

1. Roll Call.
2. Pledge of Allegiance.
3. Approval of Agenda.
4. Approval of Minutes – June 4, 2019 meeting.
5. Public Input.
6. Community Development Director's Report.

7. **Public Hearing #1** – Special Exception (SE-10-19) requested by CENTRAL FLORIDA RESTAURANTS, INC., dba TGI Friday's, 4699 W. Michaels Drive, for operation of an outdoor service/beer garden. **Action:** Hear testimony/close hearing.

8. **Special Exception (SE-10-19)** – Request by CENTRAL FLORIDA RESTAURANTS, INC., dba TGI Friday's, 4699 W. Michaels Drive, for operation of an outdoor service/beer garden. **Action:** Recommend approval/denial of SE-10-19. (TOWN BOARD ACTION 6/18/2019)

9. **Neighborhood Information Meeting #1** – Conditional Use Permit (CUP-09-19) requested by Gregorski 18 LLC, 110 N. Fox River Drive, to allow grading and filling necessary for construction of two commercial buildings, stormwater pond, and associated site improvements. **Action:** Hear testimony/close meeting.

10. **Conditional Use Permit (CUP-09-19)** – Request by Gregorski 18 LLC, 110 N. Fox River Drive, to allow grading and filling necessary for construction of two commercial buildings, stormwater pond, and associated site improvements. **Action:** Recommend approval/denial of CUP-09-19. (TOWN BOARD ACTION 6/18/2019)

11. **Site Plan (SP-13-19)** – Request by Gregorski 18 LLC, 110 N. Fox River Drive, for construction of two commercial buildings, stormwater pond, and associated site improvements. **Action:** Approve/deny SP-13-19.

12. **Site Plan (SP-12-19)** – Versatile Management Inc., 2200 W. Pershing Street, for building and site improvements associated with the operation of a property maintenance business. **Action:** Approve/deny SP-12-19.

13. **Site Plan (SP-14-19)** – Request by Valley Baptist Church, 3600 N. Chippewa Street, for construction of a building addition and associated site improvements. **Action:** Approve/deny SP-14-19.

14. **Site Plan Amendment (SPA1-00-99)** – Request by Fox Valley Technical College Foundation, dba Fox Valley Technical College, for removal of an existing monument sign and installation of a new monument sign at the Junior Achievement Center, 11 Tri-Park Way. **Action:** Approve/deny SPA1-00-99.

15. Adjournment.

Public Notice: Agendas are posted in the following locations: Town Hall bulletin boards & Town website www.grandchute.net 2015 Wisconsin Act 79 allows the publication of certain legal notices on an Internet site maintained by a municipality. This law allows these types of legal notices to be posted in one physical location in the jurisdiction (instead of three) if also placed on an Internet site maintained by the local government.

Special Accommodations: Requests from persons with disabilities who need assistance to participate in this meeting should be made to the Clerk's Office at (920-832-5644) with at least 24-hour notice.

Notice of Possible Quorum: A quorum of the Town Board, Sanitary Districts, Board of Review, Community Development Authority, Licensing Committee, Parks Commission, Joint Review Board, Zoning Board of Appeals and/or Police and Fire Commission may be present at this meeting for the purpose of gathering information and possible discussion on items listed on this agenda. However, unless otherwise noted in this agenda, no official action by the Town Board, Sanitary Districts, Board of Review, Community Development Authority, Licensing Committee, Parks Commission, Joint Review Board, Zoning Board of Appeals and/or Police and Fire Commission will be taken at this meeting.

GRAND CHUTE PLAN COMMISSION MINUTES

June 4, 2019

Members Present: Chairman Dave Schowalter, Commissioners Robert Stadel, Julie Hidde, Bruce Sherman, John Weber, Duane Boeckers, Pam Crosby, Cheryl Ulrich. Members Absent: none.

Also Present: James March, Town Administrator; Mary Baxter, Executive Secretary; Julie Wahlen, Finance Director/Town Treasurer; Brent Braun, IT Director; Katie Schwartz, Public Works Director; Karen Heyrman, Deputy Public Works Director; Robert Buckingham, Community Development Director; Michael Patza, Town Planner; Tracy Olejniczak, Administrative Assistant; interested parties (audience attendance = 12)

1. **ROLL CALL**

Chairman Schowalter opened the meeting at 6:00 p.m.

2. **PLEDGE OF ALLEGIANCE**

3. **APPROVAL OF AGENDA**

Motion (Crosby/Sherman) to approve the agenda. Motion carried, all voting aye.

4. **APPROVAL OF MINUTES** – MAY 21, 2019 MEETING.

Motion (Hidde/Weber) to approve the minutes. Motion carried, all voting aye.

5. **PUBLIC INPUT** – There was no public input.

6. **COMMUNITY DEVELOPMENT DIRECTOR'S REPORT** – Director Buckingham informed commission members the July 2, 2019 Plan Commission meeting is canceled.

7. **PUBLIC HEARING #1** – REZONING (Z-01-19) REQUESTED BY JOSEPH K. REIS, TO REZONE PROPERTIES AT THE NORTHEAST CORNER OF N. FRENCH ROAD AND E. EVERGREEN DRIVE FROM AGD GENERAL AGRICULTURAL DISTRICT TO CL LOCAL COMMERCIAL DISTRICT.

Chairman Schowalter opened Public Hearing #1 at 6:03 p.m.

Lawrence Rekoske, 4040 N. French Road expressed concerns regarding filling and potential drainage issues associated with future development. Mr. Rekoske explained his property has poor drainage and was concerned additional water could be directed to his property from future development.

Chris Curry, 4114 N. French Road, stated he shares the same concerns as Mr. Rekoske. Mr. Curry explained he feels unprepared and hopes there would not be a decision on the rezoning request at the meeting tonight to allow additional time to gather information.

Motion (Hidde/Crosby) to close Public Hearing #1 at 6:05 p.m. Motion carried, all voting aye.

8. **REZONING (Z-01-19)** - REQUEST BY JOSEPH K. REIS, TO REZONE PROPERTIES AT THE NORTHEAST CORNER OF N. FRENCH ROAD AND E. EVERGREEN DRIVE FROM AGD GENERAL AGRICULTURAL DISTRICT TO CL LOCAL COMMERCIAL DISTRICT.

Planner Patza explained that he spoke to Mr. Rekoske and Mr. Curry prior to the meeting regarding the rezoning process and potential future uses of the subject property under the proposed zoning classification. He explained that any future development would require Site Plan approval, which would include review of filling, grading, and stormwater management to ensure adjacent properties would not be negatively impacted. Plans for future development include additional self-storage buildings on the east side of the property. Future development on the west side of the property, closest to the two residents, remains unknown at this point. Planner Patza noted the rezoning request would require an amendment to the Town Comprehensive Plan to reflect Urban - Commercial Use. It was also noted that any future development requiring public sewer and water utilities would require

annexation into the Village of Little Chute. The Village of Little Chute Comprehensive Plan identifies this property as Future Commercial Use.

Motion (Stadel/Crosby) to recommend approval to amend the Comprehensive Plan to reflect Urban – Commercial for the properties at the Northeast Corner of N. French Road and E. Evergreen Drive, and to rezone the property from AGD General Agricultural District to CL Local Commercial District (Ordinance No. O-06-2019).

In response to a question by Commissioner Sherman, Planner Patza explained that developing additional self-storage buildings would not require sewer and water utilities. Most other types of commercial development would require those utilities. Planner Patza also described the provisions in the Zoning Code that provide protections to single-family residential properties adjacent to commercial development.

In response to a question by Commissioner Sherman regarding the potential of delaying Plan Commission action to allow additional time for adjacent residents to gather information, Director Buckingham explained a real estate transaction for this property is in progress and the rezoning action is likely tied to that transaction. Director Buckingham also shared details from a similar property that was rezoned in the Town. The provisions provided in the Zoning Code are relied upon to provide protections to single-family residential properties in situations like these. Director Buckingham explained delaying action until the next Plan Commission meeting would not provide additional information to adjacent residents due to the uncertainty of future development on the west side of the subject property.

Commissioner Sherman stated the rezoning request would go before the Town Board for final Town approval at the June 16th meeting. Commissioner Sherman encouraged the residents to attend the Town Board meeting and express any concerns or questions through the public input process.

Director Buckingham agreed and also encouraged residents to reach out to staff with any additional questions or concerns.

Motion to recommend approval of Z-01-19 carried, all voting aye.

9. **PUBLIC HEARING #2** – SPECIAL EXCEPTION (SE-08-19) REQUESTED BY D&J CUSTOM RENOVATIONS LLC, DBA SASSMAN INSURANCE AGENCY, LLC, 3030 N. RICHMOND STREET, FOR OPERATION OF AN ELECTRONIC MESSAGE CENTER SIGN.

Chairman Schowalter opened Public Hearing #2 at 6:16 p.m.

Kristina Coppo, Fox Cities Sign & Lighting Services, stated she was representing the applicant and available to answer any questions.

Motion (Hidde/Sherman) to close Public Hearing #2 at 6:17 p.m. Motion carried, all voting aye.

10. **SPECIAL EXCEPTION (SE-08-19)** - REQUEST BY D&J CUSTOM RENOVATIONS LLC, DBA SASSMAN INSURANCE AGENCY, LLC, 3030 N. RICHMOND STREET, FOR OPERATION OF AN ELECTRONIC MESSAGE CENTER SIGN.

Motion (Hidde/Sherman) to recommend approval of Special Exception Permit (SE-08-19) requested by D&J Custom Renovations LLC, dba Sassman Insurance Agency, LLC, 3030 N. Richmond Street, to allow operation of an electronic message center sign. Motion carried, all voting aye.

11. **SITE PLAN AMENDMENT (SPA1-00-87)** – REQUEST BY D&J CUSTOM RENOVATIONS LLC, DBA SASSMAN INSURANCE AGENCY, LLC, 3030 N. RICHMOND STREET, FOR INSTALLATION OF A PYLON SIGN, INCLUDING AN ELECTRONIC MESSAGE CENTER.

Motion (Crosby/Hidde) to approve Site Plan Amendment (SPA1-00-87) requested by D&J Custom Renovations LLC, dba Sassman Insurance Agency, LLC, 3030 N. Richmond Street, for installation of a

pylon sign, including an electronic message center, subject to Town Board approval of Special Exception SE-08-19. Motion carried, all voting aye.

12. **PUBLIC HEARING #3** – SPECIAL EXCEPTION (SE-09-19) REQUESTED BY APPLETON AREA SCHOOL DISTRICT FOR OPERATION OF AN ELECTRONIC MESSAGE CENTER SIGN AT BADGER ELEMENTARY SCHOOL, 501 S. BLUEMOUND DRIVE.

Chairman Schowalter opened Public Hearing #3 at 6:19 p.m.

Susan Nagel, Creative Sign Company, stated she was available to answer any question.

Sheri Sieth, 502 S. Bluemound Drive, questioned which way the sign would be facing.

Planner Patza stated the sign would face northeast, towards the apartments, and perhaps Ms. Nagel could verify.

Ms. Nagel stated the sign would be placed on an angle and shared a plan sheet illustrating the sign orientation with Ms. Sieth.

Ms. Sieth asked how bright the sign would be.

Planner Patza said that the EMC is equipped with automatic light sensors that adjust sign brightness based on ambient light levels.

Motion (Hidde/Weber) to close Public Hearing #3 at 6:21 p.m. Motion carried, all voting aye.

13. **SPECIAL EXCEPTION (SE-09-19)** - REQUEST BY APPLETON AREA SCHOOL DISTRICT FOR OPERATION OF AN ELECTRONIC MESSAGE CENTER SIGN AT BADGER ELEMENTARY SCHOOL, 501 S. BLUEMOUND DRIVE.

Motion (Sherman/Hidde) to recommend approval of Special Exception (SE-09-19) requested by Appleton Area School District, to allow operation of an electronic message center sign at Badger Elementary School, 501 S. Bluemound Drive. Motion carried, all voting aye.

14. **SITE PLAN AMENDMENT (SPA2-00-02)** - REQUEST BY APPLETON AREA SCHOOL DISTRICT FOR OPERATION OF AN ELECTRONIC MESSAGE CENTER SIGN AT BADGER ELEMENTARY SCHOOL, 501 S. BLUEMOUND DRIVE.

Motion (Crosby/Boeckers) to approve Site Plan Amendment (SPA2-00-02) requested by Appleton Area School District, for installation of a pylon sign, including an electronic message center, at Badger Elementary School, 501 S. Bluemound Drive, subject to Town Board approval of Special Exception SE-09-19. Motion carried, all voting aye.

15. **SITE PLAN AMENDMENT (SPA1-02-05)** – REQUEST BY ORAL & MAXILLOFACIAL SURGERY FOX CITIES, S.C., 5395 W. MICHAELS DRIVE, FOR REMOVAL OF AN EXISTING SIGN CABINET AND INSTALLATION OF A NEW SIGN CABINET ON THE SAME BASE.

Motion (Hidde/Crosby) to approve Site Plan Amendment (SPA1-02-05) requested by Oral & Maxillofacial Surgery Fox Cities, S.C., 5395 W. Michaels Drive, to remove an existing monument sign cabinet and install a new sign cabinet on the existing base. Motion carried, all voting aye.

16. **CERTIFIED SURVEY MAP (CSM-08-19)** – REQUEST BY JOSEPH K. REIS FOR APPROVAL OF A ONE-LOT CSM WITH ROADWAY DEDICATION ON PROPERTY AT THE NORTHEAST CORNER OF N. FRENCH ROAD AND E. EVERGREEN DRIVE.

Planner Patza stated the proposed CSM would move an existing property line west to accommodate future development.

Motion (Boeckers/Stadel) to recommend approval of Certified Survey Map (CSM-08-19) requested by Joseph K. Reis for property at the Northeast corner of N. French Road and E. Evergreen Drive. Motion carried, all voting aye.

17. **CERTIFIED SURVEY MAP (CSM-11-19)** – REQUEST BY MARK A. VIVODA, 3340 N. LYNNDALE DRIVE, FOR APPROVAL OF A ONE-LOT CSM WITH ROADWAY DEDICATION.

Planner Patza stated the proposed CSM will combine the two existing lots to allow construction of an accessory structure in the location desired by the property owner.

Motion (Sherman/Boeckers) to recommend approval of the Certified Survey Map (CSM-11-19) requested by Mark A. Vivoda at 3340 N. Lynndale Drive for a one-lot CSM with roadway dedication. Motion carried, all voting aye.

18. ADJOURNMENT.

Motion (Sherman/Boeckers) to adjourn the meeting at 6:26 p.m. Motion carried, all voting aye.

Respectfully Submitted,

Tracy Olejniczak/mp
Com. Dev. Admin. Asst.

7/8.

**Town of Grand Chute
Special Exception Request
CENTRAL FLORIDA RESTAURANTS, INC., dba TGI Friday's
Outdoor Service/Beer Garden**

To: Plan Commission

From: Michael Patza, Town Planner

Date: June 12, 2019

Address: 4699 W. Michaels Drive

App. #: SE-10-19

A. REQUEST

- 1. Proposed Use(s):** Operation of an outdoor service/beer garden.
- 2. Project Description:** Fenced patio adjoins the south side of building.
- 3. Plat/CSM Accurate parcel lines/lot recorded:** Yes.

B. ANALYSIS

Applicant requests approval to license the existing outdoor patio area for alcohol consumption. The patio adjoins the south side of the building. The patio is enclosed with a 42" decorative fence and an exit-only gate, which meets code requirements. Hours of operation on the patio are restricted by ordinance. Food and beverage service has to end at 10:30 p.m. and no food or beverage consumption is allowed after 11:00 p.m.

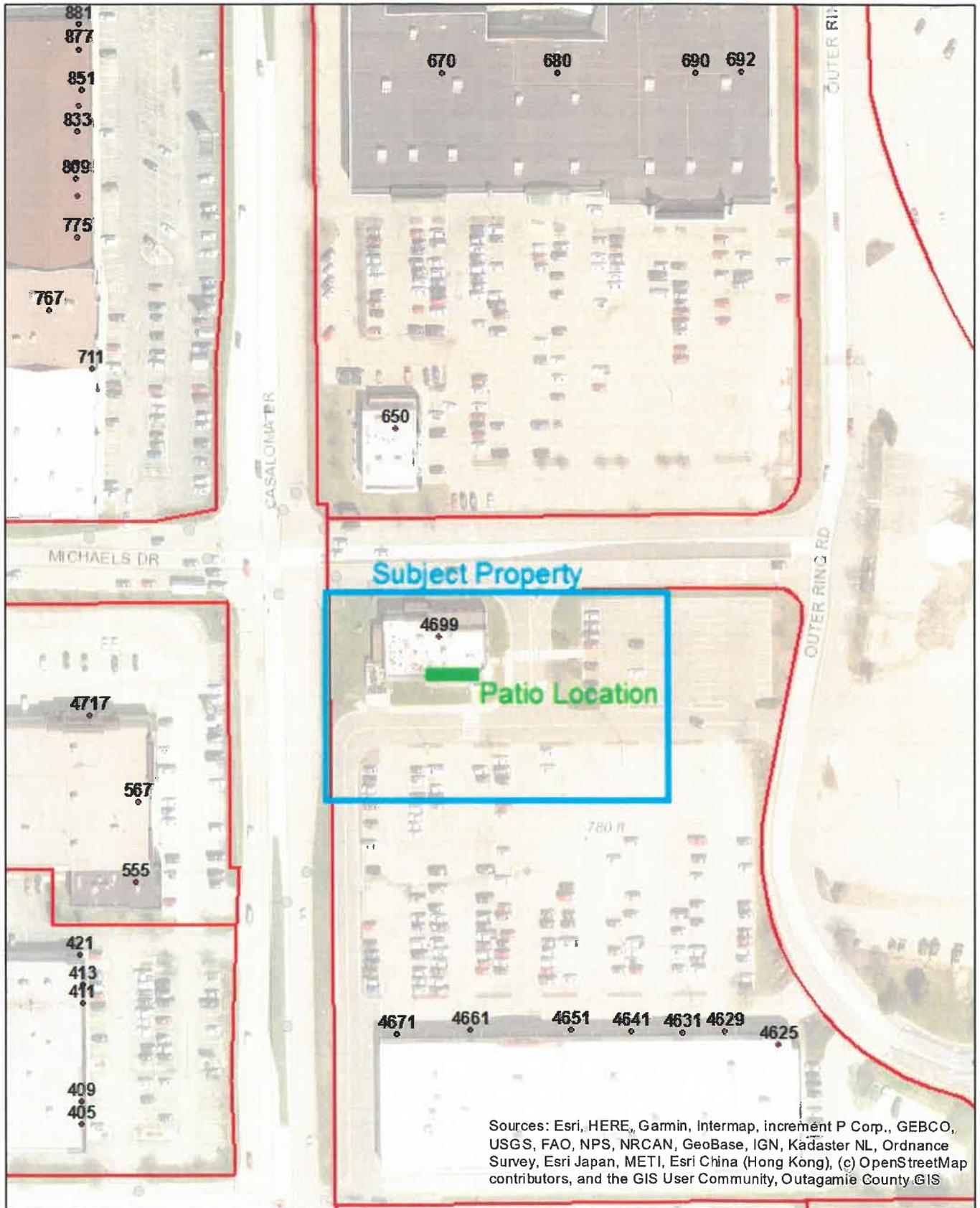
C. FINDINGS OF FACT IN GRANTING OF A SPECIAL EXCEPTION

- a. The establishment, maintenance or operation of the proposed Special Exception use or structure at the proposed location will not be detrimental or injurious to the use and enjoyment of existing uses on adjacent properties or properties in the vicinity. *Found.***
- b. The establishment, maintenance or operation of the proposed Special Exception use or structure, alone or in combination with other existing Special Exception uses and structures in the vicinity will not cause traffic hazards. *Found.***
- c. Adequate provision is made for surface water drainage, ingress and egress to the property, and off-street parking. *NA.***
- d. Adequate public facilities and services are available for the proposed Special Exception use of structure. *Found.***

D. RECOMMENDATION

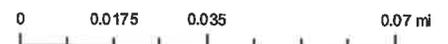
Staff has reviewed and supports a Plan Commission recommendation for approval of the Special Exception (SE-10-19) requested by CENTRAL FLORIDA RESTAURANTS, INC., dba TGI Friday's, 4699 W. Michaels Drive, for operation of an outdoor service/beer garden.

SE-10-19 -- 4699 W. Michaels Drive

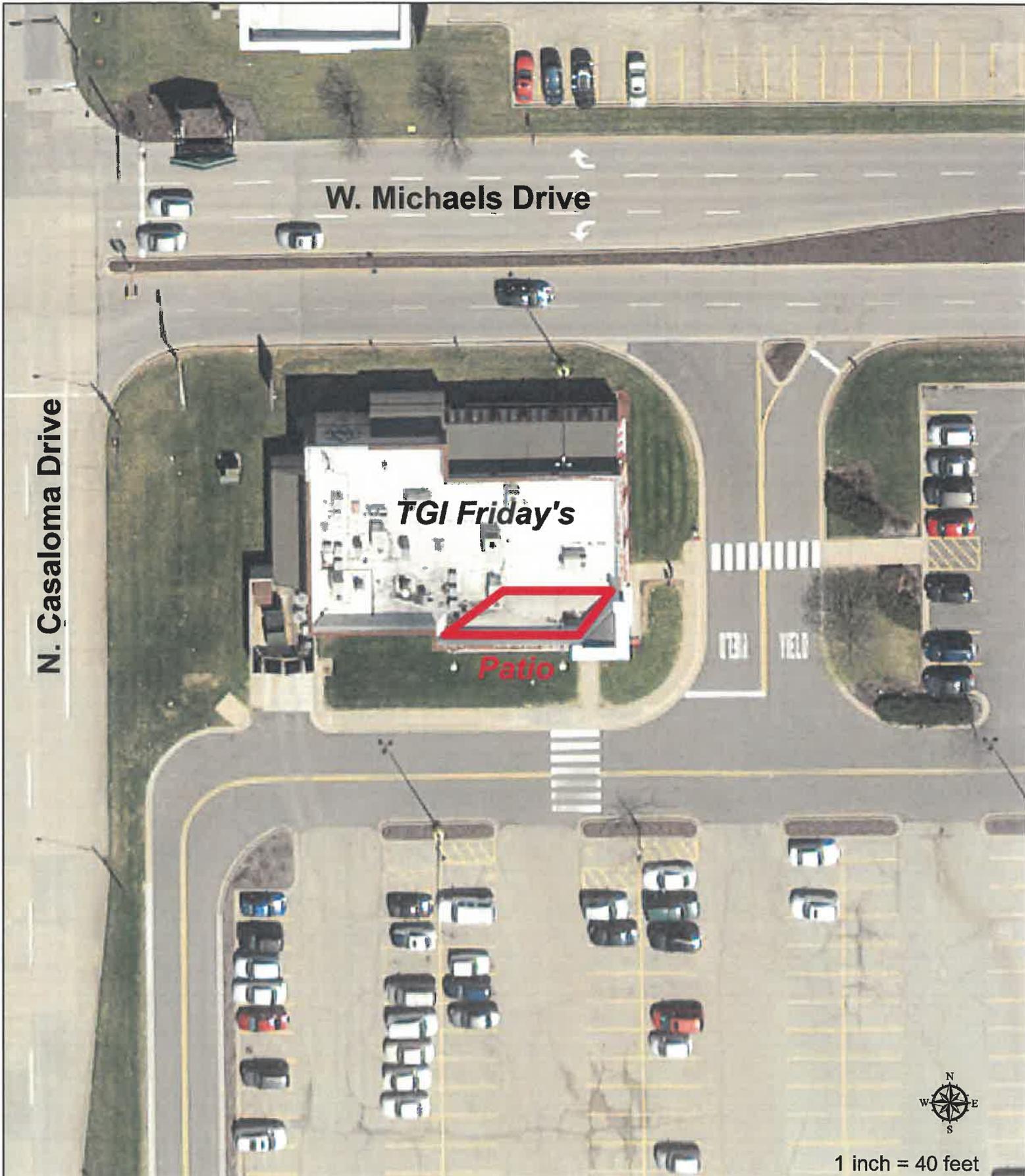


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Author:
Copyright:



TGI Friday's Patio Location Map



N. Casaloma Drive

W. Michaels Drive

TGI Friday's

Patio



1 inch = 40 feet



**Town of Grand Chute
Conditional Use Permit Review
Gregorski 18 LLC**

To: Plan Commission

From: Michael Patza, Town Planner

Date: June 12, 2019

Address: 110 N. Fox River Drive

App. #: CUP-09-19

REQUEST

This project includes grading and filling associated with the construction of two commercial buildings, stormwater pond, and associated site improvements. A portion of the stormwater pond is located within 300' of the navigable stream to the northeast. Areas classified as flood fringe will be also be impacted with this project. Accordingly, a County Conditional Use Permit is required.

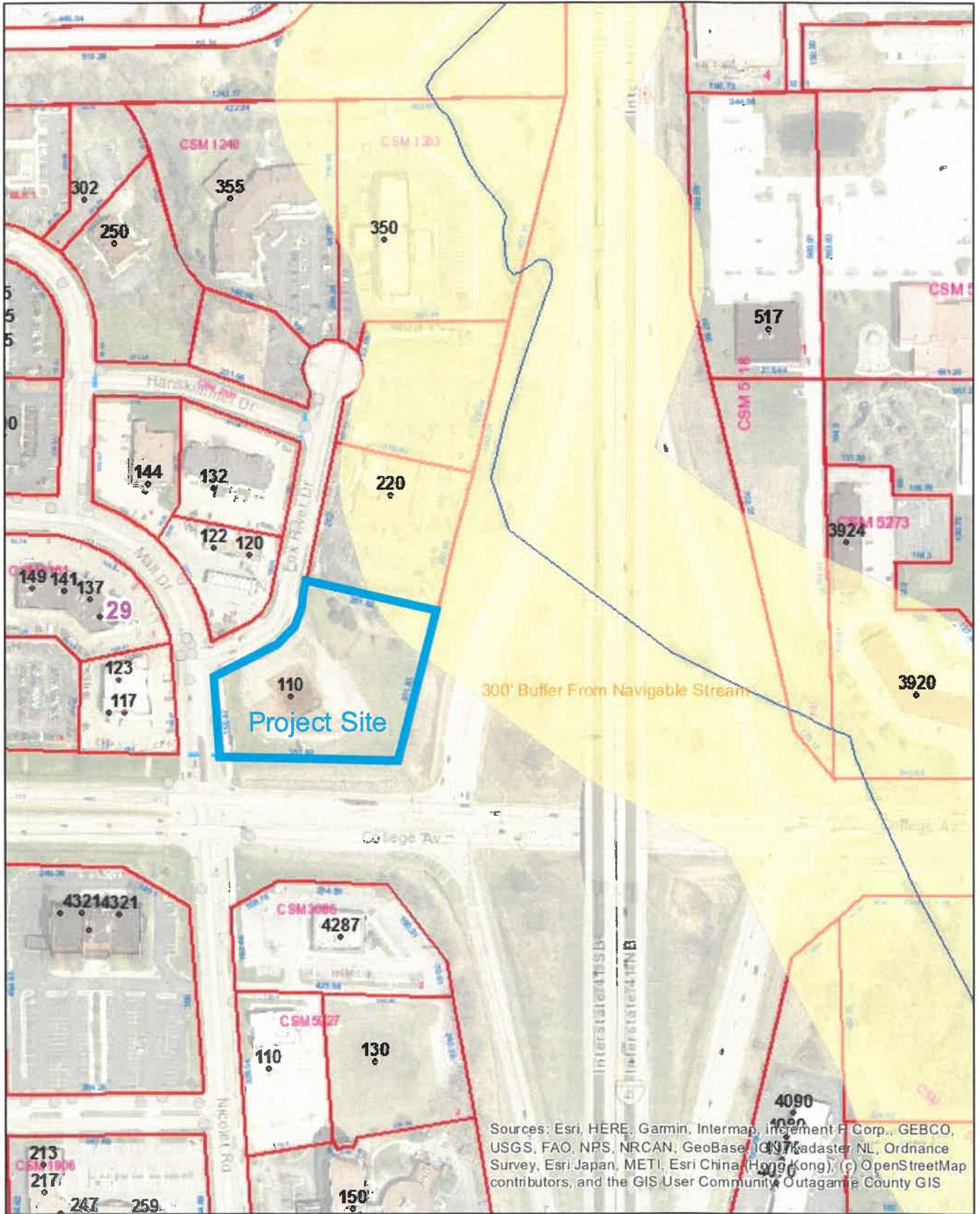
ANALYSIS

Work under this Conditional Use Permit will consist of grading and filling for site development associated with this commercial project. A Floodplain Analysis was conducted on the property to evaluate impacts to areas classified as floodplain. Areas of the flood fringe will be filled in accordance with National Flood Insurance Program (NFIP) standards. There will be no filling in the floodway and no change to the base flood elevation. A small area of wetlands will be impacted with this project, which has been permitted by the WDNR. The stormwater pond will outlet to the I-41 ditch on the east side of the property, which flows to Mud Creek. The Town Engineer is reviewing the Stormwater Management and Erosion Control Plans and their approval is a condition on approval of this permit. Standard erosion control measures and best management practices will be followed during this project.

RECOMMENDATION

Staff has reviewed and supports a Plan Commission recommendation for approval of the Conditional Use Permit (CUP-09-19) requested Gregorski 18 LLC, 110 N. Fox River Drive, to allow grading and filling associated with the construction of two commercial buildings, stormwater pond, and associated site improvements, subject to Town Engineer approval of the Stormwater Management and Erosion Control Plans.

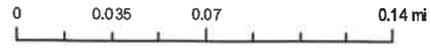
CUP-09-19 -- 110 N. Fox River Drive



Sources: Esri, HERE, Garmin, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), (c) OpenStreetMap contributors, and the GIS User Community, Outagamie County GIS

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110 N Fox River Drive

Town of Grand Chute, Outagamie County, WI

For: Northcentral Construction Corp.

LEGEND

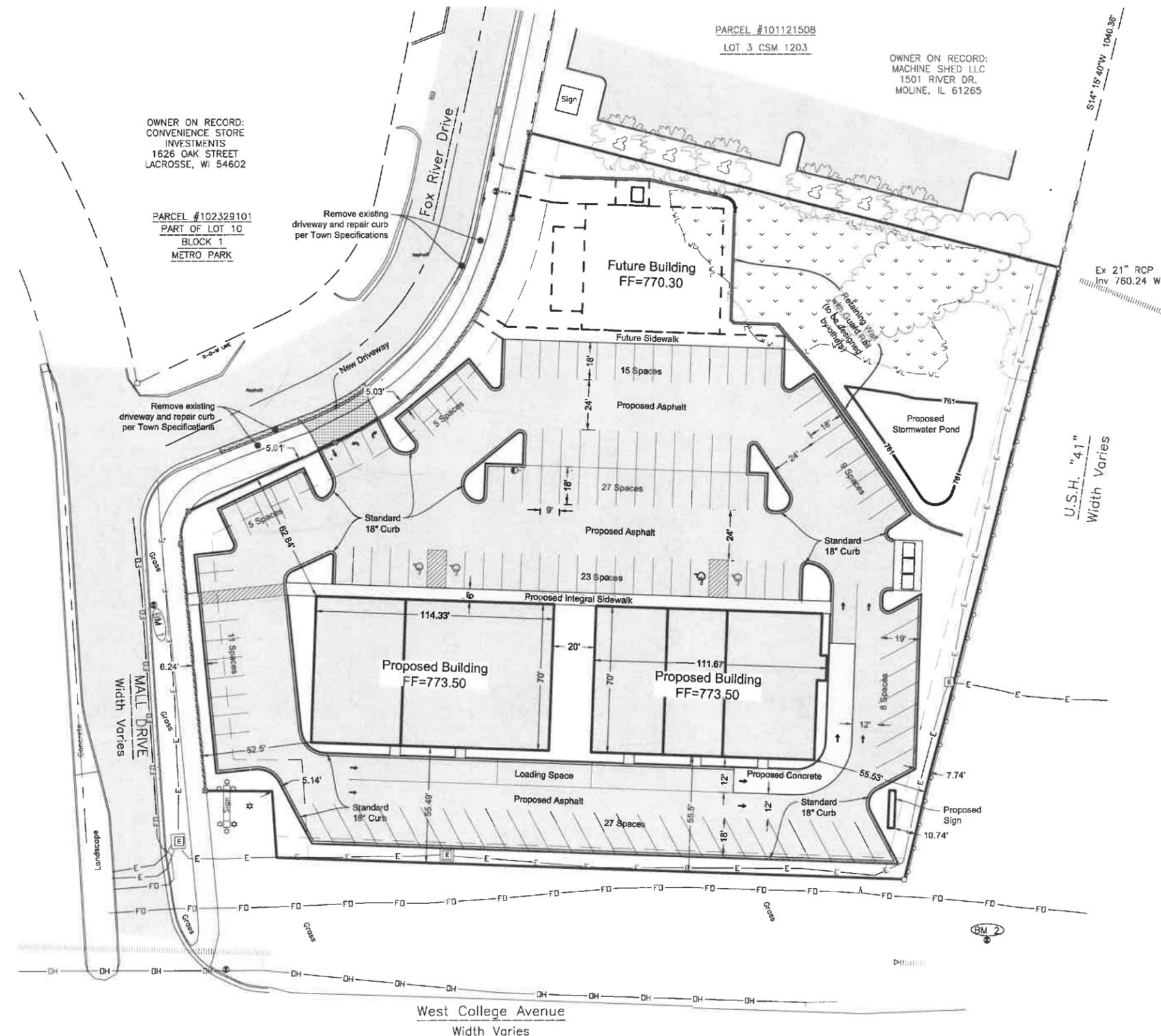
— CATV	Underground Cable TV	○ Sanitary MH / Tank / Base	□ CATV Pedestal
— FD	Underground Fiber Optic	○ Clean Out / Curb Stop / Pull Box	□ Gas Regulator
— OH	Overhead Electric Lines	○ Storm Manhole	○ Sign
— UG	Underground Electric	○ Inlet	○ Post / Guard Post
— S.S.	Sanitary Sewer (Pipe Size)	○ Catch Basin / Yard Drain	○ Large Rock
— S.S.	Storm Sewer (Pipe Size)	○ Water MH / Well	○ Flag Pole
— E	Underground Electric	○ Hydrant	○ Deciduous Tree
— G	Underground Gas Line	○ Utility Valve	○ Coniferous Tree
— T	Underground Telephone	○ Utility Meter	○ Bush / Hedge
— W	Water Main (Pipe Size)	○ Utility Pole	○ Benchmark
— F	Fence - Steel	○ Light Pole / Signal	○ Asphalt Pavement
—	Existing Easement Line	○ Guy Wire / Pump	○ Concrete Pavement
— WL	Wetlands	○ Electric Pedestal	
— TL	Tree Line	○ Electric Transformer	
—	Culvert	○ Air Conditioner	
—	Index Contour	○ Telephone Pedestal	
—	Intermediate Contour	○ Telephone Manhole	
—	Proposed Building		
—	Proposed Asphalt		
—	Proposed Concrete		
—	Proposed Gravel		

PARCEL #101121508
LOT 3 CSM 1203

OWNER ON RECORD:
MACHINE SHED LLC
1501 RIVER DR.
MOLINE, IL 61265

OWNER ON RECORD:
CONVENIENCE STORE
INVESTMENTS
1626 OAK STREET
LACROSSE, WI 54602

PARCEL #102329101
PART OF LOT 10
BLOCK 1
METRO PARK



U.S.H. "41"
Width Varies

S14° 15' 40" W 1040.36'

Ex 21" RCP
Inv 760.24 W

LOCATION MAP

S.W. 1/4 SEC 29, T 21 N, R 17 E,
TOWN of Grand Chute
Outagamie County, WI



SITE INFO:

Parcel Tax Key Number: 101121506
Property Address: 110 N. Fox River Drive
Current Zoning: CR, Regional Commercial
Proposed Zoning: CR, Regional Commercial

Site Areas:

Buildings:	15,597 SF (14.8%)
Future Building:	4,000 SF (3.8%)
Pavements:	51,025 SF (48.5%)
Future Pavements:	2,283 SF (2.2%)
Green space:	32,246 SF (30.7%)
Total:	105,151 SF

Property Owner:

Gregorski 18, LLC
N8418 North Shore Road
Menasha, WI 54952



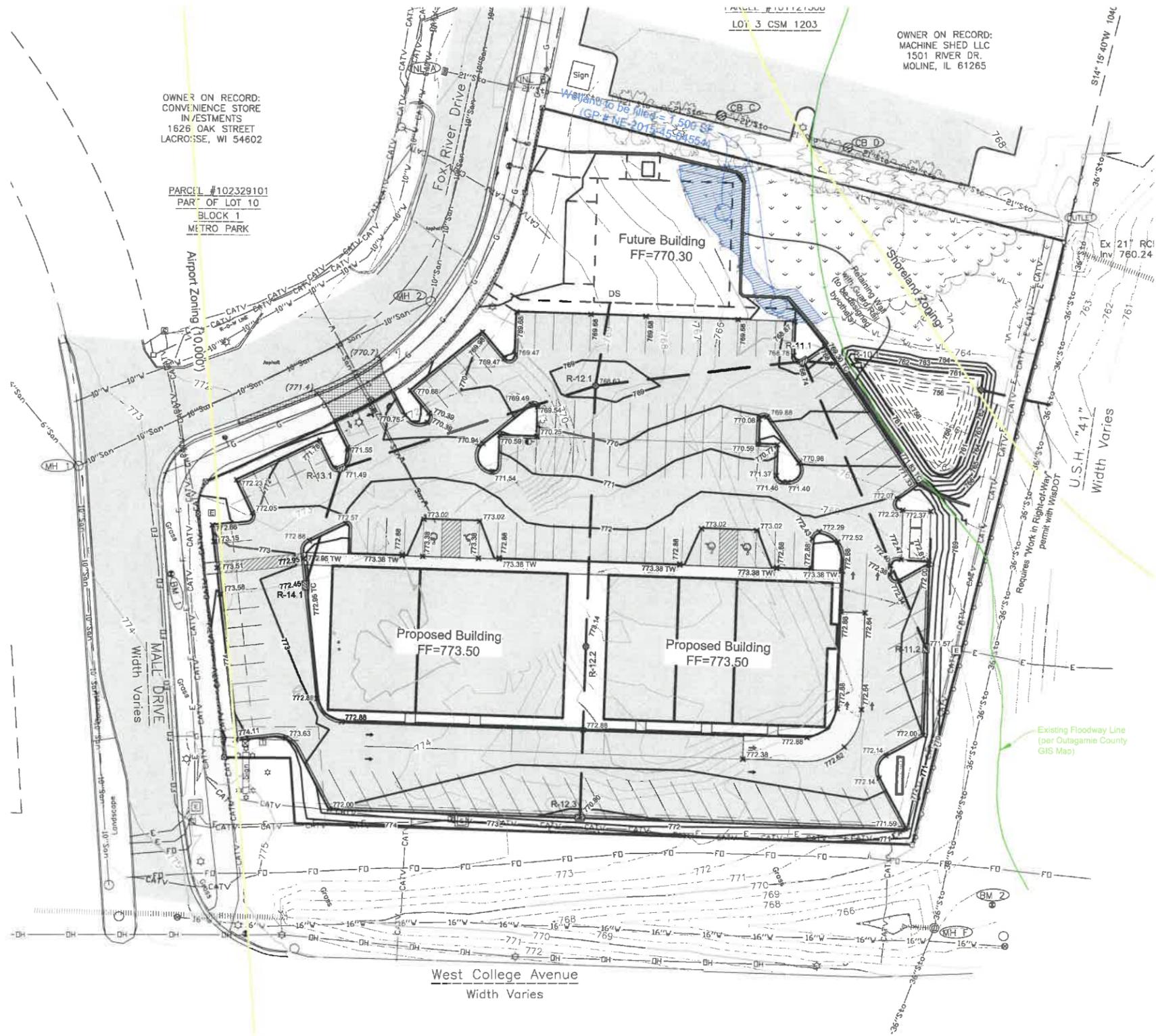
SHEET INDEX:

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Erosion & Sediment Control Plan	1.3
Utility Plan	1.4
Construction Details	2.1
Pond Detail	2.2

SITE PLAN

DAVEL ENGINEERING & ENVIRONMENTAL, INC.
Civil Engineers and Land Surveyors
1164 Province Terrace, Menasha, WI 54952
Ph: 920-991-1886 Fax: 920-441-0804
www.davel.pro

5/28/2019 11:00 AM J:\Projects\4422\09\DWG\Civil_3D\4422engr.dwg Printed by: mitch



OWNER ON RECORD:
CONVENIENCE STORE
IN/ESTMENTS
1626 OAK STREET
LACROSSE, WI 54602

PARCEL #102329101
PAR OF LOT 10
BLOCK 1
METRO PARK

OWNER ON RECORD:
MACHINE SHED LLC
1501 RIVER DR.
MOLINE, IL 61265

LOT 3 CSM 1203

LEGEND

CATV	Underground Cable TV	Sanitary MH / Tank / Base	CATV Pedestal
FD	Underground Fiber Optic	Clean Out / Curb Stop / Pull Box	Gas Regulator
DH	Overhead Electric Lines	Storm Manhole	Sign
San	Sanitary Sewer (Pipe Size)	Inlet	Post / Guard Post
S to	Storm Sewer (Pipe Size)	Catch Basin / Yard Drain	Flag Pole
E	Underground Electric	Water MH / Well	Large Rock
G	Underground Gas Line	Hydrant	Deciduous Tree
T	Underground Telephone	Utility Valve	Coniferous Tree
W	Water Main (Pipe Size)	Utility Meter	Bush / Hedge
F	Fence - Steel	Utility Pole	Benchmark
VL	Existing Easement Line	Light Pole / Signal	Asphalt Pavement
VL	Wetlands	Guy Wire / Pump	Concrete Pavement
VL	Tree Line	Electric Pedestal	
VL	Intermediate Contour	Electric Transformer	
608	Proposed Storm Sewer	Air Conditioner	
608.73	Proposed Contour	Telephone Pedestal	
608.73 TW	Proposed Swale	Telephone Manhole	
+(608.7)	Proposed Culvert		
	Prop. Flowline Spot Elev.	Proposed Storm Manhole	
	Prop. Top of Walk Elev.	Prop. Catch Basin / Yard Drain	
	Existing Grade	Proposed Endwall	
		Proposed Rip Rap	
		Prop. Drainage Direction	
		FF=000.0 Prop. Finished Floor Elev.	

BENCHMARKS (NAVD 88)

BM 0	NGS PID DE7571 BRONZE DISH IN CONCRETE ELEV. 781.74'
BM 1	NORTH RIM OF ELECTRIC MANHOLE ±43' SW OF NW CORNER OF PROPERTY ELEV. 773.88'
BM 2	FIRE HYDRANT, TAG BOLT ±50' SE OF SE CORNER OF PROPERTY ELEV. 768.73'

NOTES:

- Existing utilities shown are indicated in accordance with available records and field measurements. The contractor shall be responsible for obtaining exact locations & elevations of all utilities, including sewer and water from the owners of the respective utilities. All utility owners shall be notified by the contractor 72 hours prior to excavation. Contact Digger's Hotline (1-800-242-8511) for exact utility locations.
- The Contractor shall verify all staking and field layout against the plan and field conditions prior to constructing the work and immediately notify the Engineer of any discrepancies.
- Vegetation beyond slopes shall remain.
- The contractor shall minimize the area disturbed by construction as the project is constructed. Disturbed areas shall be seeded as soon as final grade is established. Contractor shall replace topsoil and then seed, fertilize and mulch all lawn areas within 1 week of topsoil placement.
- Contractor shall remove all excess materials from the site. Earthwork contractors shall verify topsoil depth.
- All sediment and erosion control devices and methods shall be in accordance with the Wisconsin DNR Technical Standards.
- The contractor shall make weekly inspections and inspections within 1 day of any rainfall exceeding 0.5 inches of the sediment and erosion control devices throughout construction. The contractor shall repair or maintain erosion control devices as necessary. The inspection reports shall be made available to the owner at the end of the construction or upon demand during construction.
- Contractor is responsible for compliance with Department of Safety & Professional Services, Chapter SPS 382, for lateral construction and cleanout locations.
- Updated survey and title search have not been authorized and the boundary and easements shown may be inaccurate or incomplete.

STORM SEWER PIPE SUMMARY

Reach	US	DS	US Inv	DS Inv	Length	Slope	Size (in)	Node Drop	Phase
R-11.1	R-10.1		762.19	762.00	28	0.0070	15	0.00	
R-12.1	R-11.1		764.70	764.19	102	0.0050	15	2.00	
R-11.2	R-11.1		767.69	764.66	152	0.0200	8	2.00	
R-13.1	R-12.1		767.63	765.04	130	0.0200	10	0.00	
DS	R-12.1		765.37	765.17	41	0.0050	8	0.00	
R-12.2	R-12.1		766.61	766.10	127	0.0040	12	1.20	
R-12.3	R-12.2		766.99	766.74	83	0.0030	10	0.00	
R-14.1	R-13.1		768.48	767.76	60	0.0120	8	0.00	
Total =									720

STORM SEWER STRUCTURE SUMMARY

Structure	Type	Size	Cover	Final Grade			Final Grade Depth	Plan Depth
				Rm	Plan Rm	Invert		
R-10.1	Endwall					762.00	6.55	6.30
R-11.1	Inlet	3x2' ID	R-3067-C	766.74	768.49	762.19	3.88	3.63
R-11.2	Inlet	3x2' ID	R-3067-C	771.57	771.32	767.69	3.93	3.68
R-12.1	MH (48) Inlet	48" ID	R-3448-C	768.63	768.38	764.70	6.53	6.28
R-12.2	Yard Drain	30" ID	R-2510-2	773.14	772.89	766.61	3.81	3.56
R-12.3	Inlet	3x2' ID	R-3067-C	770.80	770.55	766.99	3.86	3.61
R-13.1	Inlet	3x2' ID	R-3067-C	771.49	771.24	767.63	3.97	3.72
R-14.1	Inlet	3x2' ID	R-3067-C	772.45	772.20	768.48		
Total =							32.53	30.78

PRELIMINARY 05/28/2019

110 N Fox River Drive
Town of Grand Chute, Outagamie County, WI
For: Northcentral Construction Corp.

DAVEL ENGINEERING & ENVIRONMENTAL, INC.
Civil Engineers and Land Surveyors
1184 Provinciana Terrace, Menasha, WI 54952
PH: 920-991-1866 Fax: 920-441-0804
www.davel.net

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Author: MDB
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Page 1.2

11.

Town of Grand Chute

Site Plan Review

Gregorski 18 LLC

To: Plan Commission

From: Michael Patza, Town Planner

Date: June 12, 2019

Address: 110 N. Fox River Drive

App. #: SP-13-19

REQUEST

- 1. Proposed Use(s):** Commercial service and retail use.
- 2. Project Description:** Construction of two commercial buildings, stormwater pond, and associated site improvements.
- 3. Plat/CSM Accurate parcel lines/lot recorded:** Yes.

ANALYSIS

This is the former Anchor Bank site on the northwest corner of W. College Avenue and I-41. The project includes the construction of two multi-tenant commercial buildings. Anticipated occupancy includes a combination of commercial service and retail tenants. Access to the site will be limited to N. Fox River Drive, with no access from N. Mall Drive or W. College Avenue. The project includes a 130-stall parking lot, which will accommodate the parking demand for the two buildings and a future building on the north side of the property. Building exteriors will feature a combination of brick, cement fiber siding, and EFIS, which meet the architectural requirements outlined in the Zoning Code.

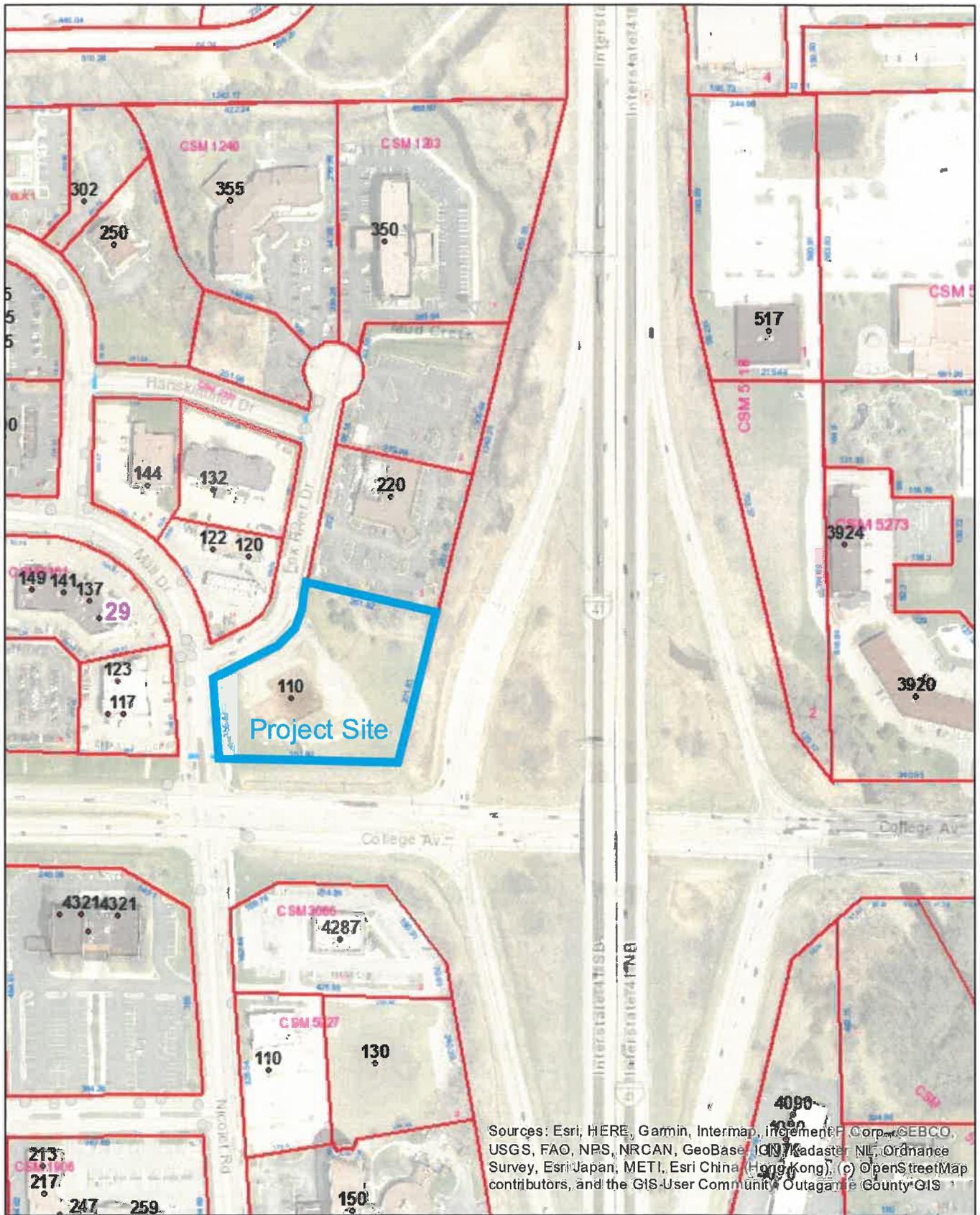
The Stormwater Management Plan for the project consists of storm sewer and overland flow to direct runoff to a new stormwater pond on the east side of the property. The Town Engineer is reviewing the Stormwater Management and Erosion Control Plans and their approval is a condition of Site Plan approval. A portion of the stormwater pond is located within 300' of the navigable stream to the northeast. Areas classified as flood fringe will also be impacted with this project. Accordingly, a Conditional Use Permit is required from Outagamie County. Town Board approval of the required Conditional Use Permit is also a condition of Site Plan approval.

Future plans for development include a third building on the north side of the property, anticipated to be occupied by a restaurant. Future development will require separate Site Plan approval. The Landscape and Site Lighting Plans are being reviewed by staff and their approval is a condition of Site Plan approval. All other code requirements are met with this request.

RECOMMENDATION

Staff has reviewed and supports Plan Commission approval of the Site Plan (SP-13-19) requested by Gregorski 18 LLC, 110 N. Fox River Drive, for construction of two commercial buildings, stormwater pond, and associated site improvements, subject to: (1) Town Engineer approval of the Stormwater Management and Erosion Control Plans; (2) Town Board approval of Conditional Use Permit CUP-09-19; and, (3) staff approval of Landscape and Site Lighting Plans.

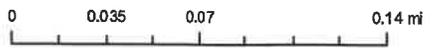
SP-13-19 -- 110 N. Fox River Drive



Sources: Esri, HERE, Garmin, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), (c) OpenStreetMap contributors, and the GIS User Community, Outagamie County GIS

Disclaimer: The data provided in the Town of Grand Chute Interactive GIS Map was generated from multiple sources and agencies. Every effort has been made to offer the most accurate data. However, the Town provides this information with the understanding that it is not guaranteed to be accurate, correct, or complete. The Town may make improvements to the Interactive GIS Map periodically. Conclusions drawn from this information are the responsibility of the user. The user agrees that the Town of Grand Chute shall not be held responsible for actions, claims, damages, or judgments made from this data.

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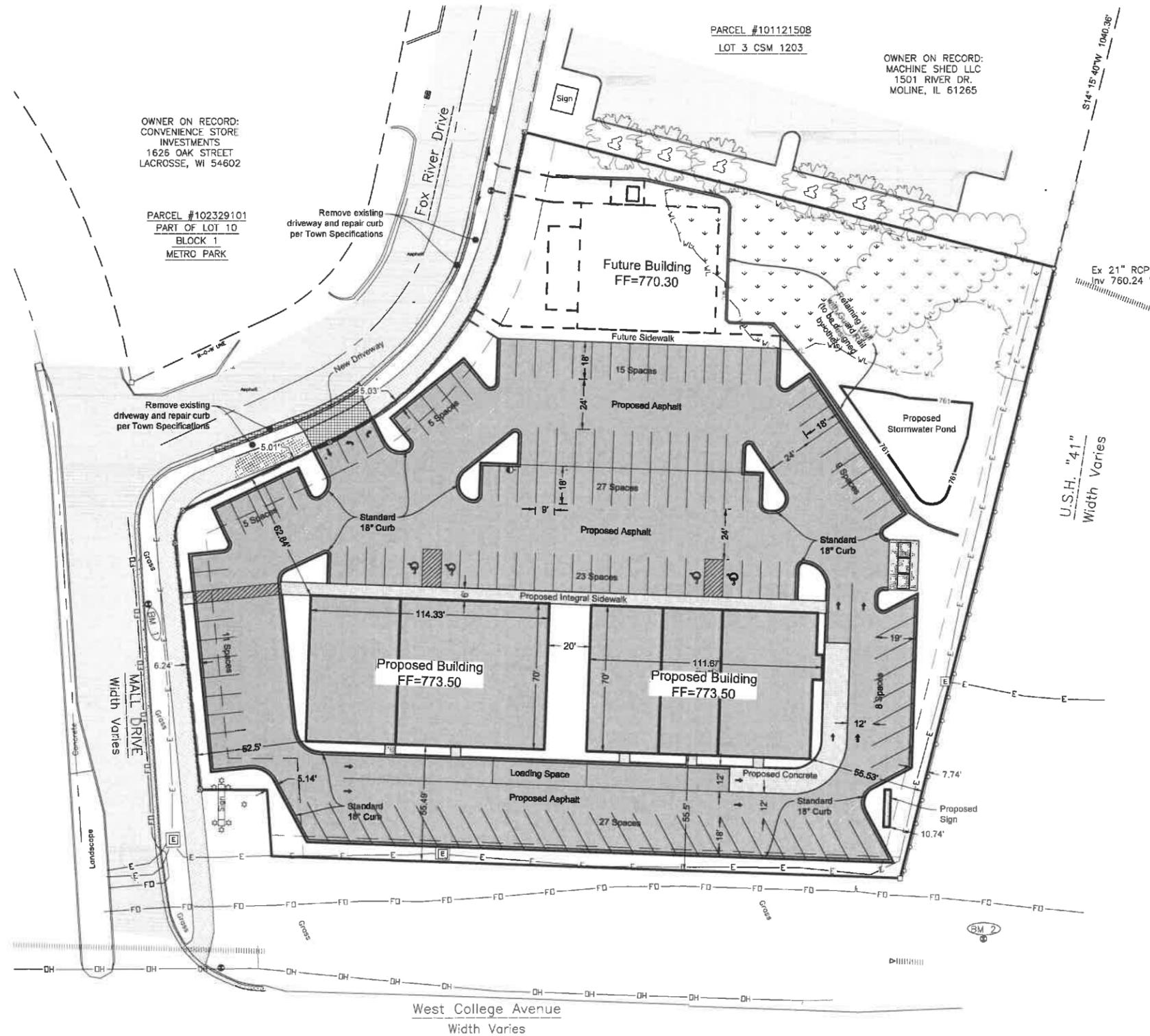
110 N Fox River Drive

Town of Grand Chute, Outagamie County, WI

For: Northcentral Construction Corp.

LEGEND

CATV	Underground Cable TV	Sanitary MH / Tank / Base	CATV Pedestal
FO	Underground Fiber Optic	Clean Out / Curb Stop / Pull Box	Gas Regulator
DH	Overhead Electric Lines	Storm Manhole	Sign
UW	Utility Guy Wire	Inlet	Post / Guard Post
San	Sanitary Sewer (Pipe Size)	Catch Basin / Yard Drain	Large Rock
S to	Storm Sewer (Pipe Size)	Water MH / Well	Flag Pole
E	Underground Electric	Hydrant	Deciduous Tree
G	Underground Gas Line	Utility Valve	Coniferous Tree
T	Underground Telephone	Utility Meter	Bush / Hedge
W	Water Main (Pipe Size)	Utility Pole	Benchmark
F	Fence - Steel	Light Pole / Signal	Asphalt Pavement
EL	Existing Easement Line	Guy Wire / Pump	Concrete Pavement
WL	Wellands	Electric Pedestal	
TL	Treeline	Electric Transformer	
C	Culvert	Air Conditioner	
IC	Index Contour	Telephone Pedestal	
750	Intermediate Contour	Telephone Manhole	
800	Proposed Building		
750	Proposed Asphalt		
	Proposed Concrete		
	Proposed Gravel		

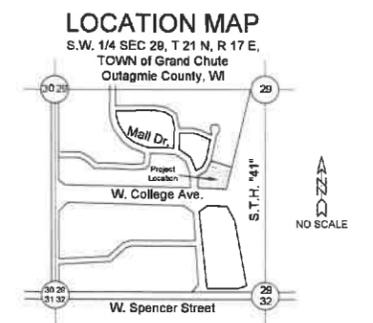


OWNER ON RECORD:
CONVENIENCE STORE
INVESTMENTS
1626 OAK STREET
LACROSSE, WI 54602

PARCEL #102329101
PART OF LOT 10
BLOCK 1
METRO PARK

PARCEL #101121508
LOT 3 CSM 1203

OWNER ON RECORD:
MACHINE SHED LLC
1501 RIVER DR.
MOLINE, IL 61265



SITE INFO:

Parcel Tax Key Number: 101121508
Property Address: 110 N. Fox River Drive
Current Zoning: CR, Regional Commercial
Proposed Zoning: CR, Regional Commercial

Site Areas:

Buildings:	15,587 SF (14.8%)
Future Building:	4,000 SF (3.8%)
Pavements:	51,025 SF (48.5%)
Future Pavements:	2,283 SF (2.2%)
Green space:	32,246 SF (30.7%)
Total:	105,151 SF

Property Owner:

Gregorski 18, LLC
N8418 North Shore Road
Menasha, WI 54952



SHEET INDEX:

Sheet	Page
Sheet	1.0
Site Plan	1.1
Topographic Survey	1.2
Erosion & Grading Plan	1.3
Utility Plan	1.4
Construction Details	2.1
Pond Detail	2.2

SITE PLAN



DAVEL ENGINEERING & ENVIRONMENTAL, INC.
Civil Engineers and Land Surveyors
1164 Province Terrace, Menasha, WI 54952
Ph: 920-961-1866 Fax: 920-441-0804
www.davel.pro

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VISION
ARCHITECTURE LLC

P.O. Box 224
Neenah, WI 54956
920-904-4300
www.vision-architecture.net
adam@vision-architecture.net
joe@vision-architecture.net

Proposed Development For:

Gregorski Fox River Drive

Enter address here

Issue Date: 05/28/19

Revisions:

CBX: xx-xx-xxxx

PRELIMINARY
NOT FOR CONSTRUCTION

A302

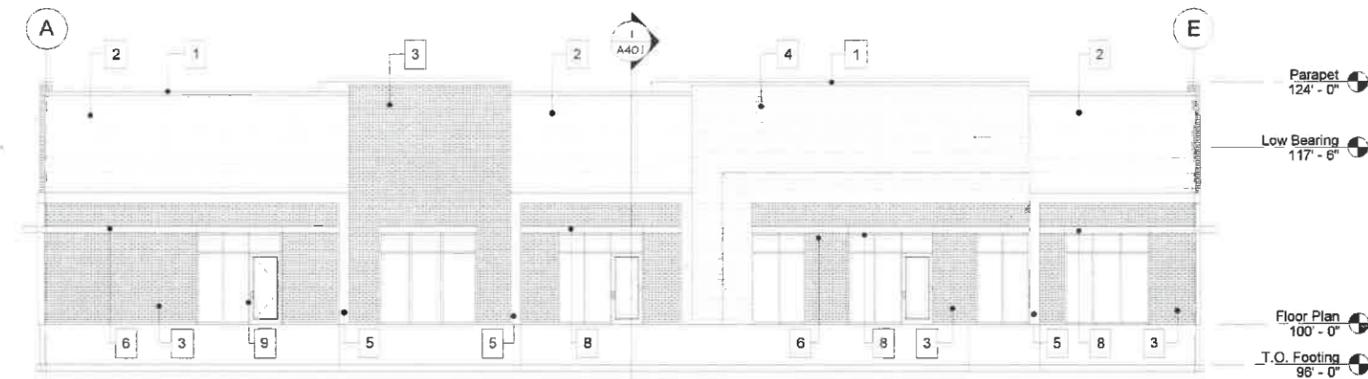
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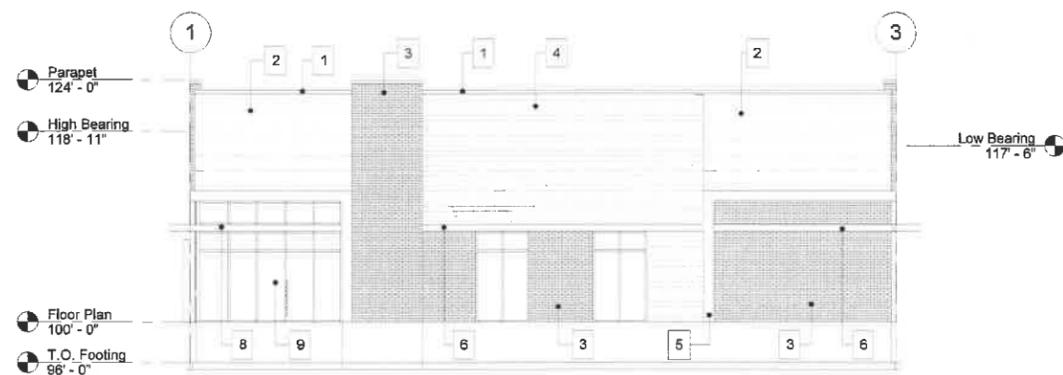
VISION
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Neenah, WI 54956
920-904-4300
www.vision-architecture.net
adam@vision-architecture.net
joe@vision-architecture.net

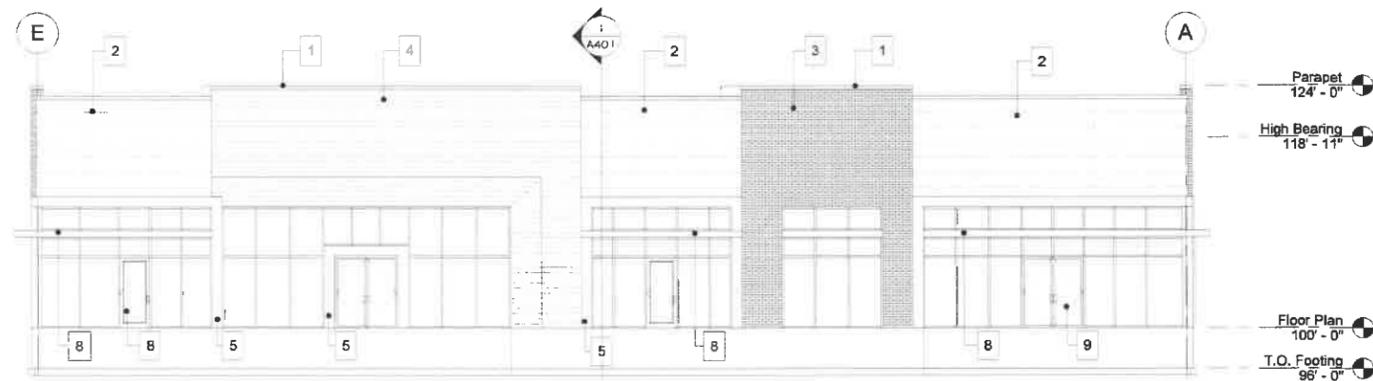
- EXTERIOR FINISHES**
1. PREFINISHED METAL COPING.
 2. E.I.F.S. WITH SMOOTH FINISH.
 3. BRICK VENEER.
 4. CEMENT FIBER HORIZONTAL SIDING WITH WOOD LOOK FINISH.
 5. COMPOSITE METAL PANEL.
 6. COMPOSITE METAL TRIM BAND.
 7. COMPOSITE METAL CANOPY.
 8. ALUMINUM SUN SHADES.
 9. ALUMINUM STOREFRONT WITH INSULATED GLASS.
 10. SIGNAGE BY TENANTS.
 11. ALUMINUM RAILING SYSTEM.
 12. OUTDOOR FURNITURE BY TENANT.
 13. DRIVE-UP WINDOW.



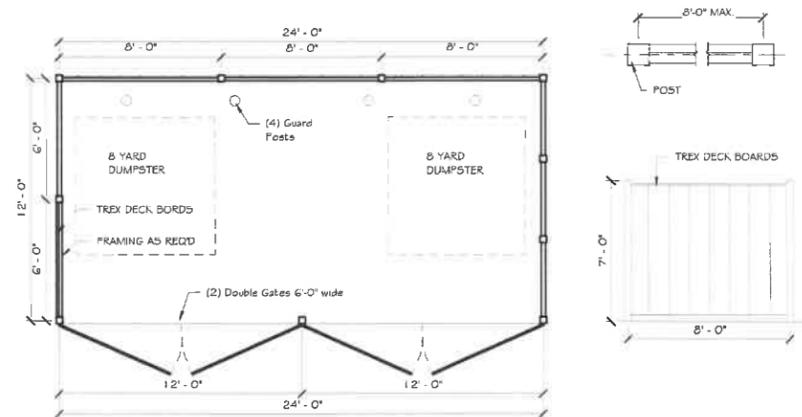
1 SOUTH ELEVATION
A301 1/8" = 1'-0"



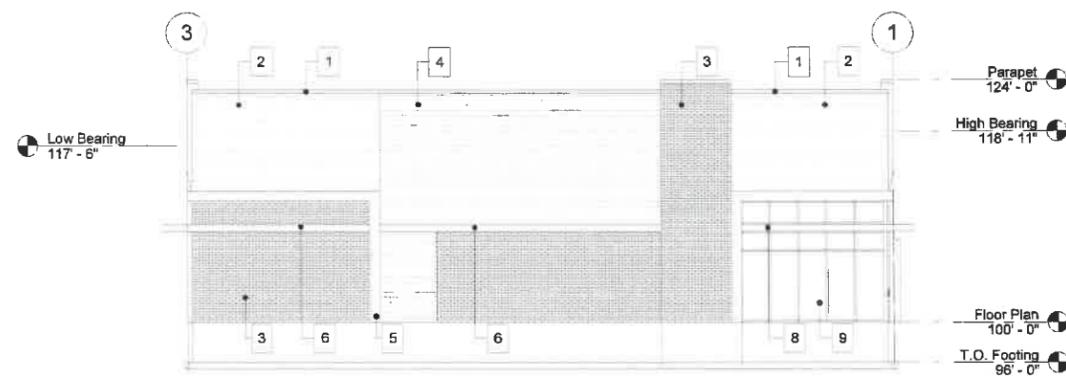
3 WEST ELEVATION
A301 1/8" = 1'-0"



2 NORTH ELEVATION
A301 1/8" = 1'-0"



5 Dumpster Enclosure
A301 1/4" = 1'-0"



4 EAST ELEVATION
A301 1/8" = 1'-0"

Proposed Development For:

Gregorski Fox River Drive

Enter address here

Issue Date 1/01/2014

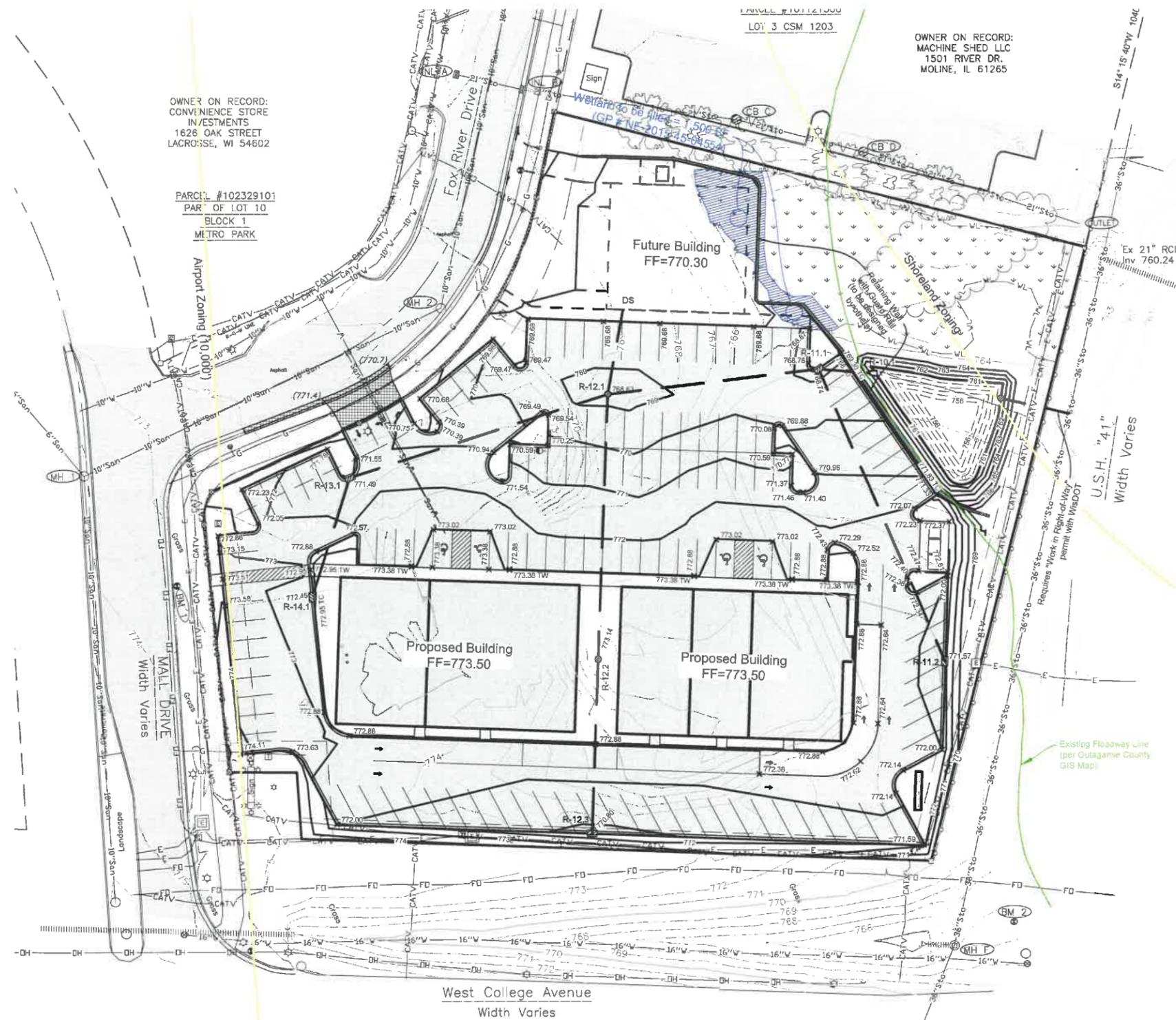
Revisions:

CBX 101-xxx-xxxx

PRELIMINARY
NOT FOR CONSTRUCTION

A301

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OWNER ON RECORD:
CONVENIENCE STORE
INVESTMENTS
1626 OAK STREET
LACROSSE, WI 54602

PARCEL #102329101
PAR OF LOT 10
BLOCK 1
METRO PARK

PARCEL #10121300
LOT 3 CSM 1203

OWNER ON RECORD:
MACHINE SHED LLC
1501 RIVER DR.
MOLINE, IL 61265

LEGEND

CATV	Underground Cable TV	Sanitary MH / Tank / Base	CATV Pedestal
FD	Underground Fiber Optic	Clean Out / Curb Stop / Pull Box	Gas Regulator
DH	Overhead Electric Lines	Storm Manhole	Sign
Son	Utility Guy Wire	Inlet	Post / Guard Post
S-to	Sanitary Sewer (Pipe Size)	Catch Basin / Yard Drain	Large Rack
E	Storm Sewer (Pipe Size)	Water MH / Well	Flag Pole
G	Underground Electric	Hydrant	Deciduous Tree
T	Underground Gas Line	Utility Valve	Coniferous Tree
V	Underground Telephone	Utility Meter	Bush / Hedge
W	Water Main (Pipe Size)	Utility Pole	Benchmark
VI	Fence - Steel	Light Pole / Signal	Asphalt Pavement
VI	Existing Easement Line	Guy Wire / Pump	Concrete Pavement
VI	Wetlands	Electric Pedestal	
VI	Treeline	Electric Transformer	
8X	Culvert	Air Conditioner	
608	Index Contour	Telephone Pedestal	
608	Intermediate Contour	Telephone Manhole	
608.73	Proposed Storm Sewer	Proposed Storm Manhole	
608.73 TW	Proposed Curb Inlet	Proposed Curb Inlet	
+ (608.7)	Proposed Storm	Prop. Catch Basin / Yard Drain	
	Proposed Culvert	Proposed Endwall	
	Prop. Flowline Spot Elev.	Proposed Rip Rap	
	Prop. Top of Walk Elev.	Prop. Drainage Direction	
	Existing Grade	FF=000.0 Prop. Finished Floor Elev.	

BENCHMARKS (NAVD 88)

- BM 0 NGS PID DE751
BRONZE DISH IN CONCRETE
ELEV. 781.74'
- BM 1 NORTH RIM OF ELECTRIC MANHOLE
±43' SW OF NW CORNER OF PROPERTY
ELEV. 773.88'
- BM 2 FIRE HYDRANT, TAG BOLT
±50' SE OF SE CORNER OF PROPERTY
ELEV. 788.73'

NOTES:

1. Existing utilities shown are indicated in accordance with available records and field measurements. The contractor shall be responsible for obtaining exact locations & elevations of all utilities, including sewer and water from the owners of the respective utilities. All utility owners shall be notified by the contractor 72 hours prior to excavation. Contact Digger's Hotline (1-800-242-8511) for exact utility locations.
2. The Contractor shall verify all staking and field layout against the plan and field conditions prior to constructing the work and immediately notify the Engineer of any discrepancies.
3. Vegetation beyond slopes shall remain.
4. The contractor shall minimize the area disturbed by construction as the project is constructed. Disturbed areas shall be seeded as soon as final grade is established. Contractor shall replace topsoil and then seed, fertilize and mulch all lawn areas within 1 week of topsoil placement.
5. Contractor shall remove all excess materials from the site. Earthwork contractors shall verify topsoil depth.
6. All sediment and erosion control devices and methods shall be in accordance with the Wisconsin DNR Technical Standards.
7. The contractor shall make weekly inspections and inspections within 1 day of any rainfall exceeding 0.5 inches of the sediment and erosion control devices throughout construction. The contractor shall repair or maintain erosion control devices as necessary. The inspection reports shall be made available to the owner at the end of the construction or upon demand during construction.
8. Contractor is responsible for compliance with Department of Safety & Professional Services, Chapter SPS 382, for lateral construction and cleanup locations.
9. Updated survey and title search have not been authorized and the boundary and easements shown may be inaccurate or incomplete.

STORM SEWER PIPE SUMMARY

Reach		US Inv	DS Inv	Length	Slope	Size (in)	Node Drop	Phase
R-11.1	R-10.1	762.19	762.00	28	0.0070	15	0.00	
R-12.1	R-11.1	764.70	764.19	102	0.0050	15	2.00	
R-11.2	R-11.1	767.69	764.88	152	0.0200	8	2.00	
R-13.1	R-12.1	767.63	765.04	130	0.0200	10	0.00	
DS	R-12.1	765.37	765.17	41	0.0050	8	0.00	
R-12.2	R-12.1	766.61	766.10	127	0.0040	12	1.20	
R-12.3	R-12.2	766.99	766.74	83	0.0030	10	0.00	
R-14.1	R-13.1	768.48	767.76	60	0.0120	8	0.00	
Total =							720	

STORM SEWER STRUCTURE SUMMARY

Structure	Type	Size	Cover	Final Grade		Final Grade		
				Rim	Invert	Depth	Plan Depth	
R-10.1	Endwall				762.00			
R-11.1	Inlet	3x2' ID	R-3067-C	768.74	768.49	762.19	6.55 6.30	
R-11.2	Inlet	3x2' ID	R-3067-C	771.57	771.32	767.69	3.88 3.63	
R-12.1	MH (48) Inlet	48" ID	R-3448-C	768.63	768.38	764.70	3.93 3.68	
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R-14.1	Inlet	3x2' ID	R-3067-C	772.45	772.20	768.48	3.97 3.72	
Total =							32.53	30.78

PRELIMINARY 05/28/2019

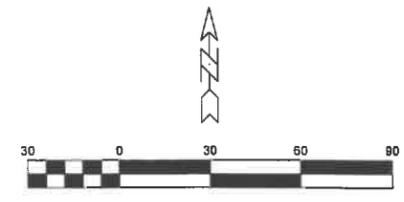
110 N Fox River Drive
Town of Grand Chute, Outagamie County, WI
For: Northcentral Construction Corp.

**DRAINAGE & GRADING
PLAN**

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OWNER ON RECORD:
CONVENIENCE STORE
INVESTMENTS
1626 OAK STREET
LACROSSE, WI 54602

FARCEL #102329101
PART OF LOT 10
BLOCK 1
METRO PARK

LOT 3 CSM 1203

OWNER ON RECORD:
MACHINE SHED LLC
1501 RIVER DR.
MOLINE, IL 61265

LEGEND

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DH	Overhead Electric Lines	Storm Manhole	Sign
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S-to	Storm Sewer (Pipe Size)	Catch Basin / Yard Drain	Large Rock
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T	Underground Telephone	Utility Valve	Coniferous Tree
W	Water Main (Pipe Size)	Utility Meter	Bush / Hedge
VL	Existing Easement Line	Utility Pole	Benchmark
Wetlands	Wetlands	Light Pole / Signal	Electric Pedestal
Tree Line	Tree Line	Guy Wire / Pump	Electric Transformer
Proposed Storm Sewer	Proposed Storm Sewer	Electric Pedestal	Air Conditioner
Proposed Contour	Proposed Contour	Telephone Pedestal	Telephone Manhole
Proposed Swale	Proposed Swale	Proposed Storm Manhole	Proposed Curb Inlet
Proposed Culvert	Proposed Culvert	Prop. Catch Basin / Yard Drain	Proposed Endwall
Proposed Silt Fence	Proposed Silt Fence	Proposed Rip Rap	Proposed Erosion Mat
Prop. Drainage Direction	Prop. Drainage Direction	Proposed Inlet Protection	
Proposed Tracking Pad	Proposed Tracking Pad		

Planned Sediment and Erosion Control Practices

All erosion control practices shall be in place prior to disturbing the site. All sediment and erosion control devices and methods shall be in accordance with DNR Technical Standards and the WisDOT Erosion Control product acceptability lists (PAL). It is the responsibility of the Contractor to minimize the area disturbed and the duration of the disturbance. Erosion & sediment control measures shall be maintained on a continuing basis until the site is permanently stabilized. All applicable controls must be in place at the end of each work day. All off-site sediment deposits occurring as a result of construction work or a storm event shall be cleaned up at a minimum of the end of each day or as necessary. Flushing shall not be allowed.

1) Diverting Flow

- a) Permanent Diversion - Intended to divert runoff around disturbed areas to a location where the water can be discharged without adversely impacting the receiving area or channel. Permanent diversions will be used to route runoff to the pond and storm sewers.
- b) Temporary Diversion - Intended to divert runoff around disturbed areas to a location where the water can be discharged without adversely impacting the receiving area or channel. Unlike a permanent diversion, the temporary diversion will be removed upon the completion of the project. Temporary diversions will be used up slope of any soil piles to reduce the amount of sediment transported. All diversions shall be installed and maintained in accordance with DNR Technical Standard 1066.

2) Overland Flow

- a) Silt Fence - Intended to provide a temporary barrier to the transportation of sediment offsite. Silt fence also reduces the velocity of sheet flow, thereby reducing the erosion potential of flowing water. Silt fencing is not to be used in areas of channelized flow and sediment deposits shall be removed when a 6 inch depth is reached. The silt fence shall be repaired or replaced as necessary to maintain a barrier. All Silt Fence shall be installed and maintained in accordance with DNR Technical Standard 1056. It will be placed at the following locations:
 - i) along the site boundary where runoff will leave the site,
 - ii) and at the toe of soil piles if the pile will remain in place for more than seven (7) days.
 - iii) Provide reinforced silt fence along wetland boundary.
- b) Mulching and Erosion Mat - Intended to reduce the amount of erosion caused by raindrop impact, high overland and concentrated flow velocities and assist the establishment of both temporary and permanent vegetation. All Erosion Mat shall be installed and maintained in accordance with DNR Technical Standards 1052 and 1053 and all Mulching with DNR Technical Standard 1058. In addition to mulching, Erosion Mat is required per plan with installation per manufacturer specifications.
- c) Seeding - Intended to provide a reduction of overland flow velocities and stabilize disturbed areas. Seeding will be used on all disturbed areas within seven days of the completion of the activity that will disturb the area. All seeding shall be in accordance with DNR Technical Standard 1059. Seed mixture 20 (per WisDOT Specifications, Section 630) shall be applied at 5 pounds per 1000 square feet for permanent seeding prior to September 15th. If required, temporary seeding shall consist of Oats, Rye, Winter Wheat, and/or Annual Ryegrass applied at rates and during the season specified by the Technical Standard but no later than October 15th. Sod placement may occur at anytime sod is available and the sod and soil are not frozen.

3) Trapping Sediment in Channelized Flow

- a) Ditch Checks - Intended to settle suspended sediment in channelized flow by reducing the flow velocity. All Ditch Checks shall be installed and maintained in accordance with DNR Technical Standard 1062. Ditch Checks will be used where indicated on the plan as specified diameter sediment logs. Additional ditch checks may be required in areas where erosion is occurring.

4) Permanent Channel Stabilization

- a) Armored Waterway - Intended to establish a non-erosive lining in the channel to prevent erosion. This can be accomplished using riprap. Riprap will be used in the following areas:
 - i) pipe outfalls and swales as indicated on the plans;

- 5) Inlet Protection Barriers - Intended to prevent the sedimentation of storm water conveyance structures. All Inlet Protection Barriers shall be installed and maintained in accordance with DNR Technical Standard 1060. As required, inlet protection barriers will be used at all storm sewer inlets as indicated on the plans.
- 6) Stone Tracking Pad - Intended to reduce the amount of sediment transported onto public roads. The Tracking Pad shall be installed and maintained in accordance with DNR Technical Standard 1057. A tracking pad will be constructed at the site entrance to each phase and/or building.

- 7) Dust Control - Intended to reduce surface to air transport of dust during construction. Dust control shall be implemented with use of methods provided in DNR Technical Standard 1068. These methods include the use of polymers, seeding, and mulch.

- 8) Dewatering BMP - Intended to reduce the amount of sediment conveyed due to dewatering practices. Dewatering practices require compliance with DNR Technical Standard 1061.

- a) If dewatering is required, the contractor will need to direct the discharge to a stable outlet. The pump shall discharge into a Type 1 Sediment Bag. The bag shall discharge to the treatment channel or stormwater pond. The treatment channel shall consist of the following:
 - i) A flat bottom that is six-feet wide
 - ii) Length not less than fifty-feet. Actual length required to be determined by onsite soil test.
 - iii) Lined with a woven separation fabric covered by jute netting.
 - iv) Flocculants shall be placed in the channel perpendicular to the direction of flow. Spacing to be determined by onsite testing.
- b) Prior to dewatering, a qualified contractor shall perform the sediment testing and select the proper flocculants and determine the necessary length of the treatment channel.
- c) Upon completion of the dewatering operation, all materials must be disposed of properly. The jute netting can be buried on site. The separation fabric must be removed from the site. Disposal of all materials shall be in accordance with all state and local requirements.
- d) Once the pond is constructed, dewatering discharges shall be directed into the pond in a non-erosive condition.

- 9) Waste Material - All onsite waste and construction materials shall be handled and disposed of properly. No pavement material, runoff from concrete washout, or other waste material is allowed to enter the storm sewer system or receiving waters.

Sequence of Construction

- 1) Obtain plan approval and other applicable permits.
- 2) Install & maintain all erosion & sediment control measures: June 2019
- 3) Clearing and grubbing, strip topsoil, utility and wet pond construction: June-July 2019.
- 4) Site grading: July 2019
- 5) Grade and gravel construction: July-August 2019
- 6) Building Construction: August-October 2019
- 7) Stabilize lawn and ditch areas no later than one week after final grade is established. No later than October 15, 2019
- 8) Remove all temporary measures, topsoil critical areas, and establish vegetation. Water if necessary to establish healthy and well rooted vegetation.

Note: The dates provided are approximate and subject to weather conditions and overall project schedule. Several work items as listed above may occur simultaneously with others.

Maintenance Plan

The contractor is responsible for inspection and maintenance of sediment and erosion control measures until the project is completed. The inspections shall be made every seven days or within 24-hours of a rainfall event of 0.50-inch or greater. Any practices that are damaged or not working properly shall be repaired by the end of the day. Accumulated sediment shall be removed when it has reached a height of one-half the height of the structure. In addition, the following measures shall be taken:

- 1) All seeded areas will be re-seeded and mulched as necessary according to the specifications in the planned practices to maintain a vigorous, dense vegetated cover.
- 2) Remove silt fence and temporary structures only after final stabilization and vegetative cover is established.
- 3) Avoid the use of fertilizers and pesticides in or adjacent to channels or ditches.
- 4) Construction and waste materials shall be properly disposed.

Weekly inspection reports shall be maintained by the contractor. These reports shall document inspections and maintenance performed. The date and time of the inspections, the inspector's name, and the status of construction and any maintenance performed. Refer to the DNR website for a template, <http://dnr.wisconsin.gov/PDF/forms/3400-187.pdf>. Upon request, the inspection reports shall be made available to the owner, the engineer, the Wisconsin Department of Natural Resources, or the Town of Grand Chute.

PRELIMINARY 05/28/2019

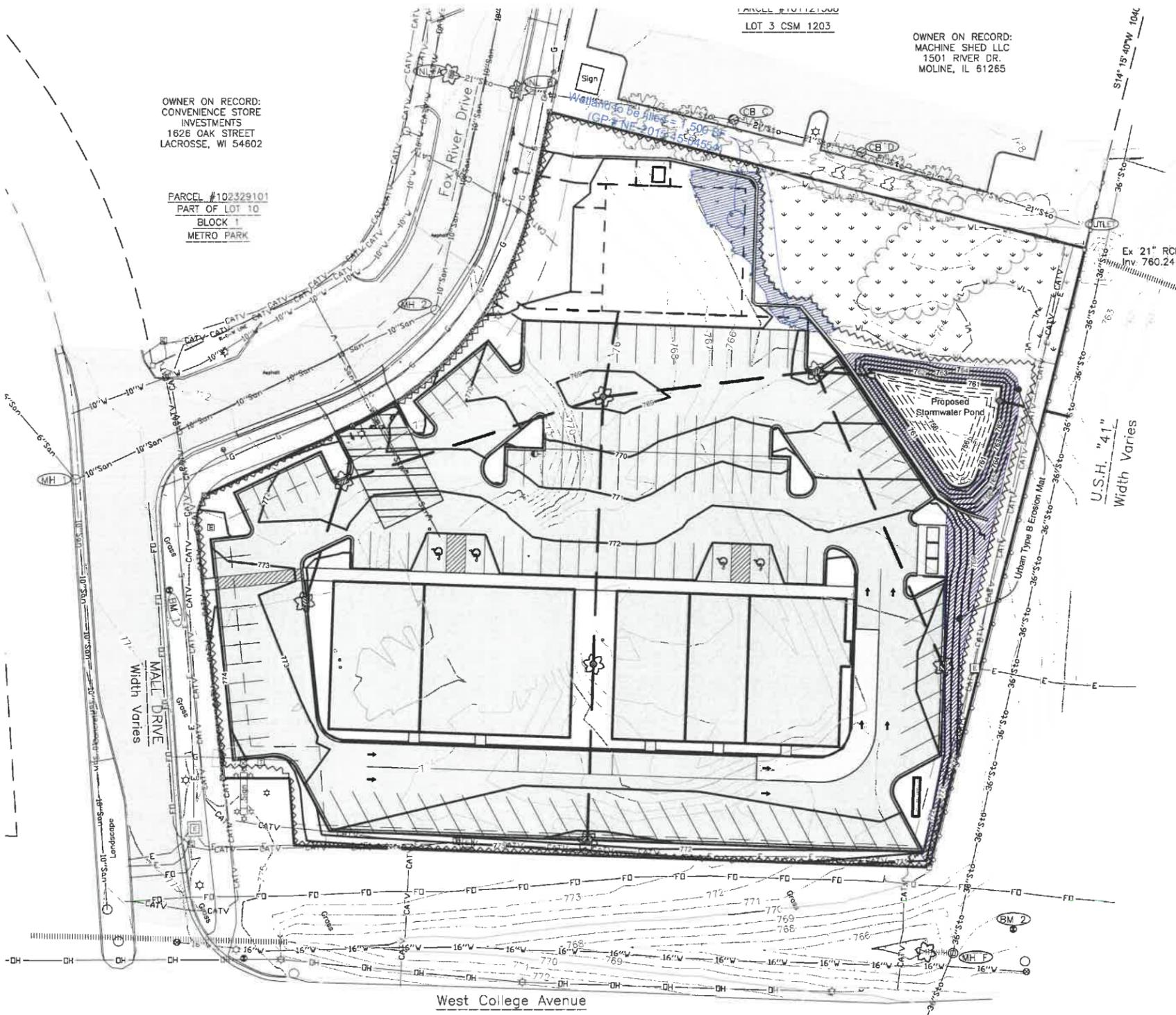
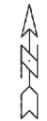
110 N Fox River Drive
Town of Grand Chute, Outagamie County, WI
For: Northcentral Construction Corp.

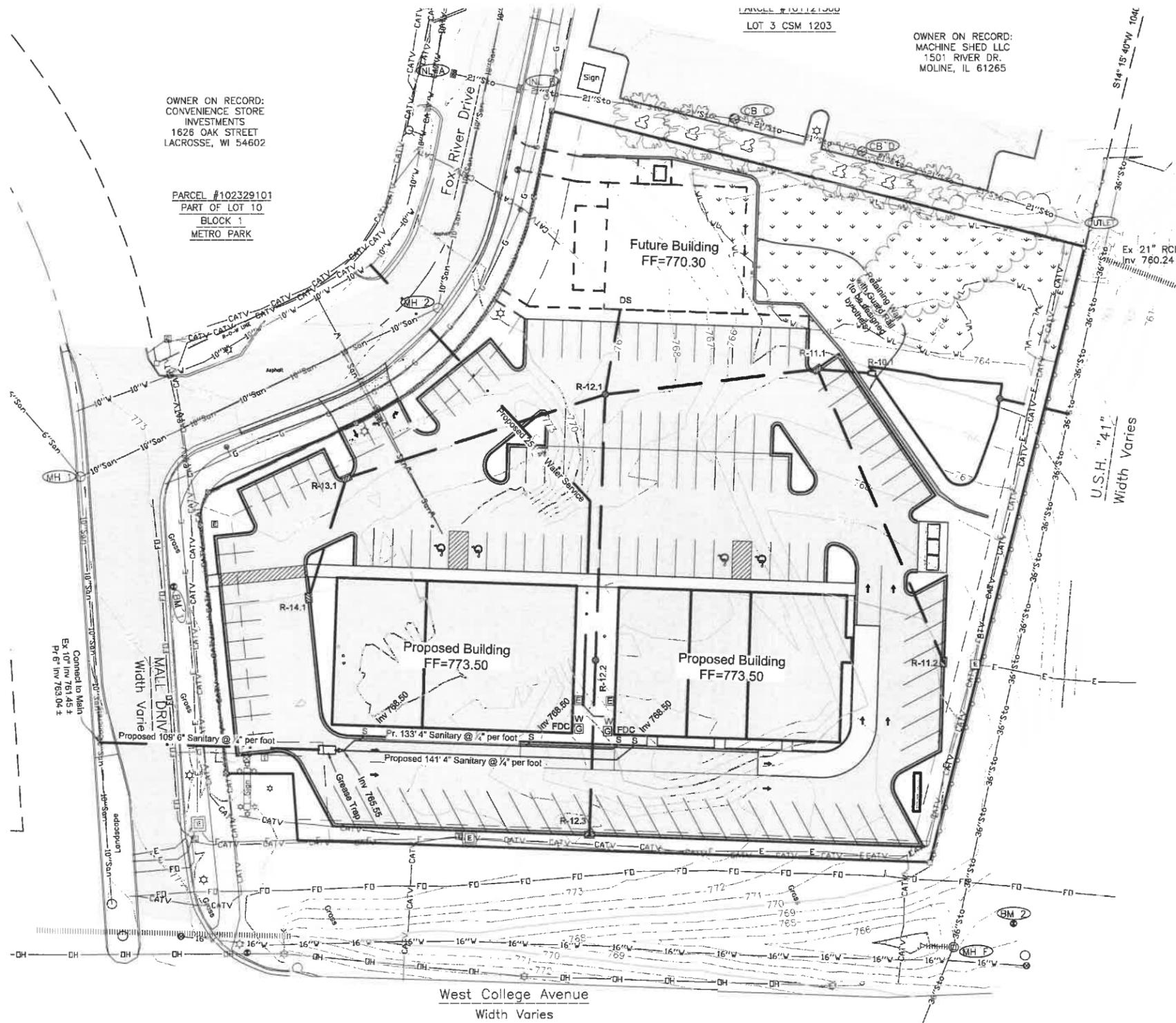
EROSION & SEDIMENT CONTROL PLAN

DAVEL ENGINEERING & ENVIRONMENTAL, INC.
Civil Engineers and Land Surveyors
1164 Province Terrace, Miamasha, WI 54952
Ph: 920-991-1866 Fax: 920-441-0804
www.davelpro

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Date: 05/28/2019
Filename: 4422engr.dwg
Author: MDB
Last Saved by: mitch
Page 1.3





OWNER ON RECORD:
CONVENIENCE STORE
INVESTMENTS
1626 OAK STREET
LACROSSE, WI 54602

PARCEL #102329101
PART OF LOT 10
BLOCK 1
METRO PARK

PARCEL #101212000
LOT 3 CSM 1203

OWNER ON RECORD:
MACHINE SHED LLC
1501 RIVER DR.
MOLINE, IL 61265

LEGEND

CATV	Underground Cable TV	Sanitary MH / Tank / Base	CATV Pedestal
FD	Underground Fiber Optic	Clean Out / Curb Stop / Pull Box	Gas Regulator
DH	Overhead Electric Lines	Storm Manhole	Sign
San	Sanitary Sewer (Pipe Size)	Inlet	Post / Guard Post
Sto	Storm Sewer (Pipe Size)	Catch Basin / Yard Drain	Large Rock
E	Underground Electric	Water MH / Well	Flag Pole
G	Underground Gas Line	Hydrant	Deciduous Tree
T	Underground Telephone	Utility Valve	Coniferous Tree
W	Water Main (Pipe Size)	Utility Meter	Bush / Hedge
F	Fence - Steel	Light Pole / Signal	Benchmark
ESL	Existing Easement Line	Guy Wire / Pump	Asphalt Pavement
WL	Wellhead	Electric Pedestal	Concrete Pavement
TL	Tree Line	Electric Transformer	
CU	Culvert	Air Conditioner	
IC	Index Contour	Telephone Pedestal	
IMC	Intermediate Contour	Telephone Manhole	
SS	Proposed Storm Sewer	Proposed Storm Manhole	
CO	Proposed Contour	Proposed Curb Inlet	
SW	Proposed Swale	Prop. Catch Basin / Yard Drain	
CE	Proposed Culvert	Proposed Endwall	
SI	Proposed Silt Fence	Proposed Rip Rap	
DD	Prop. Drainage Direction	Proposed Erosion Mat	
TP	Proposed Tracking Pad	Proposed Inlet Protection	

Sewer and Water shall be constructed in accordance with the State of Wisconsin Standard Specifications for Sewer and Water Construction, and all Special Provisions of the Town of Grand Chute.

Streets shall be constructed in accordance with the State of Wisconsin Standard Specifications for Highway and Structures Construction, and all Special Provisions of the Town of Grand Chute.

Contractor shall locate all buried facilities prior to excavating. This plan may not correctly or completely show all buried utilities.

The Contractor shall verify all staking and field layout against the plan and field conditions prior to constructing the work and immediately notify the Engineer of any discrepancies.

The Contractor shall comply with all conditions of the Erosion Control Plan and the Storm Water discharge Permit. All Erosion Control shall be done in accordance with the Plan and Wisconsin DNR Technical Standards.

The outside services are shown to stop at a point 5 feet outside the foundation wall. The Contractor shall be responsible for coordination of continuation of the services into the building to properly coincide with the interior plumbing plans, and compliance with all plumbing permits.

The Contractor is responsible for compliance with Department of Safety & Professional Services, Chapter SPS 382, for lateral construction and cleanout locations.

The contractor shall coordinate with provider for electric, gas, and telecommunication service connection and relocations.

Pipe lengths are measured to center of structure. Endwalls are included in pipe length.

Water Pipe shall be PVC C900 D(18), with minimum of 18 gauge, insulated (blue), single-conductor copper tracer wire, or equivalent, per SPS 382.40 (8)(k).

Sanitary Sewer Pipe shall be PVC Schedule 40, with minimum of 18 gauge, insulated (green), single-conductor copper tracer wire, or equivalent, per SPS 382.30 (11)(h).

Storm Sewer Pipe shall be PVC SDR(35), Reinforced Concrete Class III, or HDPE, AASHTO M 294, Type S with soil tight joints, with minimum of 18 gauge, insulated (brown), single-conductor copper tracer wire, or equivalent, per SPS 382.36 (7)(d)10.a.

PRELIMINARY 05/28/2019

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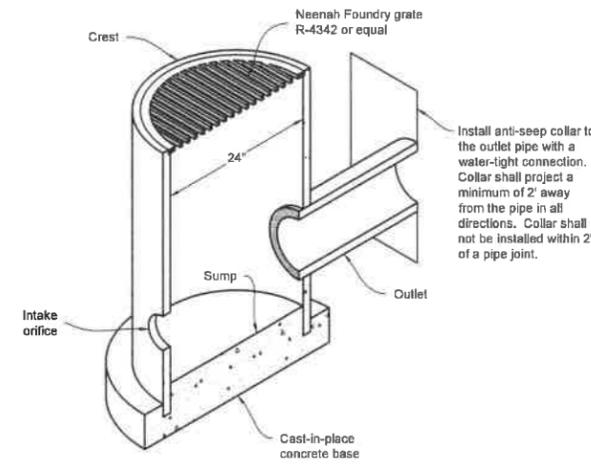
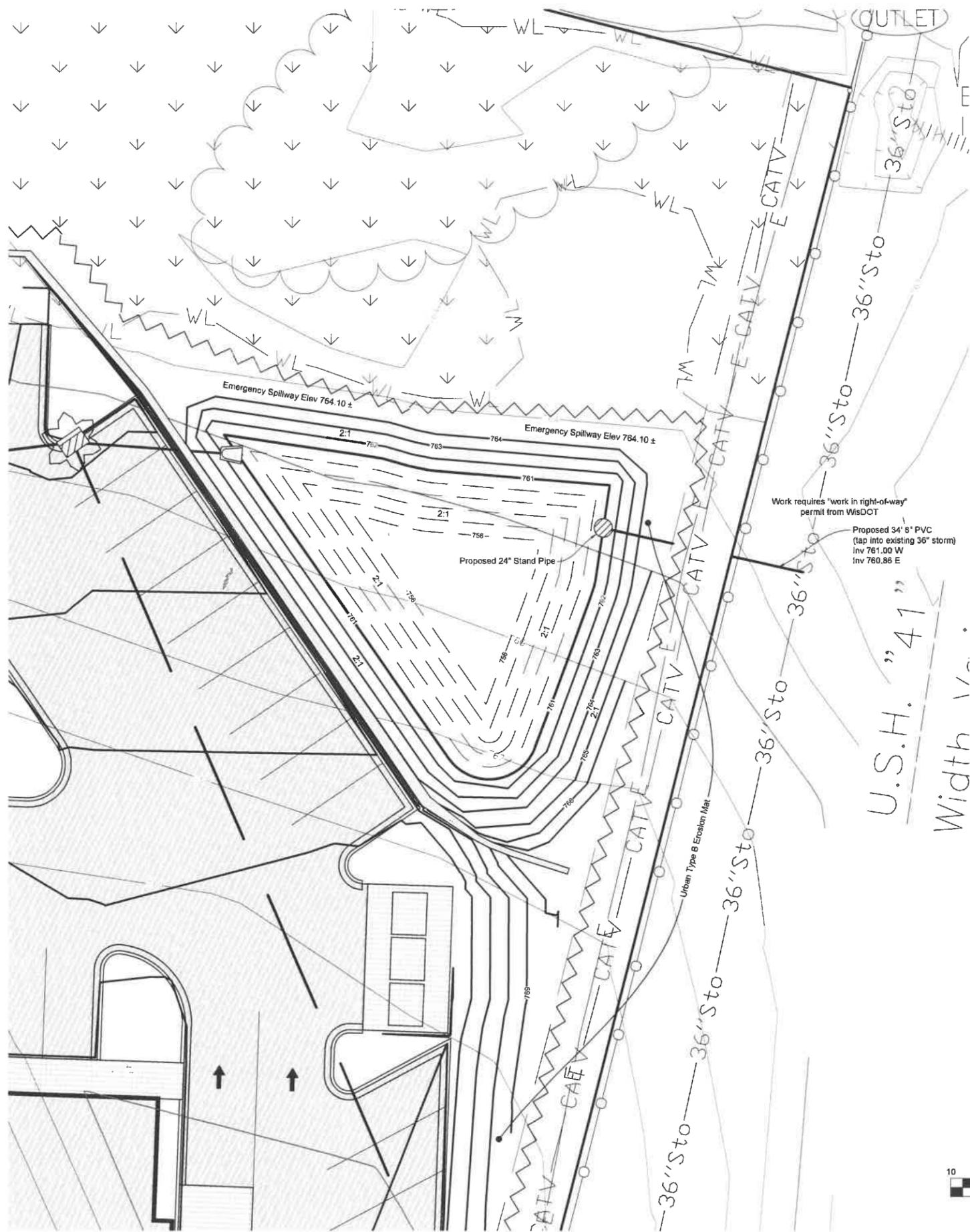
DAVE ENGINEERING & ENVIRONMENTAL, INC.
Civil Engineers and Land Surveyors
1164 Providence Terrace, Minnetonka, MN 55352
Ph: 952-891-1888 Fax: 952-441-1884
www.daveinc.com

UTILITY PLAN

110 N Fox River Drive
Town of Grand Chute, Outagamie County, WI
For: Northcentral Construction Corp.



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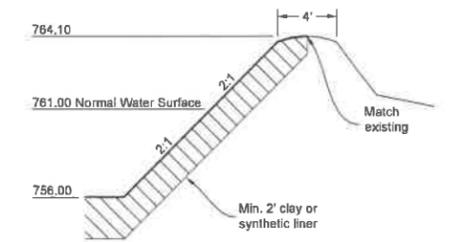


STAND PIPE DETAIL

Outlet Size, in	8
Invert	761.00
Slope (%)	1
Intake orifice Size, in	3.5
Invert	761.00
Crest Elevation	763.00
Sump Elevation	759.00
Base Elevation	758.00

- Pond Notes:**
- The base of the embankment shall be stripped of all vegetation, stumps, topsoil and other matter. Stripping shall be to a minimum of 6 inches. Embankments shall be constructed with non-organic soils and compacted to 90% standard proctor according to the procedures outlined in ASTM D-698. No tree stumps, or other organic material shall be buried in the embankment. The constructed embankment height shall be increased a minimum of 5% to account for settling.
 - All pipes extending through the embankment shall be bedded and backfilled with embankment or equivalent soils. The bedding and backfill shall be compacted in lifts and to the same standard as the original embankment. Excavation through a completed embankment shall have a side slope of 1:1 or flatter.
 - Topsoil shall be spread on all disturbed areas, except for elevations below the safety shelf, as work is completed. The minimum depth of topsoil shall be 4 inches.
 - All areas disturbed by pond construction shall be seeded as work is completed. Pond side slopes above permanent pool shall be temporarily seeded with annual rye or oats immediately after pond is "roughed in." This will require topsoil application. Slopes steeper than 10:1 but less than 4:1 will require properly anchored mulch in accordance with Section 627.1 of the DOT Standard Specifications for Highway and Structure Construction, DOT Class I, Type B erosion mat will be required on slopes steeper than 4:1 (Section 628.2 & 628.3).
 - Riprap at all inflow points shall extend a minimum of 18 vertical inches below the permanent pool. (Section 506.2 & 606.3)
 - Any rock encountered shall be excavated to a depth two feet deeper than the proposed pond grade.
 - The pond shall be constructed with a Type B Liner with the following WDNR specifications (Wet Detention Pond Technical Standard 1001). Liners include: Clay, High Density Polyethylene (HDPE), Polyethylene Pond Liner (PPL) or any liner satisfying Type A Liner criteria. Clay liners specifications are as follows:
 - 50% fines (200 sieve) or more.
 - Hydraulic conductivity of 1×10^{-6} cm/sec or less.
 - Average liquid limit of 16 or greater, with no value less than 14.
 - Average PI of 7 or more, with no values less than 5.
 - Clay compaction and documentation as specified in NRCS Wisconsin Construction Specification 204, Earthfill for Waste Storage Facilities.
 - Minimum thickness of 2 feet.
 - If in-situ soils meet the above requirements of the specification for a Type B Clay Liner, including a minimum saturated hydraulic conductivity of 1×10^{-6} cm/sec to a depth of 4 feet below the pond bottom, the in-situ soils then satisfy the pond liner requirements.
 - HDPE liner specifications are as follows:
 - Minimum thickness of 40 mils.
 - Design according to the criteria in Table 3 of NRCS 313, Waste Storage Facility Technical Standard.
 - Install according to NRCS Wisconsin Construction Specification 202, Polyethylene Geomembrane Lining.
 - PPL liner Specifications are as follows:
 - Minimum thickness of 30 mils.
 - Design according to the criteria in Table 3 of NRCS 313, Waste Storage Facility Technical Standard.
 - Install according to NRCS Wisconsin Construction Specification 202, Polyethylene Geomembrane Lining.
 - All liners must extend above the permanent pool up to the elevation of the 2-year, 24-hour rainfall event (Elev 763.2).
 - Any pond fountain or aeration device shall comply with conditions of DNR Technical Standard 1001 Section V.B.2.k.

U.S.H. "41"
Width 1/2"



TYPICAL EMBANKMENT SECTION

PRELIMINARY 05/28/2019

DAVE ENGINEERING & ENVIRONMENTAL, INC.
Civil Engineers and Land Surveyors
1184 Province Terrace, Menasha, WI 54952
Ph: 920-991-1866 Fax: 920-441-0804
www.davei.pro

**STORMWATER POND
DETAIL**

110 N Fox River Drive
Town of Grand Chute, Outagamie County, WI
For: Northcentral Construction Corp.

Date:	05/28/2019
Filename:	4422enrg.dwg
Author:	MDB
Last Saved by:	mitch
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1 LANDSCAPE PLAN
L101
1" = 20'-0"

- LANDSCAPE LEGEND**
-  2 1/2" CALIPER SHADE TREE
 -  3'-0" HIGH DECIDUOUS HEDGE ROW
80% OF FRONTAGE
 -  SEEDED LAWN
- * LANDSCAPE PLAN IS PROVIDED FOR DESIGN INTENT ONLY. DESIGN BUILD CONTRACTOR SHALL PROVIDE FINAL LANDSCAPE PLAN FOR ARCHITECT/OWNER & TOWN APPROVAL PRIOR TO CONSTRUCTION



VISION
ARCHITECTURE, LLC
P.O. Box 224
Neenah, WI 54956
920-904-4300
www.vision-architecture.net
adam@vision-architecture.net
joe@vision-architecture.net

Proposed Development For:
Gregorski Fox River Drive
Enter address here

Issue Date: 01/01/14
Revisions:
CBK: 01-01-XXXX

PRELIMINARY
NOT FOR CONSTRUCTION

L101
5/28/2019 1:20:05 PM

**Town of Grand Chute
Site Plan Review
Versatile Management Inc.**

To: Plan Commission
From: Michael Patza, Town Planner
Date: June 13, 2019
Address: 2200 W. Pershing Street

App. #: SP-12-19

REQUEST

- 1. Proposed Use(s):** Commercial property maintenance shop.
- 2. Project Description:** Building and site improvements associated with the operation of a property maintenance business.
- 3. Plat/CSM Accurate parcel lines/lot recorded:** Yes.

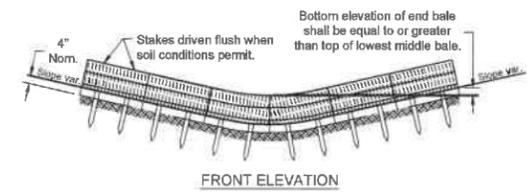
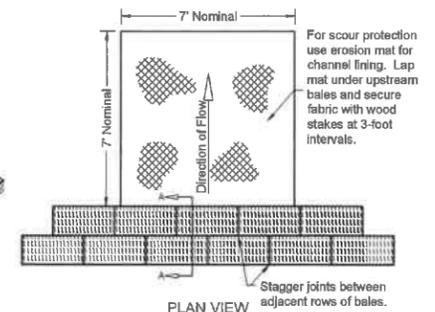
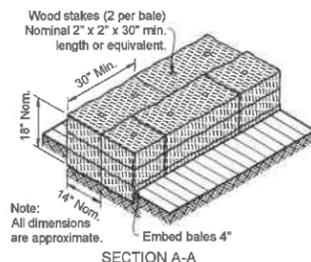
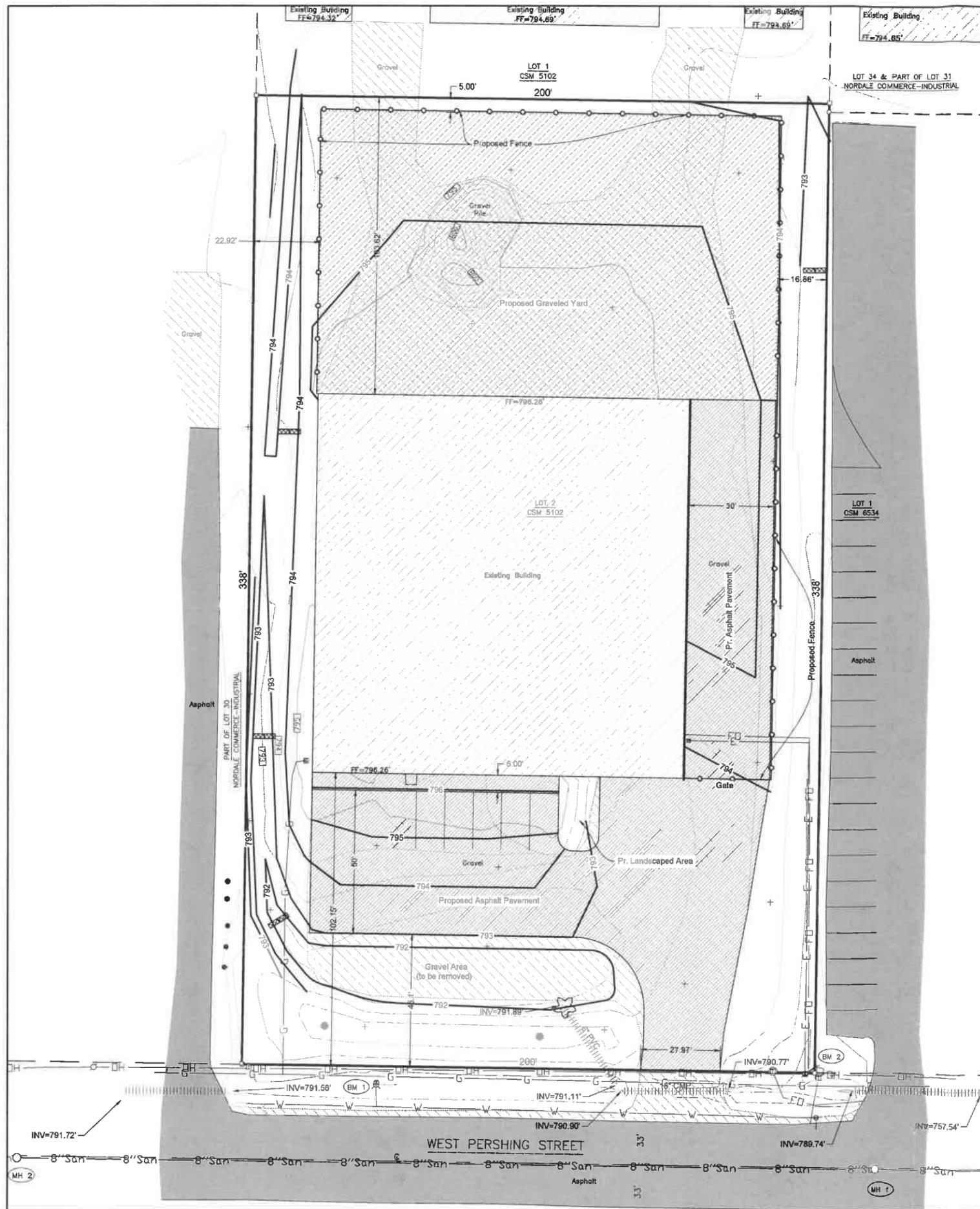
ANALYSIS

Applicant proposes improvements to the building and site to accommodate a property maintenance business. The gravel parking lot on the south side of the building, and drive lane on the east side, will both be paved. A new fence will enclose the gravel area on the north side of the building, which be utilized for storage of landscaping materials. The building interior will be upgraded to accommodate equipment and storage needs of the business.

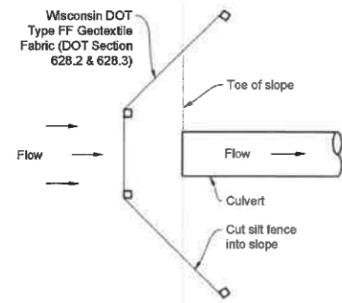
The Drainage Plan for the project includes removing gravel previously placed in the detention basin located along the W. Pershing Street frontage. The detention basin and swale on the west side of the property will be graded to meet previously approved plans. The Drainage and Erosion Control Plans have been approved by staff. All other code requirements are met with this request.

RECOMMENDATION

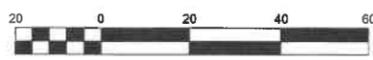
Staff has reviewed and supports Plan Commission approval of the Site Plan (SP-12-19) requested by Versatile Management Inc., 2200 W. Pershing Street, for building and site improvements associated with the operation of a property maintenance business.



STRAW BALE BARRIER



INLET PROTECTION



LEGEND

Underground Fiber Optic	Sanitary MH / Tank / Base	Gas Regulator
Overhead Electric Lines	Hydrant	Coniferous Tree
Sanitary Sewer	Utility Valve	Benchmark
Storm Sewer	Utility Pole	Asphalt Pavement
Underground Electric	Guy Wire	Concrete Pavement
Underground Gas Line	Electric Transformer	Gravel
Water Main	Telephone Manhole	
Wetlands	Ex Spot Elevation	
Index Contour		
Intermediate Contour	Proposed Storm Manhole	Proposed Sanitary Manhole
Proposed Storm Sewer	Proposed Curb Inlet	Proposed Hydrant
Proposed Sanitary Sewer	Prop. Catch Basin / Yard Drain	Proposed Reducer
Proposed Watermain	Proposed Rip Rap	Proposed Plug
Proposed Contour	Prop. Flowline Spot Elev.	Proposed Valve
Proposed Swale	Prop. Top of Walk Elev.	Proposed Curb Stop
Proposed Culvert	Existing Grade	Proposed Tee
Proposed Silt Fence	Prop. Drainage Direction	Proposed 90° Bend
Prop. Drainage Direction	Proposed Ditch Check	Proposed 45° Bend
Proposed Ditch Check	Proposed Inlet Protection	Proposed 22.5° Bend
Proposed Tracking Pad	Type of Inlet Protection	

Post Development Areas:
 Building = 17,228 SF
 Pavements = 29,675 SF
 Lawn = 20,697 SF
 Total = 67,600 SF
 69.4% Impervious

- NOTES:**
- Existing utilities shown are indicated in accordance with available records and field measurements. The contractor shall be responsible for obtaining exact locations & elevations of all utilities, including sewer and water from the owners of the respective utilities. All utility owners shall be notified by the contractor 72 hours prior to excavation. Contact Digger's Hotline (1-800-242-8511) for exact utility locations.
 - The Contractor shall verify all staking and field layout against the plan and field conditions prior to constructing the work and immediately notify the Engineer of any discrepancies.
 - Vegetation beyond slopes shall remain.
 - The contractor shall minimize the area disturbed by construction as the project is constructed. Disturbed areas shall be seeded as soon as final grade is established. Contractor shall replace topsoil and then seed, fertilize and mulch all lawn areas within 1 week of topsoil placement.
 - Contractor shall remove all excess materials from the site. Earthwork contractors shall verify topsoil depth.
 - All sediment and erosion control devices and methods shall be in accordance with the Wisconsin DNR Technical Standards.
 - The contractor shall make weekly inspections and inspections within 1 day of any rainfall exceeding 0.5 inches of the sediment and erosion control devices throughout construction. The contractor shall repair or maintain erosion control devices as necessary. The inspection reports shall be made available to the owner at the end of the construction or upon demand during construction.
 - The outside services are shown to stop at a point 5 feet outside the foundation wall. The Contractor shall be responsible for coordination of continuation of the services into the building to properly coincide with the interior plumbing plans, and compliance with all plumbing permits.
 - Contractor is responsible for compliance with Department of Safety & Professional Services, Chapter SPS 382, for lateral construction and cleanout locations.
 - Updated survey and title search have not been authorized and the boundary and easements shown may be inaccurate or incomplete.

DRAINAGE PLAN CERTIFICATION:

I, John R. Davel, Professional Engineer, hereby certify that this Drainage Plan will meet or exceed the requirements of the Outagamie County Subdivision Ordinance and the requirements of the Town of Grand Chute.

John R. Davel, P.E. E-25512 Date 12/3/18



**Town of Grand Chute
Site Plan Review
Valley Baptist Church**

To: Plan Commission
From: Michael Patza, Town Planner
Date: June 13, 2019
Address: 3600 N. Chippewa Street

App. #: SP-14-19

REQUEST

- 1. **Proposed Use(s):** Continued church use.
- 2. **Project Description:** Construction of a building addition and associated site improvements.
- 3. **Plat/CSM Accurate parcel lines/lot recorded:** Yes.

ANALYSIS

Applicant proposes a two-level building addition to the worship center, with each level adding approximately 8,000 sq. ft. of useable space. The addition will adjoin the southeast side of the existing building, over a portion of the existing parking lot. The project includes an expansion of the parking lot on the northeast side of the property, resulting in a net gain of 42 parking stalls. Access to the site will remain unchanged. The exterior of the addition will be brick, matching the existing building.

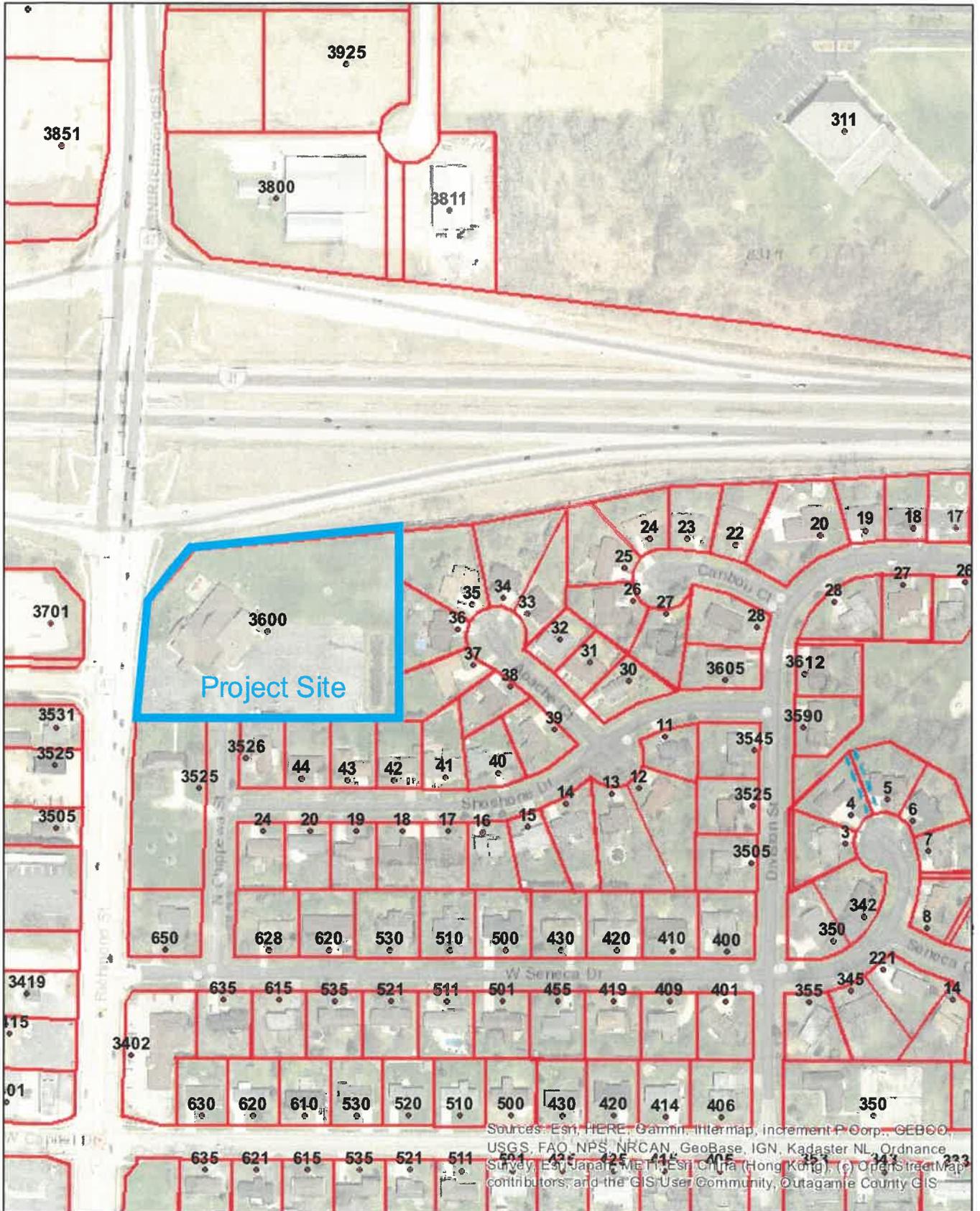
The Stormwater Management Plan for the project includes expanding the existing detention basin on the east side of property to treat additional stormwater runoff. The Town Engineer is reviewing the Stormwater Management and Erosion Control Plans and their approval is a condition of Site Plan approval.

The Landscape and Site Lighting Plans have been approved by staff. All other code requirements are met with this request.

RECOMMENDATION

Staff has reviewed and supports Plan Commission approval of the Site Plan (SP-14-19) requested by Valley Baptist Church, 3600 N. Chippewa Street, for construction of a building addition and associated site improvements, subject to Town Engineer approval of the Stormwater Management and Erosion Control Plans.

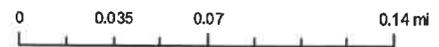
SP-14-19 -- 3600 N. Chippewa Street

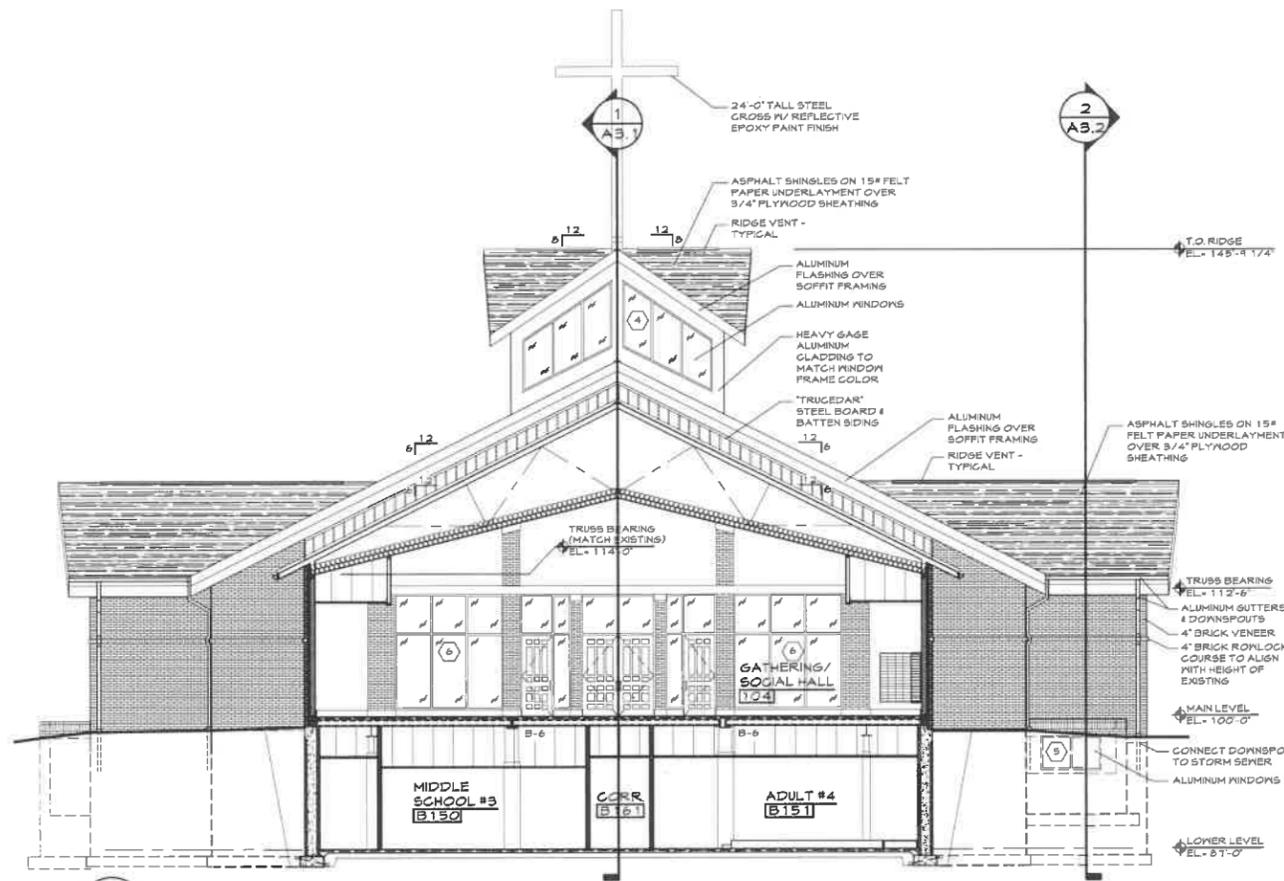


Sources: Esri, HERE, Garmin, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), (c) OpenStreetMap contributors, and the GIS User Community, Outagamie County GIS

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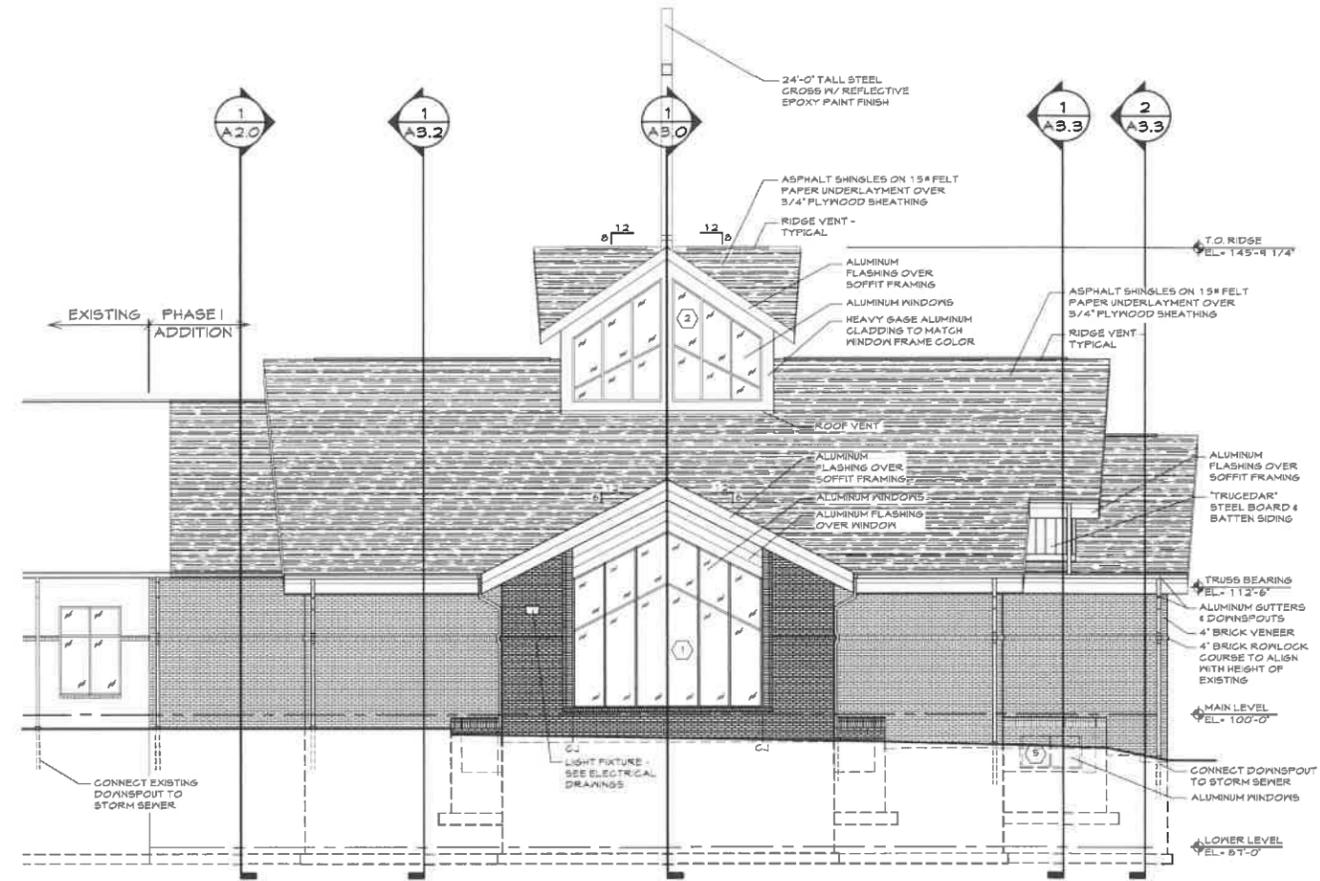
Author:
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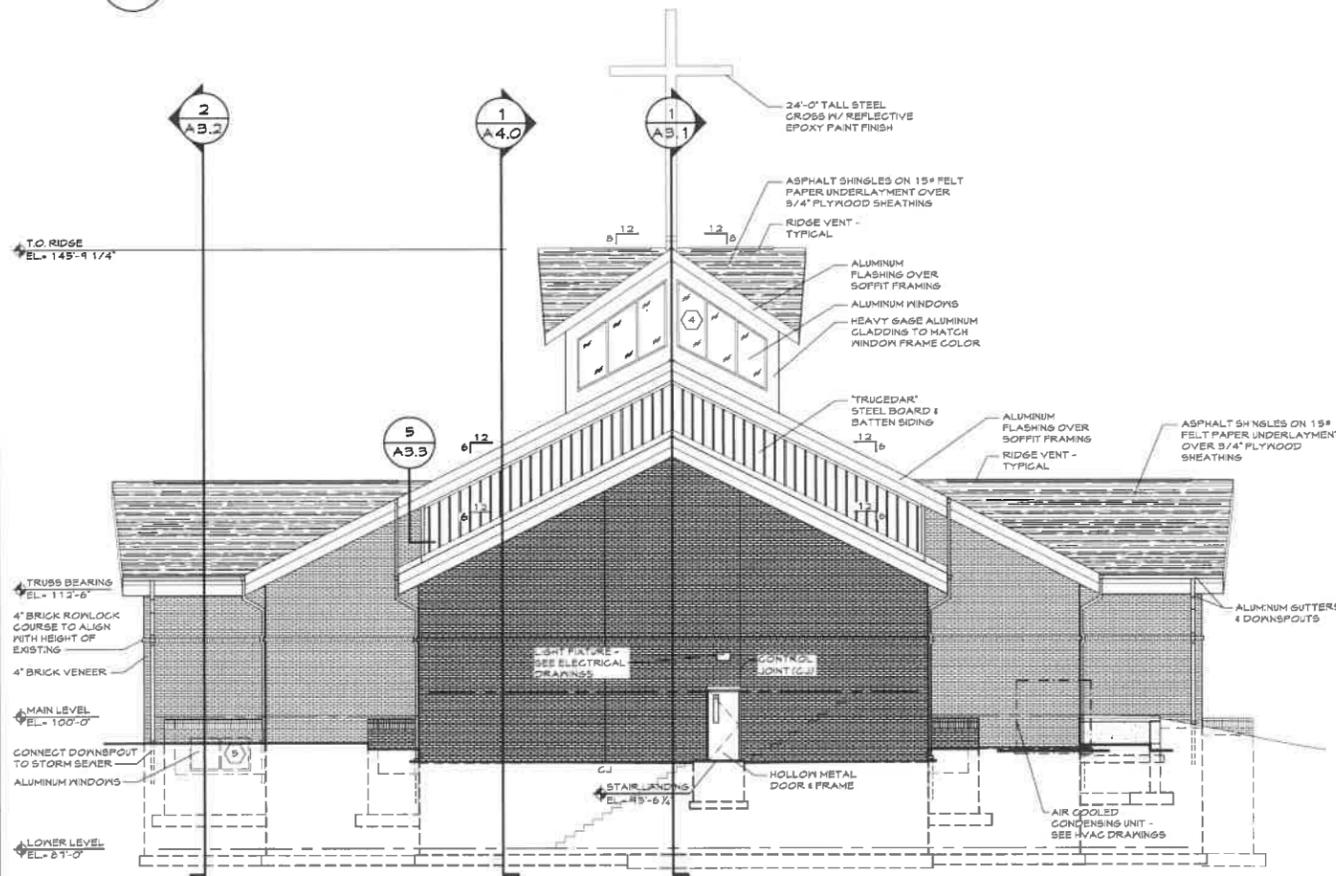
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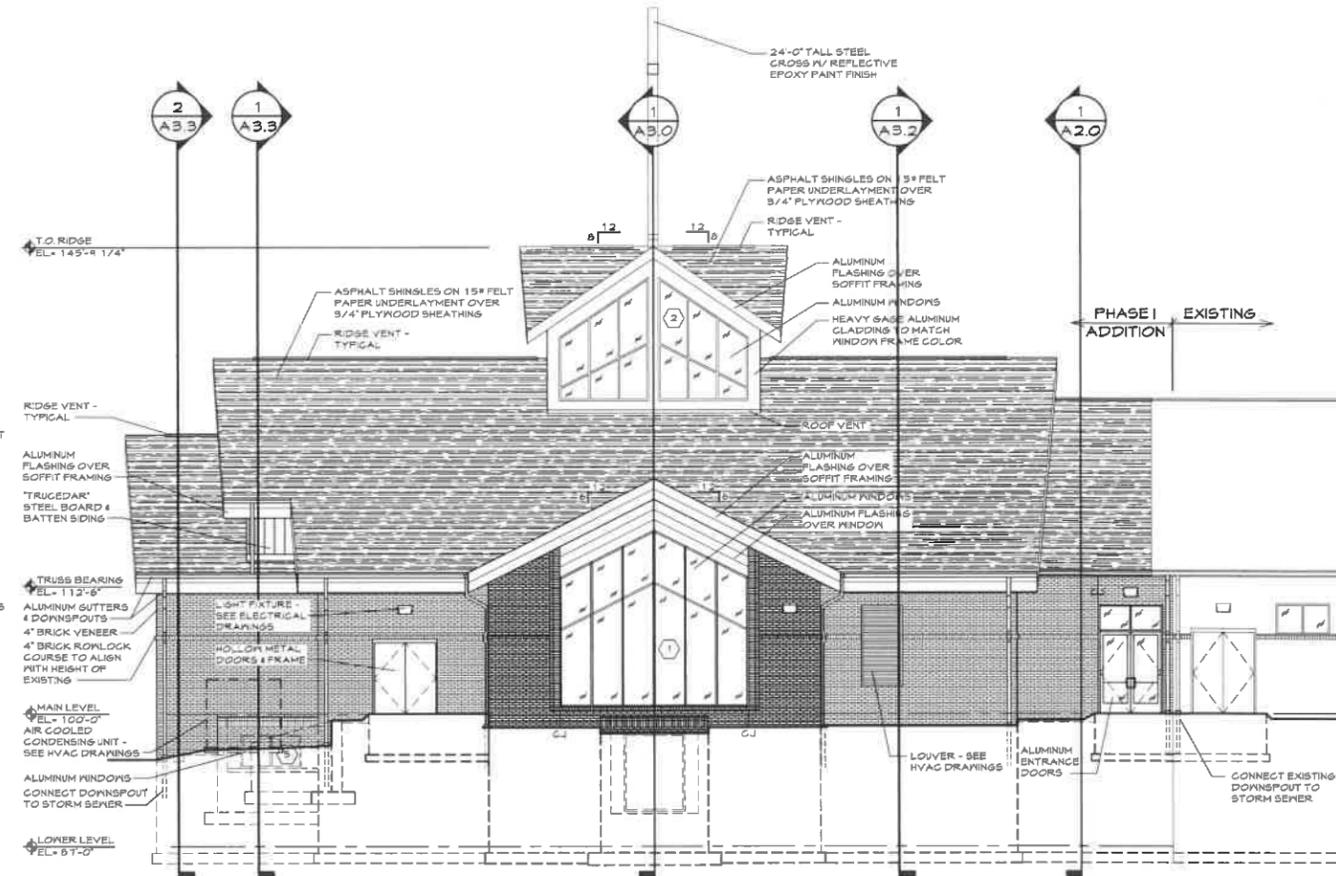
SOUTH ELEVATION

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EAST ELEVATION

SCALE: 1/8" = 1'-0"



NORTH ELEVATION

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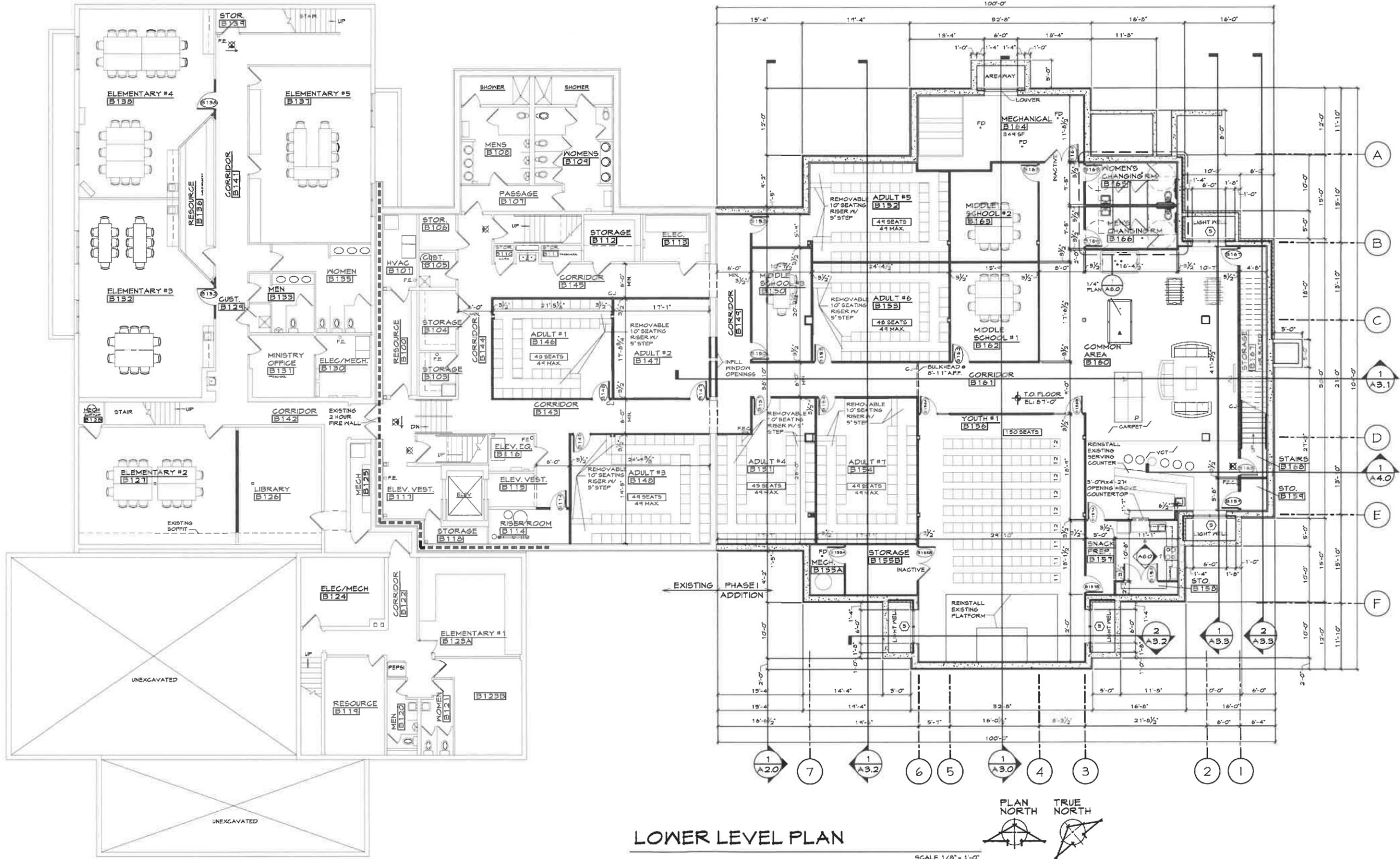
REVISIONS	
BY	DATE

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OFFICE: 920 North Lincoln Street, Appleton, WI 54912
PHONE: 920.835.1418
FAX: 920.835.1338
EMAIL: info@birschbach.com
WEB: www.birschbach.com

PROPOSED CHURCH CENTER EXPANSION ALTERNATIONS FOR...
VALLEY BAPTIST CHURCH
3600 NORTH GARDNER STREET
APPLETON, WISCONSIN 54911

DRAWN BY: EMB
APPROVED BY:
PROJECT NO.: 2015-04820
DATE: 08-01-2014
SHEET TITLE: BUILDING ELEVATIONS
SHEET: A2.0



LOWER LEVEL PLAN

SCALE 1/8" = 1'-0"

- GENERAL NOTES:**
1. ALL DIMENSIONS ARE TO THE FACE OF STUD, FACE OF FOUNDATION, OR FACE OF MASONRY, TYPICAL, UNLESS NOTED OTHERWISE.
 2. ALL DOOR AND/OR WINDOW SIZES SHOWN ARE NOMINAL. CONTRACTOR TO VERIFY ROUGH OPENING SIZE WITH MANUFACTURER.
 3. FOR TYPICAL EXPANSION JOINT DETAIL, SEE 4/A3.1.
 4. PROVIDE BLOCKING IN WALLS FOR ALL CONTRACTOR/OWNER PROVIDED WALL-MOUNTED EQUIPMENT AND HANDRAIL/GRAIP BAR BRACKETS PER MANUFACTURERS STANDARDS.

- LEGEND:**
- 4" BRICK VENEER W/ GALVANIZED VEE TIES @ 16" O.C. VERTICALLY & 32" O.C. HORIZONTALLY
 - WOOD STUD MALL: ALL WOOD STUD WALLS TO BE 4", 6" OR 8" WOOD STUDS @ 16" O.C. W/ ONE LAYER OF 5/8" GYPSUM BOARD W/ DRYWALL VENEER ON EACH FINISHED SIDE, UNO.
 - EXTERIOR WOOD STUD MALL: TYVEK OVER 1 1/2" RIGID INSULATION ON 1/2" OSB SHEATHING ON 6" WOOD STUDS @ 16" O.C. WITH 6" UNFACED FIBERGLASS BATT INSULATION, 6 MIL POLY VAPOR BARRIER AND ONE LAYER OF 5/8" GYPSUM BOARD W/ DRYWALL VENEER ON FINISHED SIDE.
 - INSULATED CONCRETE FORM (ICF) SYSTEM: 12" CONCRETE WITH A 2 1/2" INSULATION FORM ON EACH SIDE
 - EXISTING MALL CONSTRUCTION TO REMAIN

REVISIONS

NO.	DATE	DESCRIPTION

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 APPLETON, WISCONSIN 54914
 TEL: 920.833.2000
 FAX: 920.833.2000
 WWW.BIRSCHBACH.COM

BIRSCHBACH ASSOCIATES, LTD.
 PROJECT MANAGER: JAMES R. BIRSCHBACH
 ARCHITECT: JAMES R. BIRSCHBACH
 P.O. BOX 1218 APPLETON, WISCONSIN 54912-1218

PROPOSED MINISTRY CENTER EXPANSION ALTERNATIVE FOR
VALLEY BAPTIST CHURCH
 3400 NORTH CUPPENA STREET
 APPLETON, WISCONSIN 54911

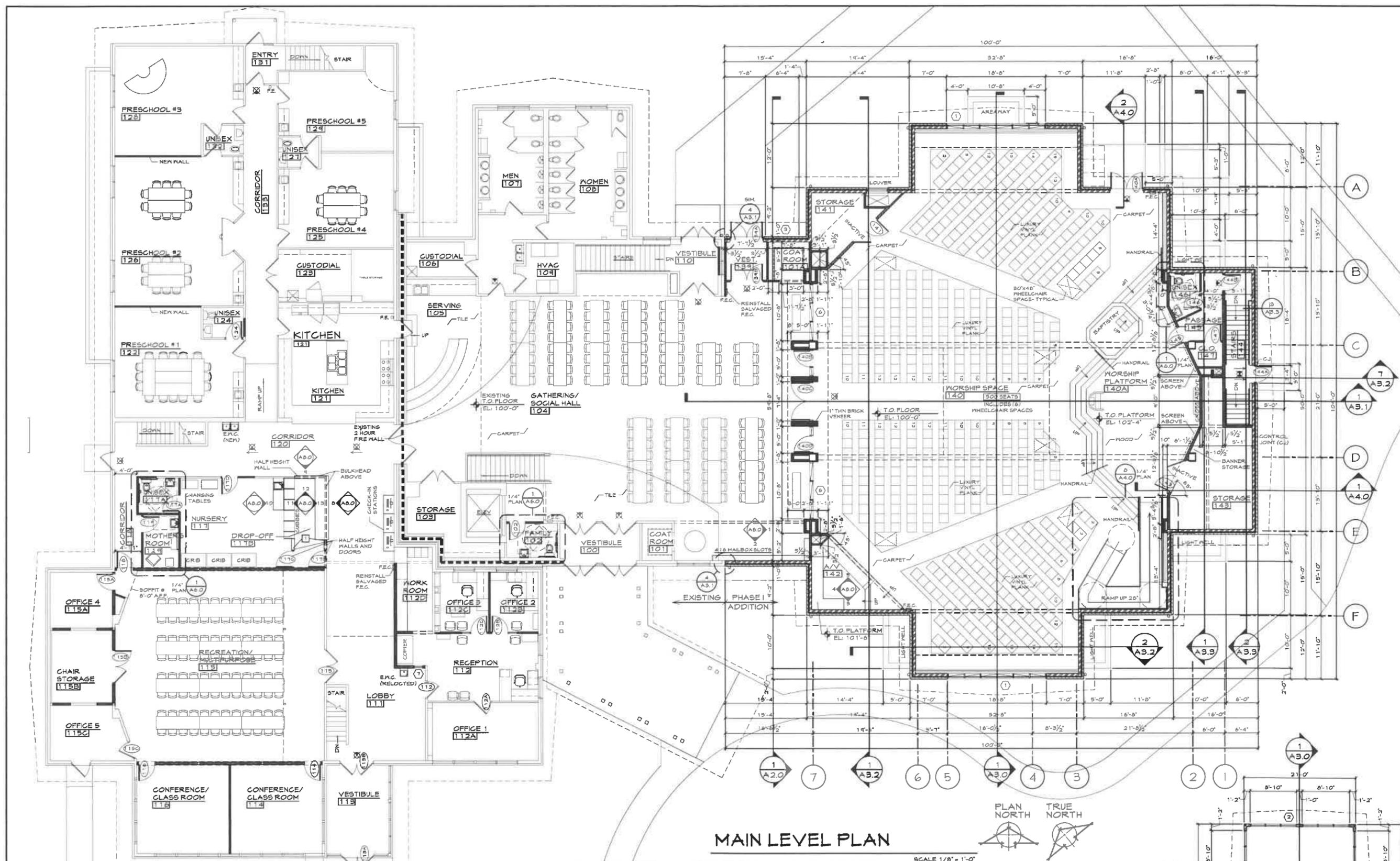
DRAWN BY: E-MG

APPROVED BY:

PROJECT NO: 2013-045.20
 DATE: 05-01-2014
 SHEET TITLE: PROPOSED LOWER LEVEL PLAN

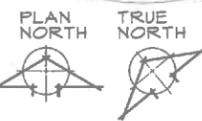
SHEET: **A1.2**

"REVISED SET 05-17-19"



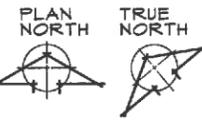
MAIN LEVEL PLAN

SCALE 1/8" = 1'-0"



CUPOLA PLAN

SCALE 1/8" = 1'-0"



GENERAL NOTES:

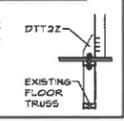
1. ALL DIMENSIONS ARE TO THE FACE OF STUD, FACE OF FOUNDATION, OR FACE OF MASONRY, TYPICAL, UNLESS NOTED OTHERWISE.
2. ALL DOOR AND/OR WINDOW SIZES SHOWN ARE NOMINAL. CONTRACTOR TO VERIFY ROUGH OPENING SIZE WITH MANUFACTURER.
3. FOR TYPICAL EXPANSION JOINT DETAIL, SEE 4/A3.1.
4. PROVIDE BLOCKS IN WALLS FOR ALL CONTRACTOR/OWNER PROVIDED MOUNTED EQUIPMENT AND HANDRAIL/GRAB BAR BRACKETS PER MANUFACTURER'S STANDARDS.

LEGEND:

- 4" BRICK VENEER IV GALVANIZED VEE TIES @ 16" O.C. VERTICALLY & 2' O.C. HORIZONTALLY
- WOOD STUD MALL - ALL WOOD STUD WALLS TO BE 4", 6" OR 8" WOOD STUDS @ 16" O.C. W/ ONE LAYER OF 5/8" GYP/UM BOARD IV DRYWALL VENEER ON EACH FINISHED SIDE, U.N.C.
- EXTERIOR WOOD STUD MALL - TRYSK OVER 1 1/2" RIGID INSULATION ON 1/2" OSB SHEATHING ON 6" WOOD STUDS @ 16" O.C. WITH 6" UNFACED FIBERGLASS BATT INSULATION & ML POLY VAPOR BARRIER AND ONE LAYER OF 5/8" GYP/UM BOARD IV DRYWALL VENEER ON FINISHED SIDE.
- INSULATED CONCRETE FORM (ICF) SYSTEM, 12" CONCRETE WITH A 2" 1/2" INSULATION FORM ON EACH SIDE
- EXISTING MALL CONSTRUCTION TO REMAIN

PLAN KEYED NOTES:

1. KNEE WALL REINFORCING (FOR EXISTING WOOD FLOOR): FASTEN KNEE WALL TO FLOOR TRUSSES IV SIMPSON DTT22 HOLDDOWN. FASTEN HOLDDOWN TO STUD W/ (6) 1/2" SCS SCREENS PER MANUFACTURER. FASTEN HOLDDOWN TO TOP CHORD OF TRUSS W/ 3/4" DIA. X4" F1934 GR. 36 THREADED ROD. PROVIDE NUT AND WASHER AT ENDS OF ROD.
2. LOCATE HOLDDOWN AS CLOSE TO WALL ENDS AS POSSIBLE; IF NO TRUSS IS AVAILABLE, PROVIDE BLOCKING AS NEEDED FOR HOLDDOWN CONNECTION.



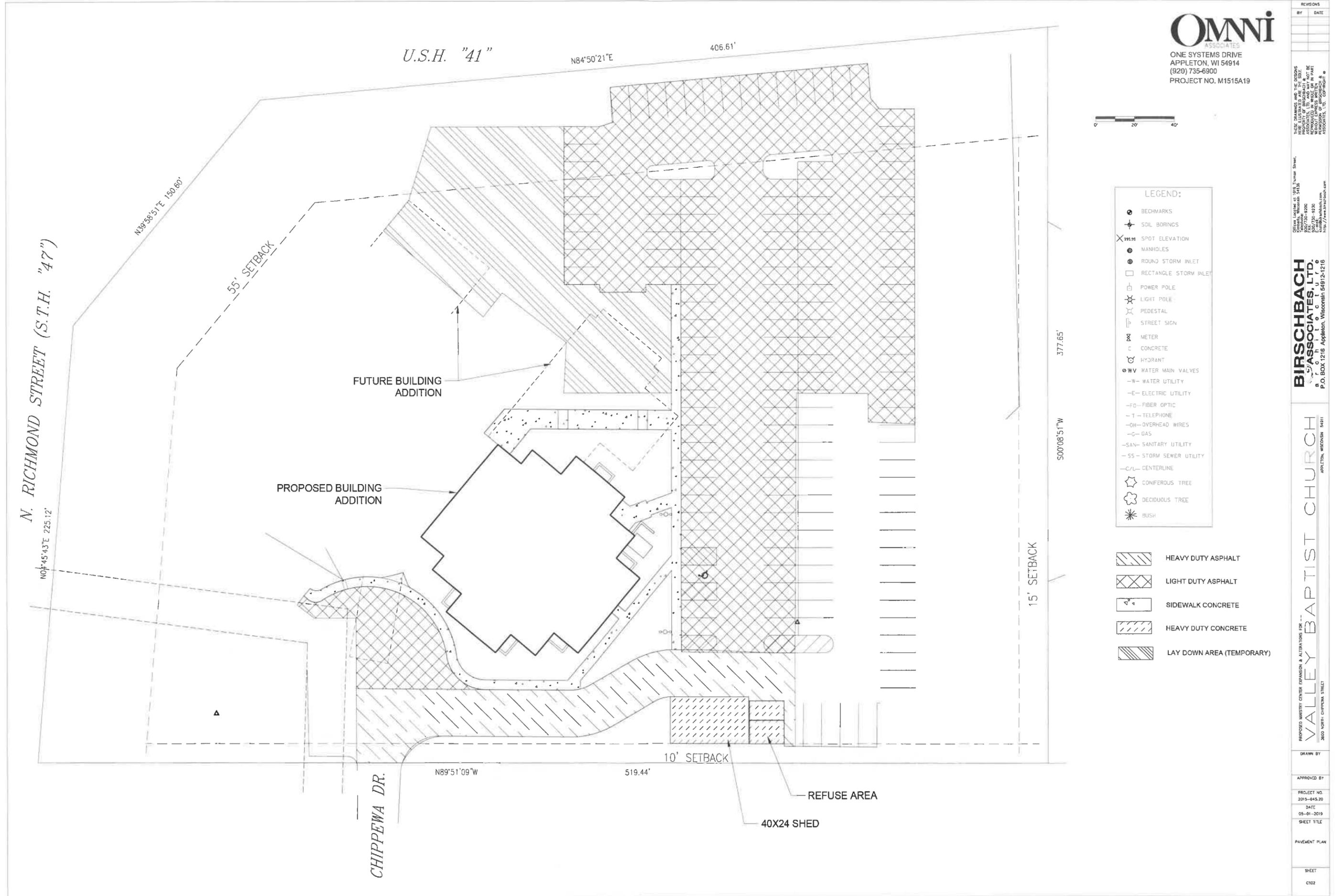
REVISIONS	
BY	DATE

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BIRSCHBACH ASSOCIATES, LTD.
ENGINEERS, ARCHITECTS & PLANNERS
P.O. BOX 1216 Appleton, Wisconsin 54912-1216
www.birschbach.com

PROPOSED MINISTRY CENTER EXPANSION & ALTERATIONS FOR
VALLEY BAPTIST CHURCH
3600 NORTH CHIPPEWA STREET
APPLETON, WISCONSIN 54911

DRAWN BY	
APPROVED BY	
PROJECT NO.	2019-045.20
DATE	05-01-2019
SHEET TITLE	PAYEMENT PLAN
SHEET	C102



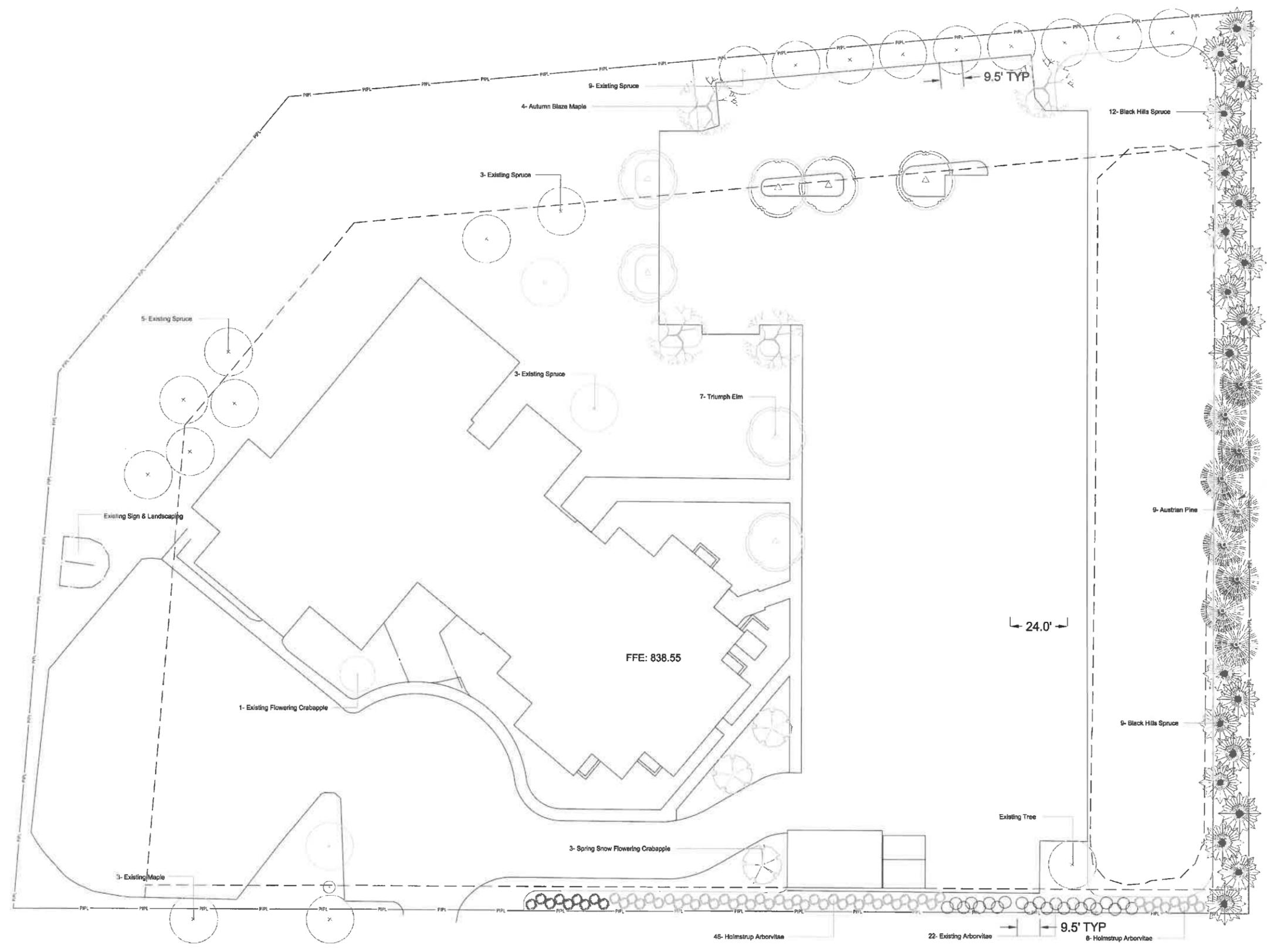


LEGEND:

- BECHMARKS
- ⊕ SOIL BORINGS
- X SPOT ELEVATION
- MANHOLES
- ROUND STORM INLET
- RECTANGLE STORM INLET
- ⊕ POWER POLE
- ⊕ LIGHT POLE
- ⊕ PEDESTAL
- ⊕ STREET SIGN
- ⊕ METER
- C CONCRETE
- ⊕ HYDRANT
- ⊕ WV WATER MAIN VALVES
- W- WATER UTILITY
- E- ELECTRIC UTILITY
- FO- FIBER OPTIC
- T- TELEPHONE
- OH- OVERHEAD WIRES
- G- GAS
- SAN- SANITARY UTILITY
- SS- STORM SEWER UTILITY
- C/L- CENTERLINE
- ☆ CONIFEROUS TREE
- ☆ DECIDUOUS TREE
- ☆ BUSH

EXIST CATCH BASIN
 RIM ELEV: 831.96
 S 18" INV ELEV: 825.06
 N 18" INV ELEV: 825.06

EXIST MH
 RIM ELEV: 829.49
 18" INV ELEV: 826.84



Item No.	Description	Quantity	Unit	Notes
1	Asphalt Paving	15,000	Sq. Yd.	1/2" thick, 18" wide
2	Gravel Base	15,000	Sq. Yd.	1/2" thick, 18" wide
3	Gravel Subbase	15,000	Sq. Yd.	1/2" thick, 18" wide
4	Gravel	15,000	Sq. Yd.	1/2" thick, 18" wide
5	Gravel	15,000	Sq. Yd.	1/2" thick, 18" wide
6	Gravel	15,000	Sq. Yd.	1/2" thick, 18" wide
7	Gravel	15,000	Sq. Yd.	1/2" thick, 18" wide
8	Gravel	15,000	Sq. Yd.	1/2" thick, 18" wide
9	Gravel	15,000	Sq. Yd.	1/2" thick, 18" wide
10	Gravel	15,000	Sq. Yd.	1/2" thick, 18" wide
11	Gravel	15,000	Sq. Yd.	1/2" thick, 18" wide
12	Gravel	15,000	Sq. Yd.	1/2" thick, 18" wide
13	Gravel	15,000	Sq. Yd.	1/2" thick, 18" wide
14	Gravel	15,000	Sq. Yd.	1/2" thick, 18" wide
15	Gravel	15,000	Sq. Yd.	1/2" thick, 18" wide
16	Gravel	15,000	Sq. Yd.	1/2" thick, 18" wide
17	Gravel	15,000	Sq. Yd.	1/2" thick, 18" wide
18	Gravel	15,000	Sq. Yd.	1/2" thick, 18" wide
19	Gravel	15,000	Sq. Yd.	1/2" thick, 18" wide
20	Gravel	15,000	Sq. Yd.	1/2" thick, 18" wide
21	Gravel	15,000	Sq. Yd.	1/2" thick, 18" wide
22	Gravel	15,000	Sq. Yd.	1/2" thick, 18" wide
23	Gravel	15,000	Sq. Yd.	1/2" thick, 18" wide
24	Gravel	15,000	Sq. Yd.	1/2" thick, 18" wide
25	Gravel	15,000	Sq. Yd.	1/2" thick, 18" wide
26	Gravel	15,000	Sq. Yd.	1/2" thick, 18" wide
27	Gravel	15,000	Sq. Yd.	1/2" thick, 18" wide
28	Gravel	15,000	Sq. Yd.	1/2" thick, 18" wide
29	Gravel	15,000	Sq. Yd.	1/2" thick, 18" wide
30	Gravel	15,000	Sq. Yd.	1/2" thick, 18" wide

Notes:

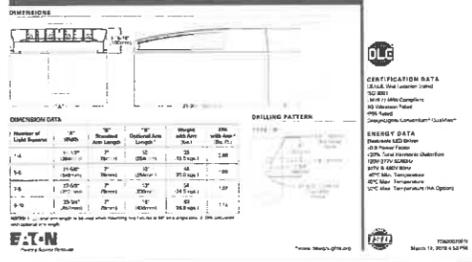
1. All trees to be removed shall be removed prior to construction.
2. All trees to be retained shall be protected with a 2" diameter metal pipe and a 2" thick layer of mulch.
3. All trees to be retained shall be protected with a 2" diameter metal pipe and a 2" thick layer of mulch.
4. All trees to be retained shall be protected with a 2" diameter metal pipe and a 2" thick layer of mulch.
5. All trees to be retained shall be protected with a 2" diameter metal pipe and a 2" thick layer of mulch.
6. All trees to be retained shall be protected with a 2" diameter metal pipe and a 2" thick layer of mulch.
7. All trees to be retained shall be protected with a 2" diameter metal pipe and a 2" thick layer of mulch.
8. All trees to be retained shall be protected with a 2" diameter metal pipe and a 2" thick layer of mulch.
9. All trees to be retained shall be protected with a 2" diameter metal pipe and a 2" thick layer of mulch.
10. All trees to be retained shall be protected with a 2" diameter metal pipe and a 2" thick layer of mulch.

VALLEY BAPTIST CHURCH

McGraw-Edison
STAND 52

DESCRIPTION
 The Stand 52 LED luminaire is a recessed ceiling luminaire with a 12" diameter. It is designed for use in commercial and industrial applications. The luminaire is available in two versions: a standard version and a dimmable version. The standard version is available in two wattage options: 112W and 112W. The dimmable version is available in two wattage options: 112W and 112W.

APPLICATION FEATURES
 • Recessed ceiling luminaire
 • 12" diameter
 • Available in standard and dimmable versions
 • Available in two wattage options: 112W and 112W



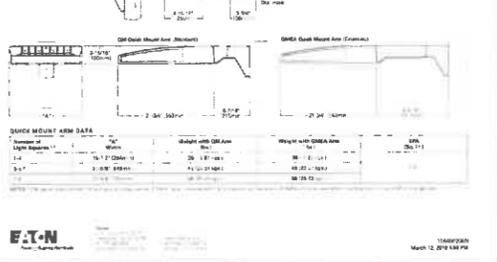
CERTIFICATION DATA

Item	Value
UL Listed	Yes
ETL Listed	Yes
CE Marked	Yes
RoHS Compliant	Yes
Energy Star Qualified	Yes

McGraw-Edison
GLEON GALLEON LED

DESCRIPTION
 The Gleon Galleon LED luminaire is a track luminaire with a 12" diameter. It is designed for use in commercial and industrial applications. The luminaire is available in two versions: a standard version and a dimmable version. The standard version is available in two wattage options: 112W and 112W. The dimmable version is available in two wattage options: 112W and 112W.

APPLICATION FEATURES
 • Track luminaire
 • 12" diameter
 • Available in standard and dimmable versions
 • Available in two wattage options: 112W and 112W



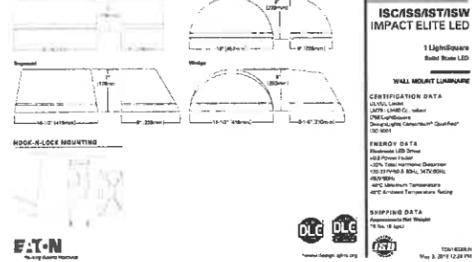
CERTIFICATION DATA

Item	Value
UL Listed	Yes
ETL Listed	Yes
CE Marked	Yes
RoHS Compliant	Yes
Energy Star Qualified	Yes

McGraw-Edison
ISCASSASTASW IMPACT ELITE LED

DESCRIPTION
 The ISCASSASTASW Impact Elite LED luminaire is a track luminaire with a 12" diameter. It is designed for use in commercial and industrial applications. The luminaire is available in two versions: a standard version and a dimmable version. The standard version is available in two wattage options: 112W and 112W. The dimmable version is available in two wattage options: 112W and 112W.

APPLICATION FEATURES
 • Track luminaire
 • 12" diameter
 • Available in standard and dimmable versions
 • Available in two wattage options: 112W and 112W



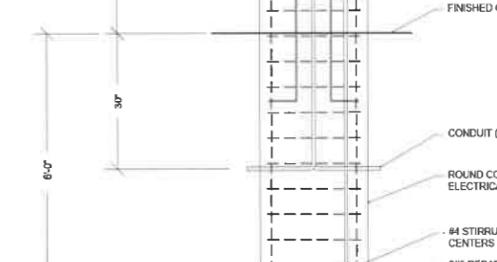
CERTIFICATION DATA

Item	Value
UL Listed	Yes
ETL Listed	Yes
CE Marked	Yes
RoHS Compliant	Yes
Energy Star Qualified	Yes

McGraw-Edison
W2

DESCRIPTION
 The W2 luminaire is a track luminaire with a 12" diameter. It is designed for use in commercial and industrial applications. The luminaire is available in two versions: a standard version and a dimmable version. The standard version is available in two wattage options: 112W and 112W. The dimmable version is available in two wattage options: 112W and 112W.

APPLICATION FEATURES
 • Track luminaire
 • 12" diameter
 • Available in standard and dimmable versions
 • Available in two wattage options: 112W and 112W



CERTIFICATION DATA

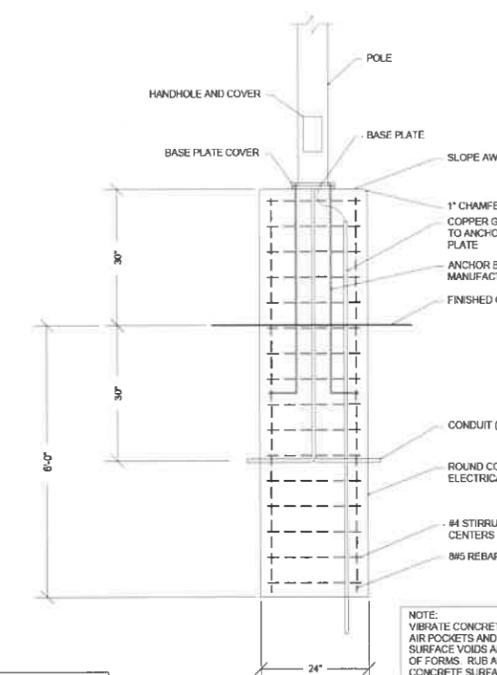
Item	Value
UL Listed	Yes
ETL Listed	Yes
CE Marked	Yes
RoHS Compliant	Yes
Energy Star Qualified	Yes

LIGHT FIXTURE SCHEDULE

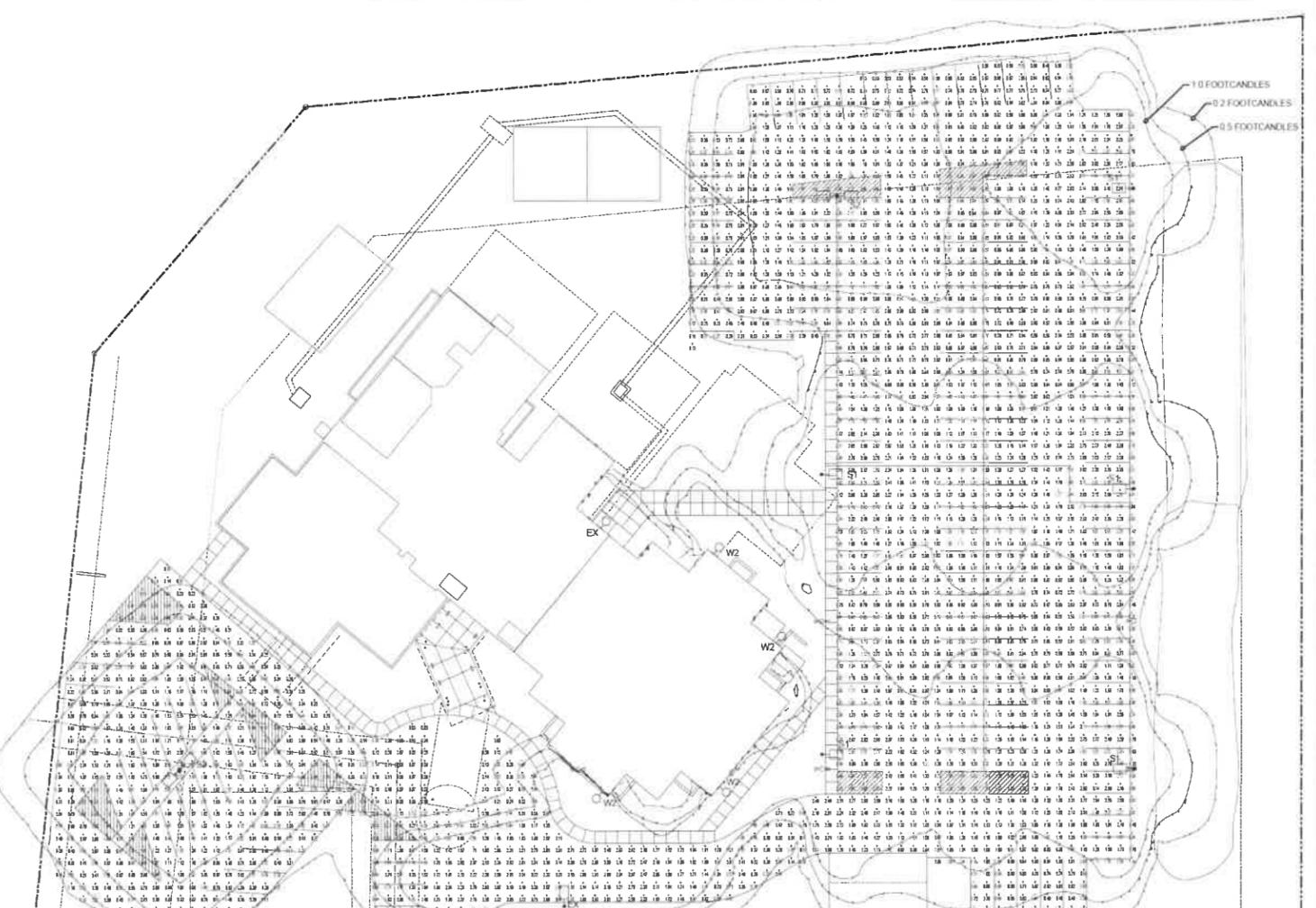
FIXTURE TYPE	FIXTURE DESCRIPTION	LIGHT FIXTURE			FIXTURE LAMPING					
		MANUFACTURER	CATALOG NUMBER	SYSTEM VOLTAGE	BALLAST	LAMP CATALOG NUMBER OR TYPE	LAMP TYPE	LAMP WATTS	LAMP QTY.	LAMP SYSTEM NOTES
S1	LED, SINGLE HEAD, TYPE IV DISTRIBUTION, 12533 LUMENS, 20' POLE	McGraw Edison	GLEON-AF-02-LED-E1-T4FT-BZ	120-277		LED		112	4	
S2	LED, DOUBLE HEAD, TYPE II DISTRIBUTION, 12533 LUMENS, 20' POLE	McGraw Edison	GLEON-AF-02-LED-E1-T2-BZ	120-277		LED		112	4	

- NOTES:**
- SOME FIXTURES SHALL BE PROVIDED WITH EMERGENCY BATTERY BALLASTS WITH MINIMUM 600 LUMEN OUTPUT. SEE DRAWINGS FOR FIXTURES AND LOCATIONS AND SPECIFICATIONS FOR BALLAST INFORMATION.
 - PROVIDE CURRENT LIMITER FOR EACH TRACK SECTION AS INDICATED ON PLANS BY CL-XA (WHERE XA EQUALS THE LIMITER IN AMPERAGE). PROVIDE QUANTITY OF TRACK HEADS AS SHOWN ON THE PLAN.
 - MOUNT NOTED FIXTURE AT APPROXIMATELY 22'-8" AFF TO CENTERLINE OF FIXTURE.
 - PROVIDE 20' POLE FOR NOTED FIXTURES. REUSE EXISTING POLES FOR PREVIOUSLY REMOVED POLES IF POSSIBLE.
 - NOTED FIXTURE SHALL BE DIMMABLE AND PROVIDED WITH AN ELDO LED DRIVER THAT ISOLATES THE 0-10V DRIVER FROM THE AC CIRCUIT TO WORK WITH THE DIMMING SYSTEM.
 - NOTED FIXTURE SHALL BE PROVIDED WITH A 20 DEGREE SLOPED CEILING ADAPTOR.
 - MOUNT FIXTURE AT HEIGHT SHOWN ON THE PLANS, TO THE CENTERLINE OF THE FIXTURE.
 - MOUNT TRACK VERTICAL, MOUNTED AT 22'-8" TO THE BOTTOM OF THE TRACK. TWO HEADS PER SECTION.
 - NOTED FIXTURE SHALL BE DIMMABLE.
 - CONTRACTOR TO VERIFY INSTALLATION OF NOTED FIXTURES ON BACK SIDE OF CROSS AND NOTIFY ARCHITECT/ENGINEER AS SOON AS POSSIBLE WITH ANY DISCREPANCIES. PROVIDE ONE "X" CONNECTOR, MLX-XC AND MOUNT AT CENTER OF CROSS. PROVIDE 4 MLX-CC-12 1/2" CONNECTORS TO CONNECT TO "X" CONNECTOR. PROVIDE MOUNTING BRACKETS IN QUANTITIES REQUIRED TO MATCH FIXTURES SUPPLIED. CENTER FIXTURE IN AREA BETWEEN CROSS MOUNTING POINTS. INSTALL J-BOX TO POWER FIXTURES AND PROVIDE POWER CORD TO FIXTURE ASSEMBLY.

- GENERAL NOTES:**
- ALL NON RATED FIXTURES INSTALLED IN AN IC APPLICATION SHALL HAVE THE SURROUNDING AREA BOXED OUT SUCH THAT INSULATION DOES NOT COME IN CONTACT WITH THE FIXTURE. FURTHERMORE, BOXING OUT OF THE FIXTURES DOES NOT REMOVE OR COMPROMISE THE REQUIREMENT TO MAINTAIN THE BUILDING INSULATION SYSTEM AS CALLED OUT IN OTHER AREAS OF THE CONTRACT DOCUMENTS.
 - WHERE RECESSED FIXTURES PENETRATE THE BUILDING ENVELOPE BETWEEN CONDITIONED AND NON CONDITIONED SPACES, THE PENETRATION SHALL BE PROPERLY SEALED TO ELIMINATE AIR MOVEMENT FROM A CONDITIONED SPACE TO A NON CONDITIONED SPACE.



POLE BASE DETAIL



OSI is created by Licht 2007 on 2020/06/15/14 PM

ITEM	DESCRIPTION	QTY	UNIT	PRICE	TOTAL
1	12" LED STAND 52	100	EA	1.50	150.00
2	12" LED GLEON GALLEON	100	EA	1.50	150.00
3	12" LED ISCASSASTASW	100	EA	1.50	150.00
4	12" LED W2	100	EA	1.50	150.00

Material Schedule

ITEM	DESCRIPTION	QTY	UNIT	PRICE	TOTAL
1	12" LED STAND 52	100	EA	1.50	150.00
2	12" LED GLEON GALLEON	100	EA	1.50	150.00
3	12" LED ISCASSASTASW	100	EA	1.50	150.00
4	12" LED W2	100	EA	1.50	150.00

ELECTRICAL SITE PLAN LIGHTING LEVEL PLAN

SCALE: 1" = 30'-0"

Legend

Symbol	Description
(Circle with 'S')	Stand 52
(Circle with 'G')	Gleon Galleon
(Circle with 'I')	ISCASSASTASW
(Circle with 'W')	W2

BIRSCHBACH ASSOCIATES, LTD.
 PROJECT: WEST GATE CENTER EXPANSION ALTERNATIVE FOR VALLEY BAPTIST CHURCH
 8400 NORTH CANTON AVENUE, SUITE 100
 MILWAUKEE, WISCONSIN 53224
 TEL: 414-764-1100
 FAX: 414-764-1101
 WWW.BIRSCHBACHASSOCIATES.COM

REVISIONS

NO.	DATE	DESCRIPTION
1	09-01-2014	ISSUED FOR PERMIT

APPROVED BY: [Signature]
DATE: 09-01-2014
SHEET TITLE: ELECTRICAL SITE PLAN LIGHTING LEVEL CALCULATIONS
SHEET NO.: ES2

PRELIMINARY NOT FOR CONSTRUCTION

MDS

MIDWEST DESIGN SOLUTIONS, LLC
 2076 Bay Settlement Rd
 Green Bay, WI 54311
 heland@midwestdesignsolutions.com
 (920) 471-0805

**Town of Grand Chute
Site Plan Amendment Review
Fox Valley Technical College Foundation, dba Fox Valley Technical
College – Junior Achievement Center**

To: Plan Commission
From: Michael Patza, Town Planner
Date: June 13, 2019
Address: 11 Tri-Park Way **App. #: SPA1-00-99**

REQUEST

- 1. Proposed Use(s):** Continued technical college use.
- 2. Project Description:** Remove existing monument sign and install a new monument sign.
- 3. Plat/CSM Accurate parcel lines/lot recorded:** Yes.

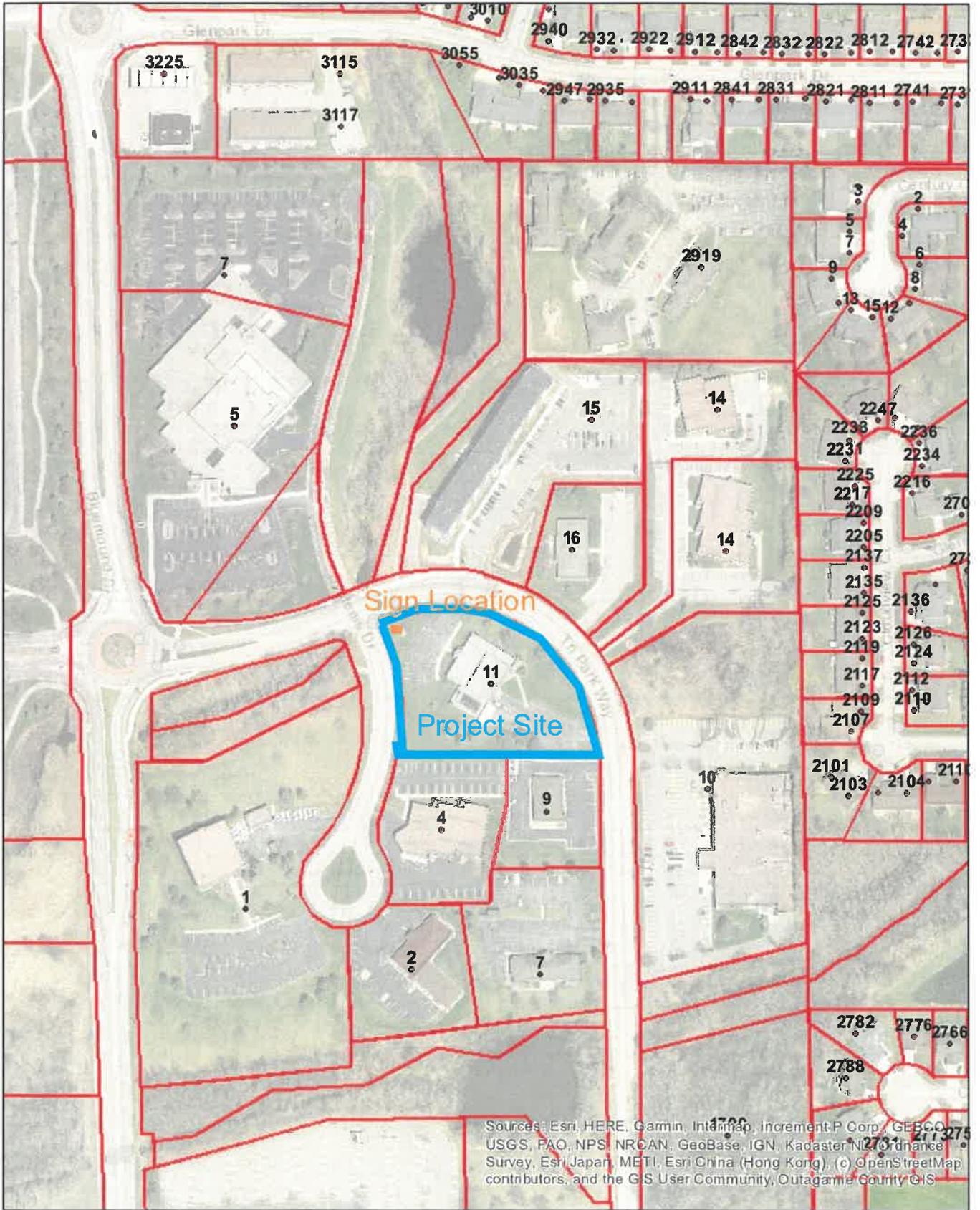
ANALYSIS

Fox Valley Technical College is renovating the building at 11 Tri-Park Way to serve as their Junior Achievement Center. The new monument sign will reflect the new use of the building. The sign will be 96 sq. ft. in size and 11'-4" in height. The sign will be placed on the corner of Tri-Park Way and S. Systems Drive. All other code requirements are met with this request.

RECOMMENDATION

Staff has reviewed and supports Plan Commission approval of the Site Plan (SPA1-00-99) requested by Fox Valley Technical College Foundation, dba Fox Valley Technical College, to remove an existing monument sign and install a new monument sign at the Junior Achievement Center, 11 Tri-Park Way.

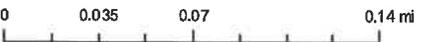
SPA1-00-99 -- 11 Tri-Park Way



Sources: Esri, HERE, Garmin, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), (c) OpenStreetMap contributors, and the GIS User Community, Outagamie County GIS

Disclaimer: The data provided in the Town of Grand Chute Interactive GIS Map was generated from multiple sources and agencies. Every effort has been made to offer the most accurate data. However, the Town provides this information with the understanding that it is not guaranteed to be accurate, correct, or complete. The Town may make improvements to the Interactive GIS Map periodically. Conclusions drawn from this information are the responsibility of the user. The user agrees that the Town of Grand Chute shall not be held responsible for actions, claims, damages, or judgments made from this data.

Author:
Copyright:



Junior Achievement Center Sign Location Map





REMOVE & DISPOSE OF EXISTING SIGN

SCALE: 1/2" = 1' 0"

LOCATION VIEW

AppletonSIGN
COMPANY

2400 Holly Road • Neenah, WI 54956
Tel: 920.734.1601 • Fax: 920.734.1622

www.AppletonSIGN.com

CLIENT:	FVTC
STREET ADDRESS:	11 TRI-PARK WAY
CITY / STATE:	APPLETON, WI
SCOPE:	12428 - MONUMENT SIGN
DATE:	04/09/19
SALES:	ROD FREDRICKSON
DESIGNER:	COURTNEY MUELLER

GENERAL SPECIFICATIONS	
VOLTAGE:	
POWER DRAW:	
SQUARE FOOTAGE:	123 - APPROX.

COLOR SCHEDULE	

REQUIRED ITEMS	
CLEAN ART?	
FIELD SURVEY?	
COLORS?	
MISC. ITEMS?	

REVISION SCHEDULE	

PLEASE SIGN BELOW STATING THAT THIS DESIGN IS APPROVED

X _____

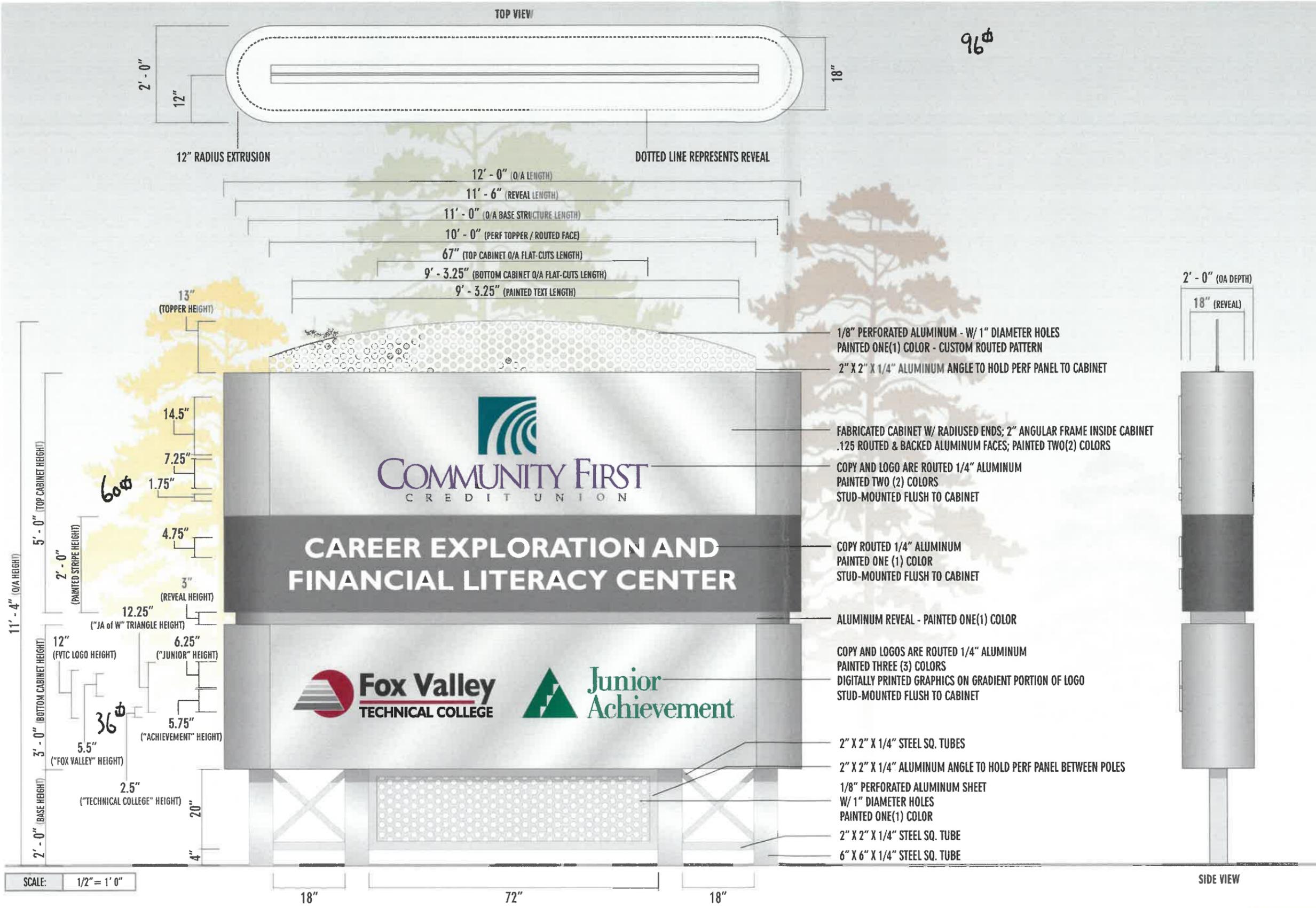
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LOCATION VIEW **OPT. #1** **12428-A** **2**

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AppletonSIGN
COMPANY

2400 Holly Road • Neenah, WI 54956
Tel: 920.734.1601 • Fax: 920.734.1622

www.AppletonSIGN.com

CLIENT:	FVTC
STREET ADDRESS:	11 TRI-PARK WAY
CITY / STATE:	APPLETON, WI
SCOPE:	12428 - MONUMENT SIGN
DATE:	04/09/19
SALES:	ROD FREDRICKSON
DESIGNER:	COURTNEY MUELLER

GENERAL SPECIFICATIONS	
VOLTAGE:	
POWER DRAW:	
SQUARE FOOTAGE:	84 - APPROX.

COLOR SCHEDULE	
1	MATTHEWS METALLIC SILVER (W/ CLEAR COAT) **2 COATS OF FILLER PRIMER REQUIRED**
2	PAINT TO MATCH: PANTONE COOL GREY 10C **2 COATS OF FILLER PRIMER REQUIRED**
3	PAINT TO MATCH: PMS 348 C
4	PAINT TO MATCH: PMS 329 C
5	PAINT TO MATCH: PMS 2627 C
6	PAINT TO MATCH: PMS 201 C
7	PAINT: SATIN BLACK
8	PAINT: SATIN WHITE
9	PRINT GREY SCALE GRADIENT LOGO PIECES

REQUIRED ITEMS	
CLEAN ART?	
FIELD SURVEY?	
COLORS?	
MISC. ITEMS?	

REVISION SCHEDULE	
05/20/19	REMOVED "OF WISCONSIN" & @

PLEASE SIGN BELOW STATING THAT THIS DESIGN IS APPROVED

X

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FABRICATE AND INSTALL QTY ONE(1) S/F NON-LIT MONUMENT SIGN. REMOVE AND DISPOSE OF EXISTING SIGN. **OPT. #1** **12428-A** **1**

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**DETAILED DESIGN!
CAN BE USED FOR PRODUCTION**