH CHECK (1082)
[X] NON-CHANNEL EROSION MAT (1053) [ ] SEDIMENT TRAP (1083)
[X] CHANNEL EROSION MAT (1053) [ ] SEDIMENT BASK (1084)
[X] VEGETATIVE BUFFER (1054) [X] RP-RAP (1085)
[X] SEDIMENT BALE BARRIER (1054) [ ] CONSTRUCTION DIVERSION (1086)
[X] SILT FENCE (1056) [X] GRADING PRACTICES (1087)
[X] TRACKING PAD & TIRE WASHING (1057) [ ] DUST CONTROL (1088)
[X] MULCHING (1089) [ ] TURBIDITY BARRIER (1089)
[X] SEEDING (1059) [ ] SILT CURTAIN (1070)
[X] STORM DRAIN INLET PROTECTION (1060) [ ] MANUFACTURED PERIMETER PRODUCTS (1071)
THE CONTRACTOR SHALL COORDINATE CONSTRUCTION ACTIVITIES AND IMPLEMENT BEST MANAGEMENT PRACTICES TO PREVENT OR REDUCE ALL OF THE FOLLOWING:
A. DEPOSITION OR TRACKING OF SOIL ONTO STREETS BY VEHICLES.
B. DISCHARGE OF SEDIMENT INTO STORM WATER INLETS.
C. DISCHARGE OF SEDIMENT INTO ADJACENT STREAMS, RIVERS, LAKES AND WETLANDS.
D. DISCHARGE OF SEDIMENT FROM DITCHES AND STORM SEWERS THAT FLOW OFFSITE.
E. DISCHARGE OF SEDIMENT FROM DEWATERING ACTIVITIES.
F. DISCHARGE OF SEDIMENT FROM SOIL STOCKPILES EXISTING FOR 7 DAYS OR MORE.
G. DISCHARGE OF SEDIMENT FROM EROSION OUTLET FLOWS.
H. TRANSPORT OF CHEMICALS, CEMENT AND BUILDING MATERIALS BY RUNOFF.
I. TRANSPORT OF UNTREATED VEHICLE AND WHEEL WASH WATER BY RUNOFF.
THE CONTRACTOR SHALL IMPLEMENT THE FOLLOWING PREVENTATIVE MEASURES:
A. PRESERVE EXISTING VEGETATION WHENEVER POSSIBLE.
B. MINIMIZE SOIL COMPACTION AND PRESERVE TOPSOIL.
C. MINIMIZE LAND DISTURBANCES ON SLOPES OF 20% OR MORE.
D. MINIMIZE THE AMOUNT OF SOIL EXPOSED AT ANY ONE TIME.
E. DIVERT CLEAR WATER AWAY FROM EXPOSED SOILS.
F. TEMPORARILY STABILIZE EXPOSED SOILS THAT WILL NOT BE ACTIVE FOR 14 DAYS OR MORE. USE MULCHING, SEEDING, POLYMER/CLAY OR CRUDELING TO STABILIZE.
G. PERMANENTLY STABILIZE EXPOSED SOILS AS SOON AS POSSIBLE.
H. CONTRACTOR SHALL EDUCATE ITS EMPLOYEES AND SUBCONTRACTORS ABOUT PROPER SPILL PREVENTION AND RESPONSE PROCEDURES. IF A SPILL OCCURS, THE CONTRACTOR SHALL EVALUATE THE AREA AND IMMEDIATELY NOTIFY THE LOCAL MUNICIPALITY, FIRE DEPARTMENT OR 911 EMERGENCY SYSTEM. IF NO FIRE, EXPLOSION OR LIFE / HEALTH SAFETY HAZARD EXISTS, THE NEXT STEP IS TO CONTAIN THE SPILL AND PERFORM CLEANUP. USE DRY CLEANUP METHODS, NOT WET.
THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING OR REPLACING BEST MANAGEMENT PRACTICES DESTROYED AS A RESULT OF CONSTRUCTION ACTIVITIES BY THE END OF THE WORK DAY. THE CONTRACTOR IS RESPONSIBLE FOR REPLACING BEST MANAGEMENT PRACTICES TEMPORARILY REMOVED FOR CONSTRUCTION ACTIVITY AS SOON AS THOSE ACTIVITIES ARE COMPLETED. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING AND DISPOSING OF TEMPORARY BEST MANAGEMENT PRACTICES AFTER CONSTRUCTION IS COMPLETE AND PERMANENT VEGETATION IS ESTABLISHED.
INSPECTION & MAINTENANCE
THE CONTRACTOR IS RESPONSIBLE FOR INSPECTING BEST MANAGEMENT PRACTICES REGULARLY, AND WITHIN 24 HOURS FOLLOWING A RAINFALL OF 0.5 INCHES OR GREATER. WRITTEN DOCUMENTATION OF EACH INSPECTION SHALL BE KEPT AT THE CONSTRUCTION SITE AND SHALL INCLUDE THE FOLLOWING INFORMATION: DATE, TIME, AND LOCATION OF INSPECTION; NAME OF INDIVIDUAL WHO PERFORMED THE INSPECTION; AN ASSESSMENT OF THE CONDITION OF BEST MANAGEMENT PRACTICES; A DESCRIPTION OF ANY BEST MANAGEMENT PRACTICE IMPLEMENTATION AND MAINTENANCE PERFORMED; AND A DESCRIPTION OF THE PRESENT PHASE OF CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING, REPAIRING OR REPLACING BEST MANAGEMENT PRACTICES AS NECESSARY WITHIN 24 HOURS OF AN INSPECTION OR NOTIFICATION. THE CONTRACTOR IS RESPONSIBLE FOR INSPECTING, MAINTAINING, REPAIRING, OR REPLACING BEST MANAGEMENT PRACTICES UNTIL ALL LAND DISTURBING CONSTRUCTION ACTIVITY IS COMPLETED AND A UNIFORM PERMANENT VEGETATIVE COVER IS ESTABLISHED WITH A DENSITY OF AT LEAST 70%.
THE CONTRACTOR IS RESPONSIBLE FOR POSTING THE PERMIT IN A CONSPICUOUS LOCATION ON THE CONSTRUCTION SITE. THE CONTRACTOR IS RESPONSIBLE FOR KEEPING A COPY OF THE APPROVED PERMITS, PLANS, AMENDMENTS, INSPECTION REPORTS, AND PERMITS AT THE CONSTRUCTION SITE AT ALL TIMES UNTIL ALL LAND DISTURBING CONSTRUCTION ACTIVITY IS COMPLETED AND A UNIFORM PERMANENT VEGETATIVE COVER IS ESTABLISHED WITH A DENSITY OF AT LEAST 70%. THE CONTRACTOR IS RESPONSIBLE FOR NOTIFYING THE OWNER WHEN THE VEGETATIVE DENSITY REACHES AT LEAST 70%. THE OWNER IS RESPONSIBLE FOR TERMINATING DNR PERMIT COVERAGE.
AMENDMENTS
THE CONTRACTOR IS RESPONSIBLE FOR AMENDING THE EROSION & SEDIMENT CONTROL PLAN IF: THERE IS A CHANGE IN CONSTRUCTION, OPERATION OR MAINTENANCE AT THE SITE WHICH HAS THE REASONABLE POTENTIAL FOR THE DISCHARGE OF POLLUTANTS; THE ACTIONS REQUIRED BY THE PLAN FAIL TO REDUCE THE IMPACTS OF POLLUTANTS CAUSED BY CONSTRUCTION SITE RUNOFF; OR IF THE DNR NOTIFIES THE APPLICANT OF CHANGES NEEDED IN THE PLAN. THE DNR AND OWNER SHALL BE NOTIFIED 5 WORKING DAYS PRIOR TO MAKING CHANGES TO THE PLAN.

McMAHON CONSULTANTS, INC.
FRENCH ROAD CULVERT REPLACEMENT
TOWN OF GRAND CHUTE, OUTAGAMIE COUNTY WISCONSIN
ABBREVIATIONS, SYMBOLS & NOTES
DOWNSIDE - 00000-8-10-00003
DATE: 11/2018
SHEET NO.: 01

\\P:\030616\F100383C\ADD\CH\ISD\FIN SHEETS\02 SURVEY CONTROL.dwg, SURVEY CONTROL, 1/17/2018 10:26:52 AM, mwright, 1:2



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SCALE - FEET

**NOTE:**  
PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL VERIFY PROPOSED SITE GRADES BY FIELD CHECKING TWO (2) BENCHMARKS AND A MINIMUM OF ONE (1) SITE FEATURE AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL ALSO VERIFY HORIZONTAL CONTROL BY FIELD CHECKING SEVERAL CONTROL POINTS AND IMMEDIATELY NOTIFY MCMAHON OF ANY DISCREPANCIES.

**VERTICAL DATUM:**  
ELEVATIONS ARE REFERENCED TO MGS DATA.  
CONTROL POINT NAME: 4679  
POINT ID: D27759 NAD83 DATUM  
BY GPS OBSERVATION TO ELEVATION = 726.40 (2007 ADJUSTMENT)  
PER FIELD BOOK 1412 PAGE 47

**HORIZONTAL DATUM:**  
COORDINATES ARE REFERENCED TO THE WISCONSIN COUNTY COORDINATE SYSTEM AS PUBLISHED FOR OUTAGAMIE COUNTY NAD83(1983)

**McMAHON**  
SURVEYING & CONSULTING  
INCORPORATED  
1100 W. STATE ST. SUITE 200  
MILWAUKEE, WI 53233  
TEL: 414.224.1111  
WWW.MCMAHONSURV.COM

PROJECT NO. 0000-18-0003  
DATE 11/2018  
SHEET NO. 02

NO.	DATE	REVISION

FRENCH ROAD CULVERT REPLACEMENT  
TOWN OF GRAND CHUTE, OUTAGAMIE COUNTY WISCONSIN  
SURVEY CONTROL

DRAWN BY: [blank] CHECKED BY: [blank]

PROJECT NO. 0000-18-0003

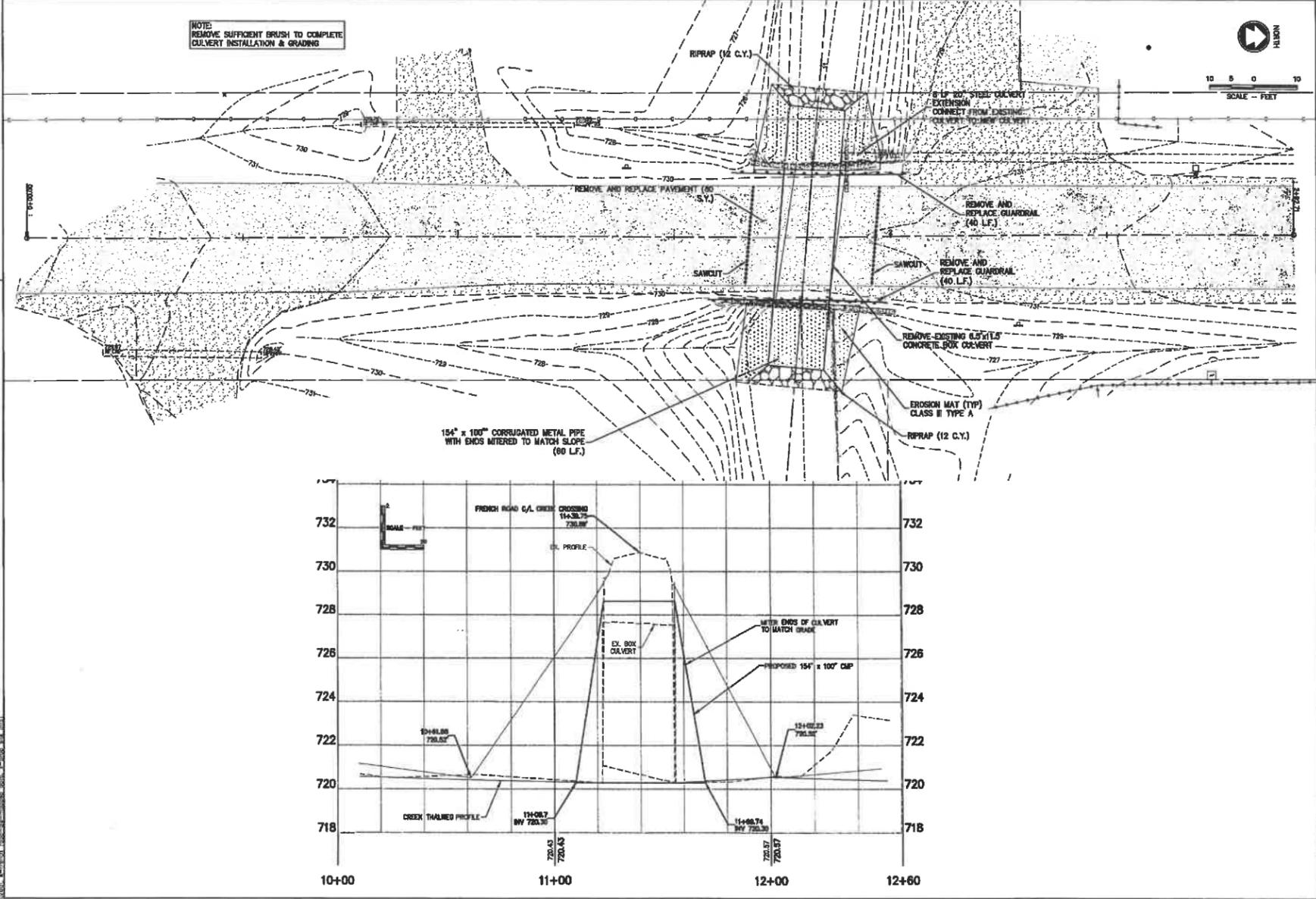
DATE 11/2018

SHEET NO. 02

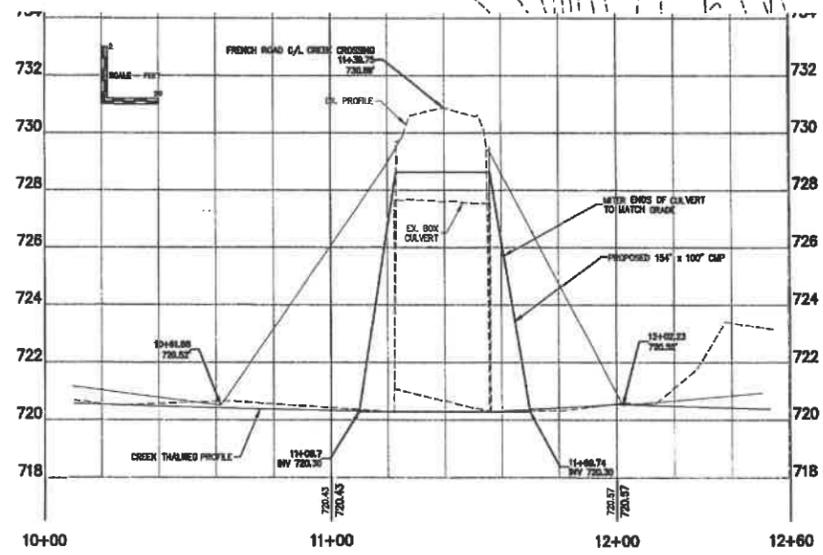


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NOTE:  
REMOVE SUFFICIENT GRASS TO COMPLETE  
CULVERT INSTALLATION & GRADING



**McMAHON**  
 CIVIL ENGINEERING, INC.  
 1445 WASHINGTON DRIVE, SUITE 100  
 WEST BEND, WISCONSIN 53091  
 PHONE: 762.333.3333 FAX: 762.333.3334  
 WWW.McMAHONCIVIL.COM

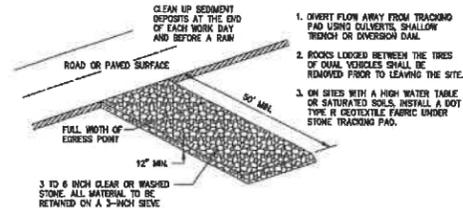
NO.	DESCRIPTION	DATE

**FRENCH ROAD CULVERT REPLACEMENT**  
**TOWN OF GRAND CHUTE, OUTAGAMIE COUNTY WISCONSIN**  
 PLAN AND PROFILE

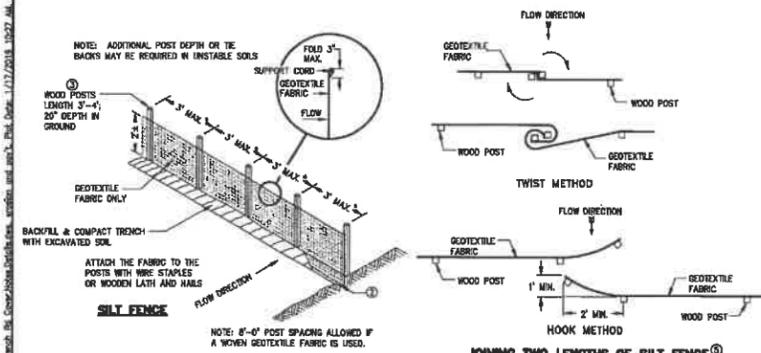
DESIGNED BY	DRWN BY
PROJECT NO.	00006-9-18-00393
DATE	11/2018
SHEET NO.	04



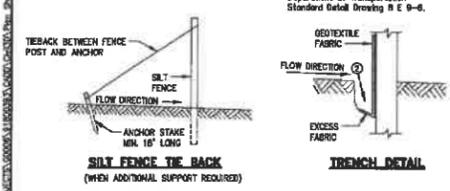




**TRACKING PAD DETAIL**

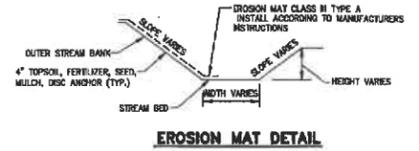


**JOINING TWO LENGTHS OF SILT FENCE**



**SILT FENCE TIE BACK**  
**TRENCH DETAIL**

- GENERAL NOTES**
- HORIZONTAL BRACE REQUIRED WITH 2" X 4" WOODEN FRAME OR EQUIVALENT AT TOP OF POSTS.
  - TRENCH SHALL BE A MINIMUM OF 4" WIDE & 6" DEEP TO BURY AND ANCHOR THE GEOTEXTILE FABRIC. FILL MATERIAL TO FIT TRENCH AND BACKFILL & COMPACT TRENCH WITH EXCAVATED SOIL.
  - WOOD POSTS SHALL BE A MINIMUM SIZE OF 1 1/2" X 1" 1/2" OF OAK OR HICKORY.
  - SILT FENCE TO EXTEND ACROSS THE TOP OF THE PIPE.
  - CONSTRUCT SILT FENCE FROM A CONTINUOUS ROLL IF POSSIBLE BY CUTTING LENGTHS TO AVOID JOINTS. IF A JOINT IS NECESSARY USE ONE OF THE FOLLOWING TWO METHODS: A) OVERLAP THE END POSTS AND TWIST OR ROTATE, AT LEAST 90 DEGREES, B) HOOK THE END OF EACH SILT FENCE LENGTH.



**EROSION MAT DETAIL**

**McMAHON**  
CORPORATION  
1445 MANAHOVA DRIVE, SUITE 100, LAKESHORE, WISCONSIN 53090  
TEL: 262.531.4400 FAX: 262.531.4000 WWW.McMAHON.COM

NO.	DATE	DESCRIPTION

**FRENCH ROAD CULVERT REPLACEMENT**  
**TOWN OF GRAND CHUTE, OUTAGAMIE COUNTY WISCONSIN**  
**MISCELLANEOUS DETAILS**

DESIGNED	DWGN
PROJECT NO.	00000-3-18-00383
DATE	11/2018
SHEET NO.	07





**Town of Grand Chute  
Conditional Use Permit Request  
Town of Grand Chute – Apple Creek Rd Culvert Replacement**

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**To: Plan Commission**

**From: Robert Buckingham, Community Development Director**

**Date: February 14, 2019**

**Address: E. Apple Creek Road**

**App. #: CUP-02-19**

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**REQUEST**

This project consists of replacing an existing culvert on a portion of Apple Creek that passes under E. Apple Creek Road. The project is located just north of the intersection at Apple Creek Road and Apple Creek Court. The existing wooden box culvert will be removed and a new reinforced concrete box culvert will be installed. An 80-foot section of E. Apple Creek Road will be reconstructed as part of this work. A County Conditional Use Permit is required to allow grading and alteration of a stream for the culvert replacement project.

**ANALYSIS**

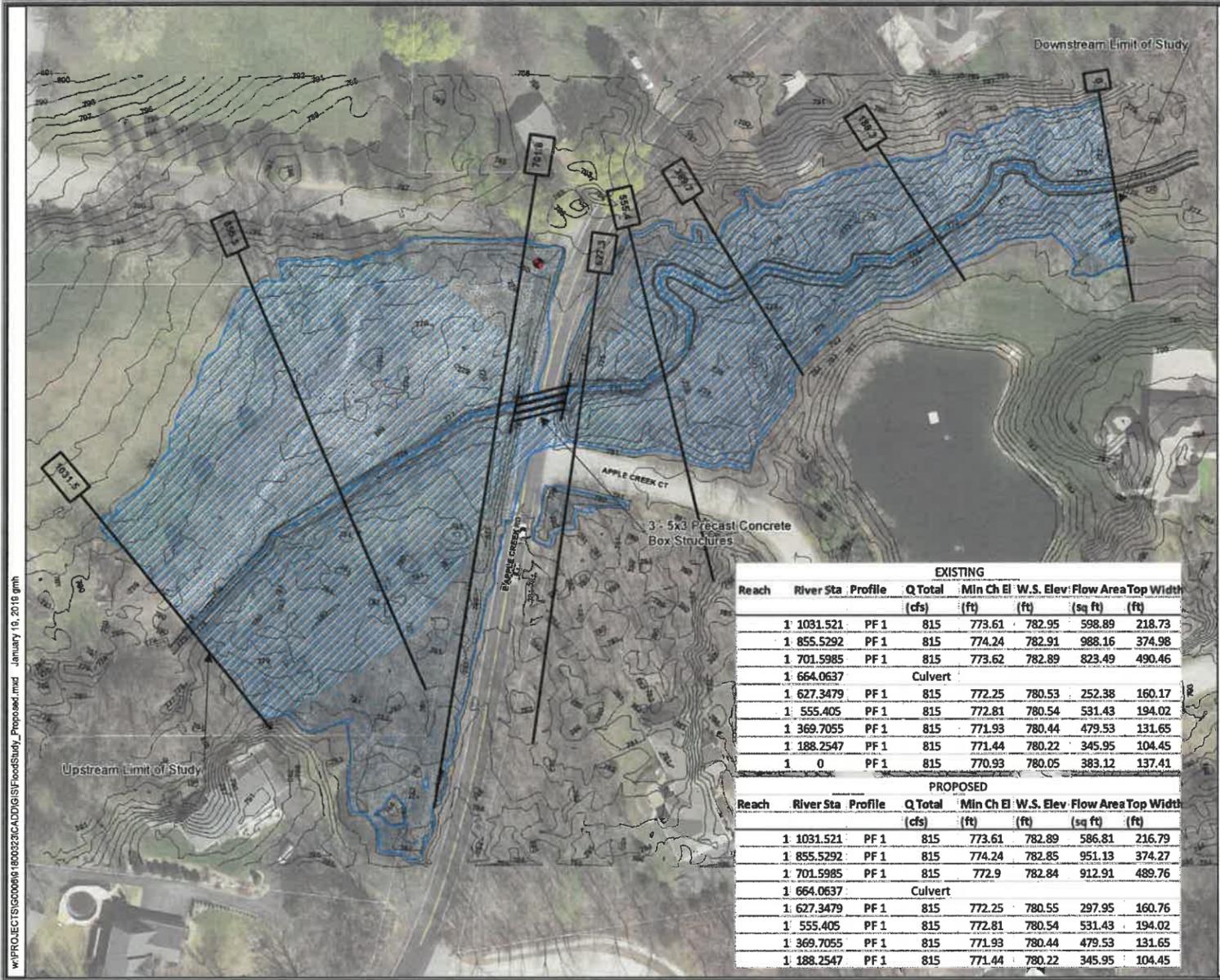
A Backwater Analysis was conducted to evaluate the impacts the culvert replacement project will have on regulatory floodplain limits. The proposed new culvert is designed to accommodate the 100-year storm event with no rise in surface water elevations upstream of the project. No flooding easements will be required from upstream property owners. Areas of wetlands impacted by this project will be mitigated through a WDNR transportation project permit.

Best management practices will be in place for the duration of the construction project and until final stabilization of exposed soils.

**RECOMMENDATION**

**Staff has reviewed and supports a Plan Commission recommendation for approval of the Conditional Use Permit (CUP-02-19) requested by the Town of Grand Chute to allow grading and stream alteration associated with the replacement of a culvert under E. Apple Creek Road.**





- Mapped Features**
- Proposed 100-year Floodway
  - Proposed 100-year Floodplain
  - Cross-Sections
  - 1ft Contours
  - Apple Creek Centerline
  - BM TRED 72 (Elev=783.16)  
- BM Referenced to NAVD 88

Source: Outagamie County, 2014-17.

Disclaimer: The property lines, right-of-way lines, and other property information on this drawing were developed or obtained as part of the County Geographic Information System or through the County property tax mapping function. McMAHON ASSOCIATES, INC. does not guarantee this information to be correct, current, or complete. The property and right-of-way information are only intended for use as a general reference and are not intended or suitable for site-specific uses. Any use in the contrary of the above stated uses is the responsibility of the user and such use is at the user's own risk.



**FIGURE 2**  
**PROPOSED CONDITION FLOODPLAIN**  
 APPLE CREEK CULVERT REPLACEMENT  
 BACKWATER ANALYSIS  
 TOWN OF GRAND CHUTE  
 OUTAGAMIE COUNTY, WISCONSIN

EXISTING							
Reach	River Sta	Profile	Q Total	Min Ch El	W.S. Elev	Flow Area	Top Width
			(cfs)	(ft)	(ft)	(sq ft)	(ft)
1	1031.521	PF 1	815	773.61	782.95	598.89	218.73
1	855.5292	PF 1	815	774.24	782.91	988.16	374.98
1	701.5985	PF 1	815	773.62	782.89	823.49	490.46
1	664.0637	Culvert					
1	627.3479	PF 1	815	772.25	780.53	252.38	160.17
1	555.405	PF 1	815	772.81	780.54	531.43	194.02
1	369.7055	PF 1	815	771.93	780.44	479.53	131.65
1	188.2547	PF 1	815	771.44	780.22	345.95	104.45
1	0	PF 1	815	770.93	780.05	383.12	137.41
PROPOSED							
Reach	River Sta	Profile	Q Total	Min Ch El	W.S. Elev	Flow Area	Top Width
			(cfs)	(ft)	(ft)	(sq ft)	(ft)
1	1031.521	PF 1	815	773.61	782.89	586.81	216.79
1	855.5292	PF 1	815	774.24	782.85	951.13	374.27
1	701.5985	PF 1	815	772.9	782.84	912.91	489.76
1	664.0637	Culvert					
1	627.3479	PF 1	815	772.25	780.55	297.95	160.76
1	555.405	PF 1	815	772.81	780.54	531.43	194.02
1	369.7055	PF 1	815	771.93	780.44	479.53	131.65
1	188.2547	PF 1	815	771.44	780.22	345.95	104.45

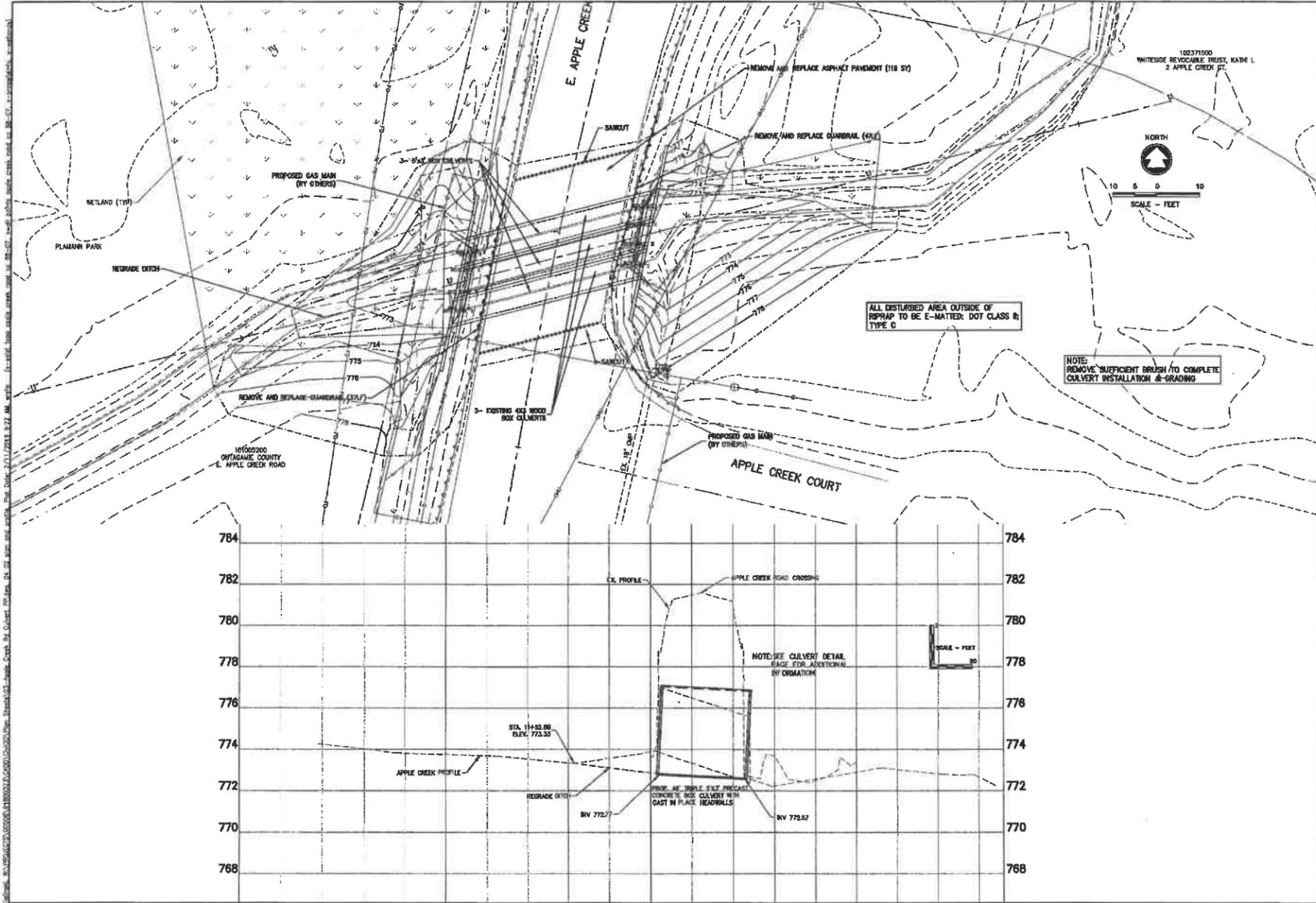
W:\PROJECTS\GIS\000016\_180022\GIS\FloodStudy\_Proposed.mxd January 19, 2018 gmh











**McMAHON**  
 ENGINEERS & ARCHITECTS  
 1400 WISCONSIN DRIVE, NEENAH, WI 54956  
 PHONE: 920.709.1000 FAX: 920.709.1001  
 WWW.McMAHONENR.COM

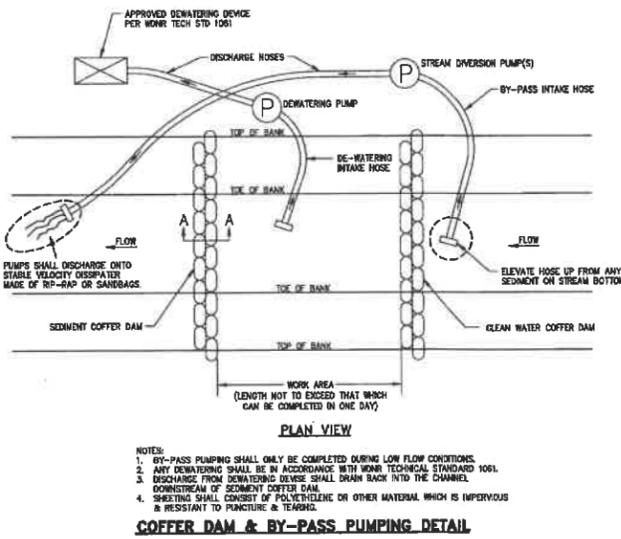
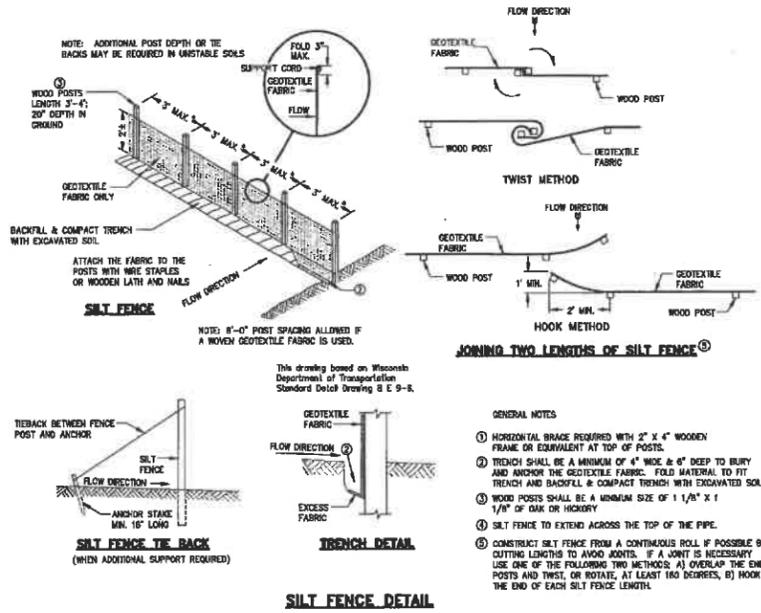
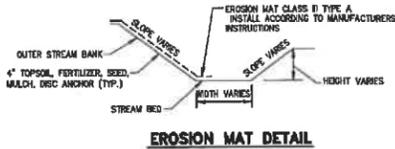
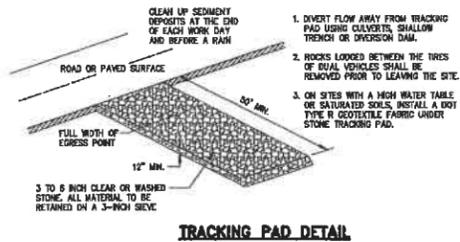
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5	02/20/16	ISSUED FOR PERMIT
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7	02/20/16	ISSUED FOR PERMIT
8	02/20/16	ISSUED FOR PERMIT
9	02/20/16	ISSUED FOR PERMIT
10	02/20/16	ISSUED FOR PERMIT

**APPLE CREEK ROAD BOX CULVERT REPLACEMENT**  
 TOWN OF GRAND CHUTE, OUTAGAMIE COUNTY, WISCONSIN  
 PLAN AND PROFILE

DESIGNED BY	CHKD BY
PROJECT NO.	DATE
00005 0-15-00023	02/20/16
SHEET NO.	
<b>04</b>	







**McMAHON**  
 CONSULTING ENGINEERS, INC.  
 1100 W. WISCONSIN ST., SUITE 200  
 MADISON, WISCONSIN 53703  
 PHONE: 608.261.1000 FAX: 608.261.1001  
 WWW.McMAHONCONSULTING.COM

NO.	DATE	DESCRIPTION

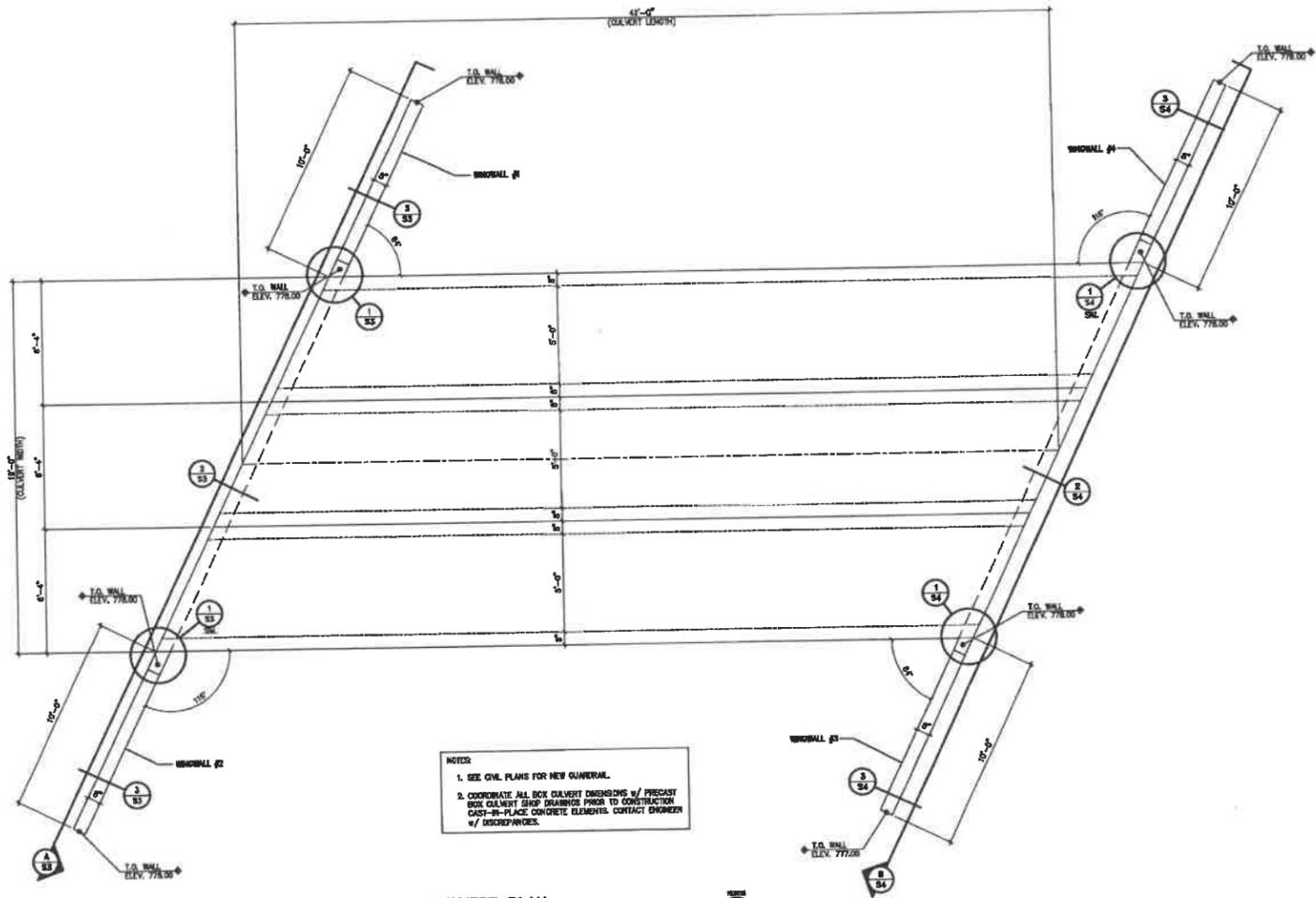
**APPLE CREEK ROAD BOX CULVERT REPLACEMENT  
 TOWN OF GRAND CHUTE, OUTAGAMIE COUNTY, WISCONSIN  
 MISCELLANEOUS DETAILS**

DESIGNED	DRAWN
000	ASJ
PROJECT NO.	DATE
00000 8-16-00203	06/2019
SHEET NO.	07









NOTES:  
 1. SEE CIVIL PLANS FOR NEW QUADRANT.  
 2. COORDINATE ALL BOX CULVERT DIMENSIONS w/ PRECAST BOX CULVERT SHOP DRAWINGS PRIOR TO CONSTRUCTION. CAST-IN-PLACE CONCRETE ELEMENTS. CONTACT ENGINEER w/ DISCREPANCIES.

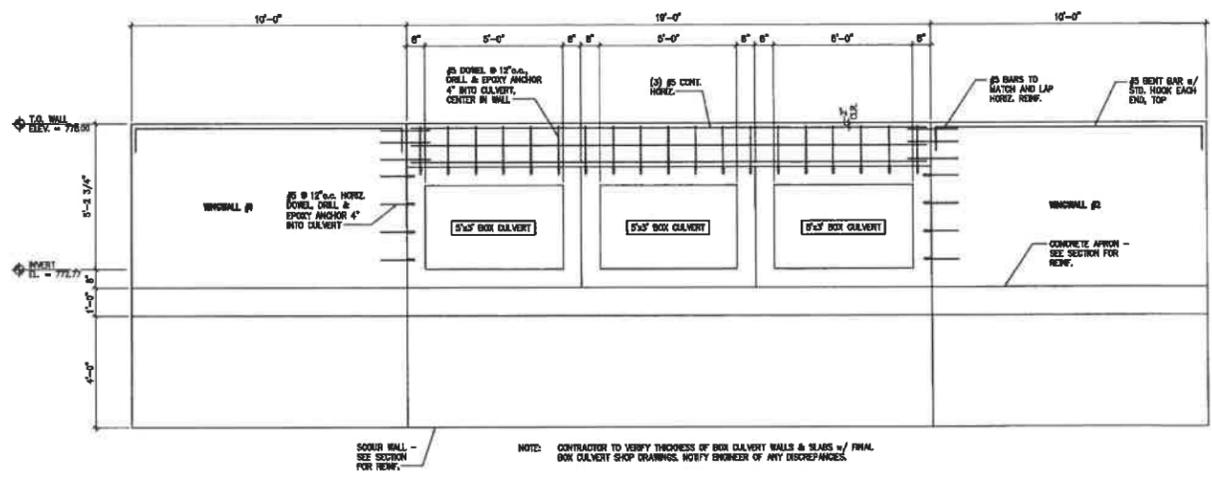
**CULVERT PLAN**  
 3/8" = 1'-0"

**McMAHON**  
 ENGINEERS & ARCHITECTS  
 1000 W. WISCONSIN ST., SUITE 200  
 MILWAUKEE, WI 53233  
 TEL: 414-224-4444 FAX: 414-224-4445  
 WWW.McMAHONENR.COM

NO.	DATE	DESCRIPTION

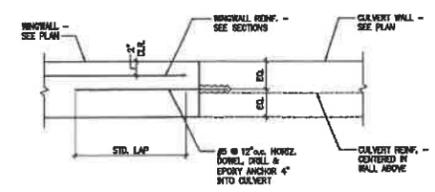
**APPLE CREEK ROAD BOX CULVERT REPLACEMENT**  
**TOWN OF GRAND CHUTE, OUTAGAMIE COUNTY, WISCONSIN**  
**CULVERT PLAN**

DESIGNED BY	DRAWN BY
CHECKED BY	SEAL
PROJECT NO.	
02008-9-16-00323	
DATE	
12/28/2019	
SHEET NO.	
<b>S2</b>	

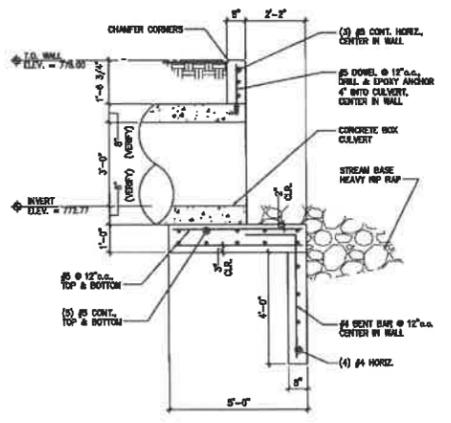


SCOUR WALL - SEE SECTION FOR REINF.  
 NOTE: CONTRACTOR TO VERIFY THICKNESS OF BOX CULVERT WALLS & SLABS w/ FINAL BOX CULVERT SHOP DRAWINGS. NOTIFY ENGINEER OF ANY DISCREPANCIES.

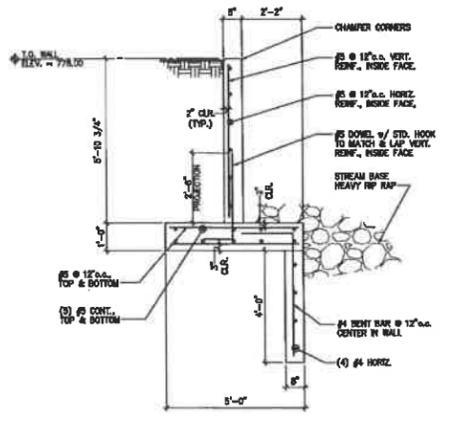
**WEST CULVERT ELEVATION**  
 SCALE: 1/2" = 1'-0"



**WINGWALL TO CULVERT CONNECTION**  
 SCALE: 1 1/2" = 1'-0"



**WEST HEADWALL SECTION**  
 SCALE: 1/2" = 1'-0"



**WEST WINGWALL SECTION**  
 SCALE: 1/2" = 1'-0"

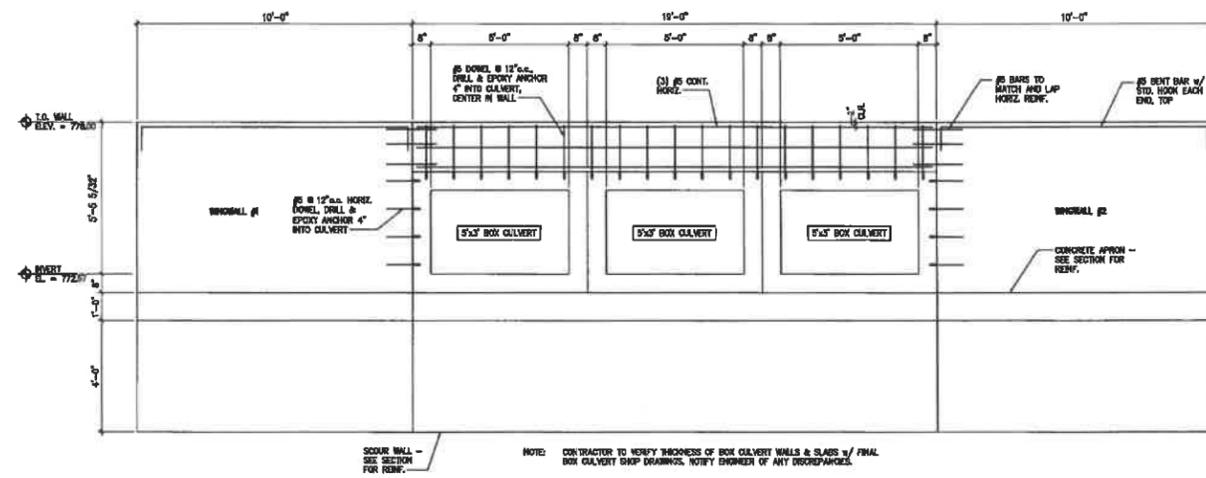
**McMAHON**  
 ENGINEERING & ARCHITECTURE  
 1400 WASHINGTON AVENUE, WESTBURY, NY 11591  
 TEL: 516.332.1200 FAX: 516.332.1201  
 WWW.MCMAHON.COM

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NO.	DATE	DESCRIPTION

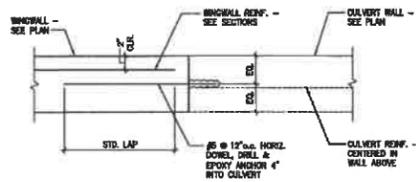
**APPLE CREEK ROAD BOX CULVERT REPLACEMENT**  
**TOWN OF GRAND CHUTE, OUTAGAMIE COUNTY, WISCONSIN**  
**STRUCTURAL CULVERT DETAILS**

DESIGNED BY	DATE
CHKD BY	12/28/2018
PROJECT NO.	00006-18-14-00323
SCALE	AS SHOWN
<b>33</b>	

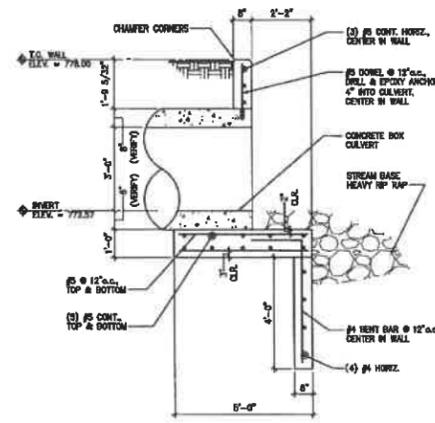


NOTE: CONTRACTOR TO VERIFY THICKNESS OF BOX CULVERT WALLS & SLABS w/ FINAL BOX CULVERT SHOP DRAWINGS. NOTIFY ENGINEER OF ANY DISCREPANCIES.

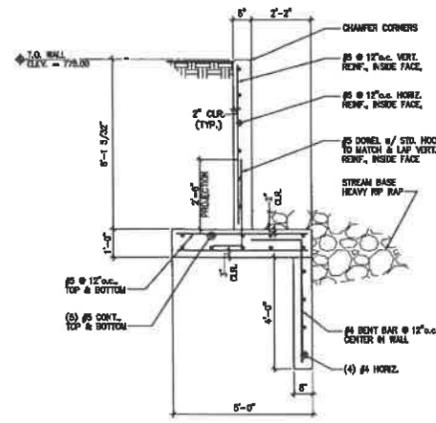
**EAST CULVERT ELEVATION**  
SCALE: 1/2" = 1'-0"



**WINGWALL TO CULVERT CONNECTION**  
SCALE: 1/2" = 1'-0"



**EAST HEADWALL SECTION**  
SCALE: 1/2" = 1'-0"



**EAST WINGWALL SECTION**  
SCALE: 1/2" = 1'-0"

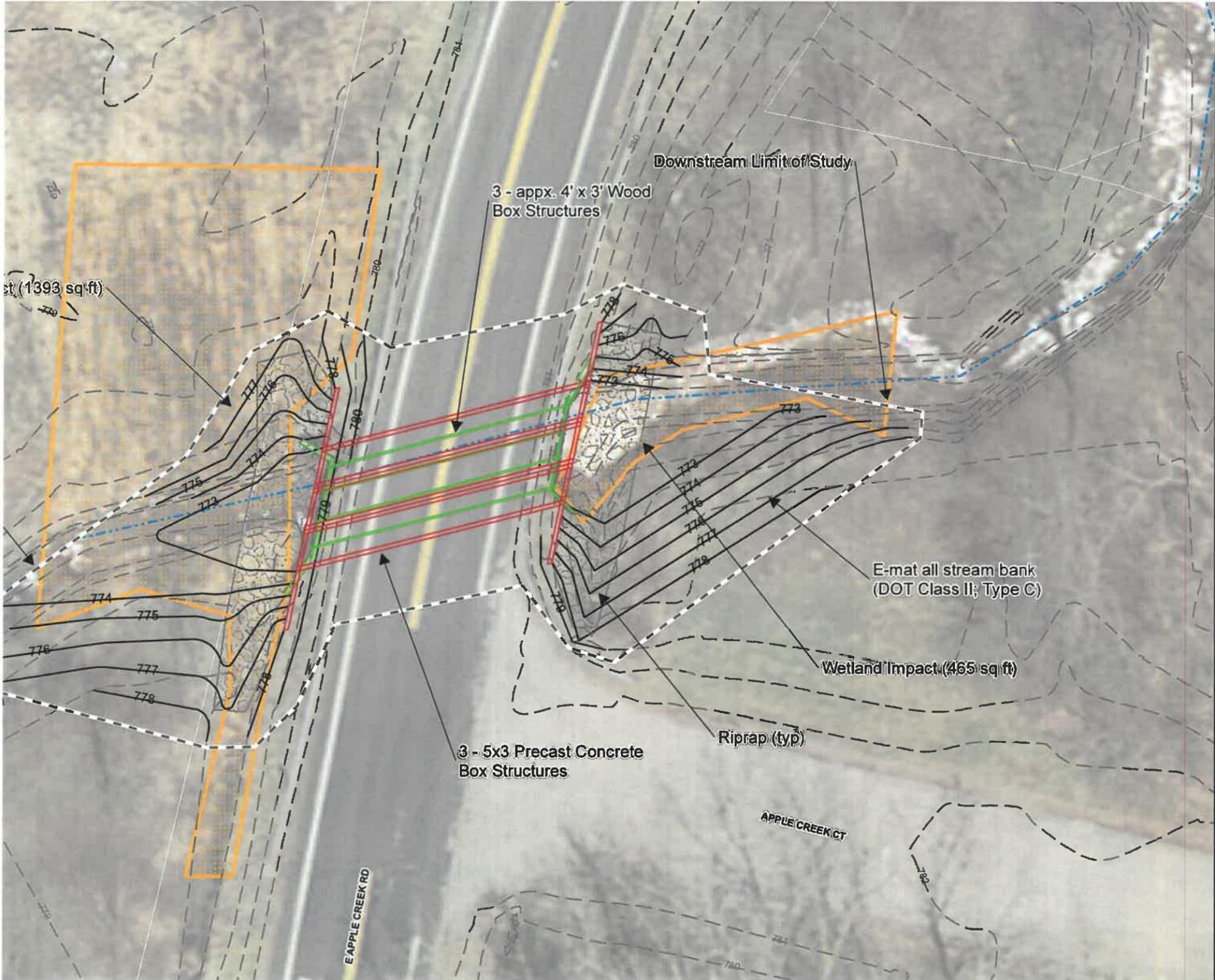
**McMAHON**  
CIVIL ENGINEERING  
1000 W. WISCONSIN ST., SUITE 200  
MILWAUKEE, WI 53233  
TEL: (414) 333-1111  
WWW.McMAHONENR.COM

NO.	DATE	DESCRIPTION

APPLE CREEK ROAD BOX CULVERT REPLACEMENT  
TOWN OF GRAND CHUTE, OUTAGAMIE COUNTY, WISCONSIN  
STRUCTURAL CULVERT DETAILS

DESIGNED	BY	DATE
SK	SD	12/28/2018

SCALE: 1/2" = 1'-0"  
**S4**



st (1393 sq ft)

3 - appx. 4' x 3' Wood Box Structures

Downstream Limit of Study

E-mat all stream bank (DOT Class II; Type C)

Wetland Impact (465 sq ft)

Riprap (typ)

3 - 5x3 Precast Concrete Box Structures

APPLE CREEK CT

E APPLE CREEK RD

N

Dis  
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Any

# Town of Grand Chute Conditional Use Permit Request Town of Grand Chute – W. Evergreen Drive extension

---

**To:** Plan Commission

**From:** Robert Buckingham, Community Development Director

**Date:** February 14, 2019

**Address:** W. Evergreen Drive

**App. #: CUP-03-19**

---

## **REQUEST**

This project consists of constructing an extension of W. Evergreen Drive, between North Gillett Street and N. Orion Lane. Work will involve grading, filling and construction of a culvert crossing for a portion of a tributary to Mud Creek that will pass under the new roadway. This extension of W. Evergreen will be constructed as 37-foot wide urban section with curb and gutter and storm sewer. A 10-foot wide asphalt trail will extend on the north side of the street. A total of five 12-foot wide by 4-foot high concrete box culverts form the stream crossing structure of the new roadway. The project requires modifications to the FEMA designated floodplain that surrounds this navigable waterway. A County Conditional Use Permit (CUP) is required to allow grading, filling and a culvert crossing within the Shoreland District. Additionally, prior to issuing this CUP, the County is requiring the Town to obtain a Conditional Letter of Map Revision (CLOMR) from FEMA for fill that will be placed in the regulatory floodplain. Once the W. Evergreen Drive project is completed, the Town will need to obtain a Letter of Map Revision (LOMR) from FEMA in order to update the floodplain map so that it reflects conditions post-construction.

## **ANALYSIS**

A Backwater Analysis was conducted to evaluate the impacts the W. Evergreen Drive project has on the regulatory floodplain and floodway limits. In addition to owning the right-of-way for the new roadway, the Town and/or Sanitary District No. 3 owns adjoining property immediately to the north along the entire extent of the project. The project requires filling of some designated flood storage areas (storage for 100-year storm events). The Town will mitigate that by providing additional land nearby for flood storage restoration. This restoration replaces the flood storage lost due to the W. Evergreen Drive project and a small amount of flood storage area that was lost due to the Gillett Street urbanization project. To address potential flooding impacts in the most environmentally and fiscally responsible manner, the culvert design allows for flooding not to exceed 8 inches over the roadway in the event of a 100-year storm. This meets the threshold for emergency vehicles to proceed through standing water. Grand Chute Fire Department has confirmed its ability to provide service in those conditions. With regard to this potential condition during a 100-year storm event, there would be alternate emergency access routes to properties between N. Gillett Street and N. Richmond Street. Those include W. Capitol Drive, W. Elsner Road, and W. Edgewood Drive/CTH JJ.

The proposed culvert structure, roadway improvements and flood storage modifications are designed to accommodate the 100-year storm event with no rise in surface water elevations upstream of the project. No flooding easements will be required upstream of Town-owned property. Areas of wetlands impacted by the project will be mitigated through a WDNR individual permit.

Best management practices will be in place for the duration of the construction project and until final stabilization of exposed soils.

**RECOMMENDATION**

**Staff has reviewed and supports a Plan Commission recommendation for approval of the Conditional Use Permit (CUP-03-19) requested by the Town of Grand Chute to allow grading, filling and a culvert crossing associated with the extension of W. Evergreen Drive, between N. Gillett Street and N. Orion Lane.**

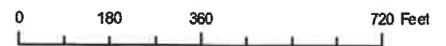
# Town of Grand Chute Web Map

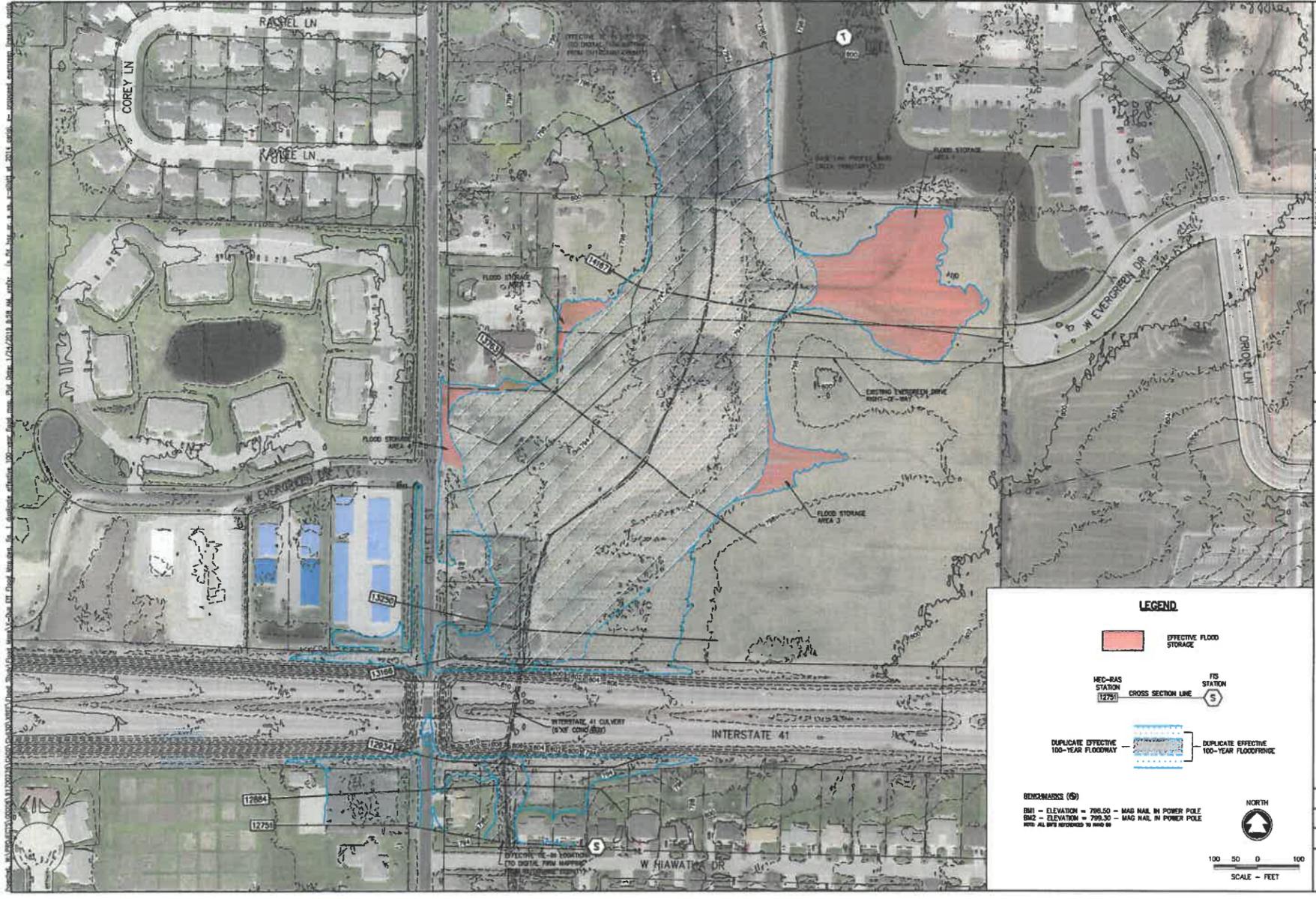


**Disclaimer:** The data provided in the Town of Grand Chute Interactive GIS Map was generated from multiple sources and agencies. Every effort has been made to offer the most accurate data. However, the Town provides this information with the understanding that it is not guaranteed to be accurate, correct, or complete. The Town may make improvements to the Interactive GIS Map periodically. Conclusions drawn from this information are the responsibility of the user. The user agrees that the Town of Grand Chute shall not be held responsible for actions, claims, damages, or judgments made from this data.

Author: Town of Grand Chute web viewer

Copyright: Town of Grand Chute





**LEGEND**

EFFECTIVE FLOOD STORAGE

DUPLICATE EFFECTIVE 100-YEAR FLOODWAY

DUPLICATE EFFECTIVE 100-YEAR FLOODFRINGE

HEC-RAS STATION (1275)

ITS STATION (5)

**BENCHMARKS (B)**

BH1 - ELEVATION = 726.50 - MAG NAIL IN POWER POLE

BH2 - ELEVATION = 726.30 - MAG NAIL IN POWER POLE

NOTE: ALL BENCHMARKS REFERENCED TO THIS MAP

NORTH

100 50 0 50 100  
 SCALE - FEET

**McMAHON**

McMAHON ASSOCIATES, INC.  
 1430 W. WISCONSIN AVENUE, SUITE 200  
 MILWAUKEE, WI 53233-1000  
 PHONE: 414.224.1000 FAX: 414.224.1001  
 WWW.MCMAHONASSOCIATES.COM

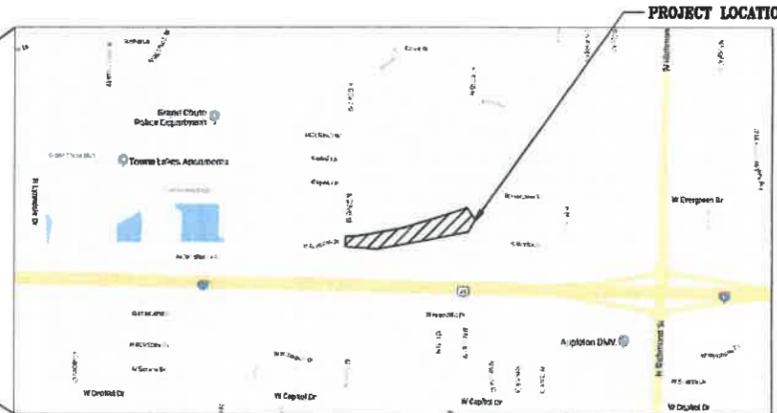
DATE	DESCRIPTION	DRAWN	CHECKED	DESIGNED

**EVERGREEN DRIVE BACKWATER ANALYSIS  
TOWN OF GRAND CHUTE, OUTAGAMIE COUNTY, WI  
DUPLICATE EFFECTIVE 100-YEAR FLOOD MAP**

**FIG. 1**

# EVERGREEN DRIVE STREET CONSTRUCTION TOWN OF GRAND CHUTE

OUTAGAMIE COUNTY, WISCONSIN  
CONTRACT XX-XXXX  
MCM # G0006 9-17-00236



### CONTACT INFORMATION

**UTILITIES**  
NE ENERGIES  
DEB ROBINSON (ELECTRIC)  
ANDY ROOYANKERS (GAS)  
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APPLETON, WI 54912  
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(920) 380-3478 (GAS)  
deborah.robinson@ne-energies.com  
andy.rooyankers@ne-energies.com

**DESIGN CONTACT**  
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Csutter@mcma.org

**ATTN:**  
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221 WEST WASHINGTON STREET FLOOR 4  
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(608) 735-3208  
jkassab@wisc.edu

**DNR LIAISON**  
DEPARTMENT OF NATURAL RESOURCES  
MATT SCAPACIE  
2084 SHAWANO AVENUE  
PO BOX 10448  
GREEN BAY, WI 54307-0448  
(920) 862-8472  
Matthew.Scapacie@dnr.wisconsin.gov

**TOWN OF GRAND CHUTE, PUBLIC WORKS**  
KAREN HEYMAN, DEPUTY DIRECTOR  
1900 GRAND CHUTE BOULEVARD  
GRAND CHUTE, WI 54913-9813  
(920) 632-1581  
karen.heyman@grandchute.net

**DIGGERS HOTLINE**  
Dial 811 or (800) 242-8511  
www.DiggersHotline.com



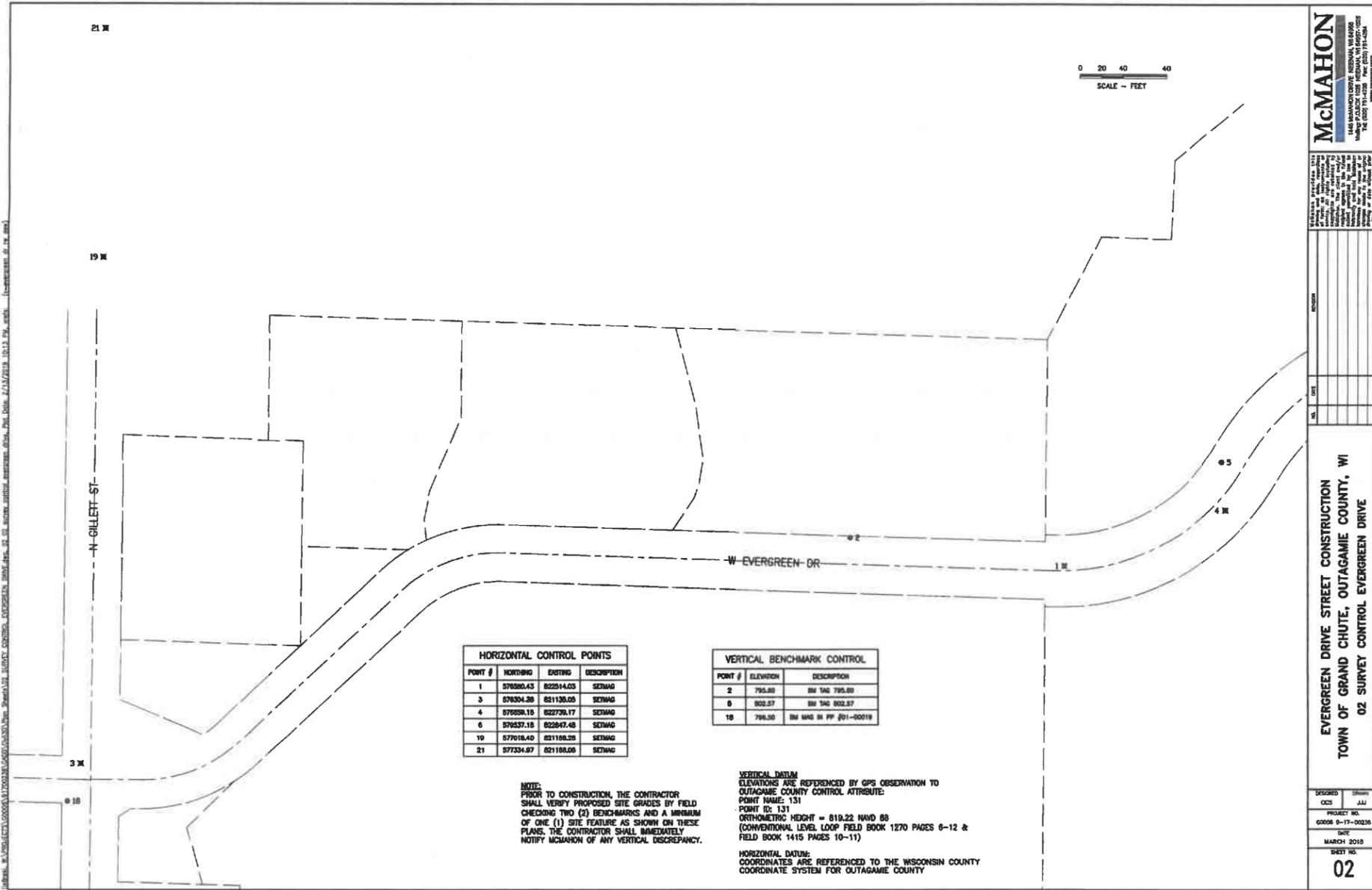
### SHEET INDEX

- 1 ABBREVIATIONS, SYMBOLS & NOTES
- 2 SURVEY CONTROL & HORIZONTAL ALIGNMENT DETAIL
- 3 TYPICAL SECTIONS
- 4-7 PLAN & PROFILE
- 8-16 CROSS SECTIONS
- 17 PAVEMENT MARKING
- 18 EROSION CONTROL PLAN/DETAILS
- 19-20 MISCELLANEOUS DETAILS

DATE  
MARCH 2016  
PROJECT NO.  
00006 9-17-00236

V:\PROJECTS\G0006\1700236\CADD\CADD\Plan Sheets\Evergreen Drive Cover Notes-Detail.dwg, 22:34-Cover, 2/19/2016 10:12:22 PM, J.Nelms, 12





HORIZONTAL CONTROL POINTS			
POINT #	NORTHING	EASTING	DESCRIPTION
1	576260.43	822514.03	SETMAG
3	576304.26	821136.05	SETMAG
4	576559.10	822739.17	SETMAG
6	576537.18	822847.48	SETMAG
10	577018.40	821188.29	SETMAG
21	577334.97	821188.05	SETMAG

VERTICAL BENCHMARK CONTROL		
POINT #	ELEVATION	DESCRIPTION
2	795.80	BM TAG 795.80
8	802.57	BM TAG 802.57
10	798.50	BM MAG IN PP #01-00019

**NOTE:**  
 PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL VERIFY PROPOSED SITE GRADES BY FIELD CHECKING TWO (2) BENCHMARKS AND A MINIMUM OF ONE (1) SITE FEATURE AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY McMAHON OF ANY VERTICAL DISCREPANCY.

**VERTICAL DATUM:**  
 ELEVATIONS ARE REFERENCED BY GPS OBSERVATION TO OUTAGAME COUNTY CONTROL ATTRIBUTE: POINT VALUE: 131  
 POINT ID: 131  
 ORTHOMETRIC HEIGHT = 819.22 NAVD 88  
 (CONVENTIONAL LEVEL LOOP FIELD BOOK 1270 PAGES 6-12 & FIELD BOOK 1415 PAGES 10-11)

**HORIZONTAL DATUM:**  
 COORDINATES ARE REFERENCED TO THE WISCONSIN COUNTY COORDINATE SYSTEM FOR OUTAGAME COUNTY



**McMAHON**  
 1448 BRANTFORD DRIVE, WESTMAN, WISCONSIN 53191  
 PHONE: (262) 791-4200 FAX: (262) 791-4204  
 www.mcmahon.com

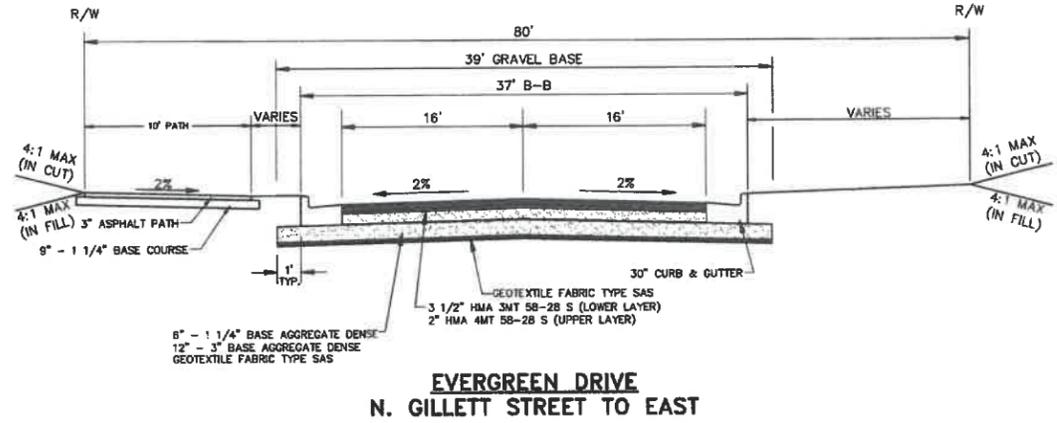
NO.	DATE	REVISION

EVERGREEN DRIVE STREET CONSTRUCTION  
 TOWN OF GRAND CHUTE, OUTAGAME COUNTY, WI  
 02 SURVEY CONTROL EVERGREEN DRIVE

DESIGNED: JML  
 CHECKED: JML  
 PROJECT NO: 60006 9-17-02026  
 DATE: MARCH 2018  
 SHEET NO: 02

W:\PROJECTS\0600958170026\CADD\CADD\Plan Sheet\Evergreen Drive Cover-Noise-Details.dwg, 03 EVERGREEN DRIVE TYPICAL SECTION, 2/13/2019 10:13:18 PM, J.Jelinski, 12

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**McMAHON**  
McMAHON ASSOCIATES, INC.  
1000 W. WASHINGTON STREET  
MADISON, WI 53703  
PH: 608.261.1000 FX: 608.261.0000

NO.	DATE	BY	CHKD	DESCRIPTION

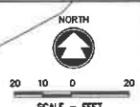
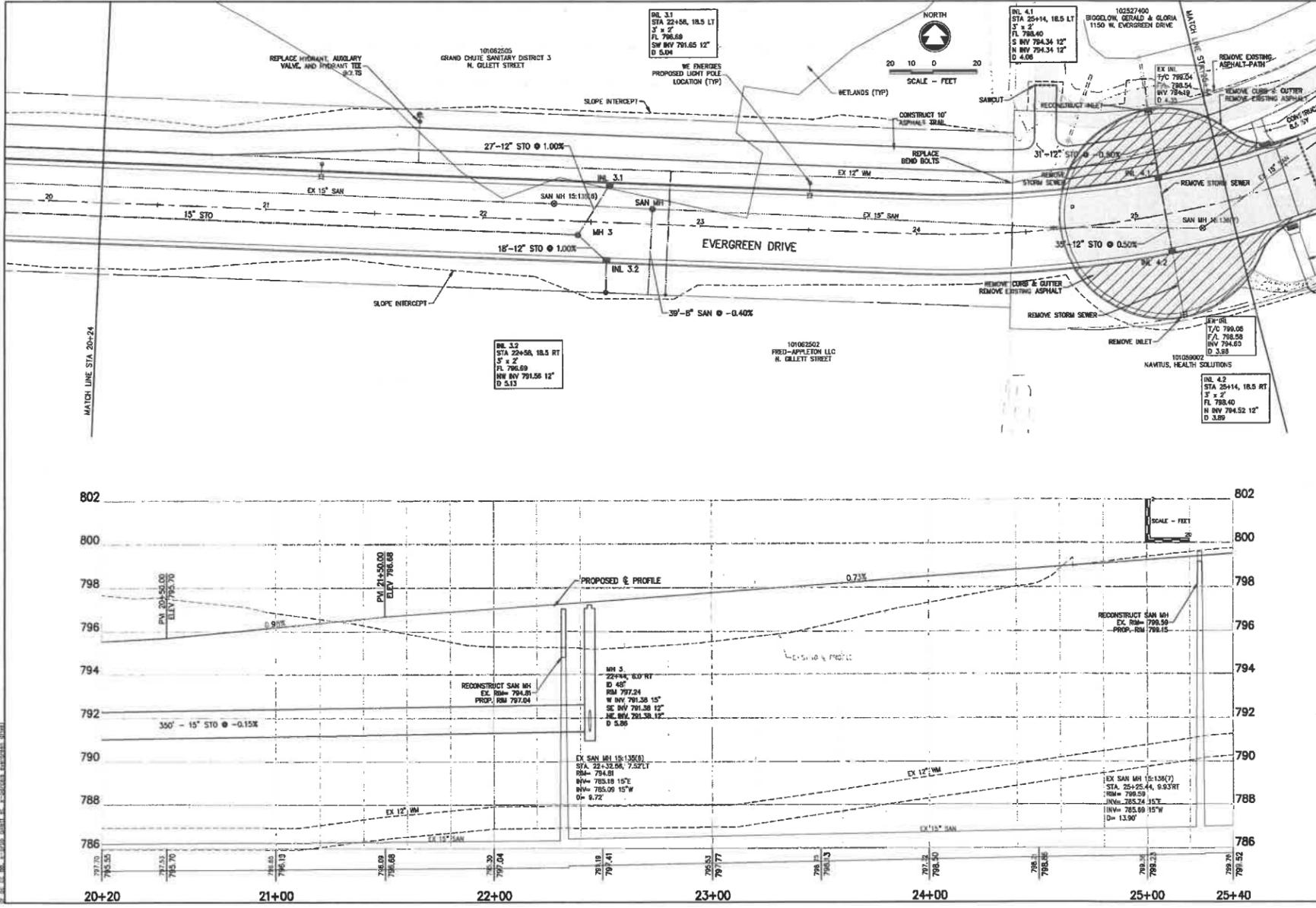
EVERGREEN DRIVE STREET CONSTRUCTION  
TOWN OF GRAND CHUTE, OUTAGAMIE COUNTY, WI  
EVERGREEN DRIVE TYPICAL SECTION

DESIGNED	DATE
OCS	JJJ
PROJECT NO.	
00008 9-17-00236	
SITE	
MARCH 2018	
SHEET NO.	
<b>03</b>	





101062502 GRAND CHUTE SANITARY DISTRICT 3 N. GILLET STREET  
 101062502 FRED-APPLETON LLC N. GILLET STREET  
 101062502 NAVRUS HEALTH SOLUTIONS



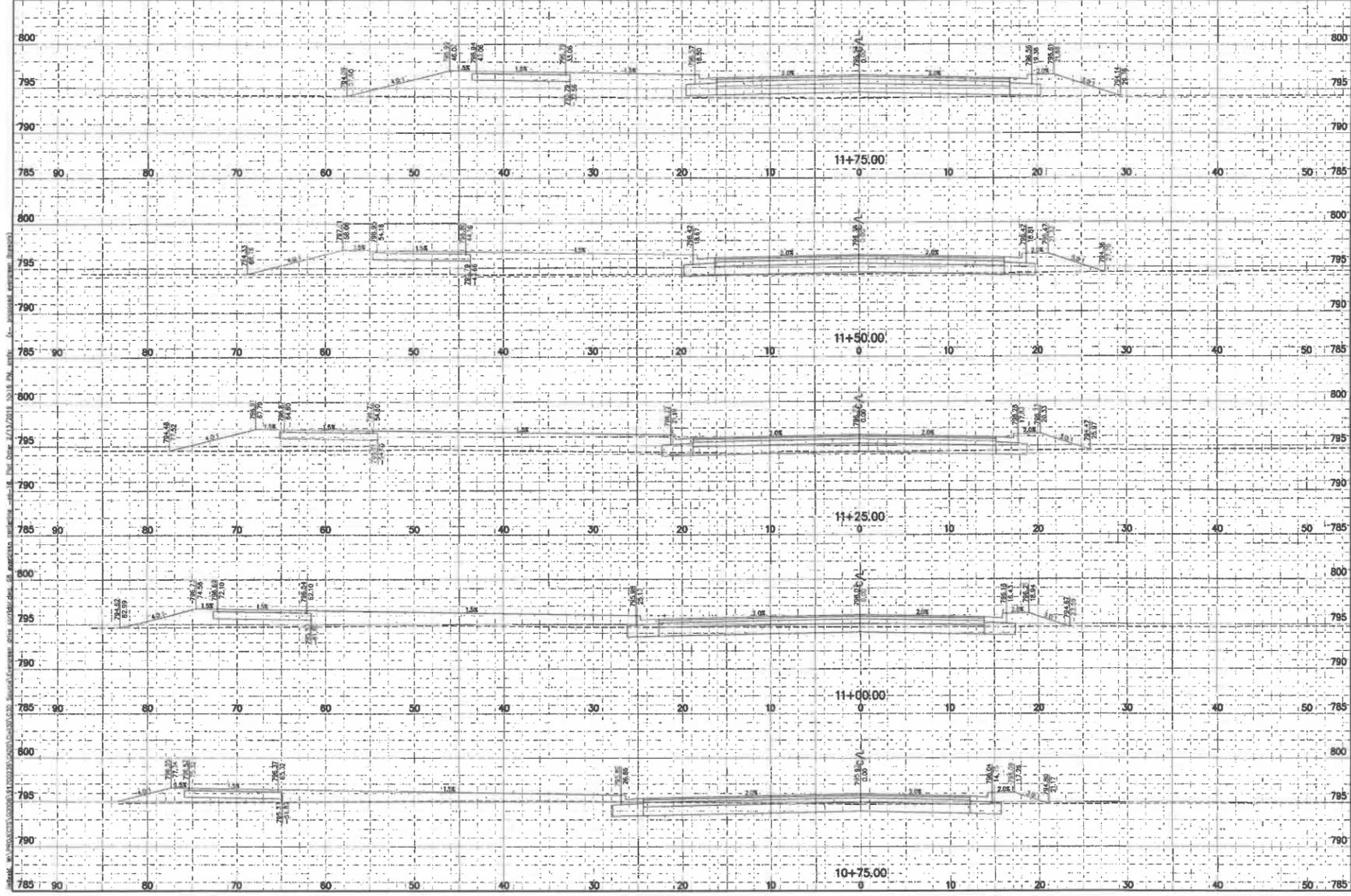
**MCMAHON**  
 ENGINEERING ASSOCIATES, INC.  
 1400 HIGHLAND DRIVE, WEST PALM BEACH, FL 33411  
 PHONE: 561.833.1100 FAX: 561.833.1101

NO.	DATE	DESCRIPTION
1	03/15/18	ISSUED FOR PERMIT
2	03/15/18	ISSUED FOR PERMIT
3	03/15/18	ISSUED FOR PERMIT
4	03/15/18	ISSUED FOR PERMIT
5	03/15/18	ISSUED FOR PERMIT
6	03/15/18	ISSUED FOR PERMIT
7	03/15/18	ISSUED FOR PERMIT
8	03/15/18	ISSUED FOR PERMIT
9	03/15/18	ISSUED FOR PERMIT
10	03/15/18	ISSUED FOR PERMIT

**EVERGREEN DRIVE STREET CONSTRUCTION**  
**TOWN OF GRAND CHUTE, OUTAGAMIE COUNTY, WI**  
**EVERGREEN DRIVE PLAN & PROFILE**

DESIGNED	CCS	DRAWN	JLJ
PROJECT NO.	00008 9-17-00235		
DATE	MARCH 2018		
SHEET NO.	06		





**McMAHON**  
 CONSULTING ENGINEERS  
 1445 MANWORTH DRIVE, WESTON, WI 53190  
 PHONE: 262.781.1100 FAX: 262.781.1101  
 WWW.McMAHONCONSULTING.COM

NO.	DATE	DESCRIPTION

**EVERGREEN DRIVE STREET CONSTRUCTION  
 TOWN OF GRAND CHUTE, OUTAGAMIE COUNTY, WI  
 CROSS SECTIONS**

DESIGNED	DRAWN
CCS	JAU
PROJECT NO.	
0006 9-17-00236	
DATE	
MARCH 2018	
SHEET NO.	
---	

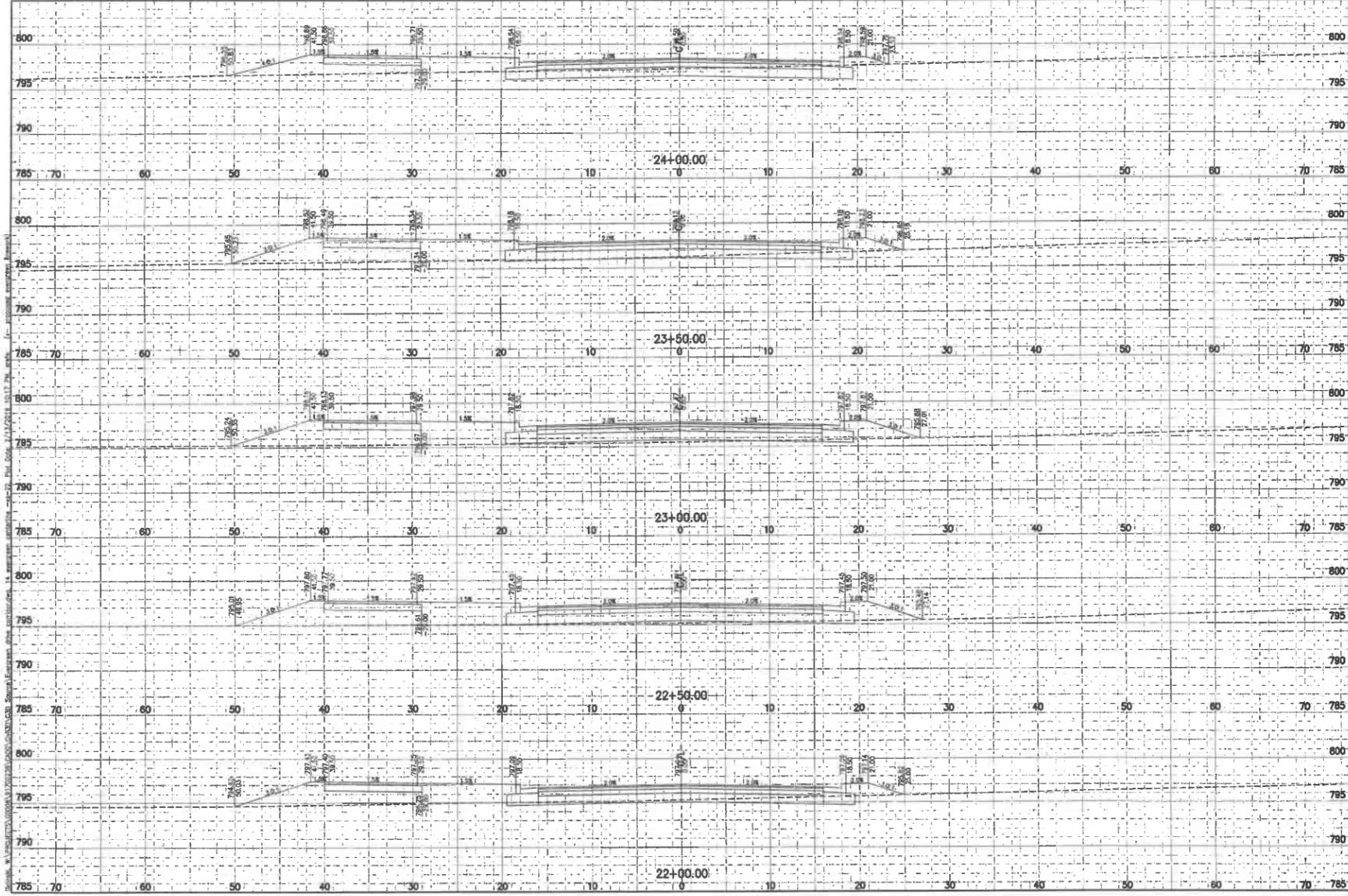










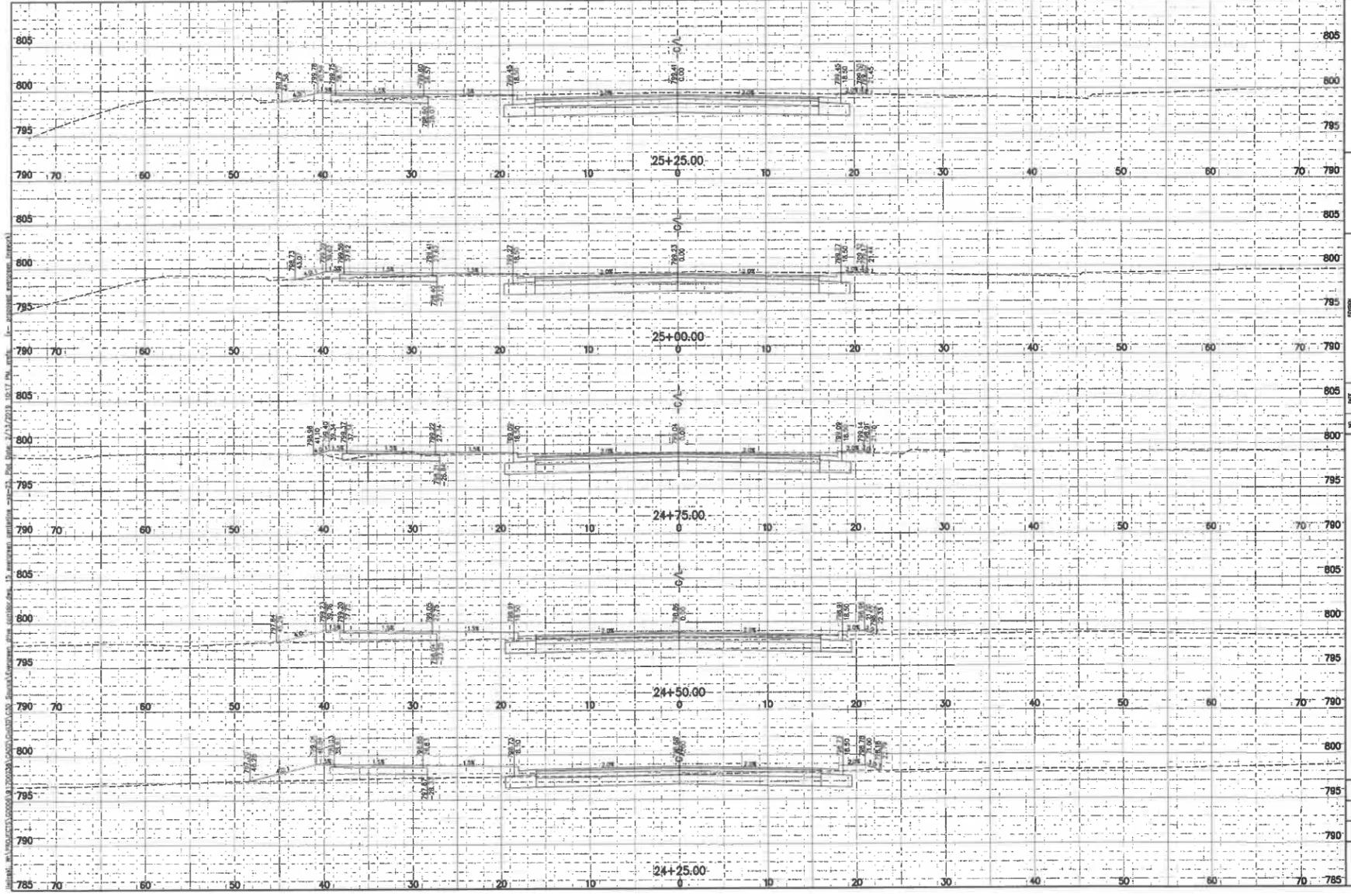


DATE	DESCRIPTION

NO.	DESCRIPTION

**EVERGREEN DRIVE STREET CONSTRUCTION  
 TOWN OF GRAND CHUTE, OUTAGAMIE COUNTY, WI  
 CROSS SECTIONS**

DESIGNED	CCS	DATE	JJU
PROJECT NO.	00008 8-17-00238		
DATE	MARCH 2018		
SHEET NO.			



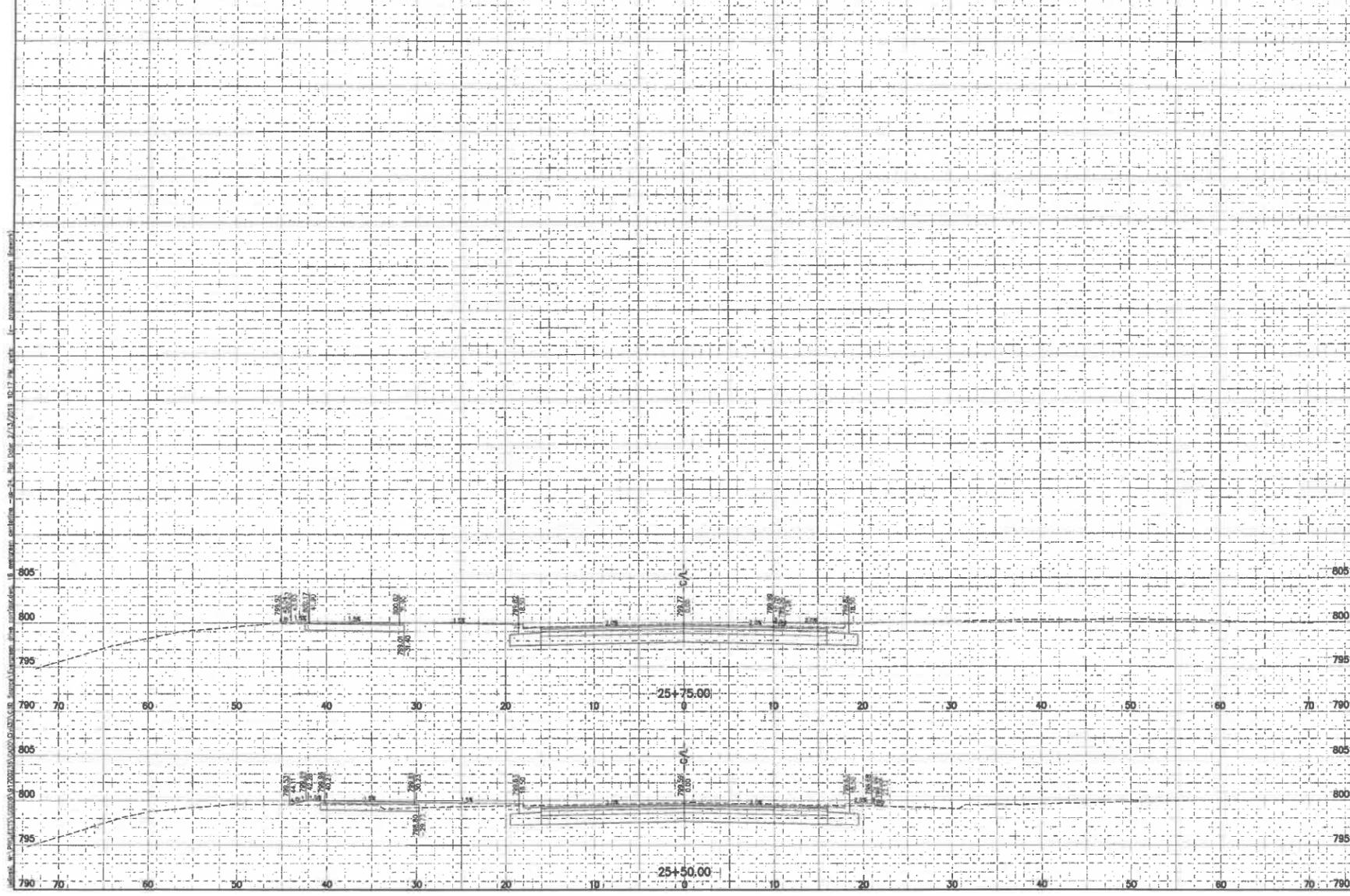
**McMAHON**  
 ENGINEERS & ARCHITECTS, INC.  
 1450 MARQUETTE DRIVE, NEENAH, WI 54956  
 PH: (920) 735-1000 FAX: (920) 735-1001  
 WWW.MCMACON.COM

NO.	REVISION	DATE

**EVERGREEN DRIVE STREET CONSTRUCTION  
 TOWN OF GRAND CHUTE, OUTAGAMIE COUNTY, WI  
 CROSS SECTIONS**

DESIGNED CCS	DRAWN JLU
PROJECT NO. 00008 8-17-002J6	
DATE MARCH 2016	
SHEET NO. 	

--- ---  
 --- ---



**McMAHON**  
 MASSACHUSETTS REGISTERED PROFESSIONAL ENGINEER  
 1485 BARNSTABLE STREET, SUITE 200  
 BARNSTABLE, MASSACHUSETTS 01953  
 PHONE: 508.538.1100 FAX: 508.538.1101  
 WWW.McMAHONENR.COM

NO.	DATE	REVISION

**EVERGREEN DRIVE STREET CONSTRUCTION  
 TOWN OF GRAND CHUTE, OUTAGAMIE COUNTY, WI  
 CROSS SECTIONS**

DESIGNED	DATE
CCS	JJ
PROJECT NO.	
0006 8-17-09238	
DRAWN	DATE
	MARCH 2018
SHEET NO.	

--- PROPOSED  
 - - - EXISTING





**Town of Grand Chute  
Special Exception Request  
CrossPoint Church**

13/14.

---

**To:** Plan Commission  
**From:** Michael Patza, Town Planner  
**Date:** February 14, 2019  
**Address:** 1866 N. Casaloma Drive

**App. #: SE-04-19**

---

**REQUEST**

1. **Proposed Use(s):** Temporary church use.
2. **Project Description:** Interior modifications.
3. **Plat/CSM Accurate parcel lines/lot recorded:** Yes.

**ANALYSIS**

Applicant seeks approval to use the property for church services on a temporary basis as the church transitions to a new permanent location. The property is zoned CL Local Commercial District. Use of the property for a church requires a Special Exception Permit. Existing on-site parking is sufficient to meet the parking demand during church services. Changes to the existing building will be limited to interior renovations to accommodate the new use. Interior alterations will require plan review, building permits, and issuance of a Certificate of Occupancy upon completion of work. No changes are proposed to the building exterior or site.

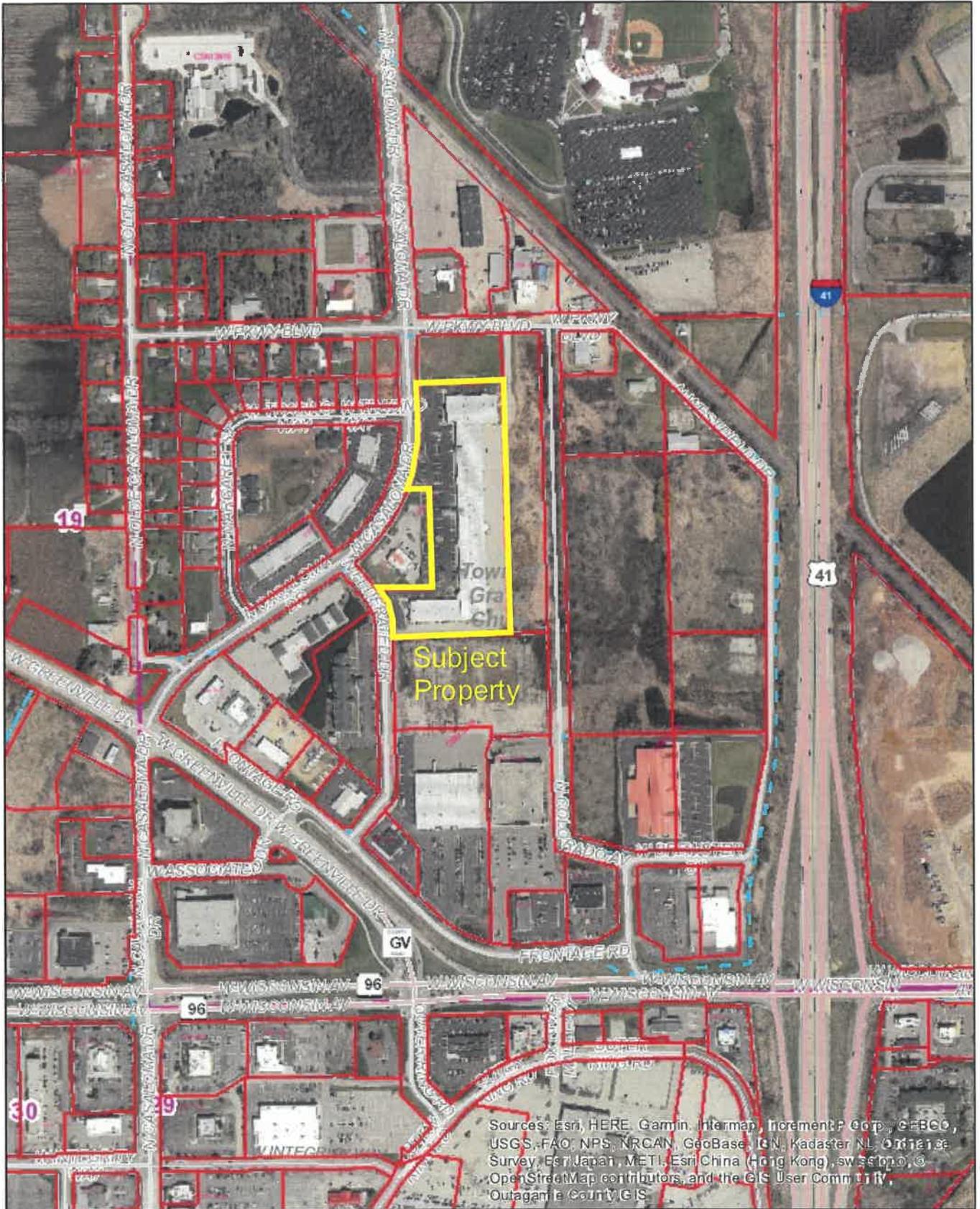
**FINDINGS OF FACT IN GRANTING OF A SPECIAL EXCEPTION**

- a. **The establishment, maintenance or operation of the proposed Special Exception use or structure at the proposed location will not be detrimental or injurious to the use and enjoyment of existing uses on adjacent properties or properties in the vicinity. *Found.***
- b. **The establishment, maintenance or operation of the proposed Special Exception use or structure, alone or in combination with other existing Special Exception uses and structures in the vicinity will not cause traffic hazards. *Found.***
- c. **Adequate provision is made for surface water drainage, ingress and egress to the property, and off-street parking. *Found.***
- d. **Adequate public facilities and services are available for the proposed Special Exception use of structure. *Found.***

**RECOMMENDATION**

Staff has reviewed and supports a Plan Commission recommendation for approval of the Special Exception Permit (SE-04-19) requested by CrossPoint Church, to allow temporary church use of the property at 1866 N. Casaloma Drive, for a term expiring December 31, 2019, subject to issuance of a Certificate of Occupancy.

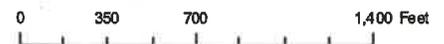
# SE-04-19 -- 1866 N. Casaloma Drive



**Disclaimer:** The data provided in the Town of Grand Chute Interactive GIS Map was generated from multiple sources and agencies. Every effort has been made to offer the most accurate data. However, the Town provides this information with the understanding that it is not guaranteed to be accurate, correct, or complete. The Town may make improvements to the Interactive GIS Map periodically. Conclusions drawn from this information are the responsibility of the user. The user agrees that the Town of Grand Chute shall not be held responsible for actions, claims, damages, or judgments made from this data.

Author: Town of Grand Chute web viewer

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February 5, 2019

Attention Town of Grand Chute:

Greetings!

1866 N. Casaloma Drive will be used by CrossPoint church as a temporary home. We will be holding services on Wednesday evenings from 7-9 pm, and on Sunday mornings from 10am-12noon - we estimate to have a congregation of about 30 families per service.

We have sold our Home church facility in December and are looking to purchase another facility in the Appleton/Grand Chute area within the next 3-6 months.

At this time the parking lot seems to be more than adequate enough to accommodate our parking needs.

With Kindest Regards,

Pastor Philip Bridges  
Senior Pastor

[cpchurch.cc](http://cpchurch.cc)

**Town of Grand Chute  
Site Plan Amendment Review  
App Pro I LLC, dba Holiday Inn**

---

**To:** Plan Commission  
**From:** Michael Patza, Town Planner  
**Date:** February 14, 2019  
**Address:** 1565 N. Casaloma Drive

**App. #: SPA1-05-18**

---

**REQUEST**

- 1. Proposed Use(s):** Hotel use.
- 2. Project Description:** Installation of a new illuminated pylon sign.
- 3. Plat/CSM Accurate parcel lines/lot recorded:** Yes.

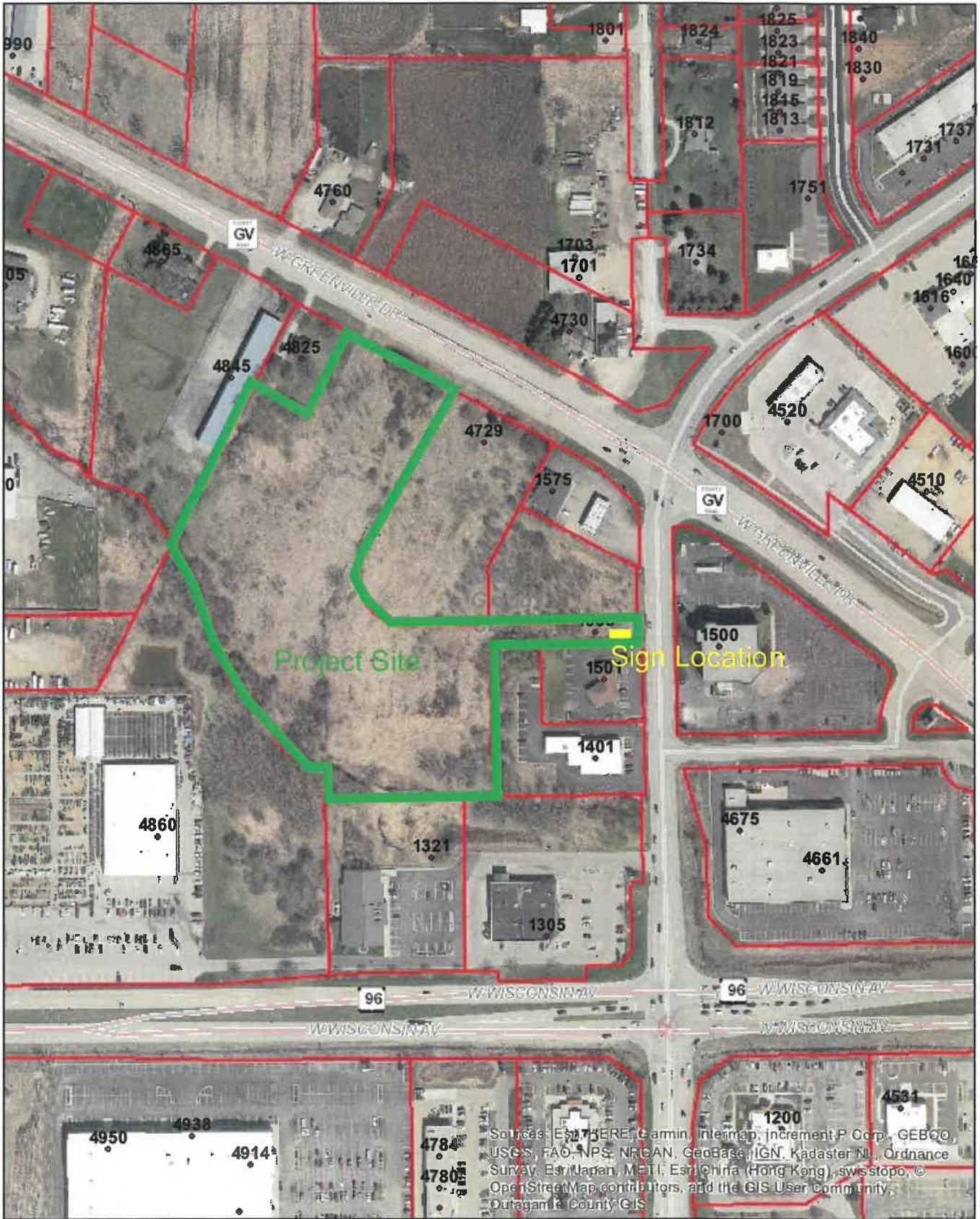
**ANALYSIS**

Applicant seeks approval to install a new pylon sign for the new hotel site. The sign will be 21'-11" in height and 92 sq. ft. in size. The sign will be located on the south side of the driveway entrance on N. Casaloma Drive. All code requirements are met with this request.

**RECOMMENDATION**

**Staff has reviewed and supports Plan Commission approval of the Site Plan Amendment (SPA1-05-18) requested by App Pro I LLC, 1565 N. Casaloma Drive, for installation of a new illuminated pylon sign.**

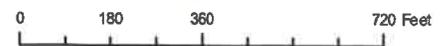
# SPA1-05-18 -- 1565 N. Casaloma Drive

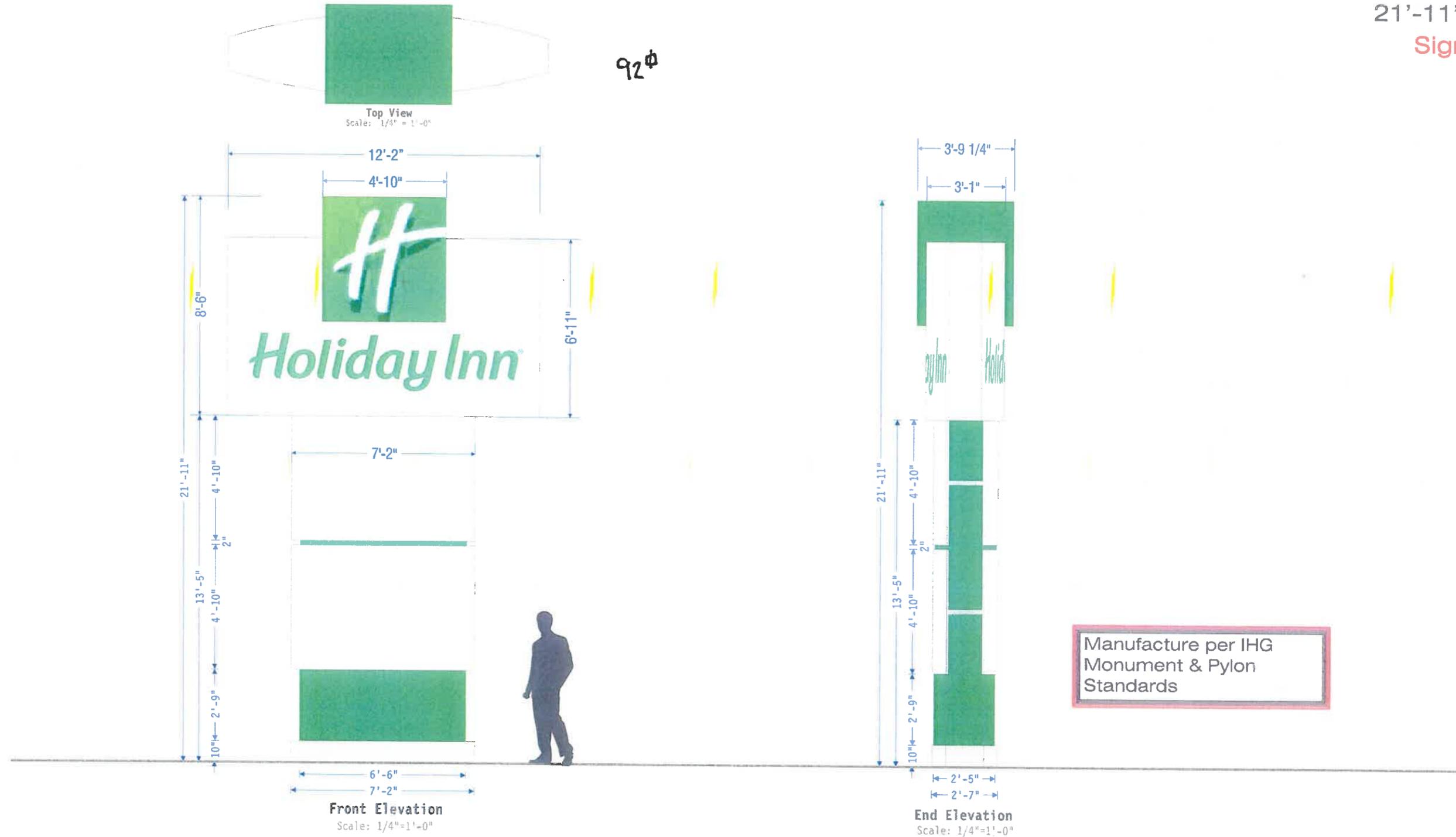


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Author: Town of Grand Chute web viewer

Copyright: Town of Grand Chute





Grand Chute, WI



REVISIONS:	INITIALS & DATE:
A Rev. sign #4 to P-49	KB 12/11/18
B -	-
C -	-
D -	-
E -	-
F -	-
G -	-
H -	-

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 visit us at  
[www.kssigngroup.com](http://www.kssigngroup.com)

**KS1800879D**



**1 L.E.D. CHANNEL LETTERS**



**2 L.E.D. CHANNEL LETTERS**



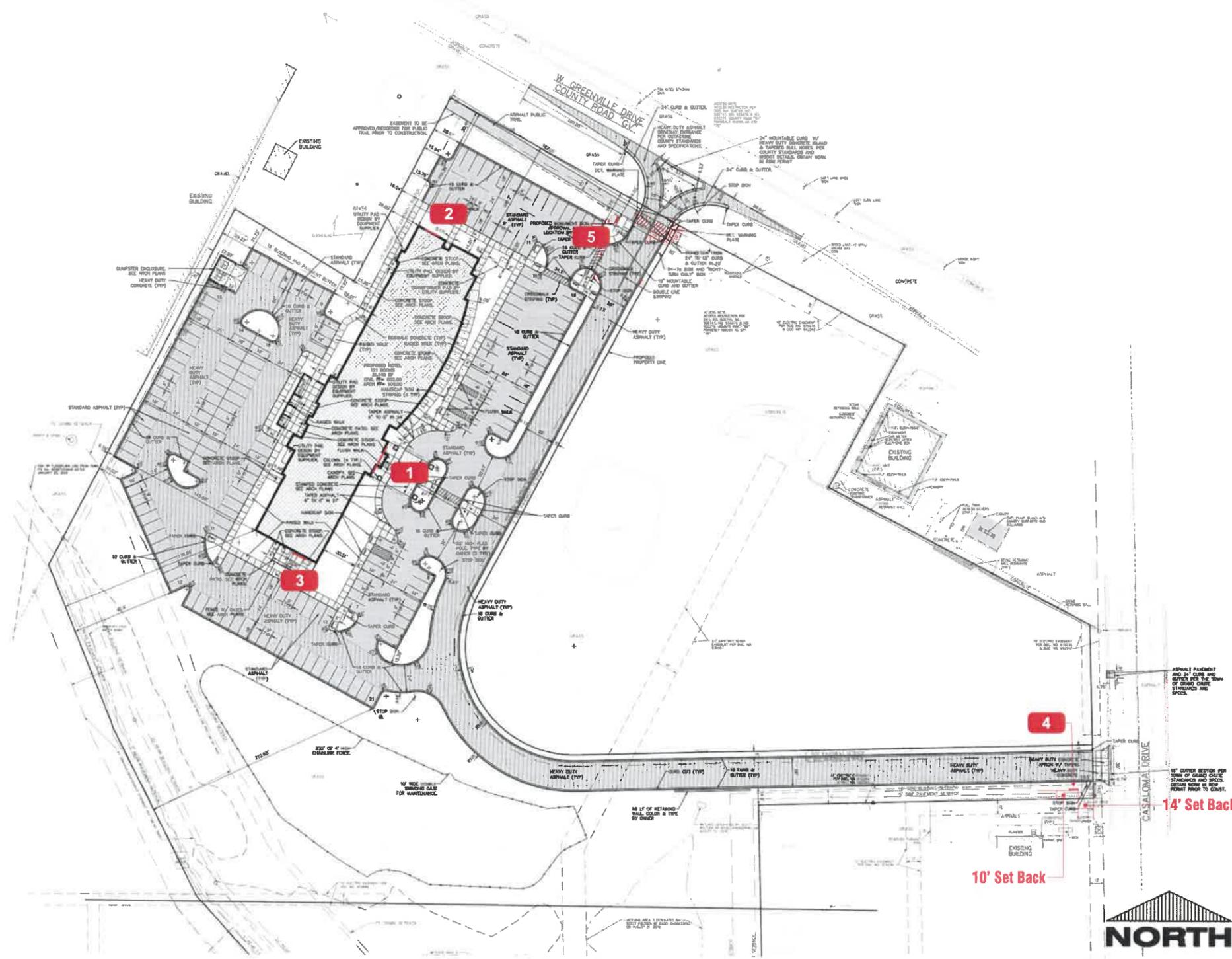
**3 L.E.D. CHANNEL LETTERS**



**4 ILLUM. PYLON SIGN**



**5 ILLUM. DIRECTIONAL**



Grand Chute, WI



ACCOUNT: Holiday Inn  
 LOCATION: Grand Chute, WI - ATWWI  
 ACCT. REP: M. Baughman DESIGNER: MSO  
 DATE: 11/28/18  
 COMPANION FILES

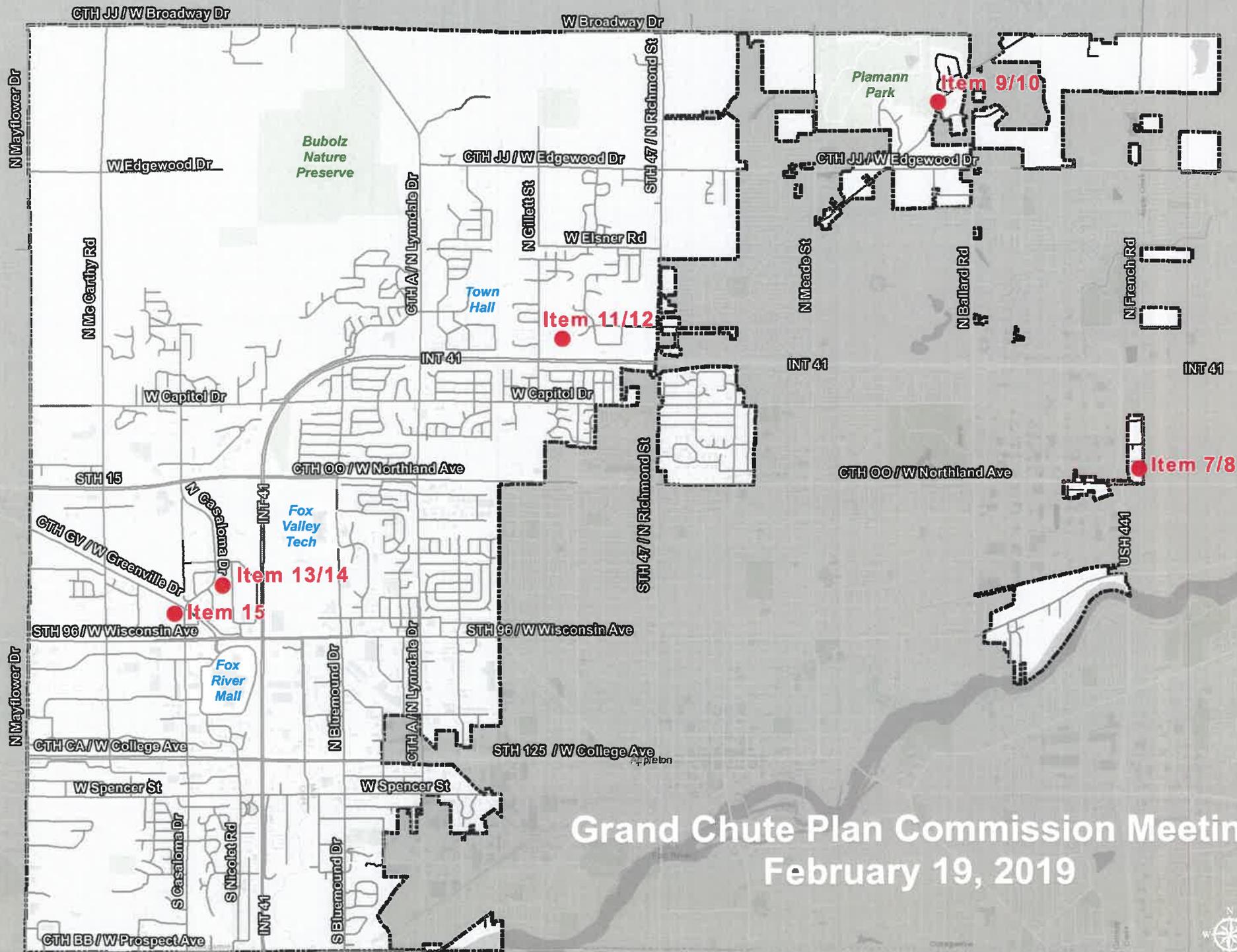


REVISIONS:	INITIALS & DATE:
▲ Moved #4, added #6	KB 12/11/18
▲ Remove monument sign	TVS 12/27/18
▲ Set back on sign 4	MSO 2/14/19
▲ -	-
▲ -	-
▲ -	-
▲ -	-
▲ -	-
▲ -	-

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# Grand Chute Plan Commission Meeting February 19, 2019

