



PLAN COMMISSION AGENDA
Tuesday, April 16, 2019 - 6:00 pm
Town Hall - 1900 W. Grand Chute Blvd.

1. Roll Call.
2. Pledge of Allegiance.
3. Approval of Agenda.
4. Approval of Minutes – March 19, 2019 meeting.
5. Public Input.
6. Community Development Director's Report.
7. **Neighborhood Information Meeting #1** – Conditional Use Permit (CUP-05-19) requested by the Town of Grand Chute to allow grading and filling associated with the construction of concrete headwalls on the ends of existing twin culverts under N. McCarthy Road, near the intersection with W. Brookview Drive. **Action:** Hear testimony/close meeting.
8. **Conditional Use Permit (CUP-05-19)** – Request by the Town of Grand Chute to allow grading and filling associated with the construction of concrete headwalls on the ends of existing twin culverts under N. McCarthy Road, near the intersection with W. Brookview Drive. **Action:** Recommend approval/denial of CUP-05-19. (TOWN BOARD ACTION 4/16/2019)
9. **Neighborhood Information Meeting #2** – Conditional Use Permit (CUP-06-19) requested by the Town of Grand Chute to allow grading and stream alteration associated with the replacement of a culvert under N. McCarthy Road, near the intersection with W. Clairemont Drive. **Action:** Hear testimony/close meeting.
10. **Conditional Use Permit (CUP-06-19)** – Request by the Town of Grand Chute to allow grading and stream alteration associated with the replacement of a culvert under N. McCarthy Road, near the intersection with W. Clairemont Drive. **Action:** Recommend approval/denial of CUP-06-19. (TOWN BOARD ACTION 4/16/2019)
11. **Neighborhood Information Meeting #3** – Conditional Use Permit (CUP-07-19) requested by the Town of Grand Chute to allow grading and stream alteration associated with the replacement of a culvert under N. McCarthy Road, near the intersection with W. Neubert Road. **Action:** Hear testimony/close meeting.
12. **Conditional Use Permit (CUP-07-19)** – Request by the Town of Grand Chute to allow grading and stream alteration associated with the replacement of a culvert under N. McCarthy Road, near the intersection with W. Neubert Road. **Action:** Recommend approval/denial of CUP-07-19. (TOWN BOARD ACTION 4/16/2019)

13. **Site Plan (SP-06-19)** – Request by Big Ring Storage LLC, dba Big Ring Storage, 5560 W. Neubert Road, for construction of one self-storage building and associated site improvements.
Action: Approve/deny SP-06-19.
14. Adjournment.

Public Notice: Agendas are posted in the following locations: Town Hall bulletin boards & Town website www.grandchute.net
2015 Wisconsin Act 79 allows the publication of certain legal notices on an Internet site maintained by a municipality. This law allows these types of legal notices to be posted in one physical location in the jurisdiction (instead of three) if also placed on an Internet site maintained by the local government.

Special Accommodations: Requests from persons with disabilities who need assistance to participate in this meeting should be made to the Clerk's Office at (920-832-5644) with at least 24-hour notice.

Notice of Possible Quorum: A quorum of the Town Board, Sanitary Districts, Board of Review, Community Development Authority, Licensing Committee, Parks Commission, Joint Review Board, Zoning Board of Appeals and/or Police and Fire Commission may be present at this meeting for the purpose of gathering information and possible discussion on items listed on this agenda. However, unless otherwise noted in this agenda, no official action by the Town Board, Sanitary Districts, Board of Review, Community Development Authority, Licensing Committee, Parks Commission, Joint Review Board, Zoning Board of Appeals and/or Police and Fire Commission will be taken at this meeting.

GRAND CHUTE PLAN COMMISSION MINUTES

March 19, 2019

Members Present: Chairman Dave Schowalter, Commissioners Bruce Sherman, Julie Hidde, John Weber, Duane Boeckers, Pam Crosby, Cheryl Ulrich. Members Absent: Commissioner Robert Stadel.

Also Present: James March, Town Administrator; Brent Braun, IT Director; Katie Schwartz, Public Works Director; Karen Heyrman, Deputy Public Works Director; Robert Buckingham, Community Development Director; Michael Patza, Town Planner; Tracy Olejniczak, Administrative Assistant; interested parties (audience attendance = 5)

1. **ROLL CALL**

Chairman Schowalter opened the meeting at 6:00 p.m.

2. **PLEDGE OF ALLEGIANCE**

3. **APPROVAL OF AGENDA**

Motion (Sherman/Boeckers) to approve the agenda. Motion carried, all voting aye.

4. **APPROVAL OF MINUTES** – MARCH 5, 2019 MEETING.

Motion (Hidde/Ulrich) to approve the minutes. Motion carried, all voting aye.

5. **PUBLIC INPUT** – There was no public input.

6. **COMMUNITY DEVELOPMENT DIRECTOR'S REPORT** – Director Buckingham stated that at this time, it appears the April 4, 2019 meeting can be cancelled. A notice of the cancellation will be posted.

7. **NEIGHBORHOOD INFORMATION MEETING #1** – CONDITIONAL USE PERMIT (CUP-04-19) REQUESTED BY GREGORY A. THOMPSON, DBA STORAGE SHOP USA, 2145 W. PERSHING STREET, TO ALLOW GRADING AND FILLING NECESSARY FOR CONSTRUCTION OF NINE (9) COMMERCIAL STORAGE/WORKSHOP BUILDINGS AND ASSOCIATED SITE IMPROVEMENTS.

Chairman Schowalter opened Neighborhood Information Meeting #1 at 6:03 p.m.

John Ross, 516 Old Sleigh Lane, Appleton, stated that owns an adjoining property and other buildings on Nordale Drive. He expressed concern that he had hoped for a higher and better use of the property in question.

In response to questions from Mr. Ross, Planner Patza noted that the project had already been approved by the Plan Commission so the use is permitted and site paving will be required. He explained that subsequent to these approvals, it was discovered that FEMA floodplain mapping relied upon by the Town and County was inaccurate. The corrected mapping indicates some grading and filling on the property will be within the floodplain, which requires a Conditional Use Permit.

Motion (Crosby/Sherman) to close Neighborhood Information Meeting #1 at 6:05 p.m. Motion carried, all voting aye.

8. **CONDITIONAL USE PERMIT (CUP-04-19)** – REQUEST BY GREGORY A. THOMPSON, DBA STORAGE SHOP USA, 2145 W. PERSHING STREET, TO ALLOW GRADING AND FILLING NECESSARY FOR CONSTRUCTION OF NINE (9) COMMERCIAL STORAGE/WORKSHOP BUILDINGS AND ASSOCIATED SITE IMPROVEMENTS.

Planner Patza provided further detail on the grading and filling work. To account for flood storage areas that will be filled, the drainage swale extending east to the regional pond will be overexcavated. This new storage area will ensure no impact to either the peak flood elevation or the remaining FEMA flood storage area.

Motion (Boeckers/Crosby) to recommend approval of the Conditional Use Permit (CUP-04-19) requested by Gregory A. Thompson, dba Storage Shop USA, 2145 W. Pershing Street, to allow grading and filling

associated with the construction of nine (9) commercial storage/workshop buildings and associated site improvements.

In response to a question from Commissioner Sherman, Planner Patza explained that land in a floodplain can be filled so long as there is no rise in surface water elevations upstream of the project.

Motion to recommend approval of CUP-04-19 carried, all voting aye.

9. **SITE PLAN AMENDMENT (SPA1-00-04)** – REQUEST BY SAMP REALTY LLC, DBA AMERICINN BY WYNDHAM, 132 N. MALL DRIVE, TO REMOVE AN EXISTING SIGN CABINET AND INSTALL A NEW CABINET ON A MODIFIED SIGN STRUCTURE.

Planner Patza noted that the Zoning Board of Appeals granted a variance to allow this sign at the specified height and size.

Motion (Hidde/Ulrich) to approve the Site Plan Amendment (SPA1-00-04) requested by SAMP Realty LLC, dba Americinn by Wyndham, 132 Mall Drive, to remove an existing sign cabinet and install a new sign cabinet on a modified pylon structure. Motion carried, all voting aye.

10. **SITE PLAN AMENDMENT (SPA1-01-09)** – REQUEST BY VALLEY HOSPITALITY LLC, DBA DOUBLETREE BY HILTON, 150 S. NICOLET ROAD, TO REMOVE AN EXITING MONUMENT SIGN AND INSTALL A NEW MONUMENT SIGN.

Motion (Sherman/Boeckers) to approve the Site Plan Amendment (SPA1-01-09) requested by Valley Hospitality LLC, dba DoubleTree by Hilton, 150 S. Nicolet Road, to remove an existing monument sign and install a new monument sign. Motion carried, all voting aye.

11. **CERTIFIED SURVEY MAP (CSM-04-19)** – REQUEST BY MARY M. BALLERSTEIN AND RUTH L. MAVES, 1130 AND 1206 W. CAPITOL DRIVE, FOR APPROVAL OF A TWO-LOT CERTIFIED SURVEY MAP WITH ROADWAY DEDICATION.

Planner Patza noted that the owner plans to raze the existing home on Lot 1 and construct a new home in its place.

Motion (Hidde/Crosby) to recommend approval of the Certified Survey Map (CSM-04-19) requested by Mary M. Ballerstein and Ruth L. Maves, 1130 and 1206 W. Capitol Drive, for a two-lot certified survey map with roadway dedication. Motion carried, all voting aye.

12. ADJOURNMENT.

Motion (Sherman/Boeckers) to adjourn the meeting at 6:16 p.m. Motion carried, all voting aye.

Respectfully Submitted,

Tracy Olejniczak/BB
Com. Dev. Admin. Asst.

**Town of Grand Chute
Conditional Use Permit Application Review
Town of Grand Chute**

To: Plan Commission

From: Robert Buckingham, Community Development Director

Date: April 11, 2019

Address: N. McCarthy Road (near W. Brookview Drive) App. #: CUP-05-19

REQUEST

In 2019, the Town is urbanizing N. McCarthy Road, between Brookview Drive and Capitol Drive. As part of this roadway project, three existing culvert crossings will be replaced or modified. A separate Conditional Use Permit will be approved for each culvert crossing. CUP-05-19 is requested to allow grading and filling associated with the construction of concrete headwalls on both the upstream and downstream faces of the existing twin 77" x 52" culverts under N. McCarthy Road, near the intersection with W. Brookview Drive. The culverts are in good condition and will remain in place. Poured-in-place headwalls are required to accommodate sidewalk construction on both sides of the reconstructed road. These headwalls will allow for safe slopes to be constructed on the back side of the sidewalks. A County Conditional Use Permit is required to allow grading and filling work within the Shoreland Zoning District.

ANALYSIS

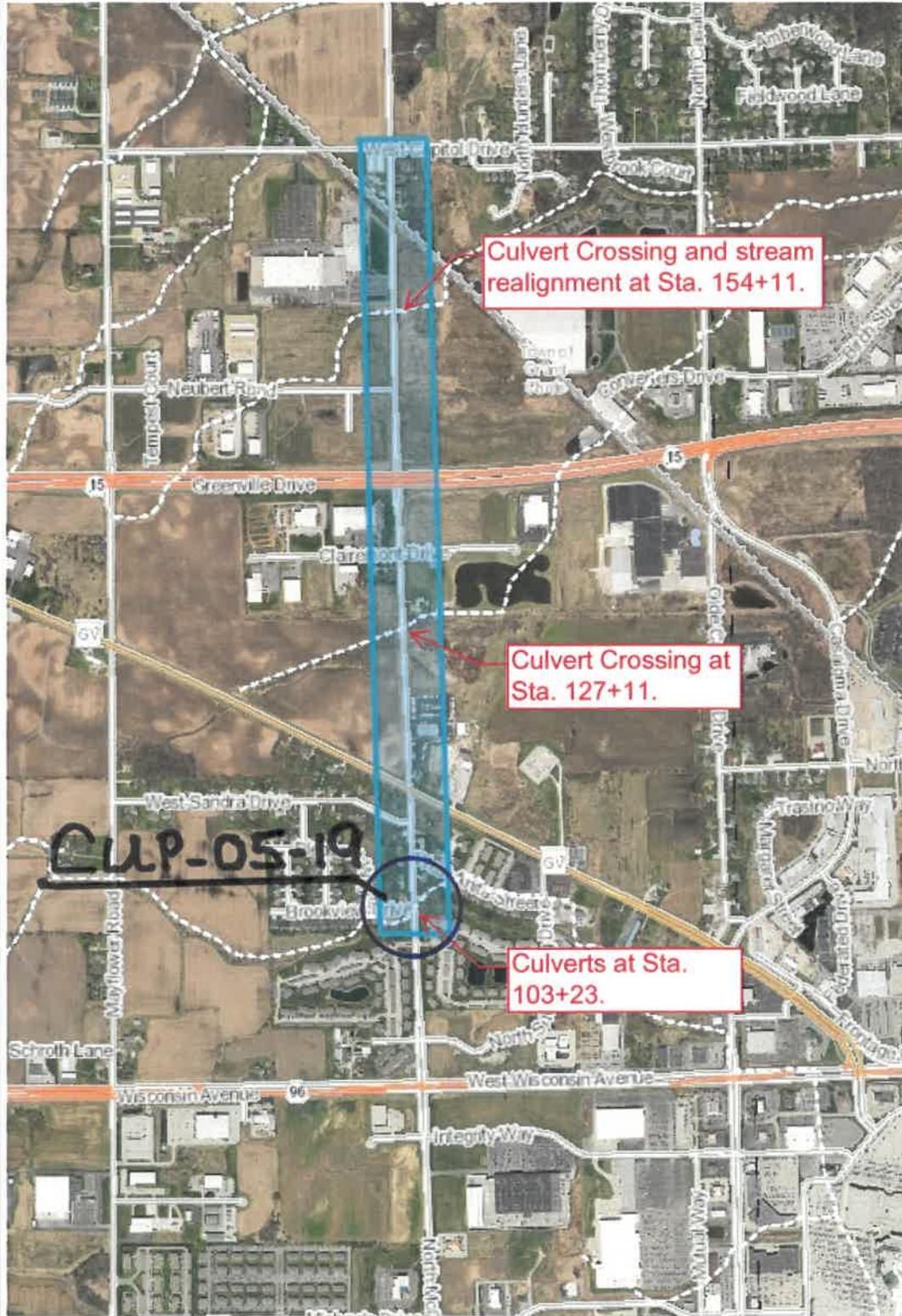
A backwater analysis was conducted to evaluate the impacts this culvert modification project will have on regulatory floodplain limits. After construction, the culverts will continue to accommodate the 100-year storm event with no rise in surface water elevations upstream of the project. No flooding easements will be required from upstream property owners. Areas of wetlands impacted by this culvert modification will be mitigated through a WNDR Individual Permit for the larger N. McCarthy Road urbanization project. Work on this culvert crossing is planned for dry periods to avoid flow during construction. Floodplain impacts during construction will be protected through best management practices as required by DNR/FEMA standards. Wetland disturbance during construction will be minimized as much as possible. Any disturbed wetlands will be restored upon completion of the work. Proper erosion control protection in the form of silt fencing, silt screen, ditch checks, and re-vegetation will also be provided.

RECOMMENDATION

Staff has reviewed and supports a Plan Commission recommendation for approval of the Conditional Use Permit (CUP-05-19) requested by the Town of Grand Chute to allow grading and filling associated with the construction of concrete headwalls on the ends of existing twin culverts under N. McCarthy Road, near the intersection with W. Brookview Drive.



Town of Grand Chute McCarthy Road Culverts



Legend

- Intermittent Streams
- 24K Hydrography Streams and Rivers
- 24K Hydrography Lakes and Open Water
- Municipality
- State Boundaries
- County Boundaries
- Major Roads
 - Interstate Highway
 - State Highway
 - US Highway
- County and Local Roads
 - County HWY
 - Local Road
- Railroads
- Tribal Lands
- Rivers and Streams
- Intermittent Streams
- Lakes and Open water
- Index to EN_Image_Basemap_Leaf Off

0.5 0 0.25 0.5 Miles

1: 15,840

NAD_1983_HARN_Wisconsin_TM

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Notes

North McCarthy Way Reconstruction-Preconstruction Photos



Mud Creek Culvert, Looking West



Mud Creek Culvert, West End



Mud Creek Culvert, Looking East

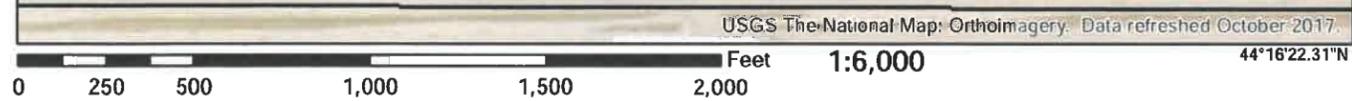


Mud Creek Culvert, East End

National Flood Hazard Layer FIRMette



44°16'48.07"N



Legend Appendix G

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

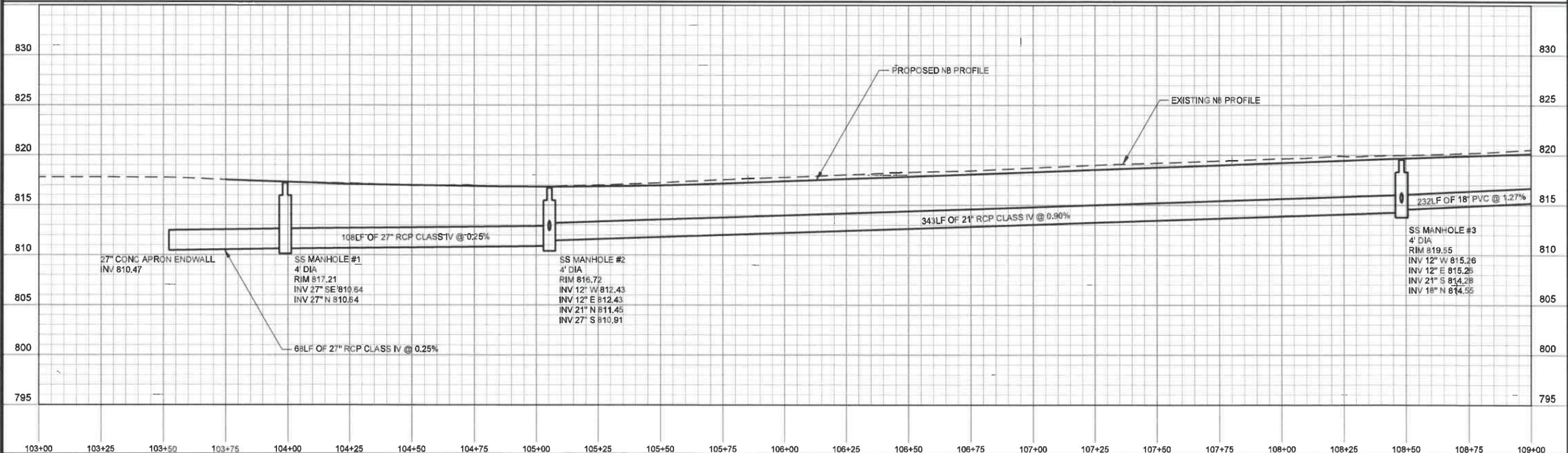
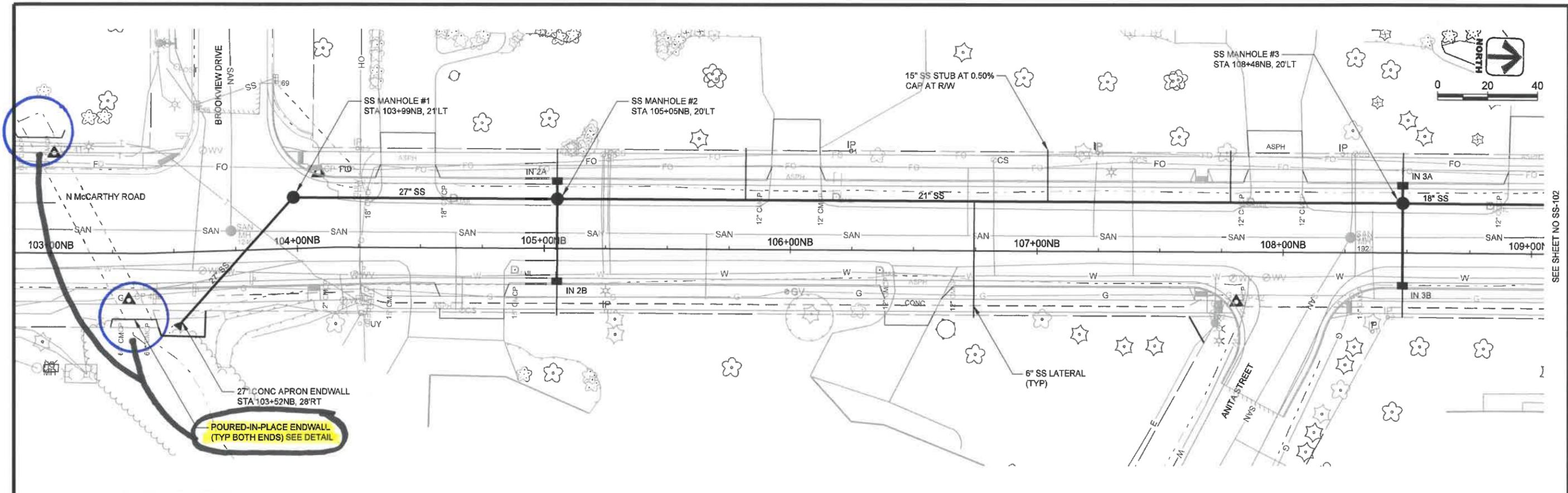
SPECIAL FLOOD HAZARD AREAS	<ul style="list-style-type: none"> Without Base Flood Elevation (BFE) Zone A, V, A99 With BFE or Depth Zone AE, AO, AH, VE, AR Regulatory Floodway
OTHER AREAS OF FLOOD HAZARD	<ul style="list-style-type: none"> 0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone X Future Conditions 1% Annual Chance Flood Hazard Zone X Area with Reduced Flood Risk due to Levee. See Notes. Zone X Area with Flood Risk due to Levee Zone D
OTHER AREAS	<ul style="list-style-type: none"> NO SCREEN Area of Minimal Flood Hazard Zone X Effective LOMRs Area of Undetermined Flood Hazard Zone D
GENERAL STRUCTURES	<ul style="list-style-type: none"> Channel, Culvert, or Storm Sewer Levee, Dike, or Floodwall
OTHER FEATURES	<ul style="list-style-type: none"> 20.2 Cross Sections with 1% Annual Chance Water Surface Elevation 17.5 Cross Sections with 1% Annual Chance Water Surface Elevation Coastal Transect Base Flood Elevation Line (BFE) Limit of Study Jurisdiction Boundary Coastal Transect Baseline Profile Baseline Hydrographic Feature
MAP PANELS	<ul style="list-style-type: none"> Digital Data Available No Digital Data Available Unmapped

The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on 11/29/2018 at 11:39:08 AM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.



3/27/2019
 V:\Mun\GIS\Grand Chute Town of 05-01 05.00 McCarthy Road Reconstruction\GIS\DWG\SheetPlan\02501-n McCarthy.dwg, Layout: SS-01

DES BY	TAH	PROJ NO	25-0185.00
DR BY	JWS	DATE	MARCH 2019
CHK BY	CRS	NO	DATE
		REVISION	NO DATE REVISION

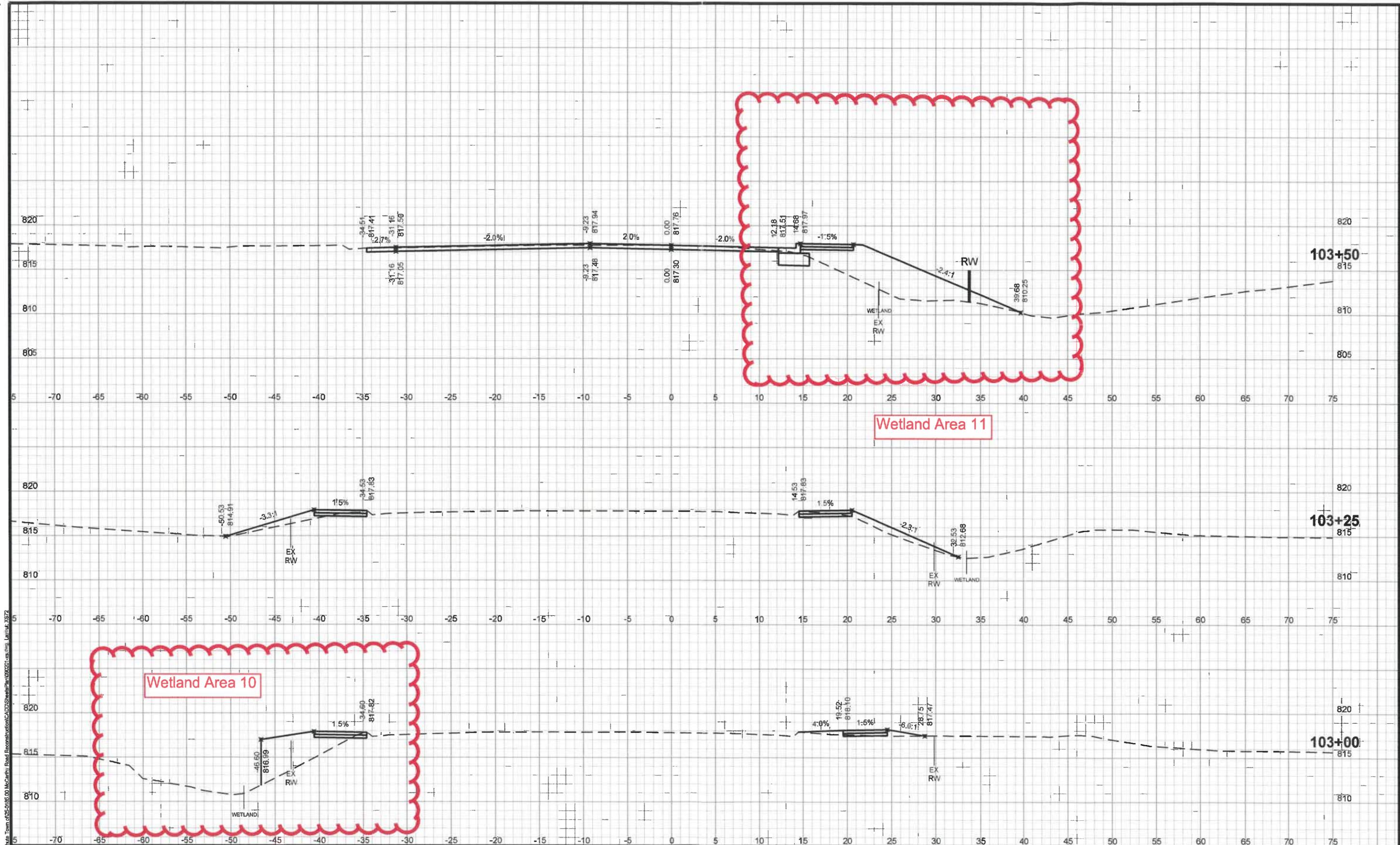
N MCCARTHY ROAD RECONSTRUCTION
TOWN OF GRAND CHUTE



N MCCARTHY ROAD STORM SEWER

SHEET NO.
SS-101

SEE SHEET NO SS-102



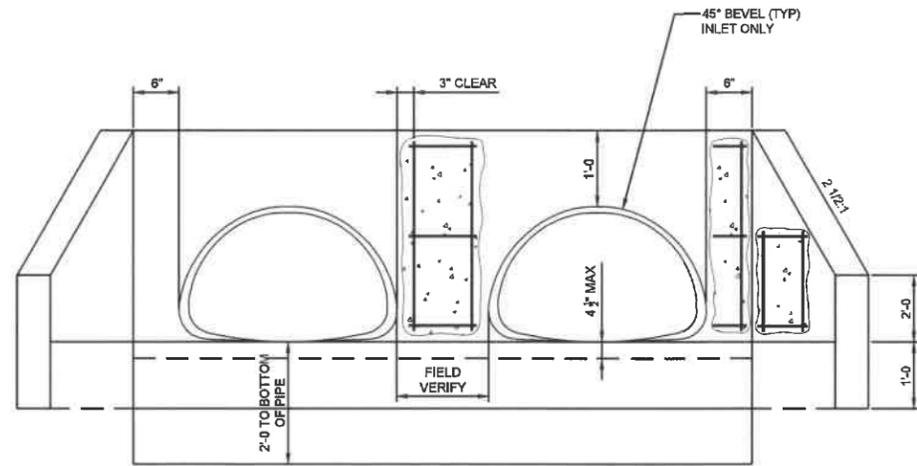
3/19/2019 \\V:\mccr\Grand Chute_Town of 05-0185-00_McCarthy_Road_Reconstruction\CADD\Sheet\Plan\050201.dwg Layout_18x72

DES BY	TAH	PROJ NO	NO	DATE	REVISION	NO	DATE	REVISION
JWS		25-0185.00						
CRS		MARCH 2019						

**N MCCARTHY ROAD RECONSTRUCTION
TOWN OF GRAND CHUTE**

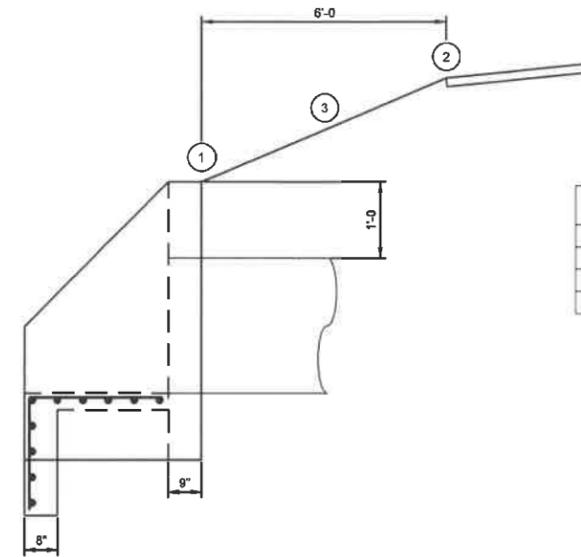


N MCCARTHY ROAD CROSS SECTIONS



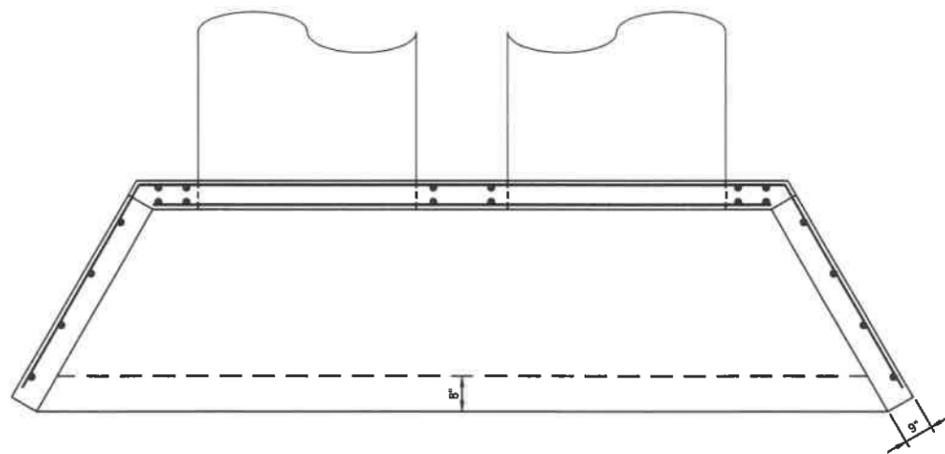
END ELEVATION

NOTE:
MINIMUM REINFORCEMENT SHALL BE NO. 4 BARS
SPACED 12" C-C IN BOTH DIRECTIONS.

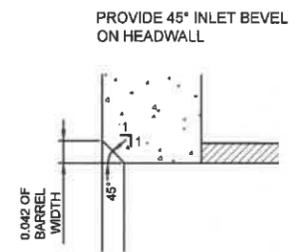


SIDE ELEVATION

HEADWALL	1	2	3
NW	816.96	817.73	12.8%
SW	817.22	817.73	8.5%
NE	816.74	817.48	12.3%
SE	816.39	817.48	18.10%

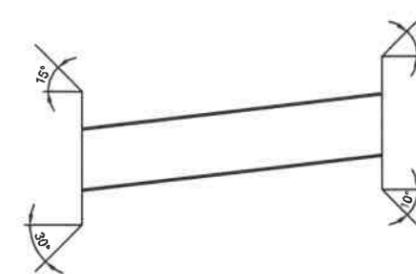


PLAN

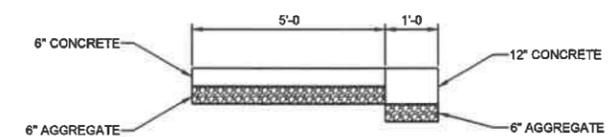


PROVIDE 45° INLET BEVEL
ON HEADWALL

INLET BEVEL



WINGWALL ANGLES



THICKENED EDGE SIDEWALK FOR RAILING

21 CONCRETE MASONRY ENDWALLS
NOT TO SCALE

N MCCARTHY ROAD RECONSTRUCTION
TOWN OF GRAND CHUTE

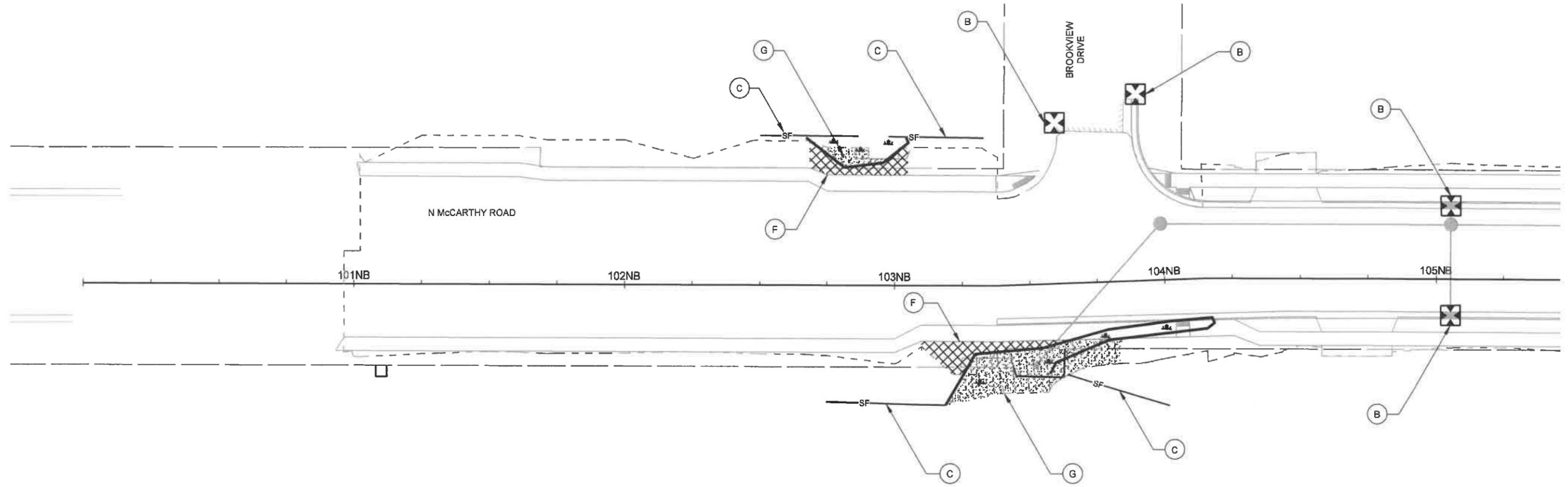
AVRES
ASSOCIATES
GREEN BAY, WISCONSIN

GENERAL DETAILS

SHEET NO.
D-4

AA-Struct.dwg 4/2/2019 V:\Main\GB\Grand Chute Town\025-0185.00\McCarthy_Road_Reconstruction\CADD\SheetPlan\021001.dwg Layout_D-4

DES BY	TAH	PROJ NO	NO	DATE	REVISION	NO	DATE	REVISION
DR BY	JWS	25-0185.00						
CHK BY	CRS	DATE	MARCH 2019					



SEE SHEET NO EC-102

LEGEND

- (A) TYPE 'B' INLET PROTECTION
- (B) TYPE 'C' INLET PROTECTION
- (C) SILT FENCE
- (D) DITCH CHECK
- (E) ROCK BAGS
- (F) EROSION MAT CLASS 1
- (G) EROSION MAT CLASS 2

A4 Standard.dwg
 20190301
 V:\M\CS\Grand Chute\Town of CS-0185.00 McCarthy Road Reconstruction\CADD\Sheet\Plan\1022001-ec_McCarthy.dwg Layout EC-101

DES BY	TAH						
DR BY	JWS	PROJ NO	25-0185.00				
CHK BY	CRS	DATE	MARCH 2019	NO	DATE	REVISION	

**N MCCARTHY ROAD RECONSTRUCTION
TOWN OF GRAND CHUTE**



EROSION CONTROL

SHEET NO.
EC-101



PROPOSED WETLAND AREA 10 IMPACTS
177 SQUARE FEET

PROPOSED WETLAND AREA 11 IMPACTS
660 SQUARE FEET

AA-Standard.sbt
3/14/2019
V:\Municipal\Grand Chute Town\0125-0185-00_McCarthy_Road_Reconstruction\CADD\Drawings\Wetlands\McCarthy_Road_Reconstruction\Wetlands_Layout_Sheet_1.dwg
W:\Municipal\Grand Chute Town\0125-0185-00_McCarthy_Road_Reconstruction\CADD\Drawings\Wetlands\McCarthy_Road_Reconstruction\Wetlands_Layout_Sheet_1.dwg

DES BY	TAH						
DR BY	TAH	PROJ NO					
CHK BY	PJK	DATE	MARCH 2019	NO	DATE	REVISION	

N MCCARTHY ROAD RECONSTRUCTION
TOWN OF GRAND CHUTE



WETLAND IMPACTS

**Town of Grand Chute
Conditional Use Permit Application Review
Town of Grand Chute**

To: Plan Commission
From: Robert Buckingham, Community Development Director
Date: April 11, 2019
Address: N. McCarthy Road (near W. Clairemont Drive) **App. #: CUP-06-19**

REQUEST

In 2019, the Town is urbanizing N. McCarthy Road, between Brookview Drive and Capitol Drive. As part of this roadway project, three existing culvert crossings will be replaced or modified. A separate Conditional Use Permit will be approved for each culvert crossing. CUP-06-19 is requested to allow grading and stream alteration associated with the replacement of a culvert under N. McCarthy Road, near the intersection with W. Clairemont Drive. This 48” culvert conveys intermittent stream flow, with water being present only during or after rain events, or after snow melt. It is 51’ in length. Due to its condition and roadway widening associated with the urbanization project, the existing culvert will be replaced and lengthened. The new culvert will be a 68” x 43” concrete pipe with end walls, and it will be 94’ in length. A County Conditional Use Permit is required to allow grading, filling and stream alteration work within the Shoreland Zoning District.

ANALYSIS

This culvert crossing is in an area of minimal flood hazard due to intermittent stream flow. The new culvert is modeled and designed to reduce the extent of water overtopping the roadway after a large storm event. Areas of wetlands impacted by this culvert replacement project will be mitigated through a WNDR Individual Permit for the larger N. McCarthy Road urbanization project. Work on this culvert crossing is planned for dry periods to avoid flow during construction. Wetland disturbance during construction will be minimized as much as possible. Any disturbed wetlands will be restored upon completion of the work. Proper erosion control protection in the form of silt fencing, silt screen, ditch checks, and re-vegetation will also be provided.

RECOMMENDATION

Staff has reviewed and supports a Plan Commission recommendation for approval of the Conditional Use Permit (CUP-06-19) requested by the Town of Grand Chute to allow grading and stream alteration associated with the replacement of a culvert under N. McCarthy Road, near the intersection with W. Clairemont Drive.



Town of Grand Chute McCarthy Road Culverts



Legend

- Intermittent Streams
- 24K Hydrography Streams and Rivers
- 24K Hydrography Lakes and Open Water
- Municipality
- State Boundaries
- County Boundaries
- Major Roads
 - Interstate Highway
 - State Highway
 - US Highway
- County and Local Roads
 - County HWY
 - Local Road
- Railroads
- Tribal Lands
- Rivers and Streams
- Intermittent Streams
- Lakes and Open water
- Index to EN_Image_Basemap_Leaf Off

0.5 0 0.25 0.5 Miles

1:15,840

NAD_1983_HARN_Wisconsin_TM

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Notes

North McCarthy Way Reconstruction-Preconstruction Photos



48" Culvert South of Clairemont Drive, Looking East



48" Culvert South of Clairemont Drive, East Culvert End

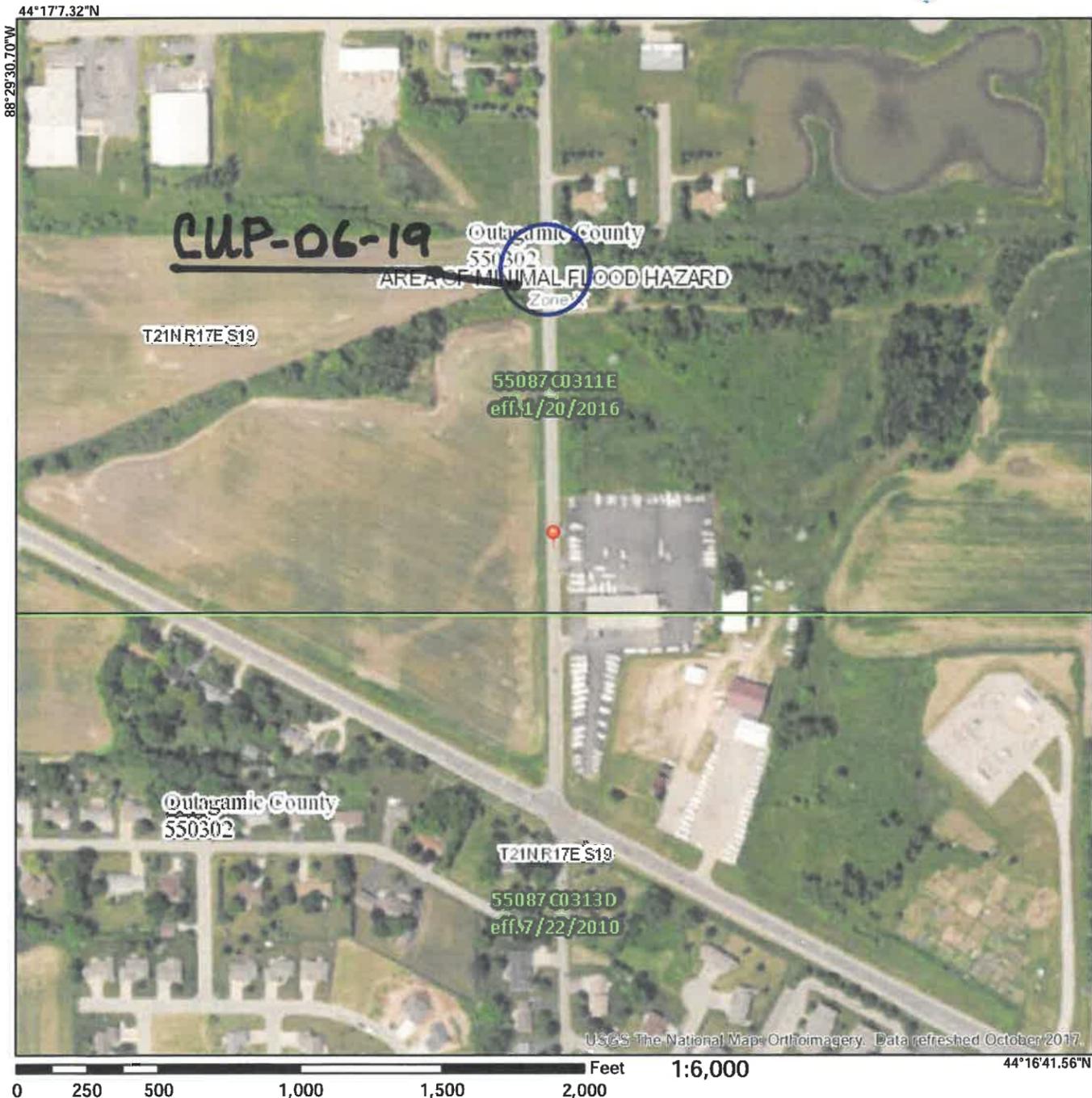


48" Culvert South of Clairemont Drive, West Culvert End



48" Culvert South of Clairemont Drive, Looking West

National Flood Hazard Layer FIRMette



Legend Appendix G

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

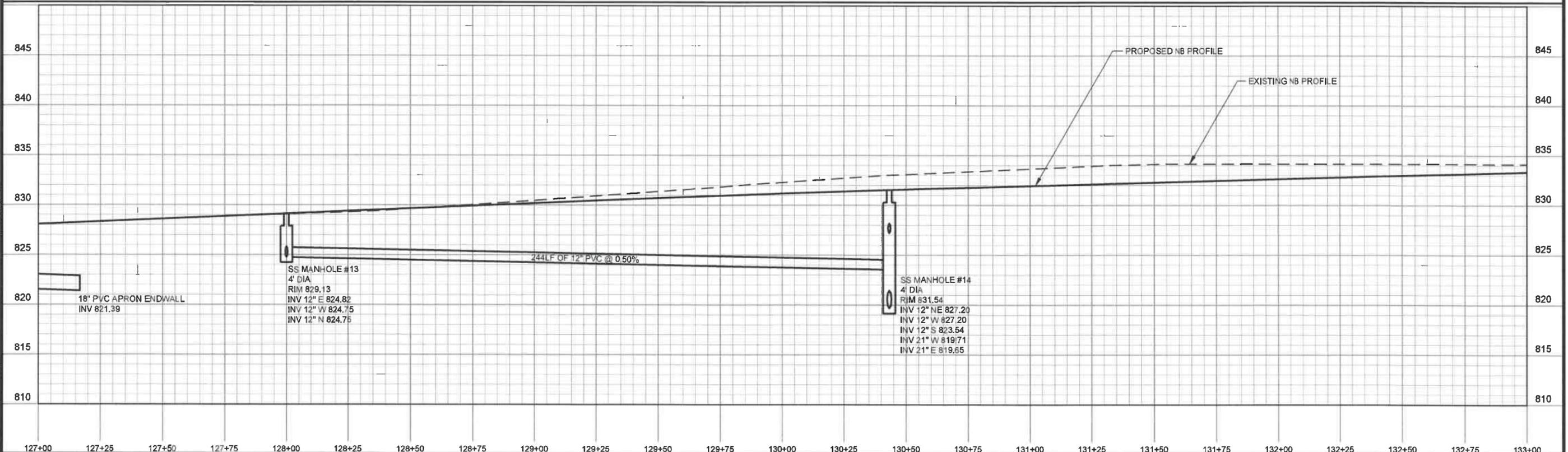
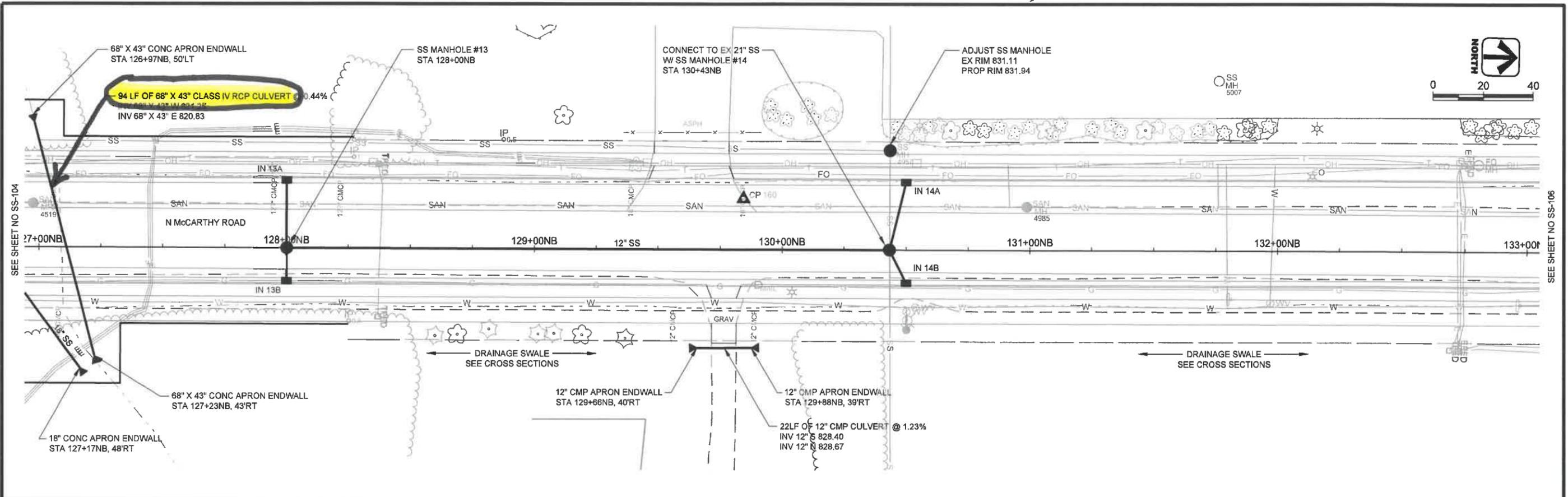
SPECIAL FLOOD HAZARD AREAS		Without Base Flood Elevation (BFE) Zone A, V, A99
		With BFE or Depth Zone AE, AO, AH, VE, AR
		Regulatory Floodway
OTHER AREAS OF FLOOD HAZARD		0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone X
		Future Conditions 1% Annual Chance Flood Hazard Zone X
		Area with Reduced Flood Risk due to Levee, See Notes, Zone X
		Area with Flood Risk due to Levee Zone D
OTHER AREAS		Area of Minimal Flood Hazard Zone X
		Effective LOMRs
GENERAL STRUCTURES		Area of Undetermined Flood Hazard Zone D
		Channel, Culvert, or Storm Sewer
OTHER FEATURES		Levee, Dike, or Floodwall
		Cross Sections with 1% Annual Chance Water Surface Elevation
		Coastal Transect
		Base Flood Elevation Line (BFE)
		Limit of Study
		Jurisdiction Boundary
		Coastal Transect Baseline
MAP PANELS		Digital Data Available
		No Digital Data Available
		Unmapped

The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on 11/29/2018 at 11:38:26 AM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

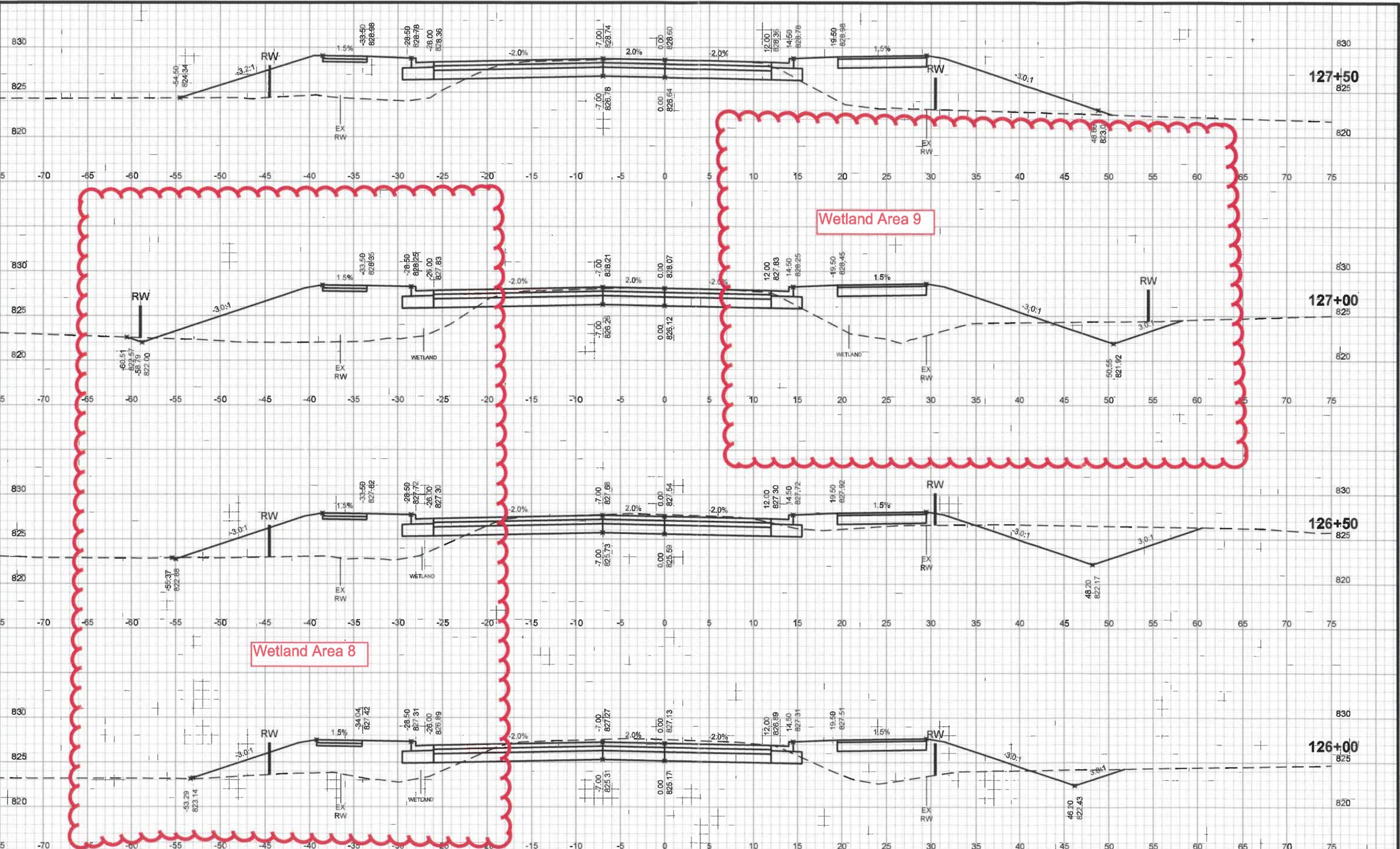
This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.



DES BY	TAH	PROJ NO	25-0185.00	N MCCARTHY ROAD RECONSTRUCTION TOWN OF GRAND CHUTE				AYRES ASSOCIATES GREEN BAY, WISCONSIN		N MCCARTHY ROAD STORM SEWER		SHEET NO.	SS-105					
DR BY	JWS	DATE	MARCH 2019									NO		DATE	REVISION	NO	DATE	REVISION
CHK BY	CRS	NO	DATE									REVISION		NO	DATE	REVISION		

3/27/2019 V:\Main\GIS\Grand Chute Town of 05-0185-00 McCarthy Road Reconstruction\GIS\SS\SheetPlan\SS-105.dwg, L: 100, SS-105

5/12/2019 10:41:00 AM C:\Users\jwjs\OneDrive\Documents\N McCarthy Road Reconstruction\CADD\Sheet\Plan\03201.dwg User: jwjs

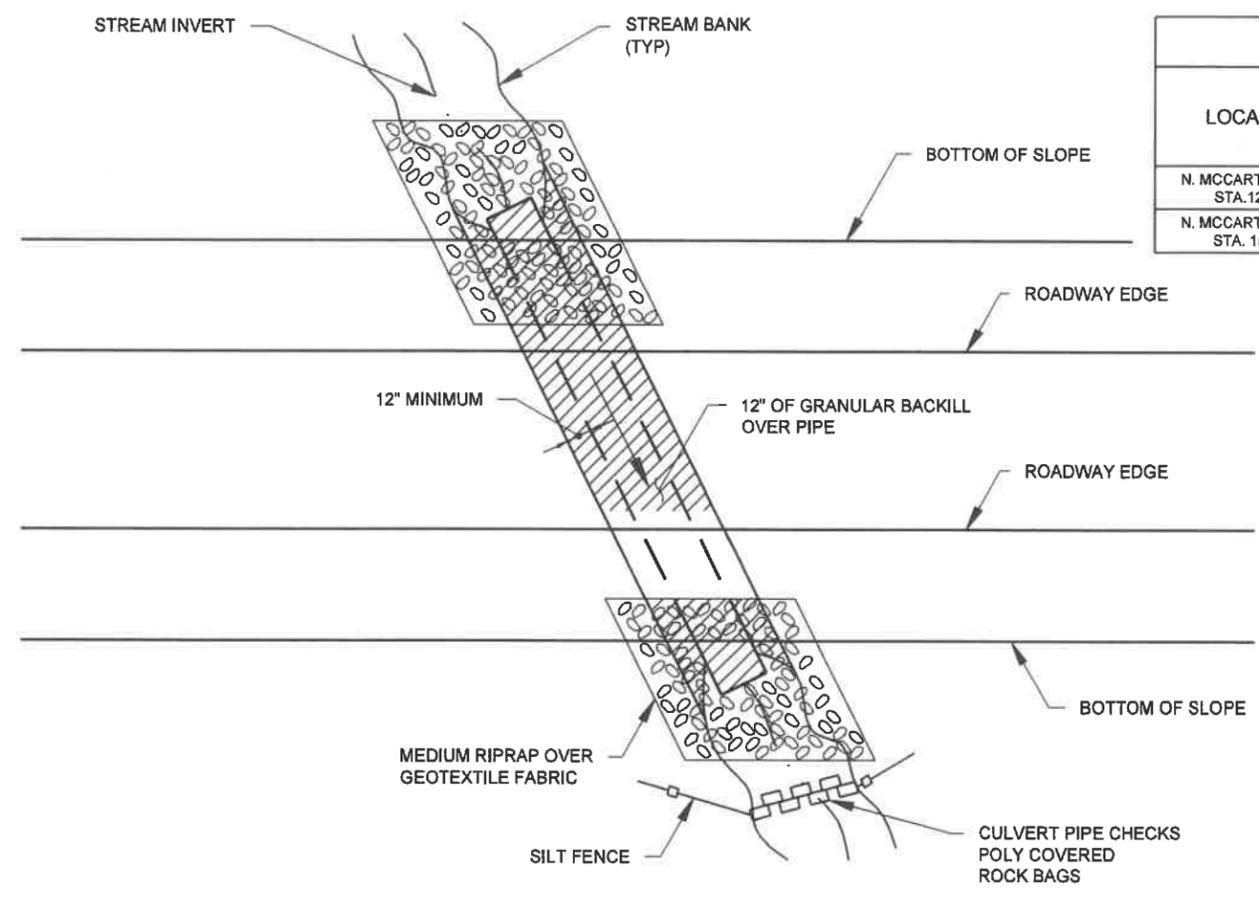


DES BY	TAH	NO	DATE	REVISION
JWS	25-0185.00			
CRS	MARCH 2019			

N MCCARTHY ROAD RECONSTRUCTION
TOWN OF GRAND CHUTE

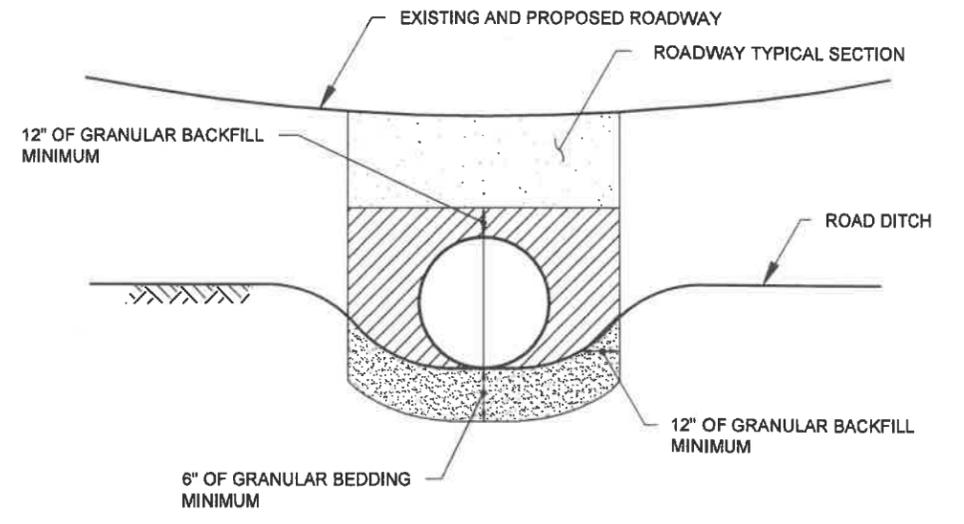


N MCCARTHY ROAD CROSS SECTIONS

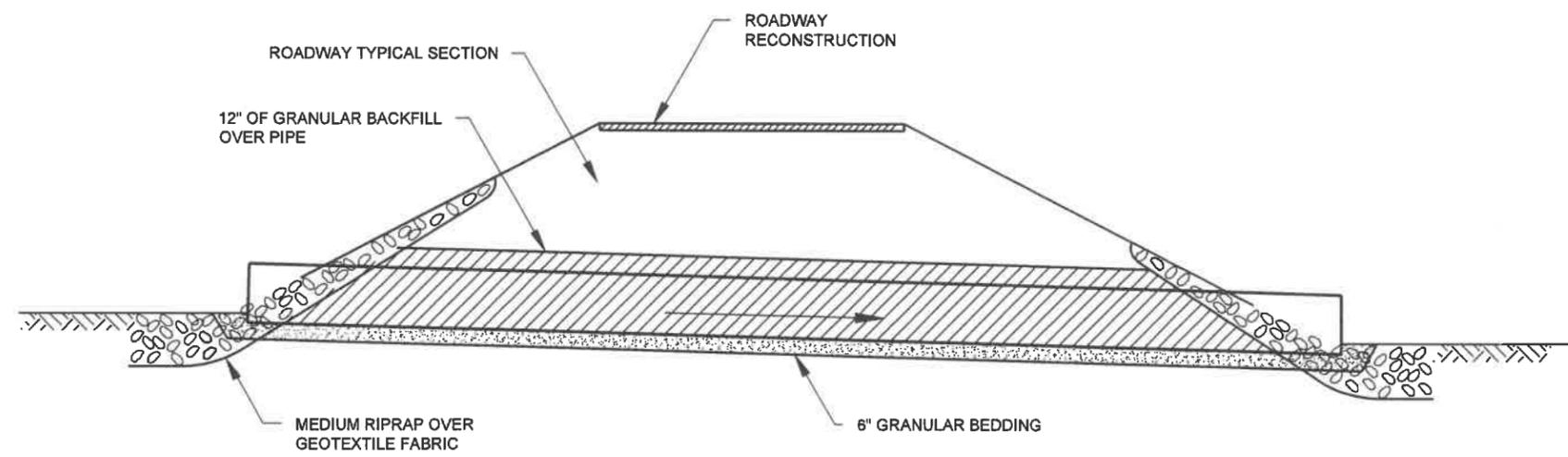


PLAN
NTS

CULVERT REPLACEMENT											
LOCATION	EXISTING			PROPOSED							
	SIZE	LENGTH	MATERIAL	SIZE	LENGTH	INVERT UPSTREAM	INVERT DOWNSTREAM	MATERIAL	APRON ENDWALLS	DEPTH OF BURY	TURF REINFORCEMENT
N. MCCARTHY ROAD STA. 127+50	48"	51'	CMP	43"X68"	94'	821.25	820.83	RCP CLASS IV	YES	35"	NO
N. MCCARTHY ROAD STA. 154+11	36"	48'	CMP	42"	84' W/MITERS	826.03	825.85	CMP	3:1 MITERED ENDS	32"	NO



END VIEW
NTS



SECTION
NTS

- NOTES:
- SEE PROJECT SPECIFICATOINS FOR DETAILS ON BEDDING, BACKFILL, CULVERT PIPE, RIPRAP, AND RESTORATION.
 - SEE EROSION CONTROL PLAN SHEETS FOR ADDITIONAL EROSION CONTROL DETAILS AT CULVERT REPLACEMENT LOCATIONS.

DES BY	TAH	BOOK NO							
DR BY	TAH	PROJ NO	25-0185.00						
CHK BY	PJK	DATE	MARCH 2019	NO	DATE		REVISION	NO	DATE

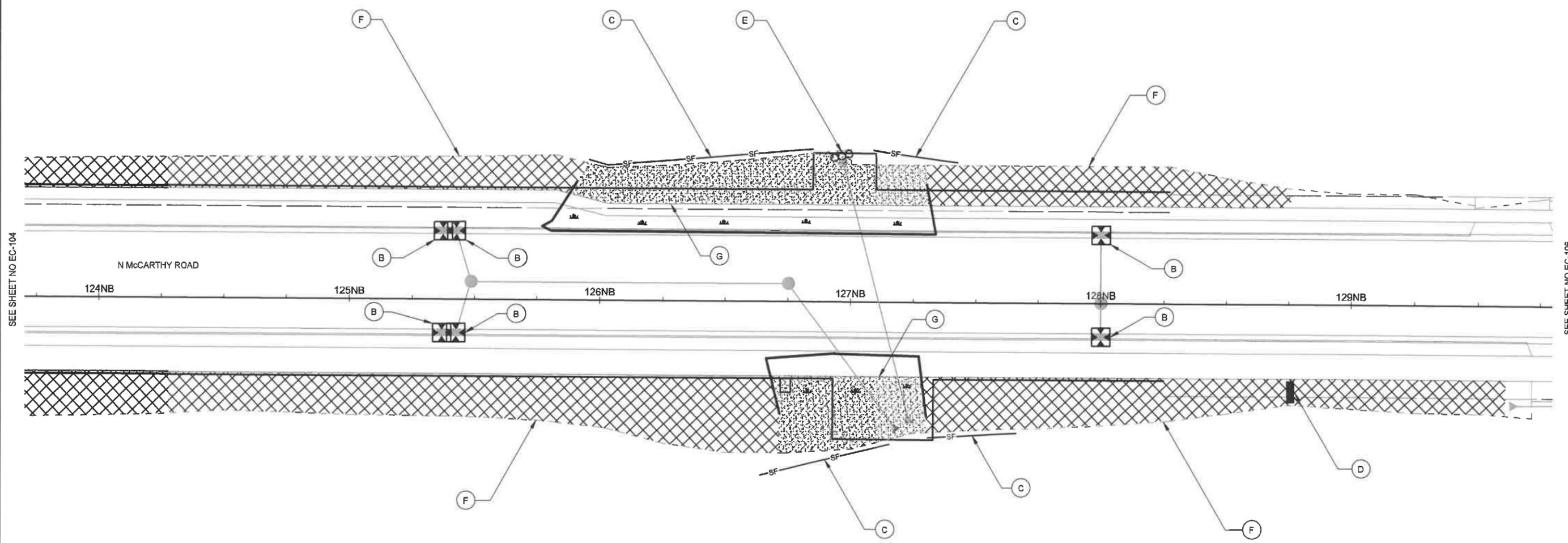
N MCCARTHY ROAD RECONSTRUCTION
TOWN OF GRAND CHUTE



CULVERT REPLACEMENT DETAIL

SHEET NO
CUL-1

AA-Standard.dwg
 3/27/2019
 V:\Main-Design\Grand Chute Town\25-0185.00\N. McCarthy Road Reconstruction\CADD\Brennan\Final\Culvert Installation.dwg



SEE SHEET NO EC-104

SEE SHEET NO EC-106

LEGEND

- (A) TYPE 'B' INLET PROTECTION
- (B) TYPE 'C' INLET PROTECTION
- (C) SILT FENCE
- (D) DITCH CHECK
- (E) ROCK BAGS
- (F) EROSION MAT CLASS 1
- (G) EROSION MAT CLASS 2

DES BY	TAH						
DR BY	JWS	PROJ NO	25-0185.00				
CHK BY	CRS	DATE	MARCH 2019	NO	DATE	REVISION	

**N MCCARTHY ROAD RECONSTRUCTION
TOWN OF GRAND CHUTE**



EROSION CONTROL

SHEET NO.
EC-105

A:\Standard\lab
 3/27/2019
 V:\Map-GRS\Grand Chute_Town\025-0185.00_McCarthy_Road_Reconstruction\CADD\SheetPlan\022001-4c_McCarthy_lab\Layout_EC-105

**Town of Grand Chute
Conditional Use Permit Application Review
Town of Grand Chute**

To: Plan Commission

From: Robert Buckingham, Community Development Director

Date: April 11, 2019

Address: N. McCarthy Road (near W. Neubert Road)

App. #: CUP-07-19

REQUEST

In 2019, the Town is urbanizing N. McCarthy Road, between Brookview Drive and Capitol Drive. As part of this roadway project, three existing culvert crossings will be replaced or modified. A separate Conditional Use Permit will be approved for each culvert crossing. CUP-07-19 is requested to allow grading and stream alteration associated with the replacement of a culvert under N. McCarthy Road, near the intersection with W. Neubert Road. This 36" culvert conveys the flow of Mud Creek Tributary 3.3. It is 48' in length. Due to its deteriorating condition and roadway widening associated with the urbanization project, the existing culvert will be replaced and lengthened. The new culvert will be a 42" corrugated metal pipe with mitered ends to match the slope of the ditch, and it will be 72' in length. Additionally, the open channel immediately downstream of the culvert will be realigned to accommodate the roadway widening. This will help flow at the culvert since the existing channel has sediment buildup and trapped debris that have caused backups. A County Conditional Use Permit is required to allow grading, filling and stream alteration work within the Shoreland Zoning District.

ANALYSIS

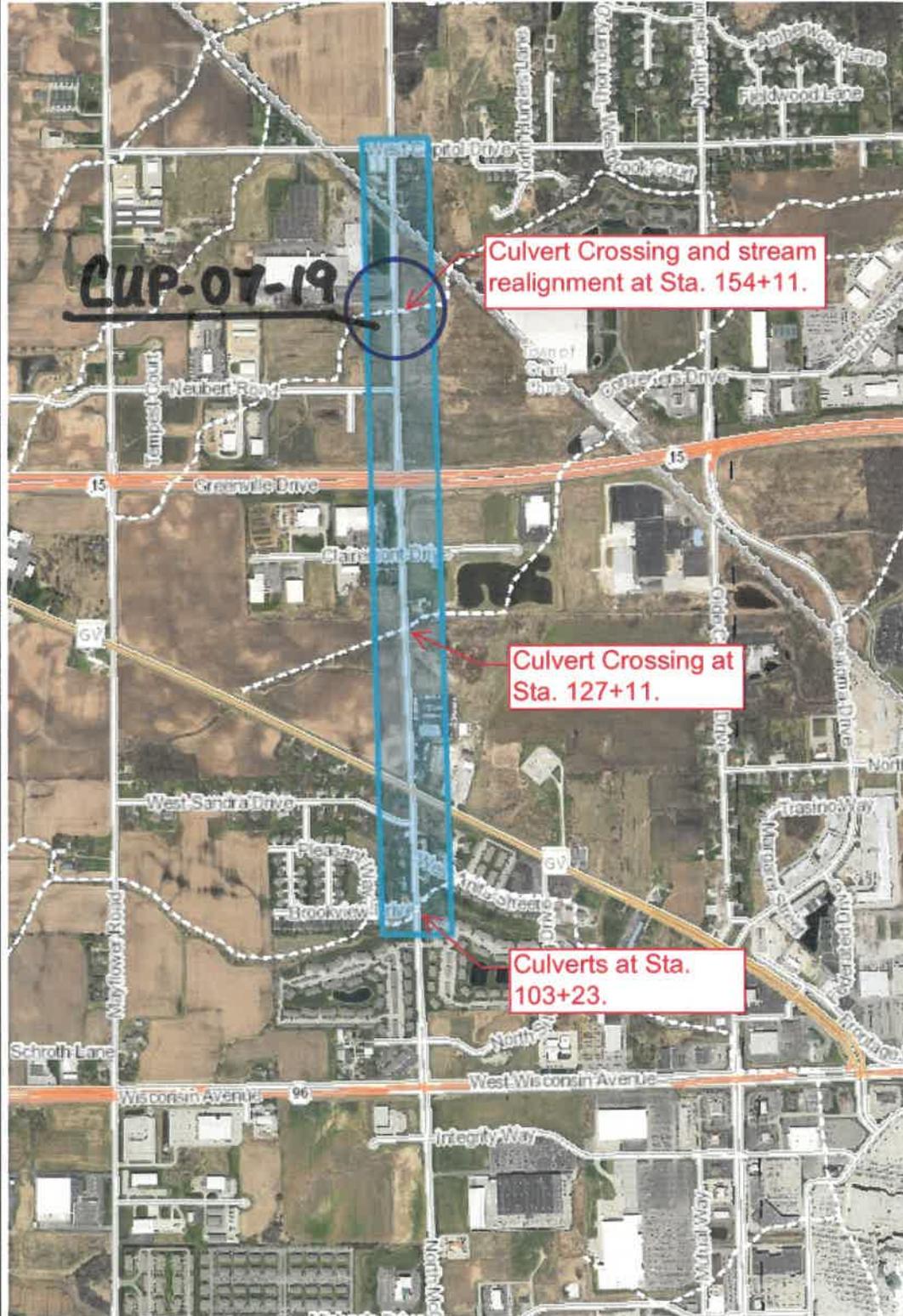
A backwater analysis was conducted to evaluate the impacts this culvert replacement project will have on regulatory floodplain limits. Some adjoining property upstream of the culvert experiences localized flooding after large storm events. The new culvert is modeled and designed to match existing upstream conditions after a large storm. To achieve that condition and minimize the flooding risk for private property, the extent of water overtopping the road is modeled to increase during the 100-year storm event. Areas of wetlands impacted by this culvert replacement project will be mitigated through a WNDP Individual Permit for the larger N. McCarthy Road urbanization project. Work on this culvert crossing is planned for dry periods to avoid flow during construction. Wetland disturbance during construction will be minimized as much as possible. Any disturbed wetlands will be restored upon completion of the work. Proper erosion control protection in the form of silt fencing, silt screen, ditch checks, and re-vegetation will also be provided.

RECOMMENDATION

Staff has reviewed and supports a Plan Commission recommendation for approval of the Conditional Use Permit (CUP-07-19) requested by the Town of Grand Chute to allow grading and stream alteration associated with the replacement of a culvert under N. McCarthy Road, near the intersection with W. Neubert Road.



Town of Grand Chute McCarthy Road Culverts



Legend

- Intermittent Streams
- 24K Hydrography Streams and Rivers
- 24K Hydrography Lakes and Open Water
- Municipality
- State Boundaries
- County Boundaries
- Major Roads
 - Interstate Highway
 - State Highway
 - US Highway
- County and Local Roads
 - County HWY
 - Local Road
- Railroads
- Tribal Lands
- Rivers and Streams
- Intermittent Streams
- Lakes and Open water
- Index to EN_Image_Basemap_Leaf_Off

0.5 0 0.25 0.5 Miles 1: 15,840

NAD_1983_HARN_Wisconsin_TM

DISCLAIMER: The information shown on these maps has been obtained from various sources, and are of varying age, reliability and resolution. These maps are not intended to be used for navigation, nor are these maps an authoritative source of information about legal land ownership or public access. No warranty, expressed or implied, is made regarding accuracy, applicability for a particular use, completeness, or legality of the information depicted on this map. For more information, see the DNR Legal Notices web page: <http://dnr.wi.gov/legal/>

Notes

North McCarthy Way Reconstruction-Preconstruction Photos



36" Culvert South of Railroad, Looking At West Culvert End



36" Culvert South of Railroad, Looking West



36" Culvert South of Railroad, Looking At East Culvert End



36" Culvert South of Railroad, Looking East

National Flood Hazard Layer FIRMette



44°17'45.41"N



Legend Appendix G

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

- SPECIAL FLOOD HAZARD AREAS**
 - Without Base Flood Elevation (BFE) Zone A, V, A99
 - With BFE or Depth Zone AE, AO, AH, VE, AR
 - Regulatory Floodway

- OTHER AREAS OF FLOOD HAZARD**
 - 0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone X
 - Future Conditions 1% Annual Chance Flood Hazard Zone X
 - Area with Reduced Flood Risk due to Levee. See Notes. Zone X
 - Area with Flood Risk due to Levee Zone D

- OTHER AREAS**
 - NO SCREEN Area of Minimal Flood Hazard Zone X
 - Effective LOMRs
 - Area of Undetermined Flood Hazard Zone D

- GENERAL STRUCTURES**
 - Channel, Culvert, or Storm Sewer
 - Levee, Dike, or Floodwall

- OTHER FEATURES**
 - 20.2 Cross Sections with 1% Annual Chance Water Surface Elevation
 - 17.5 Coastal Transect
 - 213 Base Flood Elevation Line (BFE)
 - Limit of Study
 - Jurisdiction Boundary
 - Coastal Transect Baseline
 - Profile Baseline
 - Hydrographic Feature

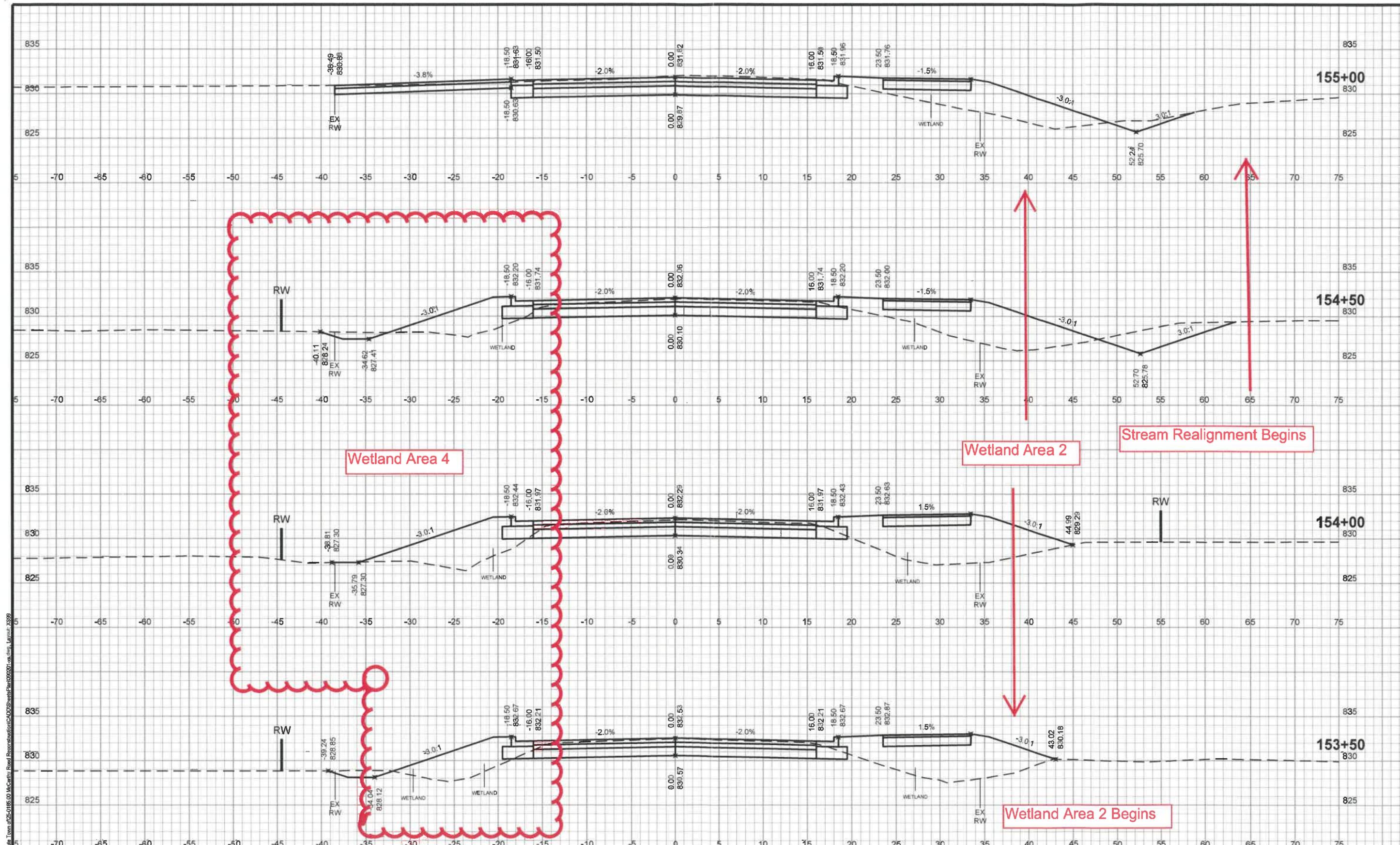
- MAP PANELS**
 - Digital Data Available
 - No Digital Data Available
 - Unmapped

The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on 11/29/2018 at 11:35:31 AM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.

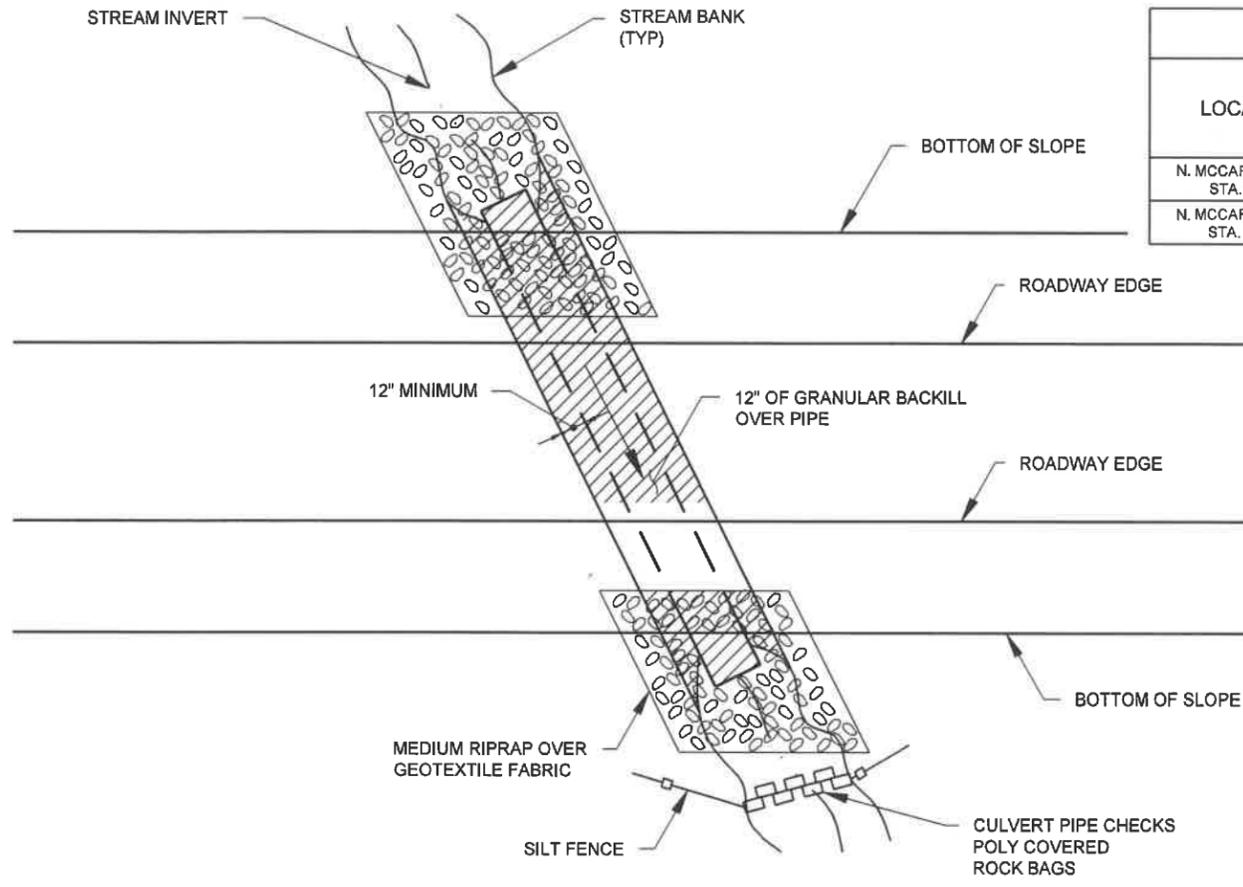


DES BY	TAH	PROJ NO							
DR BY	JWS	25-0185.00							
CHK BY	CRS	DATE	MARCH 2019	NO	DATE		REVISION	NO	DATE

**N MCCARTHY ROAD RECONSTRUCTION
TOWN OF GRAND CHUTE**

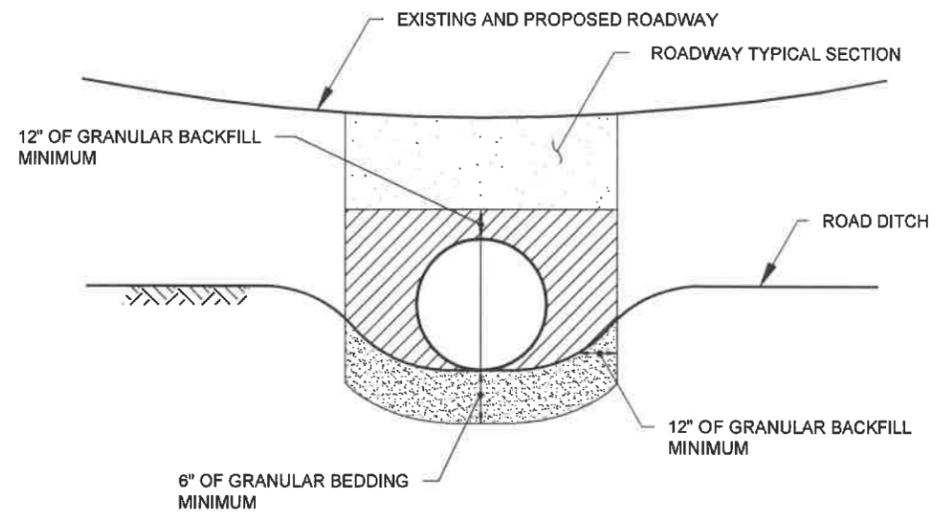


N MCCARTHY ROAD CROSS SECTIONS

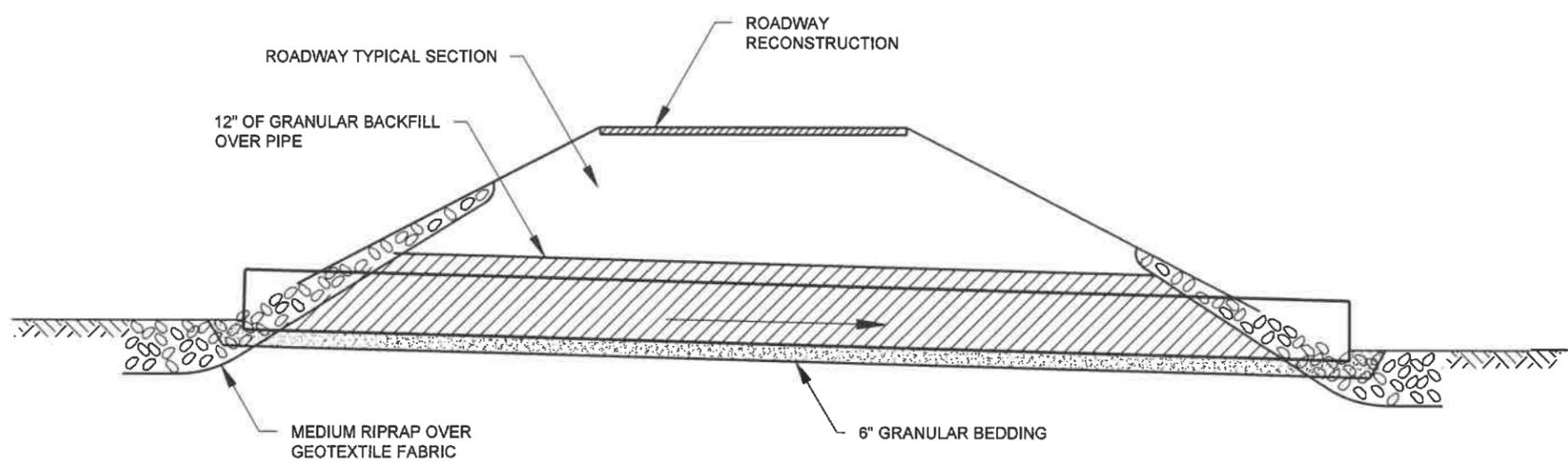


PLAN
NTS

CULVERT REPLACEMENT											
LOCATION	EXISTING			PROPOSED							
	SIZE	LENGTH	MATERIAL	SIZE	LENGTH	INVERT UPSTREAM	INVERT DOWNSTREAM	MATERIAL	APRON ENDWALLS	DEPTH OF BURY	TURF REINFORCEMENT
N. MCCARTHY ROAD STA. 127+50	48"	51'	CMP	43"X68"	94'	821.25	820.83	RCP CLASS IV	YES	35"	NO
N. MCCARTHY ROAD STA. 154+11	36"	48'	CMP	42"	84' W/MITERS	826.03	825.85	CMP	3:1 MITERED ENDS	32"	NO



END VIEW
NTS



SECTION
NTS

- NOTES:
1. SEE PROJECT SPECIFICATOINS FOR DETAILS ON BEDDING, BACKFILL, CULVERT PIPE, RIPRAP, AND RESTORATION.
 2. SEE EROSION CONTROL PLAN SHEETS FOR ADDITIONAL EROSION CONTROL DETAILS AT CULVERT REPLACEMENT LOCATIONS.

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 V:\Main-CB\Grand Chute Town of 25-0185.00 McCarty Rd Road Reconstruction\CAD\Sheets\Plan\Typical Culvert Installation.dwg

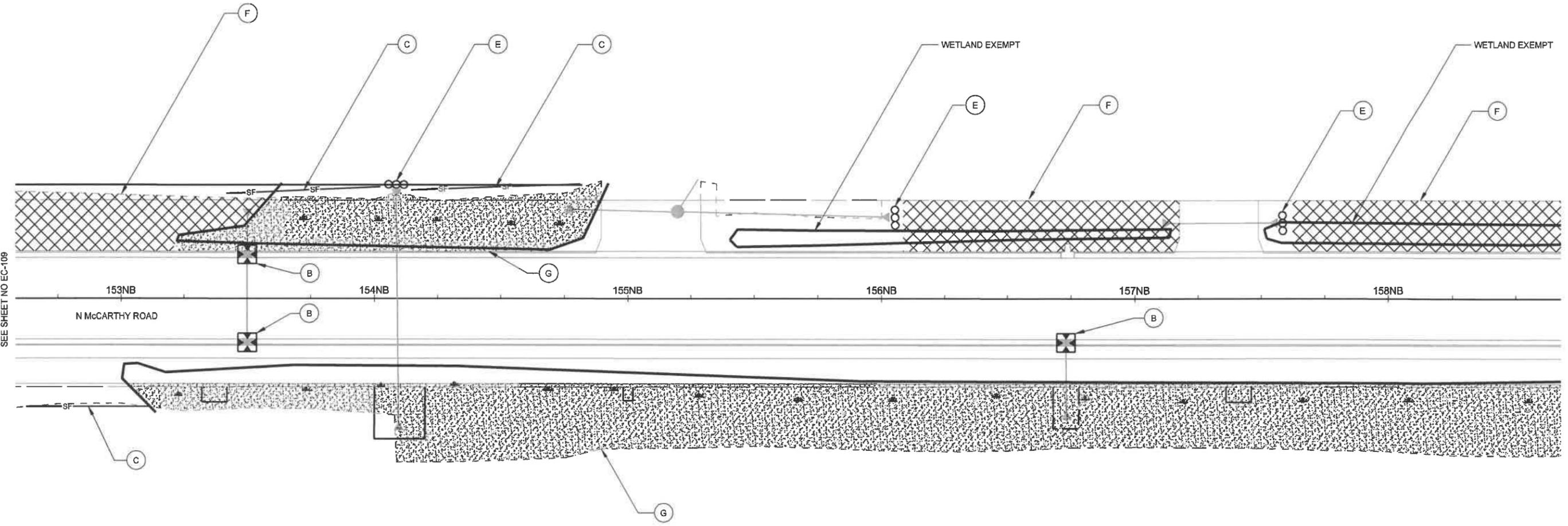
DES BY	TAH	BOOK NO					
DR BY	TAH	PROJ NO	25-0185.00				
CHK BY	PJK	DATE	MARCH 2019	NO	DATE	REVISION	NO

N MCCARTHY ROAD RECONSTRUCTION
TOWN OF GRAND CHUTE



CULVERT REPLACEMENT DETAIL

SHEET NO
CUL-1



SEE SHEET NO EC-109

SEE SHEET NO EC-111

LEGEND

- (A) TYPE 'B' INLET PROTECTION
- (B) TYPE 'C' INLET PROTECTION
- (C) SILT FENCE
- (D) DITCH CHECK
- (E) ROCK BAGS
- (F) EROSION MAT CLASS 1
- (G) EROSION MAT CLASS 2

DES BY	TAH						
DR BY	JWS	PROJ NO	25-0185.00				
CHK BY	CRS	DATE	MARCH 2019	NO	DATE	REVISION	

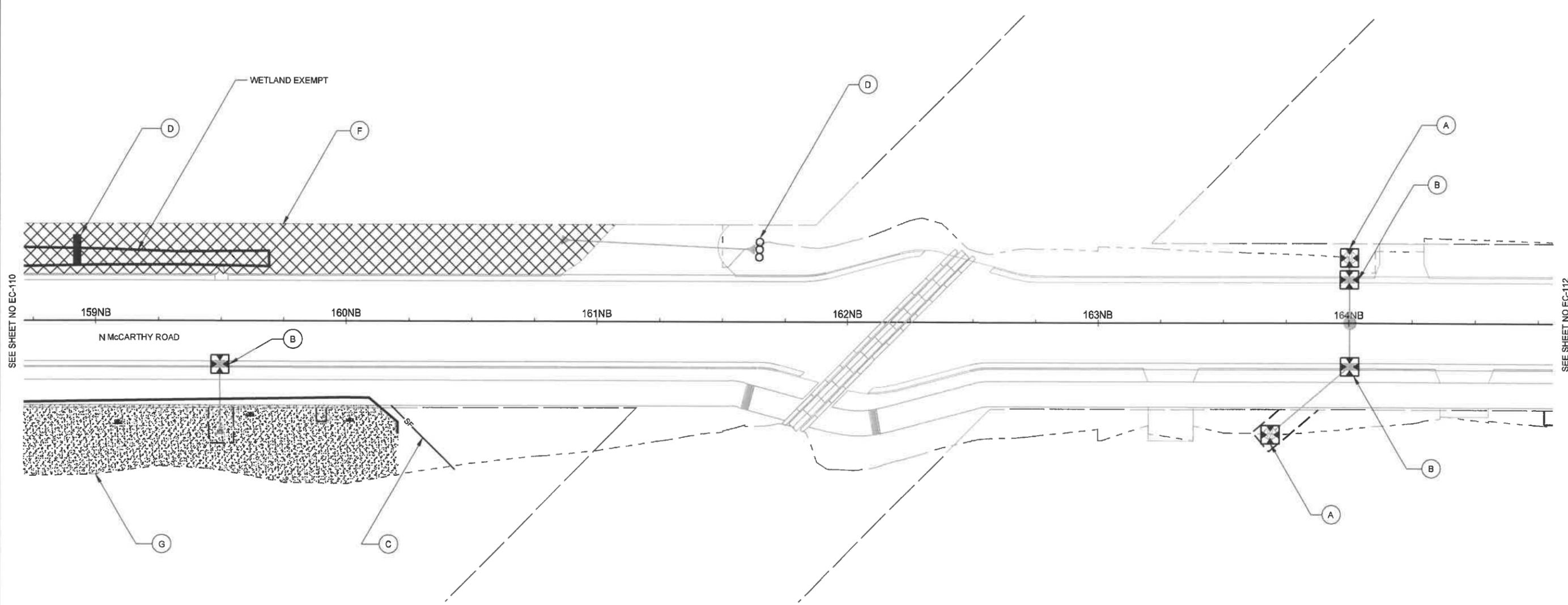
**N MCCARTHY ROAD RECONSTRUCTION
TOWN OF GRAND CHUTE**



EROSION CONTROL

SHEET NO.
EC-110

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SEE SHEET NO EC-110

SEE SHEET NO EC-112

LEGEND

- (A) TYPE 'B' INLET PROTECTION
- (B) TYPE 'C' INLET PROTECTION
- (C) SILT FENCE
- (D) DITCH CHECK
- (E) ROCK BAGS
- (F) EROSION MAT CLASS 1
- (G) EROSION MAT CLASS 2

DES BY	TAH						
DR BY	JWS	PROJ NO	25-0185.00				
CHK BY	CRS	DATE	MARCH 2019	NO	DATE	REVISION	

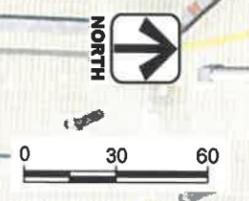
**N MCCARTHY ROAD RECONSTRUCTION
TOWN OF GRAND CHUTE**



EROSION CONTROL

SHEET NO.
EC-111

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ALTERNATIVE 3
WETLAND AREA 4 IMPACTS
4,350 SQUARE FEET

ALTERNATIVE 2
WETLAND AREA 4 IMPACTS
3,659 SQUARE FEET

ALTERNATIVE 1 (PROPOSED)
WETLAND AREA 4 IMPACTS
2,753 SQUARE FEET

WETLAND AREA 3
EXEMPT

WETLAND AREA 1
EXEMPT

ALTERNATIVE 1 (PROPOSED)
WETLAND AREA 2 IMPACTS
19,445 SQUARE FEET

ALTERNATIVE 2
WETLAND AREA 2 IMPACTS
24,519 SQUARE FEET

ALTERNATIVE 3
WETLAND AREA 3 IMPACTS
28,169 SQUARE FEET

AA-Standard.sab 3/18/2019 V:\Mun-GR\Grand Chute Town\025-0185.00\McCarthy Road Reconstruction\AC\Drawings\Wetlands\McCarthy Base with Wetlands_Extension.dwg Layout SHEET 4

DES BY	TAH						
DR BY	TAH	PROJ NO					
CHK BY	PJK	DATE	MARCH 2019	NO	DATE	REVISION	
				NO	DATE	REVISION	

N MCCARTHY ROAD RECONSTRUCTION
TOWN OF GRAND CHUTE



WETLAND IMPACTS

**Town of Grand Chute
Site Plan Review
Big Ring Storage LLC, dba Big Ring Storage**

To: Plan Commission

From: Michael Patza, Town Planner

Date: April 11, 2019

Address: 5560 W. Neubert Road

App. #: SP-06-19

REQUEST

- 1. Proposed Use(s):** Self-storage use.
- 2. Project Description:** Construction of one self-storage building and associated site improvements.
- 3. Plat/CSM Accurate parcel lines/lot recorded:** Yes.

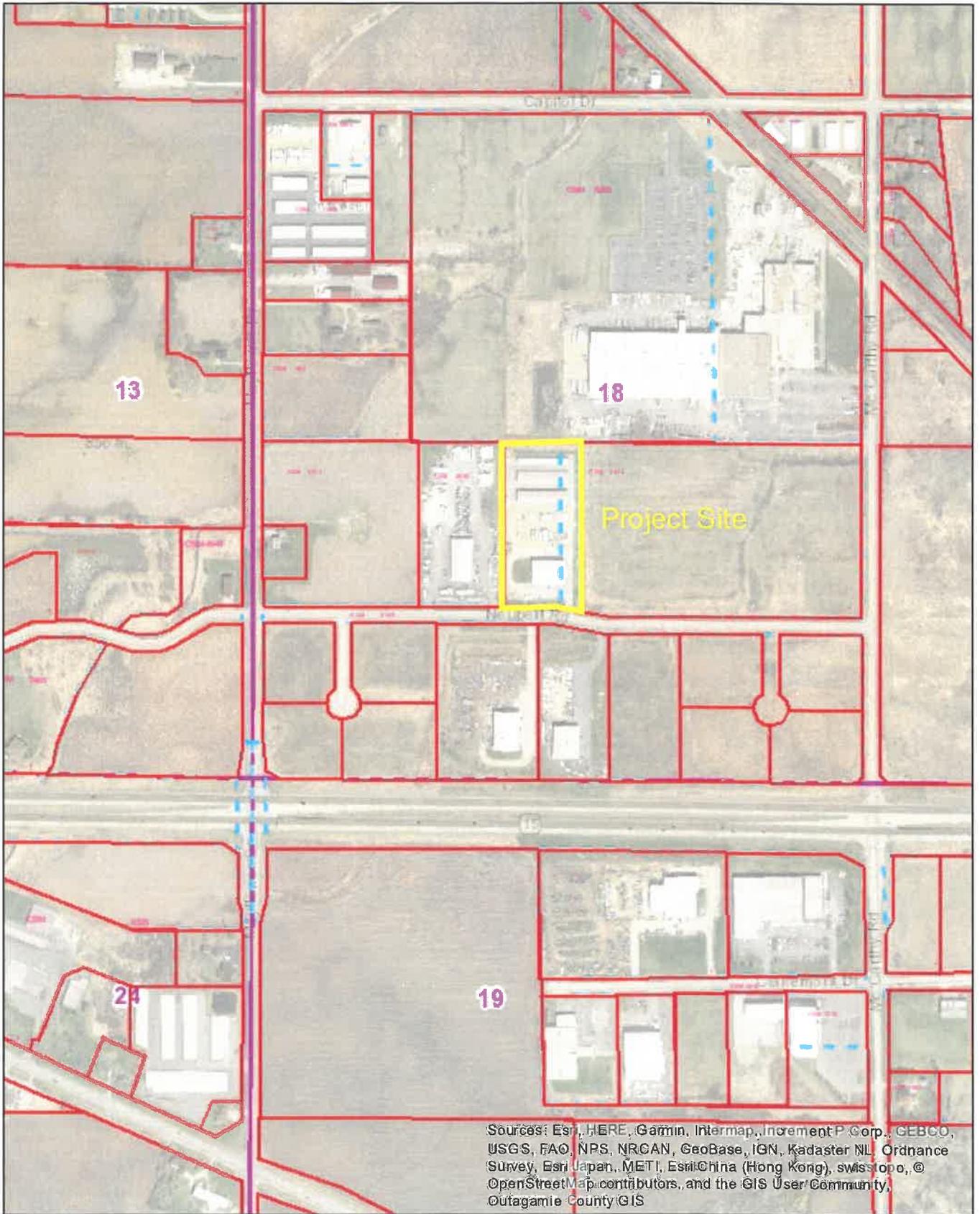
ANALYSIS

Applicant proposes the construction of a new 18,000 sq. ft. self-storage building. The building will be located in the center of the property, over a portion of the site that is currently gravel. All gravel areas around the new building will be paved. Since the project will have no impact to impervious area on the property, no additional on-site stormwater management is required. The Town Engineer is reviewing Drainage and Erosion Control Plans and their approval is a condition of Site Plan approval. Staff has approved the Site Lighting Plan. All other code requirements are met with this request.

RECOMMENDATION

Staff has reviewed and supports Plan Commission approval of the Site Plan (SP-06-19) requested by Big Ring Storage LLC, dba Big Ring Storage, 5560 W. Neubert Road, to allow the construction of one self-storage building and associated site improvements, subject to Town Engineer approval of the Drainage and Erosion Control Plans.

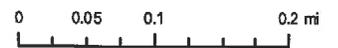
SP-06-19 -- 5560 W. Neubert Road



Disclaimer: The data provided in the Town of Grand Chute Interactive GIS Map was generated from multiple sources and agencies. Every effort has been made to offer the most accurate data. However, the Town provides this information with the understanding that it is not guaranteed to be accurate, correct, or complete. The Town may make improvements to the Interactive GIS Map periodically. Conclusions drawn from this information are the responsibility of the user. The user agrees that the Town of Grand Chute shall not be held responsible for actions, claims, damages, or judgments made from this data.

Author:

Copyright:



SHEET INDEX

- C1.0 SITE PLAN
- A1.0 FLOOR PLAN
- A2.0 ELEVATIONS

PROJECT INFORMATION

APPLICABLE BUILDING CODE

2009 INTERNATIONAL BUILDING CODE (WITH WISCONSIN AMENDMENTS)
ASHRE STANDARD 90.1-2007

BUILDING CONTENT

BUILDING & FIRE AREA SQUARE FOOTAGES

FLOOR AREAS	EXISTING	NEW	SUB-TOTAL
SECOND FLOOR	N/A	N/A	N/A
FIRST FLOOR	N/A	18,000 S.F.	18,000 S.F.
CANOPIES (COLUMN SUPPORTED)	N/A	N/A	N/A
BASEMENT	N/A	N/A	N/A
BUILDING AREA SUB-TOTALS	N/A	18,000 S.F.	18,000 S.F.
MEZZANINES	N/A	N/A	N/A
FIRE AREA TOTALS	N/A	18,000 S.F.	18,000 S.F.

HIGH PILE STORAGE NO
FIRE ALARM SYSTEM NO

OCCUPANCY

S-1 MOD. HAZARD STORAGE
NON SEPARATED

CONSTRUCTION CLASSIFICATION

TYPE 5B CONSTRUCTION
SPRINKLED NO
FIREWALL YES

ALLOWABLE AREA

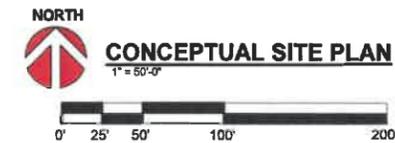
TABULAR FLOOR AREA: 17,500 S.F.
FRONTAGE INCREASE: 13,125 S.F.
SPRINKLER INCREASE: 0 S.F.
TOTAL ALLOWABLE AREA: 30,625 S.F.
ALLOWABLE FIRE AREA: 12,000 S.F.

BUILDING/SITE CONTENT

BUILDING SIZE --- S.F. ---%
HARD SURFACE --- S.F. ---%
GREEN SPACE --- S.F. ---%
PARCEL SIZE (APPROX.) --- S.F. -- ACRES
PARKING PROVIDED - STALLS (1 STALL/--- S.F.)

ZONING INFORMATION

ZONING: -
FRONT YARD SETBACK: --"
SIDE YARD SETBACK: --"
REAR YARD SETBACK: --"



THE LOT DIMENSIONS AND BEARINGS SHOWN ON THIS PLAN ARE INTERPRETED VALUES. FOLLOW UP INVESTIGATION WITH STATE AND LOCAL AUTHORITIES AND/OR WITH CERTIFIED SURVEY MAP DATA WHEN AVAILABLE IS REQUIRED.

PROPOSED FOR:

BIG RING STORAGE

GRAND CHUTE,

WISCONSIN

Keller
PLANNERS | ARCHITECTS | BUILDERS

RUXCITIES
1015 Main Street 25
P.O. Box 630
Schwartz, WI 53130
PHONE (262) 766-0795 /
1-800-236-2534
FAX (262) 766-0004

MADISON
711 Linn Dr.
Sun Prairie, WI 53590
PHONE (608) 318-2336
FAX (608) 318-2327

MILWAUKEE
10200 W. 118th St
Columbus, WI 53002
PHONE (262) 250-4710
1-800-236-2534
FAX (262) 250-6140

WATSAU
1805 Linc Ave
Wausau, WI 54981
PHONE (715) 849-2341
FAX (715) 849-2181

www.kellerbuilds.com

PROPOSED FOR:
BIG RING STORAGE
GRAND CHUTE,
WISCONSIN

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REVISIONS

R1	07.23.2018	
R2	08.24.2018	
R3	11.15.2018	TDP
R4	04.11.2019	CDT

PROJECT MANAGER:
D. HULCE

DESIGNER:
R. LINDSTROM

DRAWN BY:
C. TEAFOE

EXPEDITOR:

SUPERVISOR:

PRELIMINARY NO:
P18128

CONTRACT NO:

DATE:
06.27.2018

SHEET:
C1.0

PRELIMINARY - NOT FOR CONSTRUCTION



Keller

PLANNERS | ARCHITECTS | BUILDERS

FOX CITIES
12716 Stone Road SS
P.O. Box 520
Keshaua, WI 54130
PHONE (920) 766-5795
1-800-238-2834
FAX (920) 766-9004

MADISON
711 Lobb Dr.
Sun Prairie, WI 53590
PHONE (608) 318-2335
FAX (608) 318-2337

MILWAUKEE
W204 N11509
Calderside Rd
Cedarhurst, WI 53002
PHONE (262) 250-9710
1-800-238-2834
FAX (262) 250-9740

WAUSAU
5605 Libic Ave
Wausau, WI 54401
PHONE (715) 849-3141
FAX (715) 849-9181

www.kellerbuilds.com

PROPOSED FOR:
BIG RING STORAGE
WISCONSIN
GRAND CHUTE,

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REVISIONS

PROJECT MANAGER:
D. HULCE

DESIGNER:
R. LINDSTROM

DRAWN BY:
A. HANNES

EXPEDITOR:
T. FRICKE

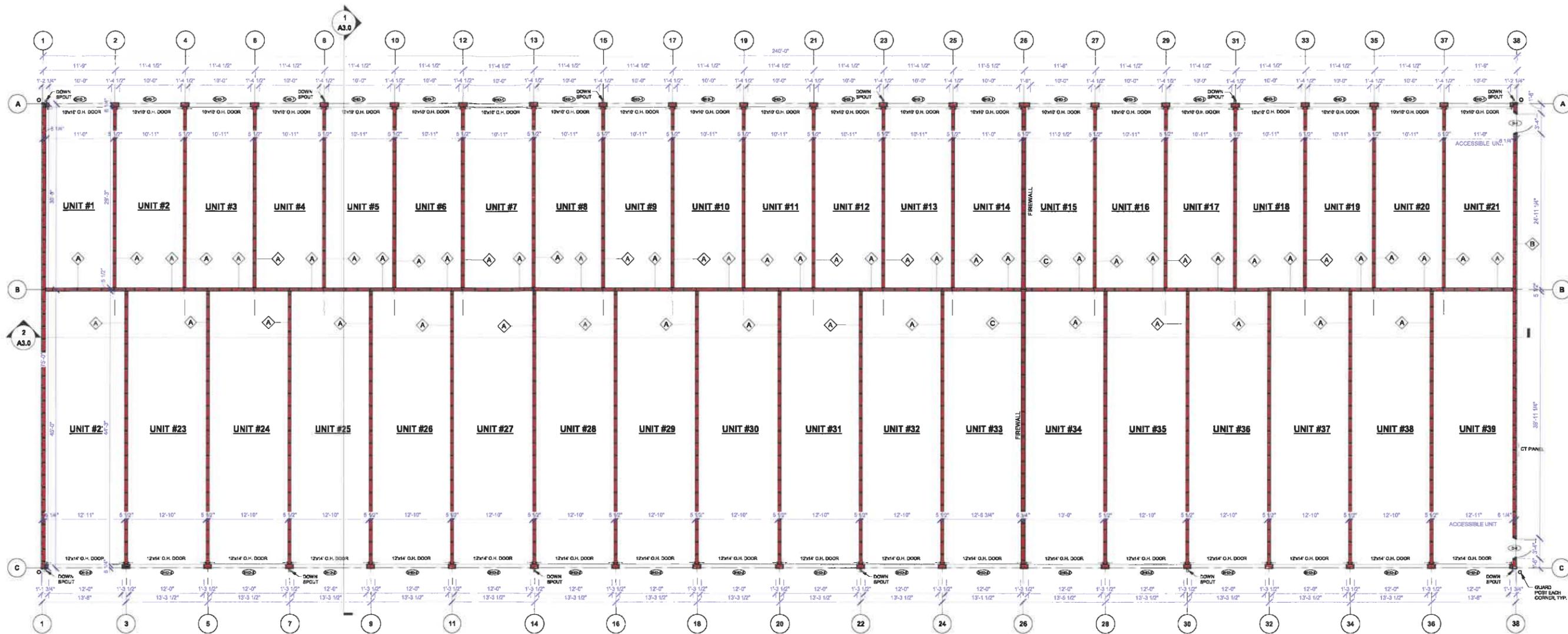
SUPERVISOR:
R. LILLIE

PRELIMINARY NO:
P18128

CONTRACT NO:
71021

DATE:
03.20.2019

SHEET:
A1.0



FLOOR PLAN
1/8" = 1'-0"
NORTH

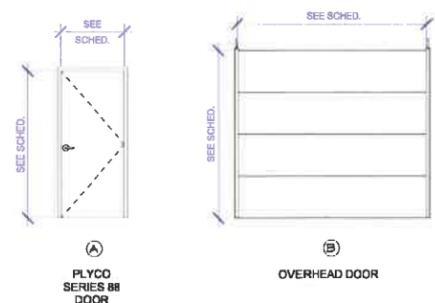
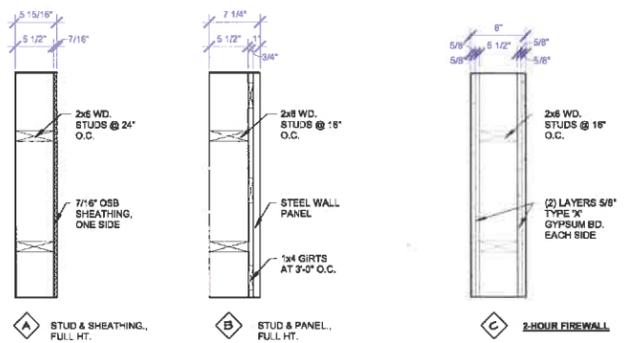
GENERAL DOOR NOTES:

- VERIFY ALL OPENING DIMENSIONS PRIOR TO FABRICATION OR CONSTRUCTION OF ALL DOORS & FRAMES.
- PROPER EXIT HARDWARE IS REQUIRED ON ALL EXIT AND EXIT ACCESS DOORS. HARDWARE SHALL COMPLY WITH REQUIREMENTS OF IBC SECTION 1008.1.8 THRU 1008.1.9.
- ALL HOLLOW METAL DOORS/FRAMES SHALL BE WELDED. NO KNOCK DOWN FRAMES PERMITTED.
- ALL KEYING SHALL BE COORDINATED AND VERIFIED WITH OWNER.

DOOR COMMENTS:

1. DOORS TO HAVE MINI-WARE-HOUSE LOCKS
2. (1) 16x18 OVERHEAD DOORS
3. (18) 12x14 OVERHEAD DOORS
4. (2) 3x7 PLYCO SERIES 88 PRE-HUNG DOORS

#	SIZE		DOORS			FRAME			Comments
	W	H	TYPE	MATERIAL	FINISH	TYPE	MATERIAL	FINISH	
D-1	3'-0"	7'-0"	A	BY MFR.	PRE-FIN	BY MFR.	BY MFR.	PRE-FINISHED	4
D-2	3'-0"	7'-0"	A	BY MFR.	PRE-FIN	BY MFR.	BY MFR.	PRE-FINISHED	4
OHD-1	10'-0"	10'-0"	B	BY MFR.	PRE-FIN	BY MFR.	BY MFR.	PRE-FINISHED	1, 2
OHD-2	12'-0"	14'-0"	B	BY MFR.	PRE-FIN	BY MFR.	BY MFR.	PRE-FINISHED	1, 3



DOOR ELEVATIONS
1/4" = 1'-0"



Keller

PLANNERS | ARCHITECTS | BUILDERS

FOX CITIES
 N216 State Road 55
 P.O. Box 620
 Kaukauna, WI 54130
 PHONE (920) 756-5795
 1-800-236-2534
 FAX (920) 756-5004

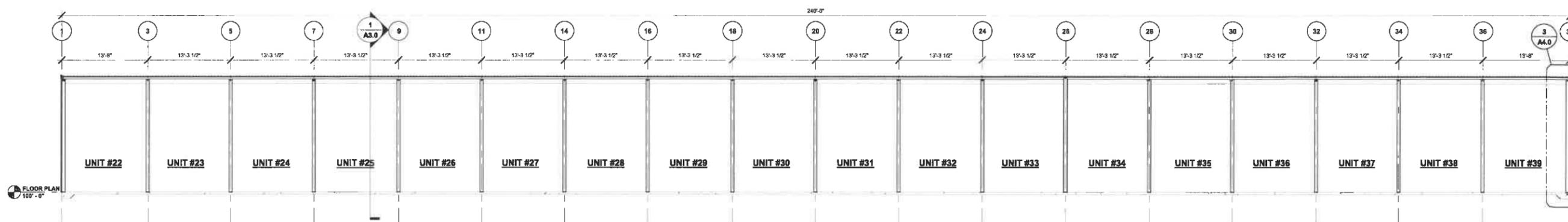
MADISON
 711 Lake Dr.
 Sun Prairie, WI 53590
 PHONE (608) 316-2336
 FAX (608) 319-2337

MILWAUKEE
 W204 N11500
 Cramerstown, WI 53022
 PHONE (262) 250-9710
 1-800-236-2534
 FAX (262) 250-9740

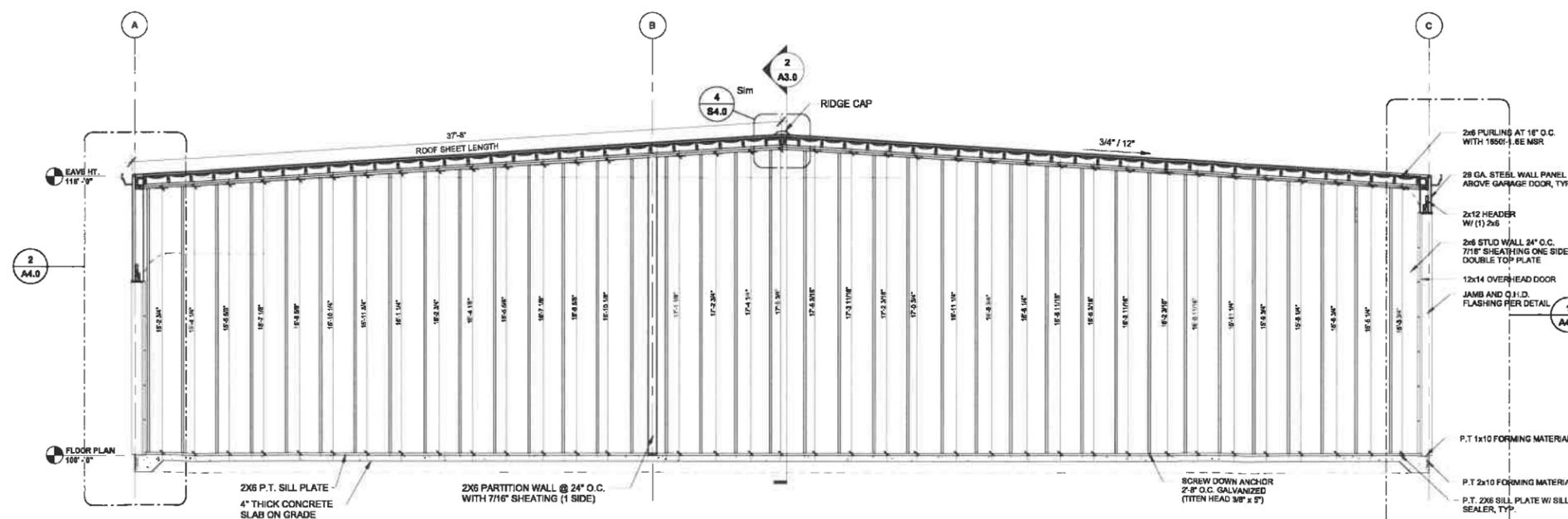
WAUSAU
 5605 E.roc Ave
 Wausau, WI 54401
 PHONE (715) 849-3141
 FAX (715) 849-3181

www.kellerbuilds.com

WISCONSIN



2 BUILDING SECTION
A3.0 1/8" = 1'-0"



1 BUILDING SECTION
A3.0 1/4" = 1'-0"

PROPOSED FOR:
BIG RING STORAGE
 GRAND CHUTE,

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REVISIONS

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EXPEDITOR:
 T. FRICKE

SUPERVISOR:
 R. LILLIE

PRELIMINARY NO:
 P18128

CONTRACT NO:
 71021

DATE:
 03.20.2019

SHEET:
A3.0

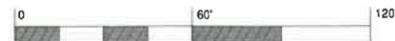
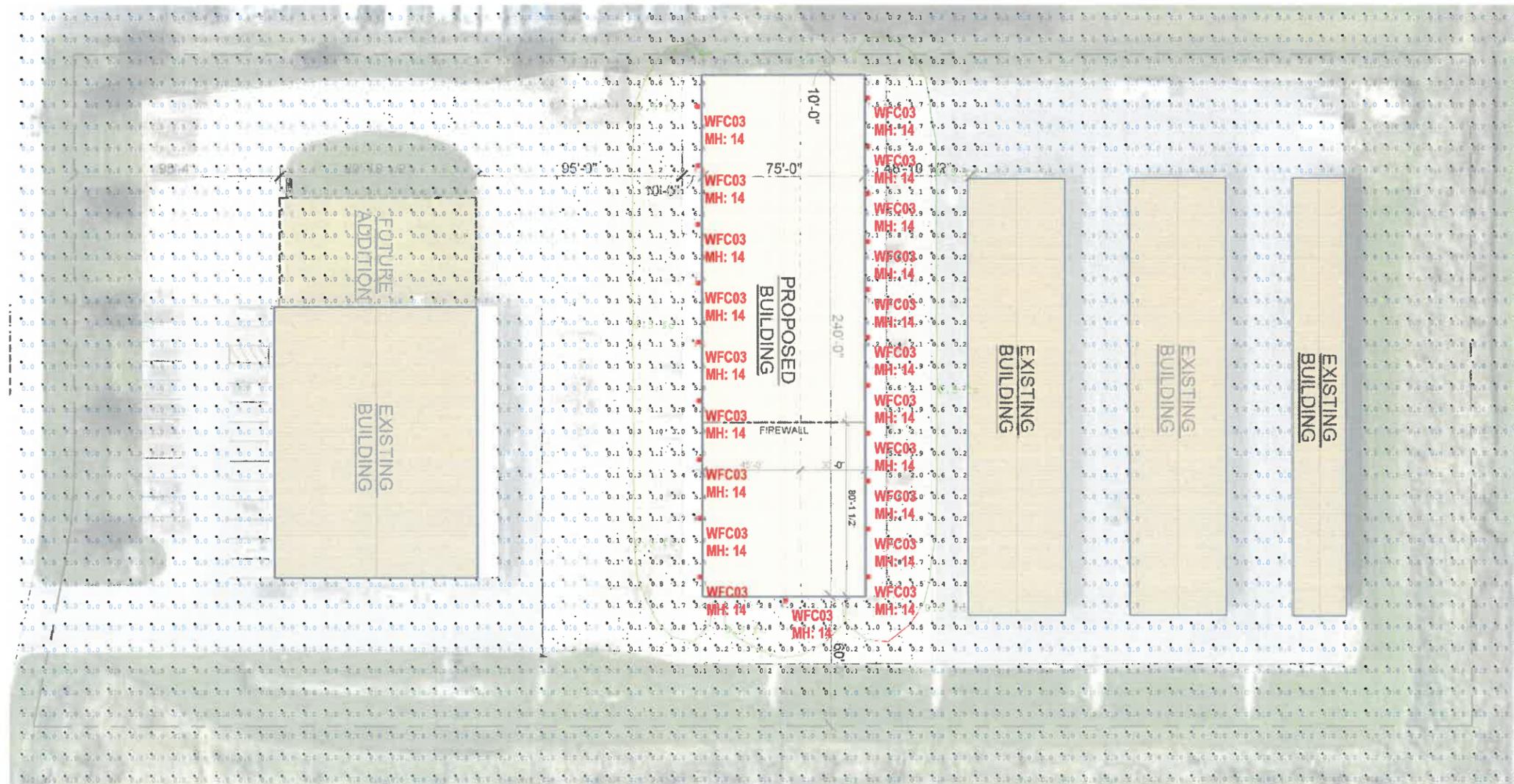
Luminaire Schedule

Symbol	Qty	Label	Arrangement	Lumens/Lamp	LLF	Total Watts	Description
	21	WFC03	SINGLE	N.A.	1.000	693	E-WFC03A-F50Z

Calculation Summary

Label	Avg	Max	Min	Avg/Min	Max/Min
CalcPts 1	0.31	8.6	0.0	N.A.	N.A.

Customer to verify Color, Mounting, Fixture Location and Voltage prior to ordering.

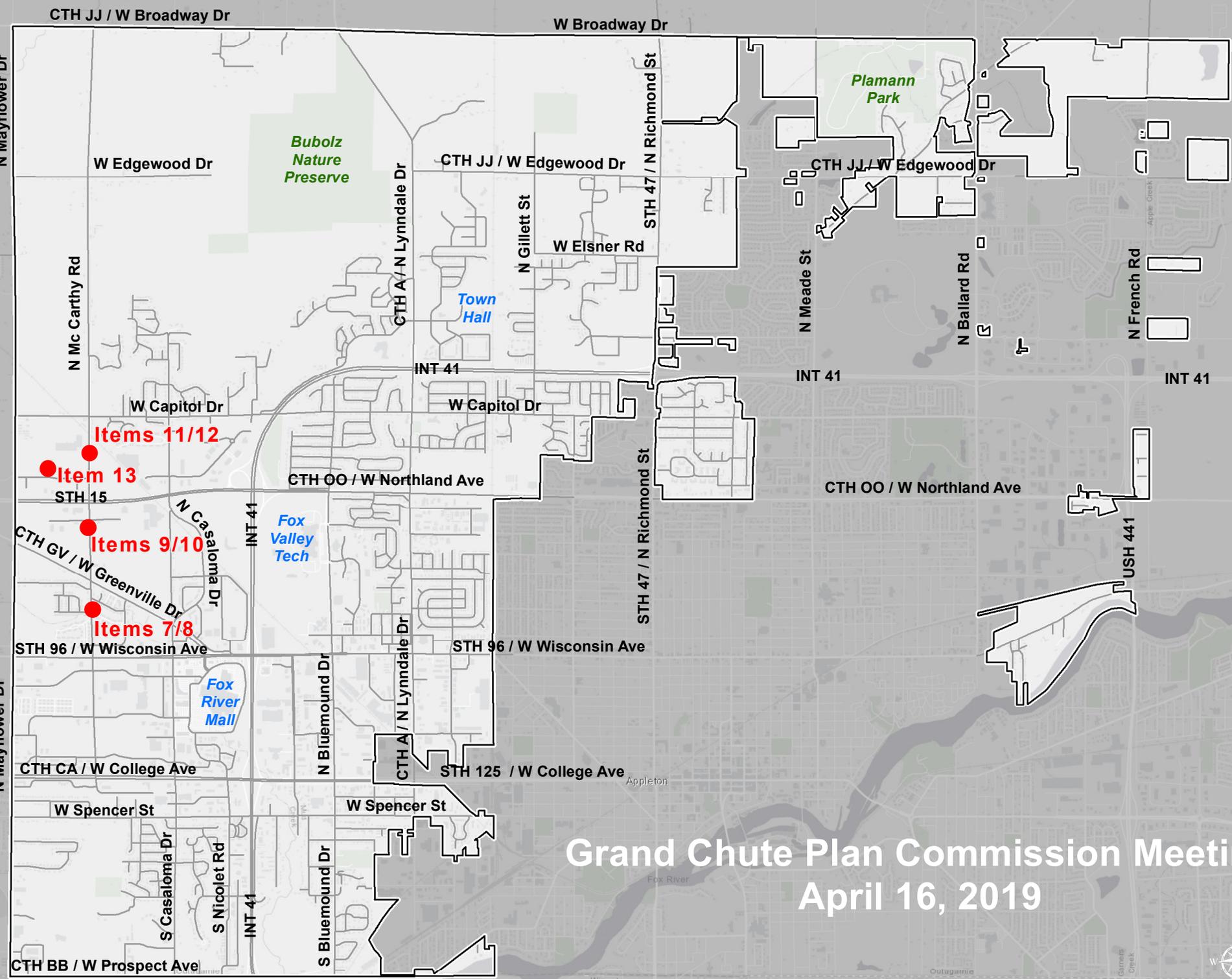


1501 96th Street
 Sturtevant, Wisconsin 53177
 PH: (888) 243-9445
 FX: (262) 504-5409
 www.e-conolight.com

Customer responsible to verify existing luminaire/colonger location prior to placing order.

Date: 3/7/2019	Scale: 1"=30'	Layout by: Ben Foster
Project Name: 160596 - Storage building - Grand Chute, WI	Salesforce: 35004	
Filename: 190307KR1BAF.AGI		
Footcandle calculated at grade using initial lumen values		

Illustration reads shown on this lighting design are based on project parameters provided to E-conolight used in conjunction with their own test procedure conducted under laboratory conditions. Actual project conditions differing from these design parameters may affect field results. The customer is responsible for verifying dimensional accuracy along with compliance with any applicable electrical, lighting, or energy code.



Grand Chute Plan Commission Meeting April 16, 2019