



PLAN COMMISSION AGENDA
Tuesday, July 16, 2019 - 6:00 pm
Town Hall - 1900 W. Grand Chute Blvd.

1. Roll Call.
2. Pledge of Allegiance.
3. Approval of Agenda.
4. Approval of Minutes – June 18, 2019 meeting.
5. Public Input.
6. Community Development Director's Report.
7. **Neighborhood Information Meeting #1** – Conditional Use Permit (CUP-10-19) requested by Greene Development Appleton, LLC, 3810 W. Wisconsin Avenue, to allow grading and filling within 300 feet of a navigable stream. **Action:** Hear testimony/close meeting.
8. **Conditional Use Permit (CUP-10-19)** – Request by Greene Development Appleton, LLC, 3810 W. Wisconsin Avenue, to allow grading and filling within 300 feet of a navigable stream. **Action:** Recommend approval/denial of CUP-10-19. (TOWN BOARD ACTION 7/16/2019)
9. **Public Hearing #1** – Special Exception Permit (SE-11-19) requested by Richard T. Knight, dba Auto Connection of Appleton, LLC, 4845 W. Greenville Drive, for operation of an automobile sales and service business. **Action:** Hear testimony/hold hearing open to August 8, 2019 PC meeting.
10. **Special Exception (SE-11-19)** – Request by Richard T. Knight, dba Auto Connection of Appleton, LLC, 4845 W. Greenville Drive, for operation of an automobile sales and service business. **Action:** Defer to August 8, 2019 PC meeting.
11. **Public Hearing #2** – Special Exception (SE-12-19) requested by AutoZone Inc., dba AutoZone Auto Parts, 5150 W. Integrity Way, for operation of an automobile parts business. **Action:** Hear testimony/hold hearing open to August 8, 2019 PC meeting.
12. **Special Exception (SE-12-19)** – Request by AutoZone Inc., dba AutoZone Auto Parts, 5150 W. Integrity Way for operation of an automobile parts business. **Action:** Defer to August 8, 2019 PC meeting.
13. **Site Plan (SP-15-19)** – Request by PR Appleton West, Inc, dba Pizza Ranch, 5450 W. Integrity Way, for construction of a restaurant building and associated site improvements. **Action:** Approve/deny SP-15-19.
14. **Site Plan (SP-16-19)** – Request by KFI Properties LLC, dba JG Home Improvements & Emergency Services, 1720 N. Silverspring Drive, for construction of a building addition and associated site improvements. **Action:** Approve/deny SP-16-19.
15. **Site Plan Amendment (SPA1-18-12)** – Request by Fox Cities Amateur Sports Authority, 2400 N. Casaloma Drive, for modifications to the entrance drive and addition of emergency access at Fox Cities Stadium. **Action:** Approve/deny SPA1-18-12.
16. **Site Plan Amendment (SPA1-00-04)** – Request by Victory Lane Imports Inc., dba Bergstrom Mazda of Appleton, 3023 N. Victory Lane, to remove an existing pylon sign and install a new pylon sign. **Action:** Approve/deny SPA1-00-04.

17. **Site Plan Amendment (SPA1-01-06)** – Request by MLSM Holdings LLC, dba Appleton Camping Center, Inc., 2100 N. McCarthy Road, to relocate an existing pylon sign. **Action:** Approve/deny SPA1-01-06.
18. **Site Plan Amendment (SPA1-00-93)** – Request by Scott D. Nerenhausen, dba The Dog House, 2230 W. Nordale Drive, to remove an existing pylon sign and install a new monument sign. **Action:** Approve/deny SPA1-00-93.
19. Adjournment.

Public Notice: Agendas are posted in the following locations: Town Hall bulletin boards & Town website www.grandchute.net 2015 Wisconsin Act 79 allows the publication of certain legal notices on an Internet site maintained by a municipality. This law allows these types of legal notices to be posted in one physical location in the jurisdiction (instead of three) if also placed on an Internet site maintained by the local government.

Special Accommodations: Requests from persons with disabilities who need assistance to participate in this meeting should be made to the Clerk's Office at (920-832-5644) with at least 24-hour notice.

Notice of Possible Quorum: A quorum of the Town Board, Sanitary Districts, Board of Review, Community Development Authority, Licensing Committee, Parks Commission, Joint Review Board, Zoning Board of Appeals and/or Police and Fire Commission may be present at this meeting for the purpose of gathering information and possible discussion on items listed on this agenda. However, unless otherwise noted in this agenda, no official action by the Town Board, Sanitary Districts, Board of Review, Community Development Authority, Licensing Committee, Parks Commission, Joint Review Board, Zoning Board of Appeals and/or Police and Fire Commission will be taken at this meeting.

GRAND CHUTE PLAN COMMISSION MINUTES

June 18, 2019

Members Present: Chairman Dave Schowalter, Commissioners Robert Stadel, Bruce Sherman, Julie Hidde, John Weber, Duane Boeckers, Pam Crosby, Cheryl Ulrich.

Also Present: James March, Town Administrator; Town Board Supervisor; Brent Braun, IT Director; Katie Schwartz, Public Works Director; Karen Heyrman, Deputy Public Works Director; Michael Patza, Town Planner; Tracy Olejniczak, Administrative Assistant; interested parties (audience attendance = 11)

1. **ROLL CALL**

Chairman Schowalter opened the meeting at 6:00 p.m.

2. **PLEDGE OF ALLEGIANCE**

3. **APPROVAL OF AGENDA**

Motion (Crosby/Boeckers) to approve the agenda. Motion carried, all voting aye.

4. **APPROVAL OF MINUTES** – JUNE 6, 2019 MEETING.

Motion (Hidde/Sherman) to approve the minutes. Motion carried, all voting aye.

5. **PUBLIC INPUT** – There was no public input.

6. **COMMUNITY DEVELOPMENT DIRECTOR'S REPORT** – Planner Patza reminded Commissioners that the July 2nd Plan Commission Meeting has been cancelled, the next meeting will be on July 16th.

7. **PUBLIC HEARING #1** – SPECIAL EXCEPTION (SE-10-19) REQUESTED BY CENTRAL FLORIDA RESTAURANTS, INC., DBA TGI FRIDAY'S, 4699 W. MICHEALS DRIVE, FOR OPERATION OF AN OUTDOOR SERVICE/BEER GARDEN.

Chairman Schowalter opened Public Hearing #1 at 6:03 p.m.

Eric Phillips, TGI Friday's General Manager, stated he was in attendance to represent the project and answer any questions.

Motion (Hidde/Weber) to close Public Hearing #1 at 6:04 p.m. Motion carried, all voting aye.

8. **SPECIAL EXCEPTION (SE-10-19)** – REQUEST BY CENTRAL FLORIDA RESTAURANTS, INC., DBA TGI FRIDAY'S, 4699 W. MICHEALS DRIVE, FOR OPERATION OF AN OUTDOOR SERVICE/BEER GARDEN.

Planner Patza explained the request is to license the existing patio for outdoor alcohol service. The patio includes an existing fence and gate that meet code requirements.

Motion (Sherman/Boeckers) to recommend approval of Special Exception (SE-10-19) requested by CENTRAL FLORIDA RESTAURANTS, INC., dba TGI Friday's, 4699 W. Michaels Drive, for operation of an outdoor service/beer garden. Motion carried, all voting aye.

9. **NEIGHBORHOOD INFORMATION MEETING #1** – CONDITIONAL USE PERMIT (CUP-09-19) REQUESTED BY GREGORSKI 18 LLC, 110 N. FOX RIVER DRIVE, TO ALLOW GRADING AND FILLING NECESSARY FOR CONSTRUCTION OF TWO COMMERCIAL BUILDINGS, STORMWATER POND, AND ASSOCIATED SITE IMPROVEMENTS.

Chairman Schowalter opened Neighborhood Information Meeting #1 at 6:05 p.m. There was no public input.

Motion (Sherman/Boeckers) to close Neighborhood Information Meeting #1 at 6:05 p.m. Motion carried, all voting aye.

10. **CONDITIONAL USE PERMIT (CUP-09-19)** – REQUEST BY GREGORSKI 18 LLC, 110 N. FOX RIVER DRIVE, TO ALLOW GRADING AND FILLING NECESSARY FOR CONSTRUCTION OF TWO COMMERCIAL BUILDINGS, STORMWATER POND, AND ASSOCIATED SITE IMPROVEMENTS.

Planner Patza provided details on filling and grading in the Shoreland Zoning District associated with the commercial development.

Motion (Stadel/Crosby) to recommend approval of Conditional Use Permit (CUP-09-19) requested by Gregorski 18 LLC, 110 N. Fox River Drive, to allow grading and filling associated with the construction of two commercial buildings, stormwater pond, and associated site improvements, subject to Town Engineer approval of the Stormwater Management and Erosion Control Plans. Motion carried, all voting aye.

11. **SITE PLAN (SP-13-19)** – REQUEST BY GREGORSKI 18 LLC, 110 N. FOX RIVER DRIVE, FOR CONSTRUCTION OF TWO COMMERCIAL BUILDINGS, STORMWATER POND, AND ASSOCIATED SITE IMPROVEMENTS.

Planner Patza provided details on the proposed buildings, anticipated uses, site access, and parking accommodations associated with the commercial development. Future plans for development include a third building, anticipated to be occupied by a restaurant, which will require separate Site Plan approval.

Motion (Sherman/Hidde) to approve Site Plan (SP-13-19) requested by Gregorski 18 LLC, 110 N. Fox River Drive, for construction of two commercial buildings, stormwater pond, and associated site improvements, subject to: (1) Town Engineer approval of the Stormwater Management and Erosion Control Plans; (2) Town Board approval of Conditional Use Permit CUP-09-19; and (3) staff approval of Landscape and Site Lighting Plans. Motion carried, all voting aye.

12. **SITE PLAN (SP-12-19)** – REQUEST BY VERSATILE MANAGEMENT INC., 2200 W. PERSHING STREET, FOR BUILDING AND SITE IMPROVEMENTS ASSOCIATED WITH THE OPERATION OF A PROPERTY MAINTENANCE BUSINESS.

Motion (Crosby/Boeckers) to approve Site Plan (SP-12-19) requested by Versatile Management Inc., 2200 W. Pershing Street, for building and site improvements associated with the operation of a property maintenance business. Motion carried, all voting aye.

13. **SITE PLAN (SP-14-19)** – REQUEST BY VALLEY BAPTIST CHURCH, 3600 N. CHIPPEWA STREET, FOR CONSTRUCTION OF A BUILDING ADDITION AND ASSOCIATED SITE IMPROVEMENTS.

Planner Patza provided details on the building addition project. The parking lot will be expanded and modifications to the existing detention basin will accommodate stormwater runoff from the additional development.

Motion (Hidde/Sherman) to approve Site Plan (SP-14-19) requested by Valley Baptist Church, 3600 N. Chippewa Street, for construction of a building addition and associated site improvements, subject to Town Engineer approval of the Stormwater Management and Erosion Control Plans. Motion carried, all voting aye.

14. **SITE PLAN AMENDMENT (SPA1-00-99)** – REQUEST BY FOX VALLEY TECHNICAL COLLEGE FOUNDATION, DBA FOX VALLEY TECHNICAL COLLEGE, FOR APPROVAL OF AN EXISTING MONUMENT SIGN AND INSTALLATION OF A NEW MONUMENT SIGN AT THE JUNIOR ACHIEVEMENT CENTER, 11 TRI-PARK WAY.

Motion (Crosby/Hidde) to approve Site Plan Amendment (SPA1-00-99) requested by Fox Valley Technical Foundation, dba Fox Valley Technical College, to remove an existing monument sign and install a new monument sign at the Junior Achievement Center, 11 Tri-Park Way. Motion carried, all voting aye.

15. ADJOURNMENT.

Motion (Sherman/Boecker) to adjourn the meeting at 6:13 p.m. Motion carried, all voting aye.

Respectfully Submitted,

Tracy Olejniczak/MP
Com. Dev. Admin. Asst.

**Town of Grand Chute
Conditional Use Permit Review
Greene Development Appleton, LLC**

To: Plan Commission

From: Michael Patza, Town Planner

Date: July 9, 2019

Address: 3810 W. Wisconsin Avenue

App. #: CUP-10-19

REQUEST

This project includes grading and filling within 300' of an unnamed tributary to Mud Creek, which is classified as a navigable stream. Accordingly, a County Conditional Use Permit is required.

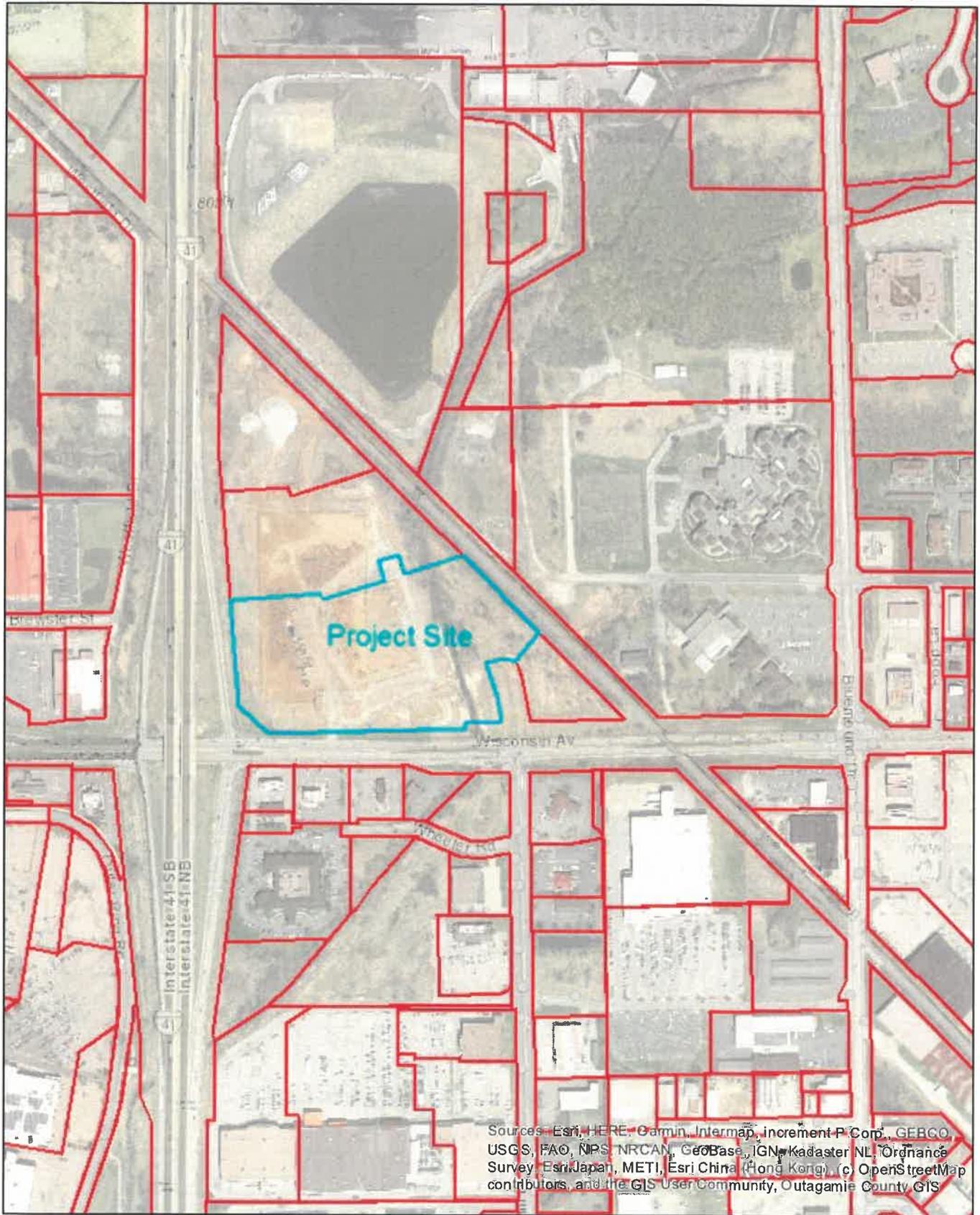
ANALYSIS

Work under this Conditional Use Permit will consist of grading and filling in anticipation of future commercial development of the Greene Development PUD. Excess fill from the REI site, on the north side of the development, will be utilized for this project. There will be no filling in the floodway and no change to the base flood elevation. The Town Engineer is reviewing the Drainage and Erosion Control Plans and their approval is a condition on approval of this permit. Standard erosion control measures and best management practices will be followed during this project.

RECOMMENDATION

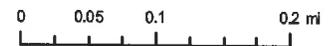
Staff has reviewed and supports a Plan Commission recommendation for approval of the Conditional Use Permit (CUP-10-19) requested by Greene Development Appleton, LLC, 3810 W. Wisconsin Avenue, to allow grading and filling within 300 feet of a navigable stream, subject to Town Engineer approval of the Drainage and Erosion Control Plans.

CUP-10-19 -- 3810 W. Wisconsin Avenue



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Grading – Conditional Use Permit
3800 W Wisconsin Ave
Town of Grand Chute
Outagamie County, WI

PROJECT NARRATIVE

Greene Development Appleton, LLC. is proposing to grade within 300' of the unnamed tributary to Mud Creek in the Town of Grand Chute. The grading will include adding fill above the 100-year flood plain limits on the east and west side of the stream to store excess fill material from the the construction of the REI building. The fill will be sloped from the 100-year flood plain limits at a 4H:1V slope up to an elevation of 780.00 on the West side and 778.00 on the East side of the stream.

Due to the location of the proposed grading adjacent to this stream, a conditional use permit will be required. The OHWM was delineated by Outagamie County on 10/4/2017 and surveyed in by Robert E. Lee & Associates. In order to protect this stream from pollution, erosion control BMP's will be installed prior to any on-site construction activity. Silt fence will be installed at the bottom of the slope to prevent soil from entering the stream. Inlet protection will be installed on all inlets around the proposed grading location and a tracking pad will be constructed at all construction ingress/egress access points. Erosion control BMPs will be removed once the site reaches 70% vegetation.

**Town of Grand Chute
Special Exception Request
Richard T. Knight, dba Auto Connection of Appleton, LLC**

To: Plan Commission

From: Michael Patza, Town Planner

Date: July 10, 2019

Address: 4845 W. Greenville Drive

App. #: SE-11-19

REQUEST

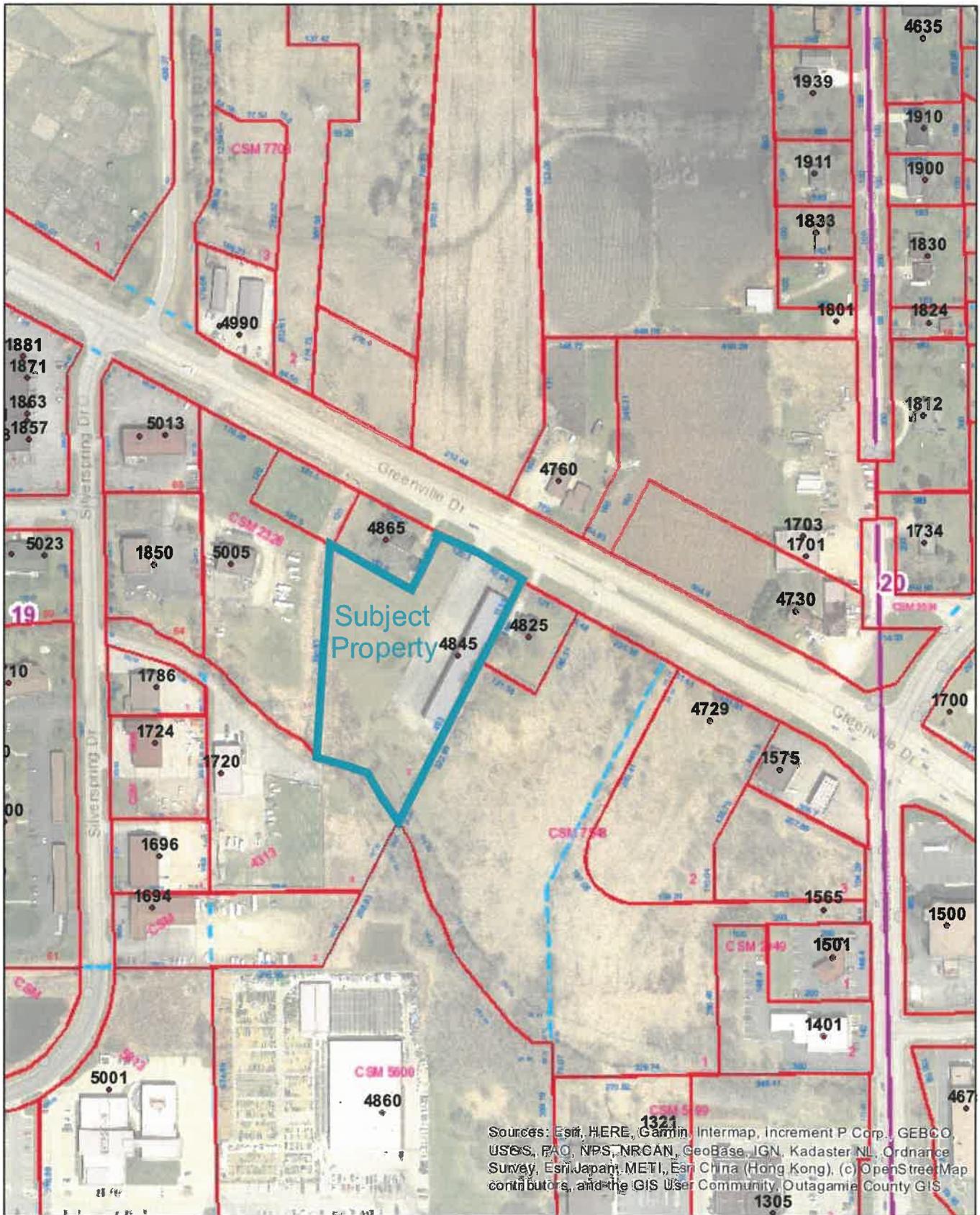
- 1. Proposed Use:** Automobile sales and service business.
- 2. Project Description:** Operation of an automobile sales and service business.
- 3. Plat/CSM Accurate parcel lines/lot recorded:** Yes

ANALYSIS

The applicant will be leasing a portion of the building on this property to operate an automobile sales and service business. The business will provide vehicle service, detailing, and sales. Approximately 20-30 vehicles will be displayed on the existing asphalt parking lot.

The Special Exception Permit for automobile sales and service use triggers conformance with frontage landscaping requirements prescribed in the Zoning Code. A Landscape Plan has not been submitted at this time. **Therefore, the staff recommendation is to defer action on the Special Exception Permit until the August 8, 2019 Plan Commission meeting.**

SE-11-19 -- 4845 W. Greenville Drive



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Auto Connection LLC.

4845 W. Greenville Dr.

Appleton, WI 54913

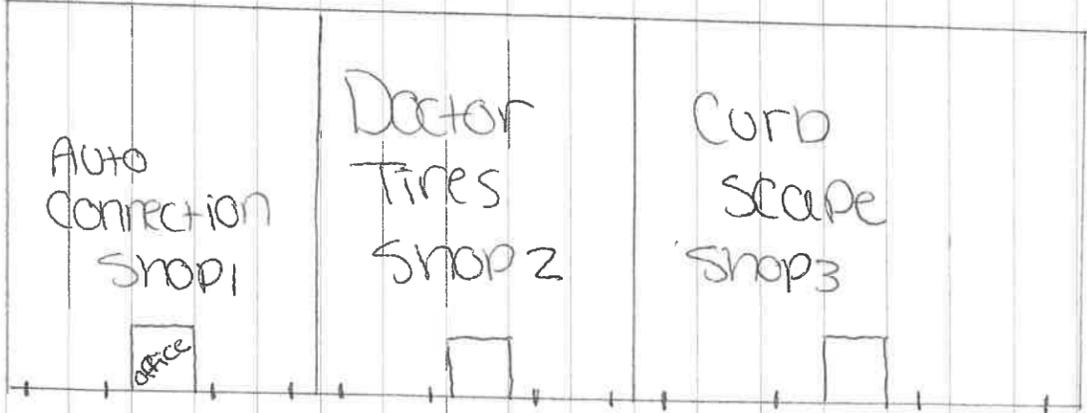
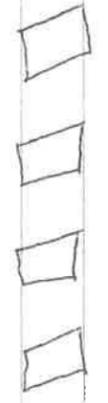
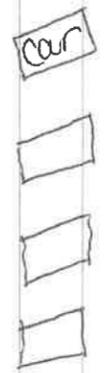
920-915-3400

Auto Connection will buy, service, detail & sell motor vehicles. Inventory of approximately 20-30 vehicles. We will offer financing through local credit unions.

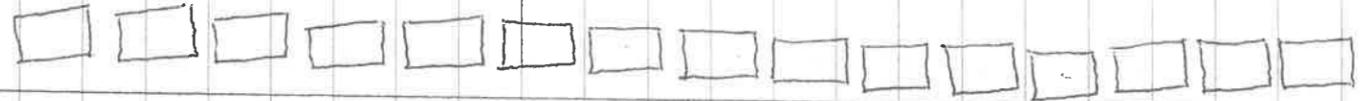
Greenville Dr.

grass

Driveway



Parking lot is backstop



11/12

**Town of Grand Chute
Special Exception Request
AutoZone Inc. dba AutoZone Auto Parts**

To: Plan Commission

From: Michael Patza, Town Planner

Date: July 10, 2019

Address: 5150 W. Integrity Way

App. #: SE-12-19

REQUEST

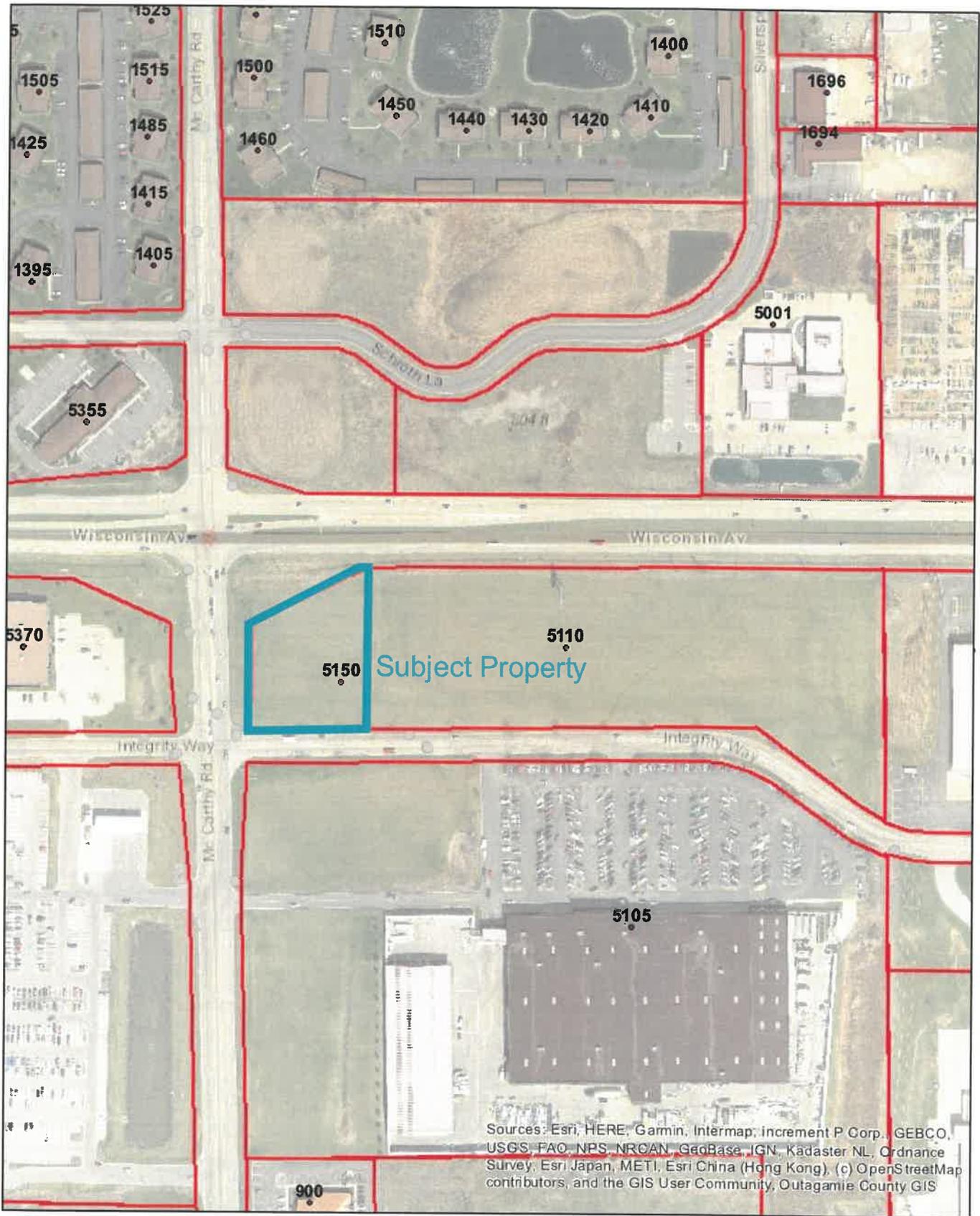
- 1. Proposed Use:** Automotive parts business.
- 2. Project Description:** Operation of an automotive parts business.
- 3. Plat/CSM Accurate parcel lines/lot recorded:** Yes, pending future lot split.

ANALYSIS

The subject property is located on the corner of W. Integrity Way, N. McCarthy Road, and W. Wisconsin Avenue. The applicant proposes to operate an automotive parts business at this location. The business will include approximately 8-12 employees, with 3-5 employees per shift. Anticipated hours of operation will be 8:00 a.m. – 9:00 p.m. Monday-Saturday and 10:00 a.m. – 7:00 p.m. on Sundays.

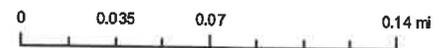
This project includes approval of a Certified Survey Map (CSM) to accommodate the proposed development. At this time a CSM has not been submitted for review. **Therefore, the staff recommendation is to defer action on the Special Exception Permit until the August 8, 2019 Plan Commission meeting.**

SE-12-19 -- 5150 W. Integrity Way



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**Town of Grand Chute
Site Plan Review
PR Appleton West, Inc., dba Pizza Ranch**

To: Plan Commission

From: Michael Patza, Town Planner

Date: July 10, 2019

Address: 5450 W. Integrity Way

App. #: SP-15-19

REQUEST

- 1. Proposed Use(s):** Restaurant use.
- 2. Project Description:** Construction of a restaurant building and associated site improvements.
- 3. Plat/CSM Accurate parcel lines/lot recorded:** Yes

ANALYSIS

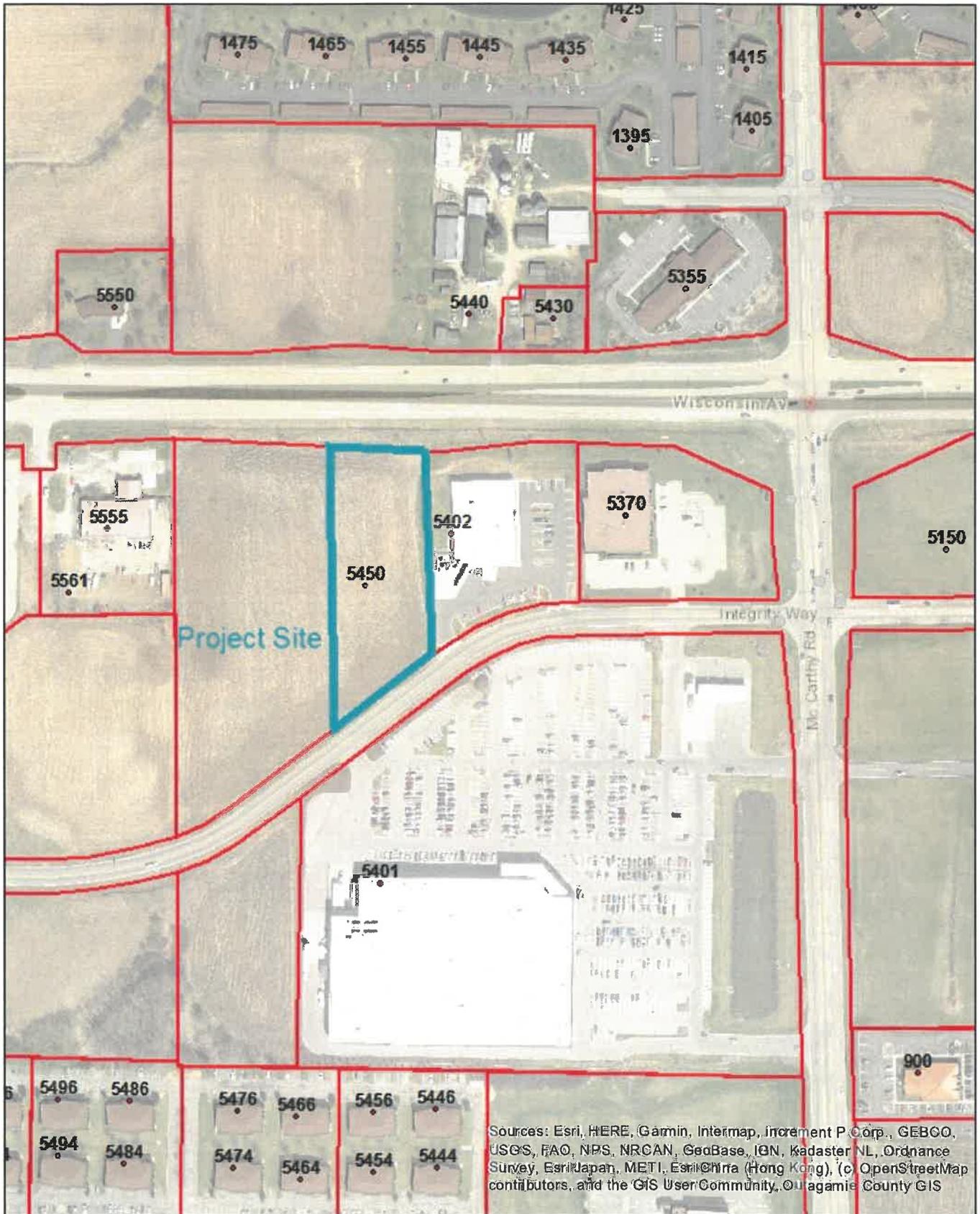
Applicant proposes the construction of a 7,900 sq. ft. restaurant and associated site improvements. The restaurant will be located on the north side of the property, along the W. Wisconsin Avenue frontage. Site access will be limited to W. Integrity Way. The project includes a 90-stall parking lot on the south side of the restaurant. A service dock will provide delivery access on the east side of the restaurant. The building exterior will feature a combination of fieldstone and pre-engineered wood panels, which meets the architectural requirements outlined in the Zoning Code.

The Stormwater Management Plan for the project utilizes storm sewer to direct runoff to the regional stormwater pond located on the Costco property on N. McCarthy Road. The stormwater pond was designed and constructed for future runoff from properties on W. Integrity Way. The Stormwater Management and Erosion Control Plans have been approved by the Town Engineer. The Landscape and Site Lighting Plans have been approved by staff. All other code requirements are met with this request.

RECOMMENDATION

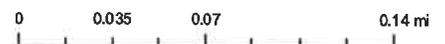
Staff has reviewed and supports Plan Commission approval of the Site Plan (SP-15-19) requested by PR Appleton West, Inc., dba Pizza Ranch, 5450 W. Integrity Way, for construction of a restaurant building and associated site improvements.

SP-15-19 --5450 W. Integrity Way



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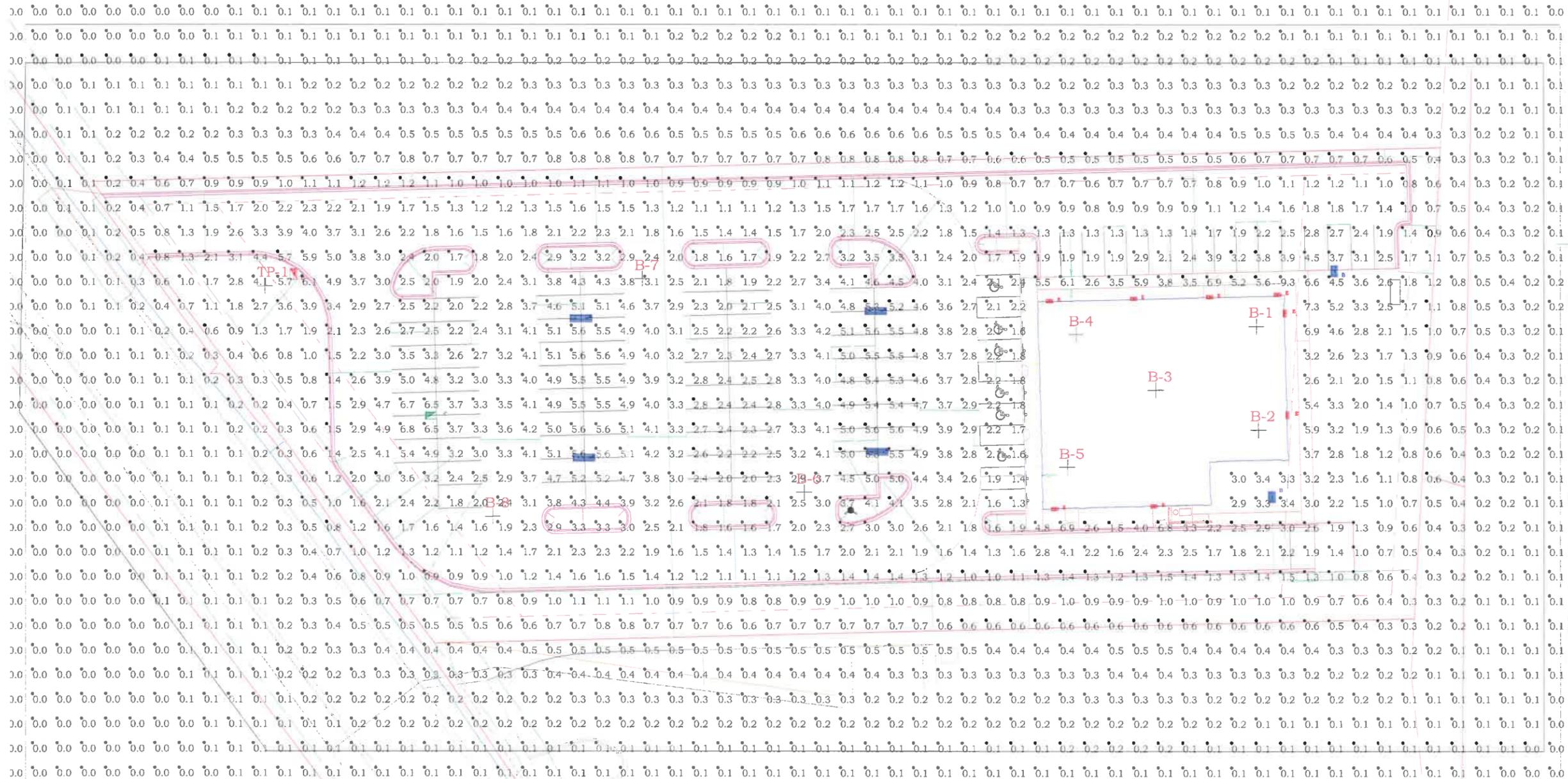




Genesis Lighting Solutions
 700 Parker Square, Ste 205
 Flower Mound TX, 75028
 www.Making-light.com
 Phone: 469.322.1900



West Appleton Grand Chute, WI



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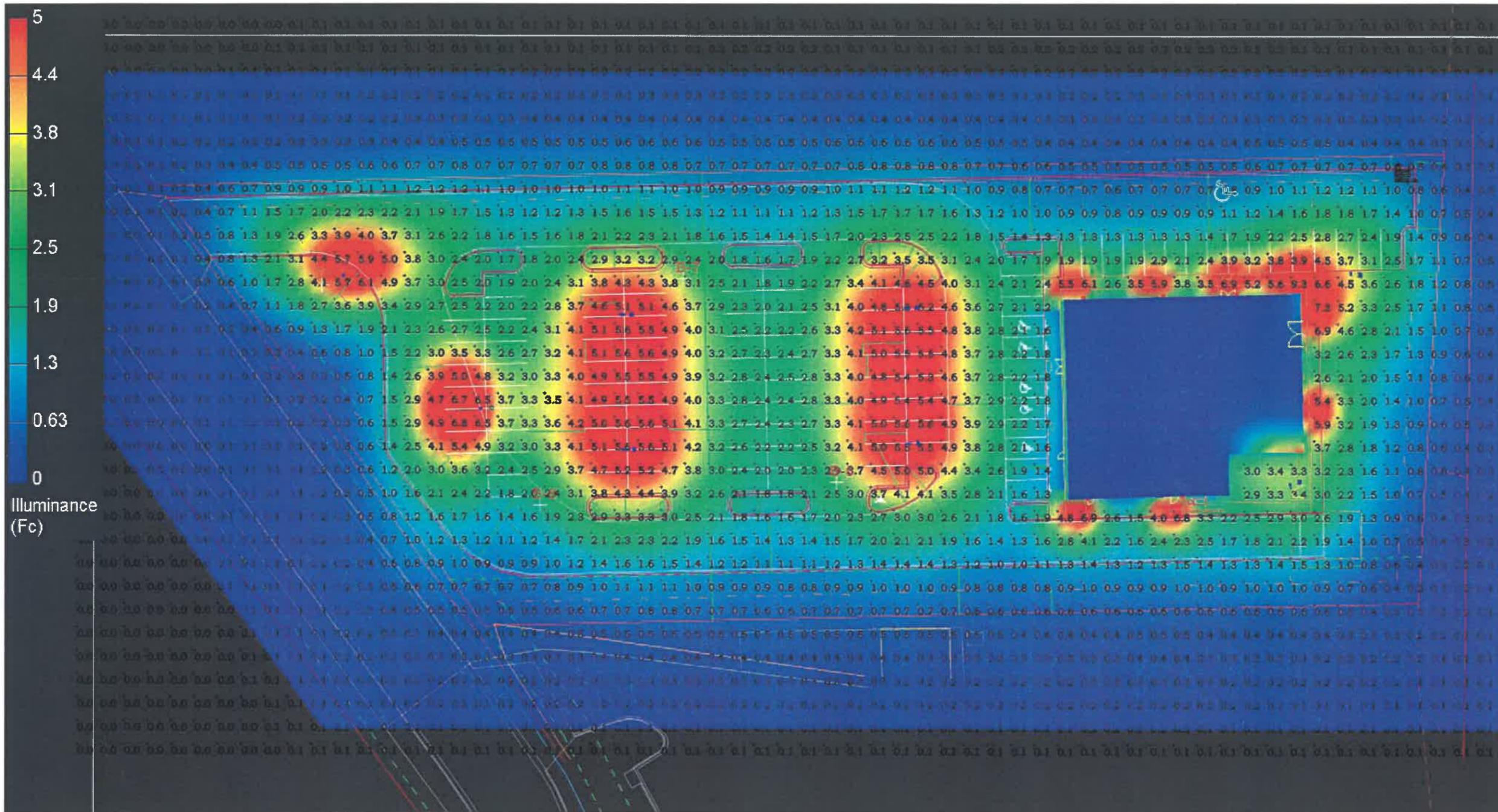
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THIS LIGHTING DESIGN IS BASED ON INFORMATION SUPPLIED BY OTHERS. THIS DESIGN IS BASED ON IES FILES THAT WERE LABORATORY TESTED UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH IES STANDARD PRACTICES. CHANGES TO THE ELECTRICAL SUPPLY, AREA GEOMETRY AND OBJECTS WITHIN THIS DESIGN AREA COULD PRODUCE ILLUMINATION VALUES DIFFERENT FROM THE PREDICTED RESULTS SHOWN ON THIS DESIGN.

Sheet No: 1





Genesis Lighting Solutions
 700 Parker Square, Ste 205
 Flower Mound TX, 75028
 www.Making-light.com
 Phone: 469.322.1900



West Appleton
 Grand Chute, WI

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| Design By: | Date: | 6/11/2019 |
| Design Approved By: | | |
| Approval Date: | | |

Sheet No: 2



THIS LIGHTING DESIGN IS BASED ON INFORMATION SUPPLIED BY OTHERS. THIS DESIGN IS BASED ON IES FILES THAT WERE LABORATORY TESTED UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH IES STANDARD PRACTICES. CHANGES TO THE ELECTRICAL SUPPLY, AREA GEOMETRY AND OBJECTS WITHIN THIS DESIGN AREA COULD PRODUCE ILLUMINATION VALUES DIFFERENT FROM THE PREDICTED RESULTS SHOWN ON THIS DESIGN.

**Town of Grand Chute
Site Plan Review
KFI Properties LLC, dba JG Home Improvements and Emergency
Services**

To: Plan Commission

From: Michael Patza, Town Planner

Date: July 10, 2019

Address: 1720 N. Silverspring Drive

App. #: SP-16-19

REQUEST

- 1. Proposed Use(s):** Continued commercial contractor use.
- 2. Project Description:** Construction of a building addition and associated site improvements.
- 3. Plat/CSM Accurate parcel lines/lot recorded:** Yes.

ANALYSIS

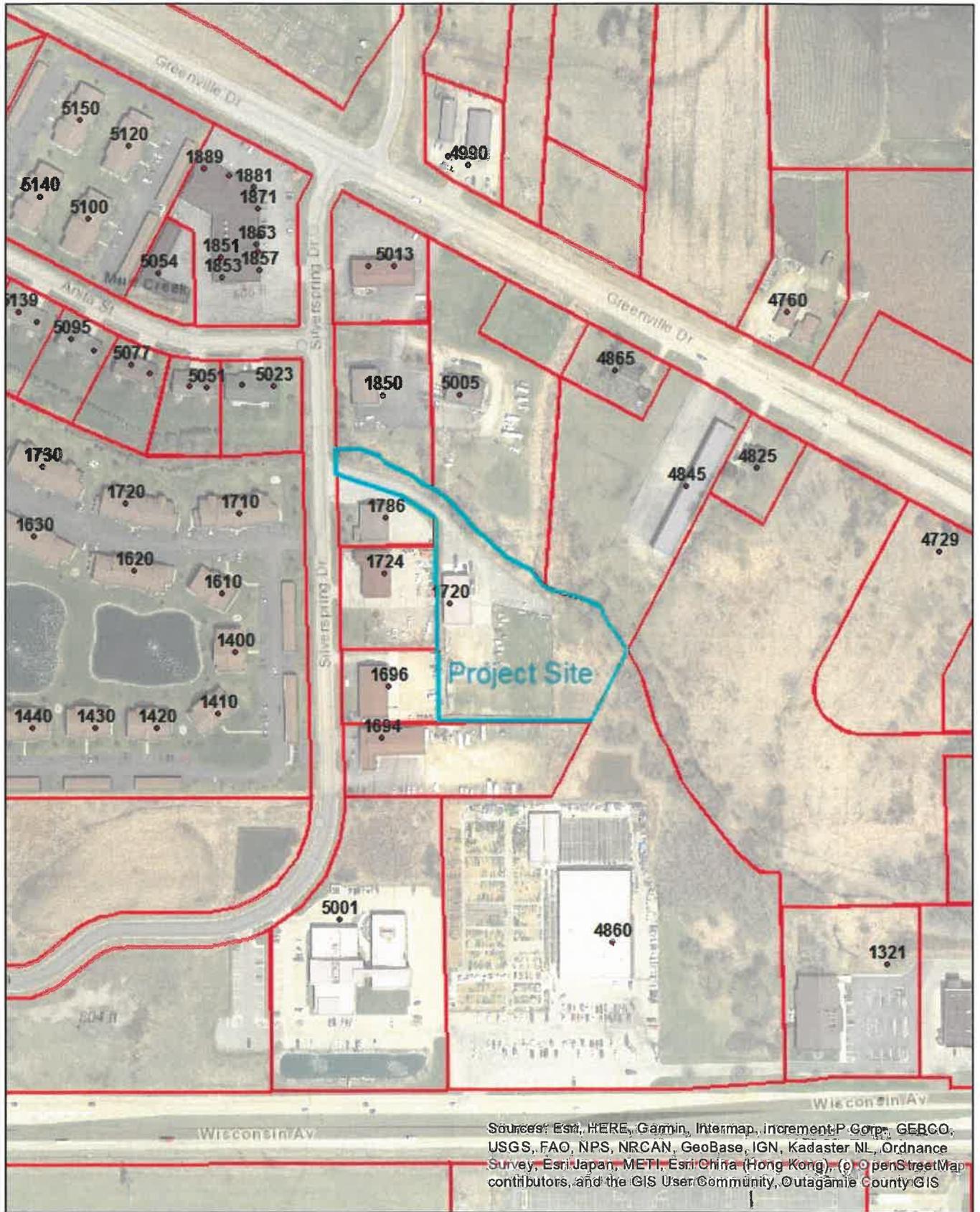
Applicant proposes the construction of a 3,340 sq. ft. building addition and associated site improvements. The addition will connect to the south side of the existing building, on what is now a gravel area. Additional gravel areas, surrounding the proposed addition and a small area east of the existing building, will be paved as part of the project.

Since the project will result in no new impervious surface, on-site stormwater management is not required. The Drainage and Erosion Control Plans have been approved by staff. All other code requirements are met with this request.

RECOMMENDATION

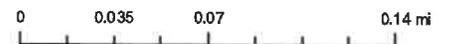
Staff has reviewed and supports Plan Commission approval of the Site Plan (SP-16-19) requested by KFI Properties LLC, dba JG Home Improvements and Emergency Services, 1720 N. Silverspring Drive, for construction of a building addition and associated site improvements.

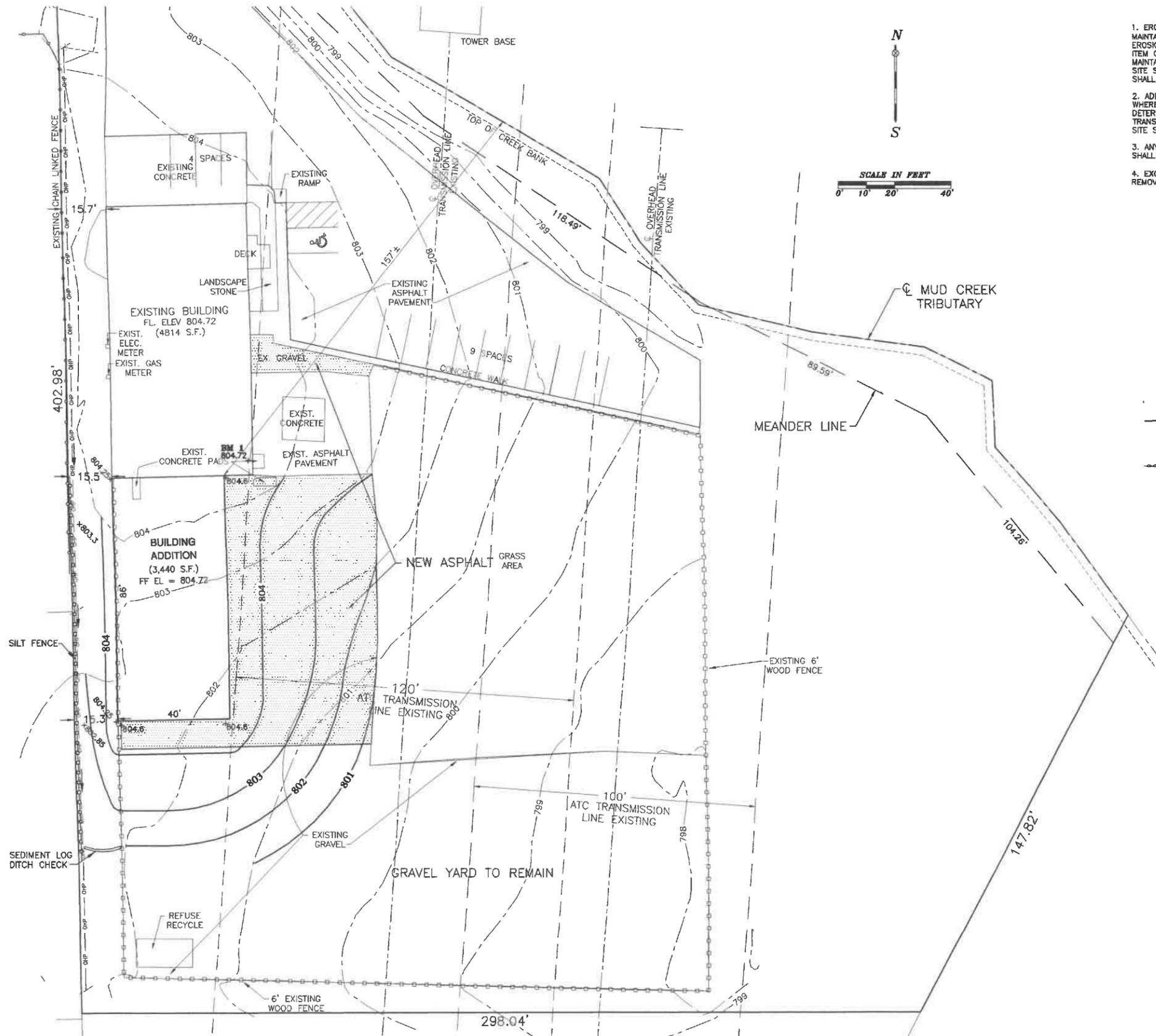
SP-16-19 -- 1720 N. Silverspring Drive



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FILLING NOTE

1. ALL FILL USED FOR THE BUILDING AND PARKING LOT SHALL BE CRUSHED STONE.

EROSION AND SEDIMENT CONTROL CONSTRUCTION NOTES

1. EROSION CONTROL MEASURES ARE TO BE INSTALLED AND MAINTAINED PER THE "WISCONSIN TECHNICAL STANDARDS." EROSION CONTROL MEASURES ARE TO BE INSTALLED AS A FIRST ITEM OF CONSTRUCTION AND SHALL BE INSPECTED AND MAINTAINED UNTIL THE SITE IS COMPLETELY STABILIZED. UPON SITE STABILIZATION, TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED AND DISPOSED OF PROPERLY.
 2. ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED WHEREVER SEDIMENT TRANSPORT IS FOUND OR WHERE IT IS DETERMINED THAT THERE IS A HIGH LIKELIHOOD THAT SEDIMENT TRANSPORT MAY OCCUR. SEDIMENTS THAT HAVE MIGRATED OFF SITE SHALL BE IMMEDIATELY CLEANED UP.
 3. ANY SEDIMENTS THAT ARE TRACKED ONTO PUBLIC ROADS SHALL BE CLEANED UP BY THE END OF THE WORK DAY.
 4. EXCAVATED MATERIAL (OTHER THEN GRAVEL) IS TO BE REMOVED FROM SITE AS EXCAVATED.
- ALL SEEDING SHALL BE PER DNR TECHNICAL STANDARD 1059 (SEEDING). ALL MULCHING SHALL BE PER DNR TECHNICAL STANDARD 1058 (MULCHING FOR CONSTRUCTION SITES). STRAW MULCH SHALL BE ANCHORED BY CRIMPING PER DNR TECHNICAL STANDARD 1058.

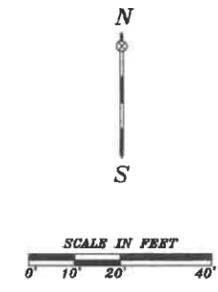
ALL DISTURBED AREAS NOT RECEIVING OTHER TREATMENT SHALL BE SEEDED & MULCHED. LAWN TURF AREAS TO BE SEEDED W/ 35% KENTUCKY BLUE GRASS, 20% RED FESCUE, 20% HARD FESCUE, 25% IMPROVED FINE PERENNIAL RYE GRASS @ MINIMUM APPLICATION RATE OF 2 LB PER 1,000 S.F. FERTILIZER @ 7 LB PER 1,000 S.F.

PROPOSED LEGEND

- 828 - = PROPOSED CONTOUR
- 803.75 - = PROPOSED ELEVATION
- > - = DIRECTION OF DRAINAGE
- - - - - = SILT FENCE
- - - - - = SEDIMENT LOG DITCH CHECK

BENCHMARK

BM 1 - SLAB ELEV. INSIDE OF OVDH DOOR = 804.72



REVISIONS

| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
| | | |
| | | |
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| | | |
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| | | |
| | | |
| | | |

PLAN PREPARED BY:
SCHULZE & ASSOCIATES, INC.
 LAND SURVEYORS & ENGINEERS
 2711 N. WAVERLY STREET, SUITE 7
 WAUKESHA, WISCONSIN 53186
 (920) 799-5333
 Job No. 19-4801

2204 Crooks Avenue
 Suite A
 Kaukauna, WI 54130
 (920) 799-5033
 team@frontierbuilders.com

FRONTIER
 BUILDERS & CONSULTANTS

GRADING, DRAINAGE, & EROSION CONTROL PLAN
JG HOME IMPROVEMENTS & Emergency Services
 Town of Grand Chute
 1720 N. Silverwing Drive
 Appleton, Wisconsin
 For: Frontier Builders & Consultants, 2204 Crooks Avenue, Suite A, Kaukauna, WI 54130

DRAWN
 CRS
DATE
 6-20-19
SCALE
 1"=20'
JOB NO.
 4801
SHEET
 C2.1

**Town of Grand Chute
Site Plan Amendment Review
Fox Cities Amateur Sports Authority**

To: Plan Commission
From: Michael Patza, Town Planner
Date: July 10, 2019
Address: 2400 N. Casaloma Drive

App. #: SPA1-18-12

REQUEST

- 1. Proposed Use(s):** Continued stadium and banquet facility use.
- 2. Project Description:** Modifications to the entrance drive and addition of emergency access at Fox Cities Stadium.
- 3. Plat/CSM Accurate parcel lines/lot recorded:** Yes.

ANALYSIS

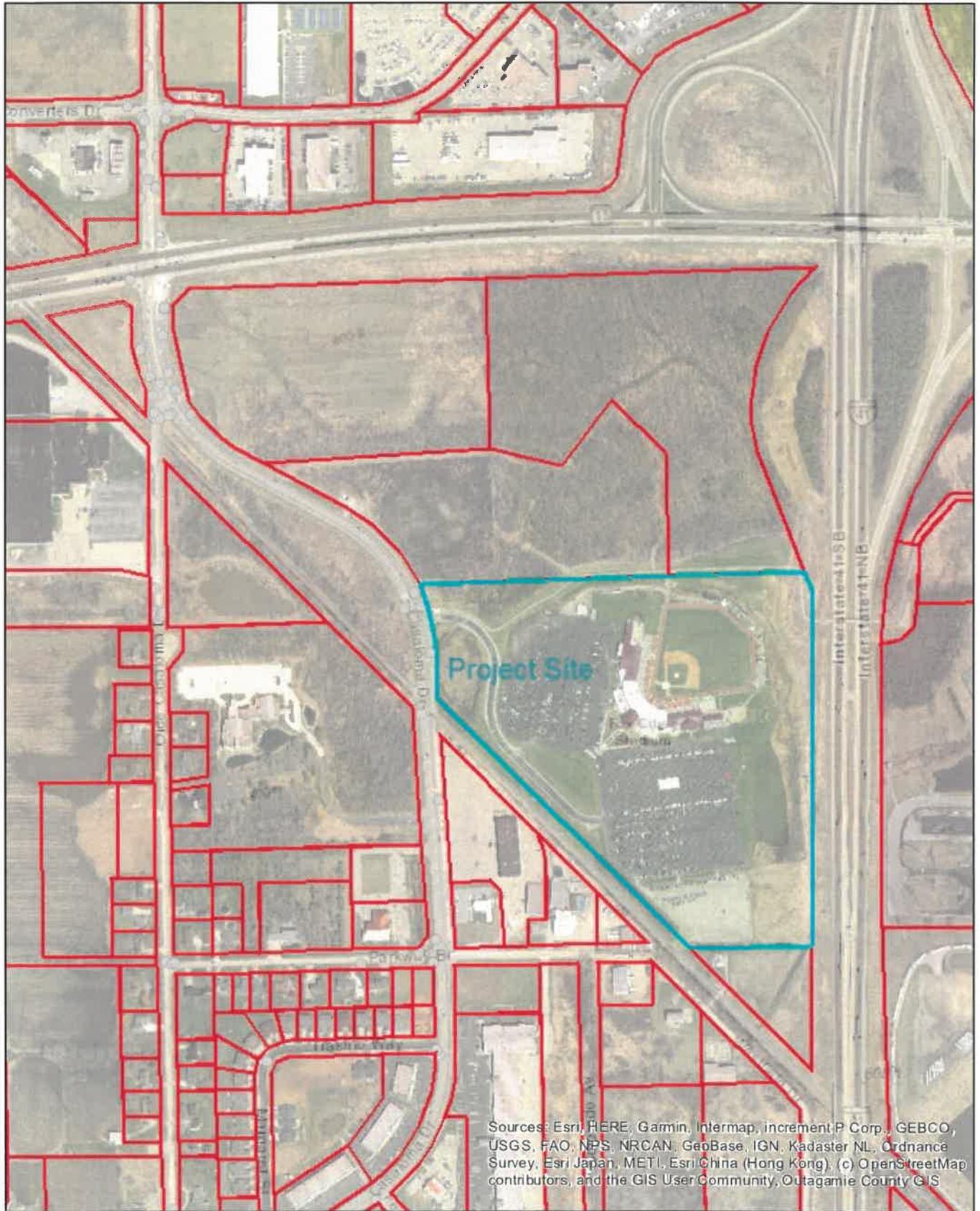
This project will increase the capacity of the entrance drive to the stadium and provide a separated emergency access. A third lane will be added to the entrance drive from the access point on N. Casaloma Drive to the entrance of the parking lot to the west of the stadium. Additionally, a separated emergency access lane will be added to provide more direct access to the stadium for emergency service vehicles. The emergency access lane will be gated on both sides to prevent use from the general public.

Since the project will result in less than 4,000 sq. ft. of new impervious surface, on-site stormwater management is not required. The Drainage and Erosion Control Plans have been approved by staff. All other code requirements are met with this request.

RECOMMENDATION

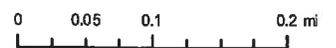
Staff has reviewed and supports Plan Commission approval of the Site Plan Amendment (SPA1-18-12) requested by Fox Cities Amateur Sports Authority, 2400 N. Casaloma Drive, for modifications to the entrance drive and addition of emergency access at Fox Cities Stadium.

SPA1-18-12 -- 2400 N. Casaloma Drive



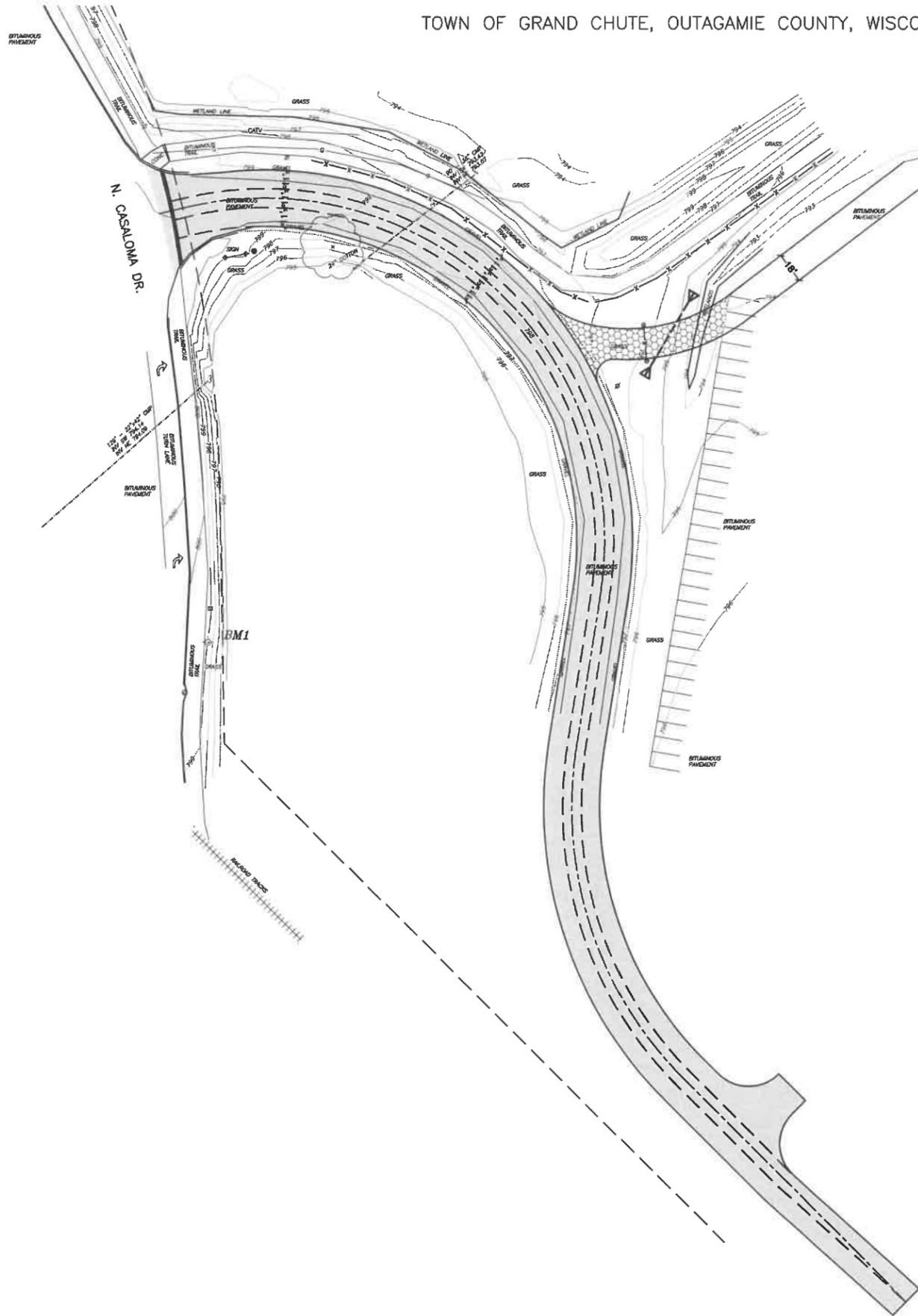
Disclaimer: The data provided in the Town of Grand Chute Interactive GIS Map was generated from multiple sources and agencies. Every effort has been made to offer the most accurate data. However, the Town provides this information with the understanding that it is not guaranteed to be accurate, correct, or complete. The Town may make improvements to the Interactive GIS Map periodically. Conclusions drawn from this information are the responsibility of the user. The user agrees that the Town of Grand Chute shall not be held responsible for actions, claims, damages, or judgments made from this data.

Author:
Copyright:



TIMBER RATTLER'S-TURNING LANE: SITE PLAN - OVERALL

TOWN OF GRAND CHUTE, OUTAGAMIE COUNTY, WISCONSIN



ASPHALT PAVEMENT SUMMARY

EMERGENCY ACCESS = 1,805 S.F.

DRIVE EXISTING = 22,505 S.F.
DRIVE PROPOSED = 30,318 S.F.

NOTE: IMPERVIOUS AREA HAS INCREASED LESS THAN <4,000 SQ FT DUE TO PAVING OVER EXISTING GRAVEL. THEREFORE, TOWN OF GRAND CHUTE STORMWATER ORDINANCE DOES NOT APPLY.

SITE/PROJECT INFORMATION

PROPERTY ADDRESS:
2400 NORTH CASALOMA DRIVE
APPLETON, WI 54913
PARCEL NUMBER: 101088300

APPLICANT:

WISCONSIN TIMBER RATTLES
ATTN: AARON HAHN
2400 NORTH CASALOMA DRIVE
P.O. BOX 7464
APPLETON, WI 54912

ENGINEER:

MARTENSON & EISELE, INC.
ATTN: JEFF SCHULTZ, P.E.
1377 MIDWAY ROAD
MENASHA, WI 54952
jeffs@martenson-eisele.com
PHONE: 920-731-0381

| QUANTITIES | | | |
|------------|----------|------|--|
| NO. | QUANTITY | UNIT | DESCRIPTION: |
| 1. | 1 | EA. | ELECTRICAL CONTROL & MONITORING SYSTEM |
| 2. | 1 | EA. | INSTALL NEW ELECTRICAL RACEWAYS AND CONDUCTORS |
| 3. | 1 | EA. | INSTALL CONDUIT AND POWER TO TRAIL CAMERA |
| 4. | 1 | EA. | NEW BASE, POLE, AND GA FIXTURE |
| 5. | 1 | EA. | NEW BASE, POLE, AND GB FIXTURE |
| 6. | 1 | EA. | NEW BASE, POLE, AND GC FIXTURE |

- ### SITE PLAN NOTES
- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL TOWN OF GRAND CHUTE REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
 - ALL DISTURBED AREAS ARE TO RECEIVE FOUR INCHES OF TOPSOIL, SEED, MULCH AND WATER UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED.
 - ALL DIMENSIONS ARE TO THE EDGE OF PAVEMENTS.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
 - ALL STOP SIGNS SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE FEDERAL HIGHWAY ADMINISTRATION M.U.T.C.D., LATEST VERSION.
 - THE CONTRACTOR AND/OR OWNER SHALL NOT PROCEED WITH LAND DISTURBING ACTIVITIES PRIOR TO RECEIVING WRITTEN NOTICE TO PROCEED FROM THE ENGINEER.

SITE PLAN LEGEND

| | | |
|-----------------------------|------------|------------------------------------|
| EXISTING CONTOUR | X (000.00) | PROP F/L ELEVATION |
| PROPOSED CONTOUR | X (000.00) | PERTINENT DITCH OR SWALE ELEVATION |
| STORM SEWER MAIN | + 993.75 | EXISTING ELEVATION |
| STORM MANHOLE | 000.0 | PROPOSED FIRST FLOOR ELEVATION |
| 2' x 3' PRECAST STORM INLET | | DIRECTION OF DRAINAGE |

TOPOGRAPHIC LEGEND

| | | |
|------------------------|-------------------------------|-----------------------------------|
| 1" x 16" IRON PIPE SET | OVERHEAD POWER LINES | GAS VALVE |
| 1-1/4" x 30" REBAR SET | UNDERGROUND ELECTRIC | EXIST STORM MANHOLE |
| CHISELED "X" SET | UNDERGROUND TELEPHONE | STORM INLET |
| 3/4" REBAR FOUND | FIBER- UNDERGROUND FIBEROPTIC | YARD DRAIN |
| 1" IRON PIPE FOUND | UNDERGROUND GAS | EXIST SANITARY MANHOLE |
| 1-1/4" REBAR FOUND | CATV- UNDERGROUND CABLE TV | EXIST SAN. SEWER |
| 2" IRON PIPE FOUND | EXIST. FENCE LINE | EXIST. STO. SEWER |
| CHISELED "X" FOUND | SIGN | EXIST. WATER MAIN |
| GOVERNMENT CORNER | POWER POLE | EXIST. SPOT ELEVATION |
| RECORDED AS | GUY | CONTOUR W/ ELEVATION |
| CONIFEROUS TREE | LIGHT POLE | 000.006 EXIST. TOP OF CURB ELEV. |
| DECIDUOUS TREE | TELEPHONE PEDESTAL | 000.008 EXIST. FLOW LINE ELEV. |
| EXIST. WOODS LINE | CABLE PEDESTAL | FF = 000.000 FIRST FLOOR = 000.00 |
| WETLANDS | EXIST. HYDRANT | TOPSOIL DEPTH |
| SOIL BORING | WATER VALVE | INFILTRATION SOIL BORING |
| | WATER STOP BOX | |

NOT FOR CONSTRUCTION

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 1377 Midway Road
 Menasha, WI 54952
 www.martenson-eisele.com
 info@martenson-eisele.com
 920.731.0381 1.800.236.0381

| DRAWN BY | CHECKED | APPROVED | FIELDWORK |
|----------|------------|----------|-----------|
| CRC | JWS | JWS | JWS |
| NO. | DATE | NO. | DATE |
| 1 | 05-22-2019 | | |
| 2 | 06-03-2019 | | |
| 3 | 06-10-2019 | | |

SITE PLAN - OVERALL TIMBER RATTLER'S-TURNING LANE

TOWN OF GRAND CHUTE, OUTAGAMIE COUNTY, WISCONSIN

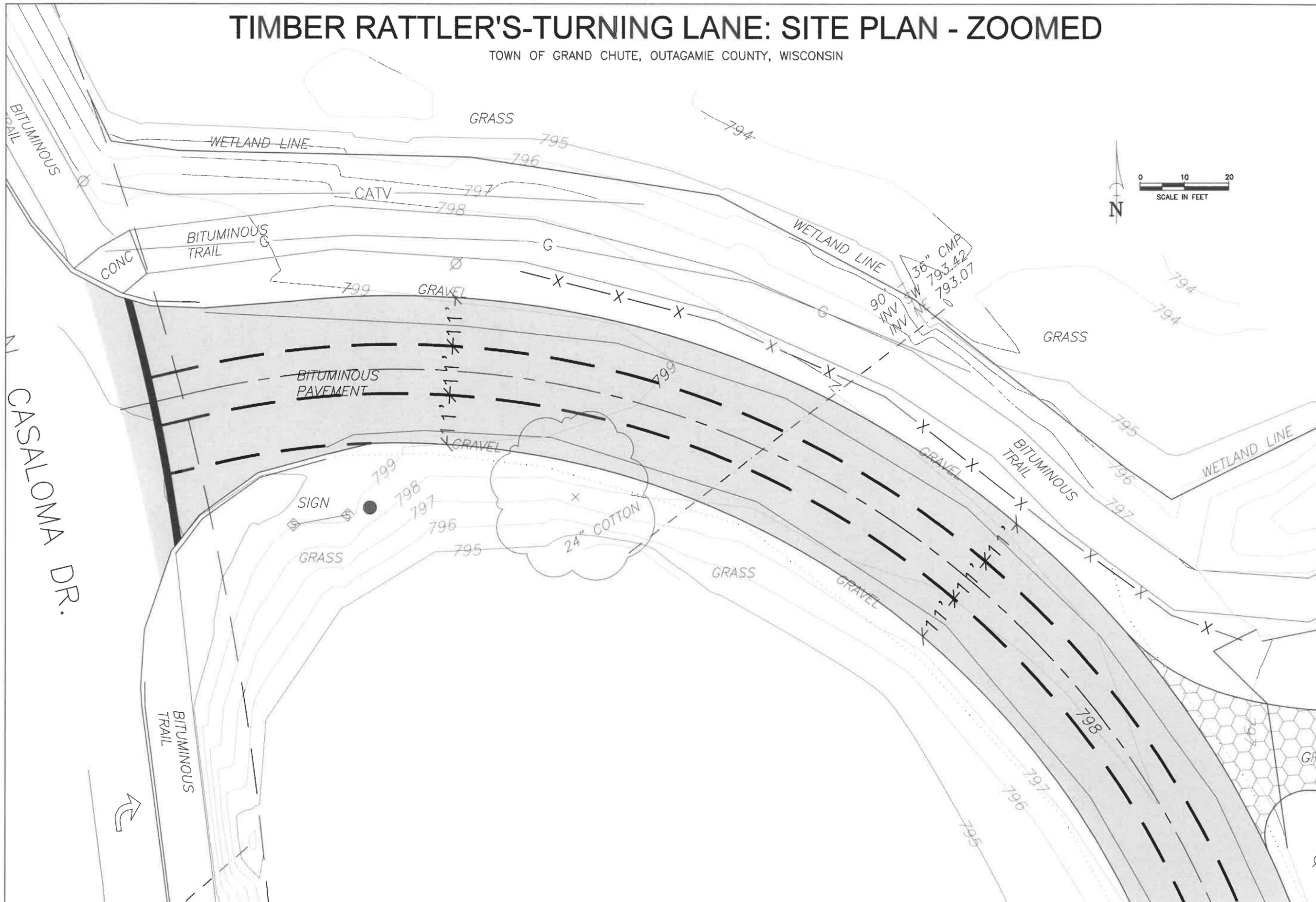
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DATE: 03-05-2019
COMPUTER FILE: 1-1054-001de.dwg



6/10/19
DRAWING NO. C1.1

TIMBER RATTLER'S-TURNING LANE: SITE PLAN - ZOOMED

TOWN OF GRAND CHUTE, OUTAGAMIE COUNTY, WISCONSIN



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 Menasha, WI 54952
 www.martenson-eisele.com
 info@martenson-eisele.com
 920.731.0381 1.800.236.0381

| DRAWN BY | CRC | CHECKED | | APPROVED | | FIELDWORK | |
|--|------------|---------|-----|----------|-----|-----------|------|
| | | JWS | NO. | DATE | JWS | NO. | DATE |
| **REFER TO COVER SHEET FOR REVISION DESCRIPTIONS** | | | | | | | |
| 1 | 05-22-2019 | | | | | | |
| 2 | 06-03-2019 | | | | | | |
| 3 | 06-10-2019 | | | | | | |

SITE PLAN - ZOOMED
TIMBER RATTLER'S-TURNING LANE
 TOWN OF GRAND CHUTE, OUTAGAMIE COUNTY, WISCONSIN

| | |
|------------------|------------|
| SCALE | DATE |
| BAR SCALE | 03-05-2019 |
| COMPUTER FILE | |
| 1-1054-001de.dwg | |



6/10/19

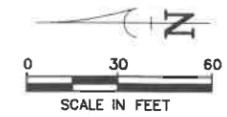
DRAWING NO.
C1.2

NOT FOR CONSTRUCTION

CASALOMA DR.

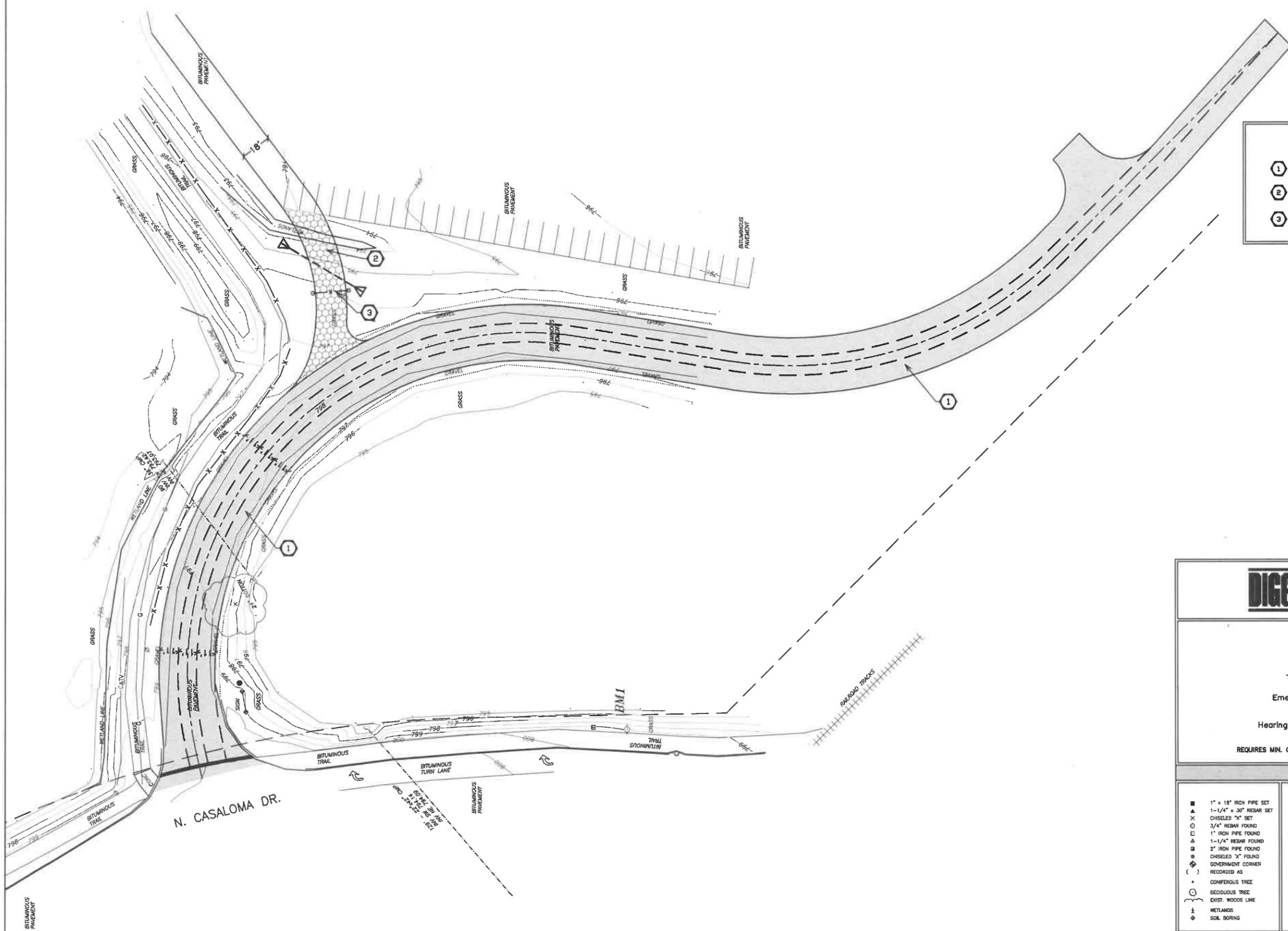
TIMBER RATTLER'S-TURNING LANE: SITE PLAN KEY NOTES

TOWN OF GRAND CHUTE, OUTAGAMIE COUNTY, WISCONSIN



PLAN KEY LEGEND

- ① BITUMINOUS CONCRETE PAVEMENT (ENTRANCE DRIVE) C4.1
- ② BITUMINOUS CONCRETE TRAIL (EMERGENCY ACCESS) C4.1
- ③ BARRIER GATE C4.1



DIGGERS HOTLINE

TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

CALL 811 or
Toll Free 1-800-242-8511
(262)432-7910
Emergency Only (877) 500-9592
FAX 1-800-338-3860
FAX (414) 259-0947
Hearing Impaired TDD 1-800-542-2289

WIS. STATUTE 182.0175 (1974)
REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE

| TOPOGRAPHIC LEGEND | |
|--------------------------|----------------------------------|
| ■ 1" x 18" IRON PIPE SET | —OH— OVERHEAD POWER LINES |
| ▲ 1-1/4" x 30" REBAR SET | —E— UNDERGROUND ELECTRIC |
| × CHISELED "X" SET | —T— UNDERGROUND TELEPHONE |
| ○ 3/4" REBAR FOUND | —F— UNDERGROUND FIBEROPTIC |
| □ 1" IRON PIPE FOUND | —G— UNDERGROUND GAS |
| △ 1-1/4" REBAR FOUND | —C— UNDERGROUND CABLE TV |
| □ 2" IRON PIPE FOUND | —X— EXIST. FENCE LINE |
| ○ CHISELED "X" FOUND | ◇ SIGN |
| ◇ GOVERNMENT CORNER | ◇ POWER POLE |
| ◇ RECORDED AS | ◇ GUY |
| ◇ CONIFEROUS TREE | ◇ LIGHT POLE |
| ◇ DECIDUOUS TREE | ◇ TELEPHONE PEDESTAL |
| ◇ EXIST. WOODS LINE | ◇ ELECTRIC PEDESTAL |
| ◇ WETLANDS | ◇ CABLE PEDESTAL |
| ◇ SOIL BORING | ◇ EXIST. HYDRANT |
| | ◇ WATER VALVE |
| | ◇ WATER STOP BOX |
| | ◇ GAS VALVE |
| | ◇ EXIST. STORM MANHOLE |
| | ◇ STORM INLET |
| | ◇ YARD DRAIN |
| | ◇ EXIST. SANITARY MANHOLE |
| | —S— EXIST. SAN. SEWER |
| | —W— EXIST. STO. SEWER |
| | —M— EXIST. WATER MAIN |
| | —WV— EXIST. SPOT ELEVATION |
| | —000— CONTOUR W/ ELEVATION |
| | 000000— EXIST. TOP OF CURB ELEV. |
| | 000000— EXIST. FLOW LINE ELEV. |
| | FT = 00000 FIRST FLOOR = 000000 |
| | ◇ TOPSOIL DEPTH |
| | ◇ INFILTRATION SOIL BORING |

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| DRAWN BY | CHECKED | APPROVED | FIELDWORK | | |
|--|---------|----------|------------|------|------|
| | | | JWS | JWS | JWS |
| CRC | JWS | JWS | NO. | NO. | NO. |
| **REFER TO COVER SHEET FOR REVISION DESCRIPTIONS** | | | DATE | DATE | DATE |
| 1 | | | 05-22-2019 | | |
| 2 | | | 06-03-2019 | | |
| 3 | | | 06-10-2019 | | |

SITE PLAN KEY NOTES

TIMBER RATTLER'S-TURNING LANE

TOWN OF GRAND CHUTE, OUTAGAMIE COUNTY, WISCONSIN

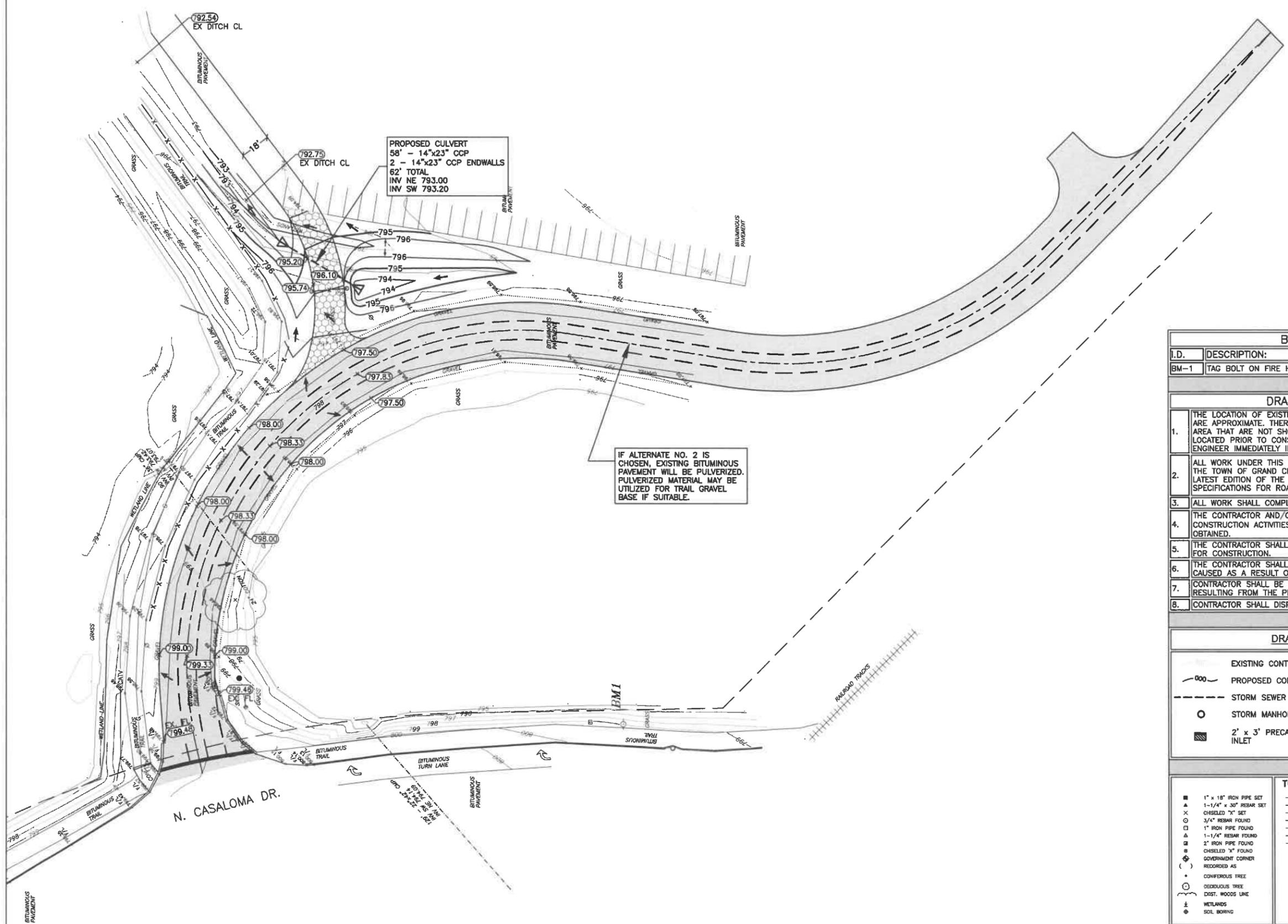
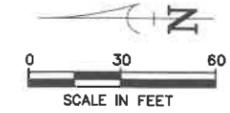
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| SCALE | DATE |
| BAR SCALE | 03-05-2019 |
| COMPUTER FILE | |
| 1-1054-001de.dwg | |

6/10/19

DRAWING NO. C1.3

TIMBER RATTLER'S-TURNING LANE: DRAINAGE PLAN

TOWN OF GRAND CHUTE, OUTAGAMIE COUNTY, WISCONSIN



| BENCHMARK DATA | | |
|----------------|--------------------------|------------|
| I.D. | DESCRIPTION: | ELEVATION: |
| BM-1 | TAG BOLT ON FIRE HYDRANT | 799.93 |

- DRAINAGE PLAN NOTES**
- THE LOCATION OF EXISTING UTILITY FACILITIES AS SHOWN ON THE PLAN ARE APPROXIMATE. THERE MAY BE OTHER UTILITIES WITHIN THE PROJECT AREA THAT ARE NOT SHOWN. THE CONTRACTOR SHALL HAVE ALL FACILITIES LOCATED PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF A CONFLICT WITHIN THE WORK IS DISCOVERED.
 - ALL WORK UNDER THIS CONTRACT SHALL BE DONE IN ACCORDANCE WITH THE TOWN OF GRAND CHUTE STANDARD SPECIFICATIONS, ALONG WITH THE LATEST EDITION OF THE STATE OF WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR ROAD & BRIDGE CONSTRUCTION.
 - ALL WORK SHALL COMPLY WITH O.S.H.A. STANDARDS.
 - THE CONTRACTOR AND/OR OWNER SHALL NOT PROCEED WITH CONSTRUCTION ACTIVITIES UNTIL APPROPRIATE PERMITS/APPROVALS ARE OBTAINED.
 - THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL NECESSARY PERMITS FOR CONSTRUCTION.
 - THE CONTRACTOR SHALL CLEAN UP ALL EXCESS MATERIAL AND DEBRIS RESULTING FROM THE PERFORMANCE OF THE WORK UNDER THIS CONTRACT.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL DAMAGE RESULTING FROM THE PERFORMANCE OF THE WORK UNDER THIS CONTRACT.
 - CONTRACTOR SHALL DISPOSE OF NON-SUITABLE MATERIAL OFF-SITE.

| DRAINAGE PLAN LEGEND | | | |
|----------------------|-----------------------------|------------|------------------------------------|
| | EXISTING CONTOUR | X 000.00 | PROPOSED ELEVATION |
| | PROPOSED CONTOUR | X (000.00) | PERTINENT DITCH OR SWALE ELEVATION |
| | STORM SEWER MAIN | | EXISTING ELEVATION |
| | STORM MANHOLE | | PROPOSED GROUND AT FOUNDATION |
| | 2' x 3' PRECAST STORM INLET | | DIRECTION OF DRAINAGE |

| TOPOGRAPHIC LEGEND | | | |
|--------------------|------------------------|--|-----------------------------|
| | 1" x 18" IRON PIPE SET | | OVERHEAD POWER LINES |
| | 1-1/4" x 30" REBAR SET | | UNDERGROUND ELECTRIC |
| | CHISELED "X" SET | | UNDERGROUND TELEPHONE |
| | 3/4" REBAR FOUND | | UNDERGROUND FIBEROPTIC |
| | 1" IRON PIPE FOUND | | UNDERGROUND GAS |
| | 1-1/4" REBAR FOUND | | UNDERGROUND CABLE TV |
| | 2" IRON PIPE FOUND | | EXIST. FENCE LINE |
| | CHISELED "X" FOUND | | POWER POLE |
| | GOVERNMENT CORNER | | GUY |
| | RECORDED AS | | LIGHT POLE |
| | CONIFEROUS TREE | | ELECTRIC PEDESTAL |
| | DECIDUOUS TREE | | CABLE PEDESTAL |
| | WETLANDS | | EXIST. HYDRANT |
| | SOIL BORING | | WATER VALVE |
| | | | WATER STOP BOX |
| | | | GAS VALVE |
| | | | EXIST. STORM MANHOLE |
| | | | STORM INLET |
| | | | YARD DRAIN |
| | | | EXIST. SANITARY MANHOLE |
| | | | EXIST. SAN. SEWER |
| | | | EXIST. STD. SEWER |
| | | | EXIST. WATER MAIN |
| | | | EXIST. SPOT ELEVATION |
| | | | CONTOUR W/ ELEVATION |
| | | | EXIST. TOP OF CURB ELEV. |
| | | | EXIST. FLOW LINE ELEV. |
| | | | EXIST. FIRST FLOOR = 000.00 |
| | | | TOPSOIL DEPTH |
| | | | INFILTRATION SOIL BORING |

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| DRAWN BY | CHECKED | APPROVED | FIELDWORK |
|----------|---------|----------|-----------|
| CRC | JWS | JWS | |

| **REFER TO COVER SHEET FOR REVISION DESCRIPTIONS** | | | |
|--|------------|-----|------|
| NO. | DATE | NO. | DATE |
| 1 | 05-22-2018 | | |
| 2 | 08-03-2018 | | |
| 3 | 06-10-2019 | | |

DRAINAGE PLAN
TIMBER RATTLER'S-TURNING LANE
 TOWN OF GRAND CHUTE, OUTAGAMIE COUNTY, WISCONSIN

SCALE: BAR SCALE
 DATE: 03-05-2019
 COMPUTER FILE: 1-1054-001de.dwg

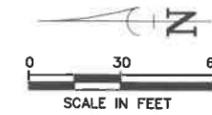


6/10/19
 DRAWING NO. C2.1

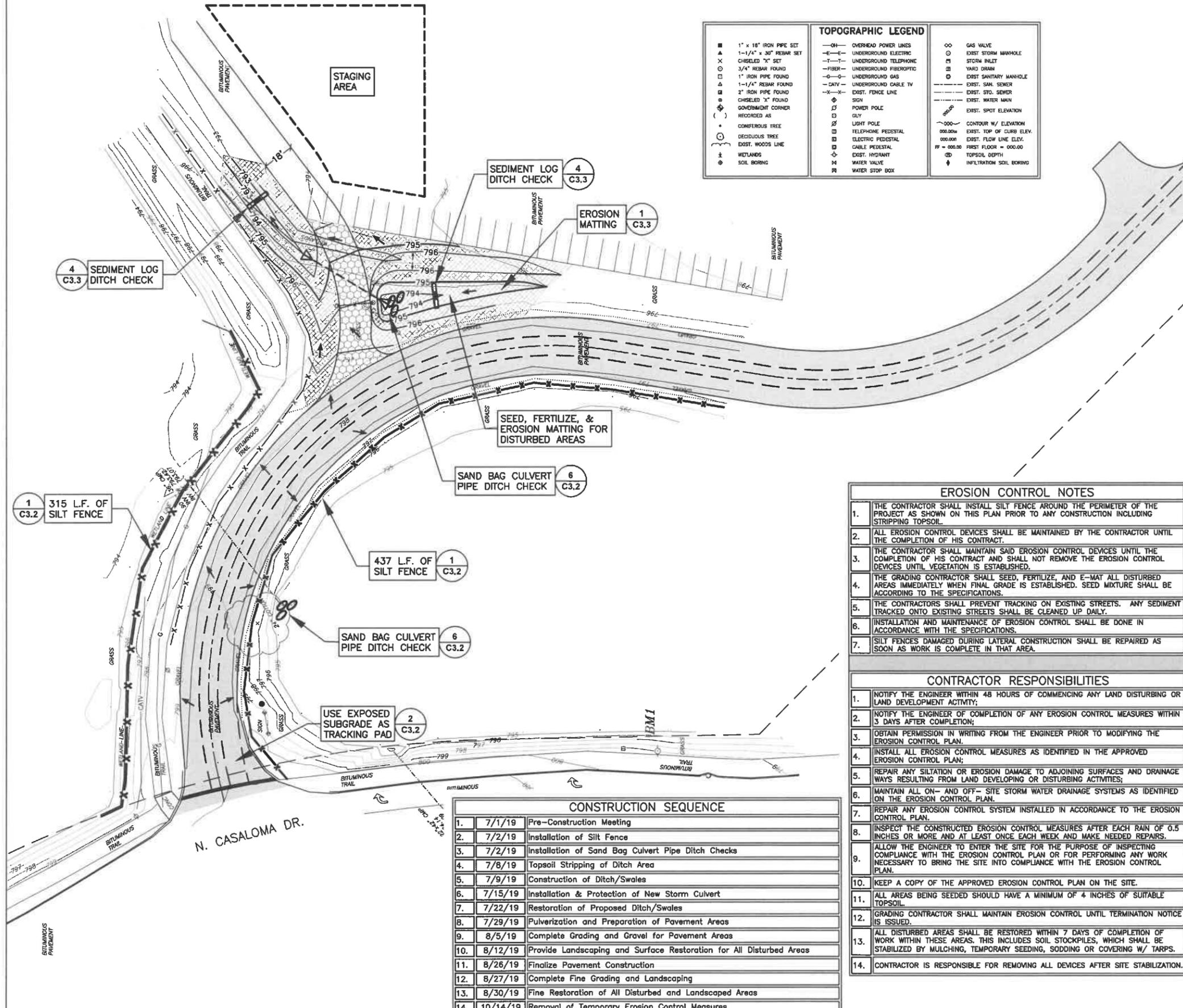
TIMBER RATTLER'S-TURNING LANE: EROSION CONTROL PLAN

TOWN OF GRAND CHUTE, OUTAGAMIE COUNTY, WISCONSIN

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 info@martenson-eisele.com
 920.731.0381 1.800.236.0381



| TOPOGRAPHIC LEGEND | |
|--------------------|--------------------------|
| — | OVERHEAD POWER LINES |
| — | UNDERGROUND ELECTRIC |
| — | UNDERGROUND TELEPHONE |
| — | UNDERGROUND FIBEROPTIC |
| — | UNDERGROUND GAS |
| — | UNDERGROUND CABLE TV |
| — | EXIST. FENCE LINE |
| — | EXIST. WATER MAIN |
| — | EXIST. SAN. SEWER |
| — | EXIST. STG. SEWER |
| — | EXIST. WATER MAIN |
| — | EXIST. SPOT ELEVATION |
| — | EXIST. TOP OF CURB ELEV. |
| — | EXIST. FLOW LINE ELEV. |
| — | FIRST FLOOR = 000.00 |
| — | TOPSOIL DEPTH |
| — | INFILTRATION SOIL BORING |
| — | GAS VALVE |
| — | EXIST. STORM MANHOLE |
| — | STORM INLET |
| — | YARD DRAIN |
| — | EXIST. SANITARY MANHOLE |
| — | EXIST. SAN. SEWER |
| — | EXIST. STG. SEWER |
| — | EXIST. WATER MAIN |
| — | EXIST. SPOT ELEVATION |
| — | EXIST. TOP OF CURB ELEV. |
| — | EXIST. FLOW LINE ELEV. |
| — | FIRST FLOOR = 000.00 |
| — | TOPSOIL DEPTH |
| — | INFILTRATION SOIL BORING |



| GENERAL NOTES | |
|---------------|---|
| 1. | SITE DEWATERING. WATER PUMPED FROM THE SITE SHALL BE TREATED BY TEMPORARY SEDIMENTATION BASINS OR OTHER APPROPRIATE CONTROLS DESIGNED FOR THE HIGHEST DEWATERING PUMPING RATE. WATER MAY NOT BE DISCHARGED IN A MANNER THAT CAUSES EROSION OF THE SITE OR RECEIVING CHANNELS. (NOT ANTICIPATED) |
| 2. | WASTE AND MATERIAL DISPOSAL. ALL WASTE AND UNUSED BUILDING MATERIALS (INCLUDING GARBAGE, DEBRIS, CLEANING WASTES, WASTEWATER, TOXIC MATERIALS OR HAZARDOUS MATERIALS) SHALL BE PROPERLY DISPOSED OF AND NOT ALLOWED TO BE CARRIED BY RUNOFF INTO A RECEIVING CHANNEL OR STORM SEWER SYSTEM. |
| 3. | TRACKING. THIS SITE SHALL STABILIZE THE EXISTING DRIVE WITH 3" TO 6" (12" THICK) CLEAR AGGREGATE SUFFICIENT TO PREVENT SEDIMENT FROM BEING TRACKED ONTO PUBLIC OR PRIVATE ROAD WAYS AS APPROVED BY THE DIRECTOR. ANY SEDIMENT REACHING A PUBLIC OR PRIVATE ROAD SHALL BE REMOVED BEFORE THE END OF EACH WORK DAY. FLUSHING MAY NOT BE USED UNLESS THE SEDIMENT WILL BE CONTROLLED BY A FILTER FABRIC BARRIER, SEDIMENT TRAP, SEDIMENT BASIN OR EQUIVALENT. TRACKING PAD DIMENSIONS ARE SHOWN ON THE EROSION CONTROL PLAN (24'X50' MIN). |
| 4. | DRAIN INLET PROTECTION. ALL ON-SITE STORM DRAIN INLETS AND THE IMPACTED DOWNSTREAM INLETS SHALL BE PROTECTED WITH THE CATCH-ALL CONFIGURATION. OFF-SITE CULVERTS SHALL BE PROTECTED WITH SAND BAG CULVERT CHECKS. |
| 5. | EROSION MATTING. EROSION MATTING SHALL BE INSTALLED AFTER TOPSOIL IS PLACED AND SEEDING IS COMPLETE. MATERIAL LABELS AND MANUFACTURER INSTALLATION INSTRUCTIONS SHALL BE RETAINED UNTIL THE SITE HAS BEEN STABILIZED. IF THERE ARE SIGNS OF RILLING OR FAILURE, MORE STAPLES AND/OR ANCHORING TRENCHES SHALL BE INSTALLED. IF RILLING OR FAILURE PERSISTS, IMPACTED AREAS SHALL BE FILLED, RE-SEEDED AND MULCHED. CLASS I OR CLASS II - TYPE B PRODUCTS THAT INCORPORATE PHOTO- OR BIO-DEGRADABLE NETTING SHALL NOT BE INSTALLED AFTER SEPTEMBER 1ST OF ANY GIVEN YEAR. |
| 6. | SEDIMENT CLEANUP. ALL OFF-SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF A STORM EVENT SHALL BE CLEANED UP BY THE END OF THE NEXT WORK DAY. ALL OTHER OFF-SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF LAND DISTURBING ACTIVITIES SHALL BE CLEANED UP BY THE END OF THE WORK DAY. |
| 7. | DISTURBANCE TIMING. ALL ACTIVITIES ON THE SITE SHALL BE CONDUCTED IN A LOGICAL SEQUENCE TO MINIMIZE THE AREA OF BARE SOIL EXPOSED AT ANY ONE TIME. EXISTING VEGETATION SHALL BE MAINTAINED AS LONG AS POSSIBLE. |

| EROSION CONTROL NOTES | |
|-----------------------|---|
| 1. | THE CONTRACTOR SHALL INSTALL SILT FENCE AROUND THE PERIMETER OF THE PROJECT AS SHOWN ON THIS PLAN PRIOR TO ANY CONSTRUCTION INCLUDING STRIPPING TOPSOIL. |
| 2. | ALL EROSION CONTROL DEVICES SHALL BE MAINTAINED BY THE CONTRACTOR UNTIL THE COMPLETION OF HIS CONTRACT. |
| 3. | THE CONTRACTOR SHALL MAINTAIN SAID EROSION CONTROL DEVICES UNTIL THE COMPLETION OF HIS CONTRACT AND SHALL NOT REMOVE THE EROSION CONTROL DEVICES UNTIL VEGETATION IS ESTABLISHED. |
| 4. | THE GRADING CONTRACTOR SHALL SEED, FERTILIZE, AND E-MAT ALL DISTURBED AREAS IMMEDIATELY WHEN FINAL GRADE IS ESTABLISHED. SEED MIXTURE SHALL BE ACCORDING TO THE SPECIFICATIONS. |
| 5. | THE CONTRACTORS SHALL PREVENT TRACKING ON EXISTING STREETS. ANY SEDIMENT TRACKED ONTO EXISTING STREETS SHALL BE CLEANED UP DAILY. |
| 6. | INSTALLATION AND MAINTENANCE OF EROSION CONTROL SHALL BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS. |
| 7. | SILT FENCES DAMAGED DURING LATERAL CONSTRUCTION SHALL BE REPAIRED AS SOON AS WORK IS COMPLETE IN THAT AREA. |

| CONTRACTOR RESPONSIBILITIES | |
|-----------------------------|--|
| 1. | NOTIFY THE ENGINEER WITHIN 48 HOURS OF COMMENCING ANY LAND DISTURBING OR LAND DEVELOPMENT ACTIVITY. |
| 2. | NOTIFY THE ENGINEER OF COMPLETION OF ANY EROSION CONTROL MEASURES WITHIN 3 DAYS AFTER COMPLETION. |
| 3. | OBTAIN PERMISSION IN WRITING FROM THE ENGINEER PRIOR TO MODIFYING THE EROSION CONTROL PLAN. |
| 4. | INSTALL ALL EROSION CONTROL MEASURES AS IDENTIFIED IN THE APPROVED EROSION CONTROL PLAN. |
| 5. | REPAIR ANY SILTATION OR EROSION DAMAGE TO ADJOINING SURFACES AND DRAINAGE WAYS RESULTING FROM LAND DEVELOPING OR DISTURBING ACTIVITIES. |
| 6. | MAINTAIN ALL ON- AND OFF- SITE STORM WATER DRAINAGE SYSTEMS AS IDENTIFIED ON THE EROSION CONTROL PLAN. |
| 7. | REPAIR ANY EROSION CONTROL SYSTEM INSTALLED IN ACCORDANCE TO THE EROSION CONTROL PLAN. |
| 8. | INSPECT THE CONSTRUCTED EROSION CONTROL MEASURES AFTER EACH RAIN OF 0.5 INCHES OR MORE AND AT LEAST ONCE EACH WEEK AND MAKE NEEDED REPAIRS. |
| 9. | ALLOW THE ENGINEER TO ENTER THE SITE FOR THE PURPOSE OF INSPECTING COMPLIANCE WITH THE EROSION CONTROL PLAN OR FOR PERFORMING ANY WORK NECESSARY TO BRING THE SITE INTO COMPLIANCE WITH THE EROSION CONTROL PLAN. |
| 10. | KEEP A COPY OF THE APPROVED EROSION CONTROL PLAN ON THE SITE. |
| 11. | ALL AREAS BEING SEEDDED SHOULD HAVE A MINIMUM OF 4 INCHES OF SUITABLE TOPSOIL. |
| 12. | GRADING CONTRACTOR SHALL MAINTAIN EROSION CONTROL UNTIL TERMINATION NOTICE IS ISSUED. |
| 13. | ALL DISTURBED AREAS SHALL BE RESTORED WITHIN 7 DAYS OF COMPLETION OF WORK WITHIN THESE AREAS. THIS INCLUDES SOIL STOCKPILES, WHICH SHALL BE STABILIZED BY MULCHING, TEMPORARY SEEDING, SODDING OR COVERING W/ TARPS. |
| 14. | CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEVICES AFTER SITE STABILIZATION. |

| EROSION CONTROL PLAN KEY LEGEND | |
|---------------------------------|--|
| 1 | SILT FENCE (C3.2) |
| 2 | TRACKING PROTECTION (C3.2) |
| 3 | INLET PROTECTION TYPES A,B,C, & D (C3.2) |
| 4 | INLET PROTECTION TYPE D-M (C3.2) |
| 5 | INLET PROTECTION TYPE D-HR (C3.2) |
| 6 | SANDBAG CULVERT PIPE DITCH CHECK (C3.2) |
| 7 | DEWATERING DETAIL (C3.2) |
| 8 | EROSION CONTROL MAT DETAIL (CLASS1, TYPE A) (C3.3) |
| 9 | EROSION CONTROL MAT DETAIL (CLASS1, TYPE B) (C3.3) |
| 10 | SEDIMENT LOG INLET PROTECTION (C3.3) |
| 11 | SEDIMENT LOG CHANNEL DITCH CHECK (C3.3) |

| CONSTRUCTION SEQUENCE | | |
|-----------------------|----------|---|
| 1. | 7/1/19 | Pre-Construction Meeting |
| 2. | 7/2/19 | Installation of Silt Fence |
| 3. | 7/2/19 | Installation of Sand Bag Culvert Pipe Ditch Checks |
| 4. | 7/8/19 | Topsoil Stripping of Ditch Area |
| 5. | 7/9/19 | Construction of Ditch/Swales |
| 6. | 7/15/19 | Installation & Protection of New Storm Culvert |
| 7. | 7/22/19 | Restoration of Proposed Ditch/Swales |
| 8. | 7/29/19 | Pulverization and Preparation of Pavement Areas |
| 9. | 8/5/19 | Complete Grading and Gravel for Pavement Areas |
| 10. | 8/12/19 | Provide Landscaping and Surface Restoration for All Disturbed Areas |
| 11. | 8/26/19 | Finalize Pavement Construction |
| 12. | 8/27/19 | Complete Fine Grading and Landscaping |
| 13. | 8/30/19 | Fine Restoration of All Disturbed and Landscaped Areas |
| 14. | 10/14/19 | Removal of Temporary Erosion Control Measures |

NOT FOR CONSTRUCTION

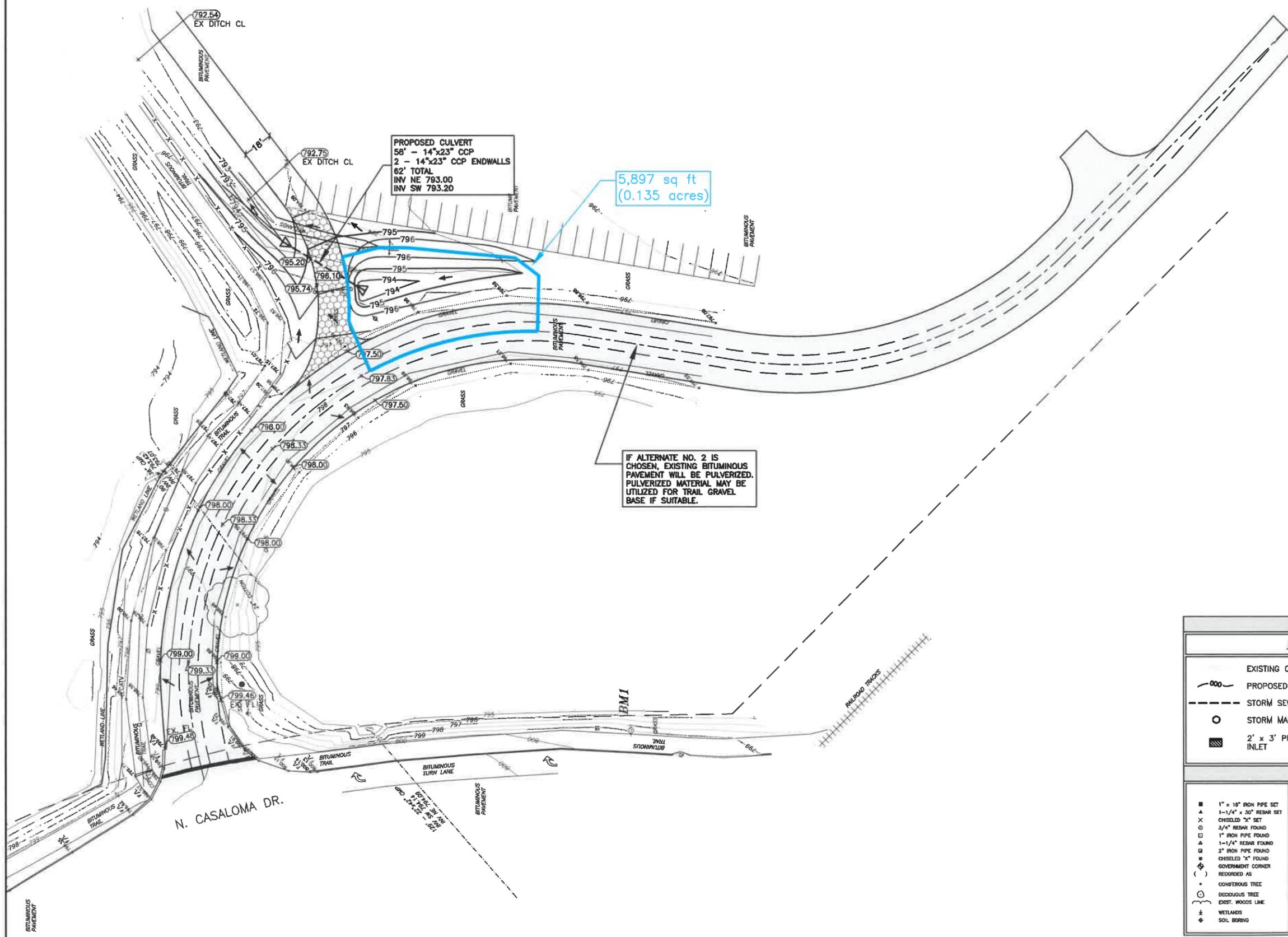
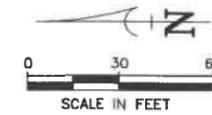
| NO. | DATE | NO. | DATE |
|-----|------------|-----|------------|
| 1 | 05-22-2019 | 2 | 06-03-2019 |
| 2 | 06-03-2019 | 3 | 08-10-2019 |

EROSION CONTROL PLAN
TIMBER RATTLER'S-TURNING LANE
 TOWN OF GRAND CHUTE, OUTAGAMIE COUNTY, WISCONSIN

| | |
|------------------|------------|
| SCALE | DATE |
| BAR SCALE | 03-05-2019 |
| COMPUTER FILE | |
| 1-1054-001de.dwg | |
| 6/10/19 | |
| DRAWING NO. | C3.1 |

TIMBER RATTLER'S-TURNING LANE: STORM BASINS

TOWN OF GRAND CHUTE, OUTAGAMIE COUNTY, WISCONSIN



PROPOSED CULVERT
58' - 14"x23" CCP
2 - 14"x23" CCP ENDWALLS
62' TOTAL
INV NE 793.00
INV SW 793.20

5,897 sq ft
(0.135 acres)

IF ALTERNATE NO. 2 IS CHOSEN, EXISTING BITUMINOUS PAVEMENT WILL BE PULVERIZED. PULVERIZED MATERIAL MAY BE UTILIZED FOR TRAIL GRAVEL BASE IF SUITABLE.

| DRAINAGE PLAN LEGEND | | | |
|----------------------|-----------------------------|------------|------------------------------------|
| | EXISTING CONTOUR | X 000.00 | PROPOSED ELEVATION |
| | PROPOSED CONTOUR | X (000.00) | PERTINENT DITCH OR SWALE ELEVATION |
| | STORM SEWER MAIN | | EXISTING ELEVATION |
| | STORM MANHOLE | | PROPOSED GROUND AT FOUNDATION |
| | 2' x 3' PRECAST STORM INLET | | DIRECTION OF DRAINAGE |

| TOPOGRAPHIC LEGEND | | | |
|--------------------|------------------------|--|----------------------------------|
| | 1" x 16" IRON PIPE SET | | OVERHEAD POWER LINES |
| | 1-1/4" x 36" REBAR SET | | UNDERGROUND ELECTRIC |
| | CHISELED "X" SET | | UNDERGROUND TELEPHONE |
| | 3/4" REBAR FOUND | | UNDERGROUND FIBEROPTIC |
| | 1" IRON PIPE FOUND | | UNDERGROUND GAS |
| | 1-1/4" REBAR FOUND | | UNDERGROUND CABLE TV |
| | 2" IRON PIPE FOUND | | EXIST. FENCE LINE |
| | CHISELED "X" FOUND | | SIGN |
| | GOVERNMENT CORNER | | POWER POLE |
| | RECORDED AS | | LIGHT POLE |
| | CONIFEROUS TREE | | TELEPHONE PEDESTAL |
| | DECIDUOUS TREE | | ELECTRIC PEDESTAL |
| | WETLANDS | | CABLE PEDESTAL |
| | SOIL BORING | | EXIST. HYDRANT |
| | | | WATER VALVE |
| | | | DEFILATION SOIL BORING |
| | | | GAS VALVE |
| | | | EXIST. STORM MANHOLE |
| | | | STORM INLET |
| | | | YARD DRAIN |
| | | | EXIST. SAN. SEWER |
| | | | EXIST. STO. SEWER |
| | | | EXIST. WATER MAIN |
| | | | EXIST. SPOT ELEVATION |
| | | | CONTOUR W/ ELEVATION |
| | | | EXIST. TOP OF CURB ELEV. |
| | | | EXIST. FLOW LINE ELEV. |
| | | | FT = 000.00 FIRST FLOOR = 000.00 |
| | | | TOPSOIL DEPTH |
| | | | WATER STOP BOX |

NOT FOR CONSTRUCTION

Martenson & Eisele, Inc.
 Planning
 Environmental
 Surveying
 Engineering
 Architecture
 1377 Midway Road
 Menasha, WI 54952
 www.martenson-eisele.com
 info@martenson-eisele.com
 920.731.0381 1.800.236.0381

| DRAWN BY | CRC | CHECKED | JWS | APPROVED | JWS | FIELDWORK | |
|--|-----|---------|-----|----------|-----|-----------|------|
| | | | | | | NO. | DATE |
| **REFER TO COVER SHEET FOR REVISION DESCRIPTIONS** | | | | | | | |
| 1 | | | | | | | |
| 2 | | | | | | | |
| 3 | | | | | | | |

STORM BASINS
TIMBER RATTLER'S-TURNING LANE
 TOWN OF GRAND CHUTE, OUTAGAMIE COUNTY, WISCONSIN

SCALE: BAR SCALE
 DATE: 03-05-2019
 COMPUTER FILE: 1-1054-001c.dwg



6/10/19
 DRAWING NO. STO

**Town of Grand Chute
Site Plan Amendment Review
Victory Lane Imports, Inc., dba Bergstrom Mazda of Appleton**

To: Plan Commission

From: Robert Buckingham, Community Development Director

Date: July 10, 2019

Address: 3023 N. Victory Lane

App. #: SPA1-00-04

REQUEST

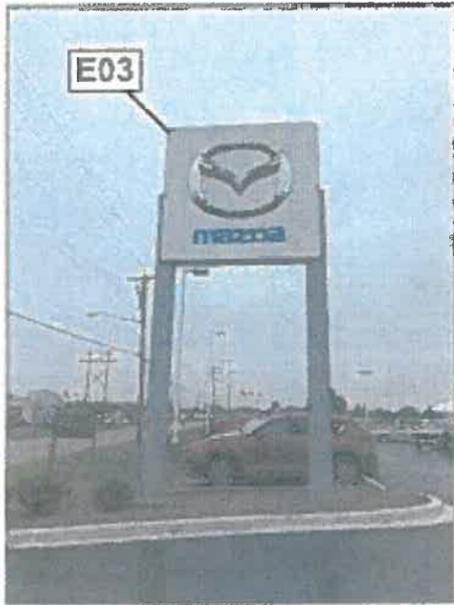
- 1. Proposed Use(s):** Continued automobile sales and service use.
- 2. Project Description:** Remove an existing pylon sign and install a new pylon sign.
- 3. Plat/CSM Accurate parcel lines/lot recorded:** Yes.

ANALYSIS

Applicant seeks approval to remove the existing pylon sign and install a new pylon sign in the same location. The new sign will be 25'-0" in height and 103 sq. ft. in size. All code requirements are met with this request.

RECOMMENDATION

Staff has reviewed and supports Plan Commission approval of the Site Plan Amendment (SPA1-00-04) requested by Victory Lane Imports, Inc., dba Bergstrom Mazda of Appleton, 3023 N. Victory Lane, to remove an existing pylon sign and install a new pylon sign.

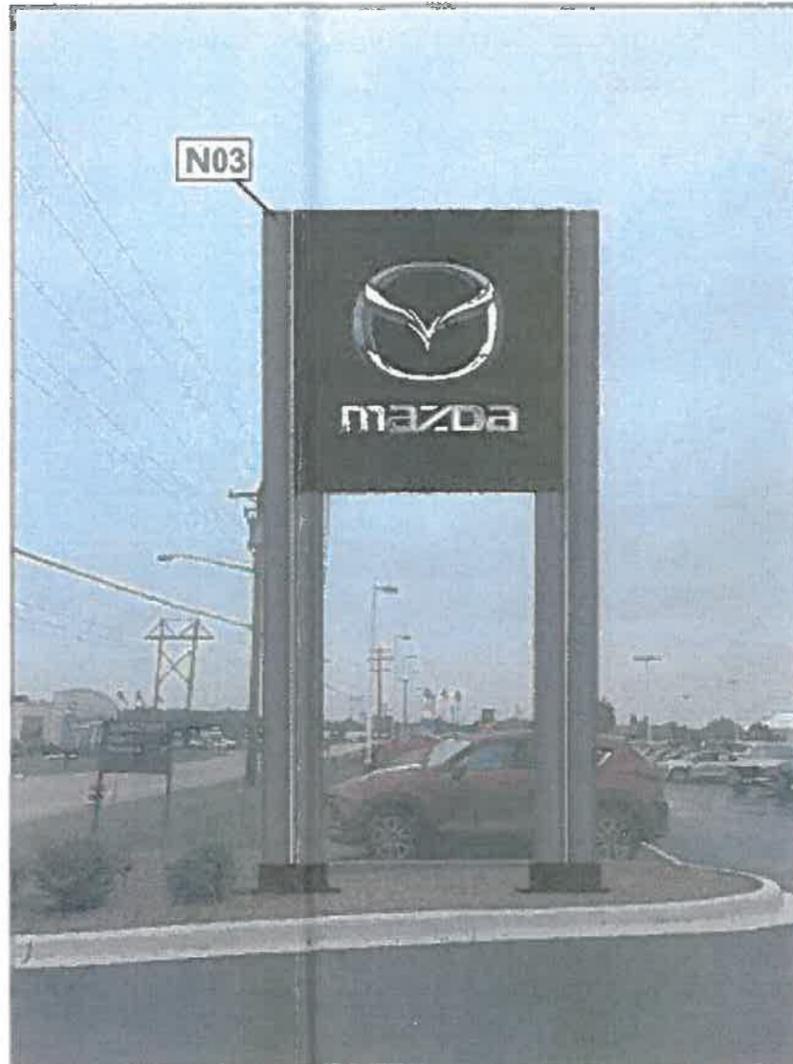


Existing Condition

NOTES:

E03 - AGI to remove and dispose of existing Mazda pylon.

Proposed Signage



NOTES:

N03 - AGI to install new P100 @ 25' OAH Chrome, Illuminated. Dealer responsible for providing electrical within 5' as well as proper access.



DEALER IDENTIFICATION PROGRAM

Site: Bergstrom Mazda

Address:
Bergstrom Mazda
3023 Victory Lane
Appleton, WI 45913

File Name: Bergstrom Mazda Brandbook_101618

Page: 7 of 8

Drawn By: GLH

Creation Date: 10/16/18

- Rev. 1: 03/06/19 glh Rev. 6:
- Rev. 2: 04/26/19 glh Rev. 7:
- Rev. 3: Rev. 8:
- Rev. 4: Rev. 9:
- Rev. 5: Rev.10:

IMPORTANT APPROVAL NOTIFICATION

ONCE APPROVAL HAS BEEN RECEIVED, YOU WILL BE HELD FINANCIALLY RESPONSIBLE FOR ANY ADDITIONAL CHANGES OR ADJUSTMENTS TO THE RECOMMENDED SIGNAGE.

Authorized Signature: _____

Print Name: _____

Date: _____

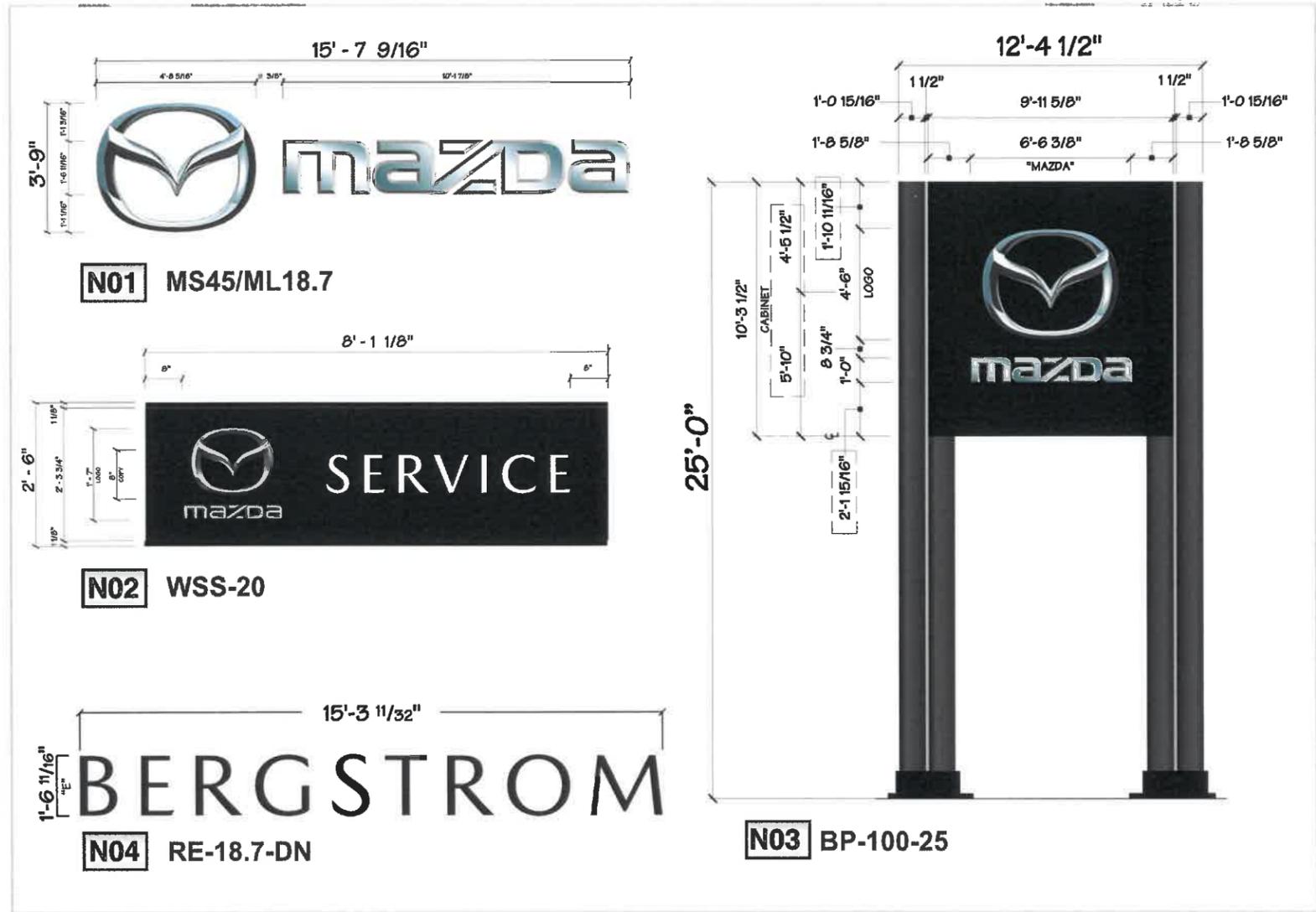
- Approved As Shown
- Approved with Changes Noted

This Brand Book represents the Mazda North American Operations approved location placement for proposed signs. No variation will be permitted.

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2655 International Pkwy., Virginia Beach, VA 23452
PHONE: (757) 427-1900 - Fax (757) 430-1297
www.AGISign.com



DEALER IDENTIFICATION PROGRAM

Site: Bergstrom Mazda

Address:
 Bergstrom Mazda
 3023 Victory Lane
 Appleton, WI 45913

File Name: Bergstrom Mazda Brandbook_101618

Page: 4 of 8

Drawn By: GLH

Creation Date: 10/16/18

- Rev. 1: 03/06/19 glh Rev. 6:
- Rev. 2: 04/26/19 glh Rev. 7:
- Rev. 3: Rev. 8:
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- Rev. 5: Rev.10:

IMPORTANT APPROVAL NOTIFICATION

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Authorized Signature: _____
 Print Name: _____
 Date: _____

- Approved As Shown
- Approved with Changes Noted

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 PHONE: (757) 427-1900 - Fax (757) 430-1297
 www.AGISign.com

Sign Inventory

| Sign | Existing | Action | Proposed | Qty | Electrical Requirements |
|---------|-----------------------|-----------------|--|-----|--------------------------|
| E01/N01 | Mazda Logo/ Letterset | Remove/ Replace | Dealer to remove and dispose of existing Mazda logo/letterset. Dealer responsible for patch and paint. AGI to install new MS45/ML18.7 45" Chromed Brand Symbol & 18.7" Mazda Logotype Letters (Horizontal), Illuminated. Dealer responsible for providing electrical within 5' as well as proper access. | 1 | 1 20amp circuit @ 120vac |
| E02/N02 | Service Sign | Remove/ Replace | Dealer to remove and dispose of existing Mazda service sign. Dealer responsible for patch and paint. AGI to install new WSS-20 Service sign (Black). Dealer responsible for providing electrical within 5' as well as proper access. | 1 | 1 20amp circuit @ 120vac |
| E03/N03 | Mazda Pylon | Remove/ Replace | AGI to remove and dispose of existing Mazda pylon. AGI to install new P100 @ 25' OAH Chrome, Illuminated. Dealer responsible for providing electrical within 5' as well as proper access. | 1 | 1 20amp circuit @ 120vac |
| N04 | N/A | New | AGI to install new 18.7" dealer letters reading "BERGSTROM". Dealer responsible for providing electrical within 5' as well as proper access. | 1 | 1 20amp circuit @ 120vac |

Site Plan



DEALER IDENTIFICATION PROGRAM

Site: Bergstrom Mazda

Address:
Bergstrom Mazda
3023 Victory Lane
Appleton, WI 45913

File Name: Bergstrom Mazda Brandbook_101618

Page: 8 of 8

Drawn By: GLH

Creation Date: 10/16/18

| | |
|----------------------|---------|
| Rev. 1: 03/06/19 glh | Rev. 6: |
| Rev. 2: 04/26/19 glh | Rev. 7: |
| Rev. 3: | Rev. 8: |
| Rev. 4: | Rev. 9: |
| Rev. 5: | Rev.10: |

IMPORTANT APPROVAL NOTIFICATION

ONCE APPROVAL HAS BEEN RECEIVED, YOU WILL BE HELD FINANCIALLY RESPONSIBLE FOR ANY ADDITIONAL CHANGES OR ADJUSTMENTS TO THE RECOMMENDED SIGNAGE.

Authorized Signature: _____

Print Name: _____

Date: _____

- Approved As Shown
- Approved with Changes Noted

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**Town of Grand Chute
Site Plan Amendment Review
Scott D. Nerenhausen, dba The Dog House**

To: Plan Commission
From: Robert Buckingham, Community Development Director
Date: July 10, 2019
Address: 2230 W. Nordale Drive **App. #: SPA1-00-93**

REQUEST

- 1. **Proposed Use(s):** Continued pet services use.
- 2. **Project Description:** Remove an existing pylon sign and install a new monument sign.
- 3. **Plat/CSM Accurate parcel lines/lot recorded:** Yes.

ANALYSIS

Applicant seeks approval to remove the existing pylon sign along the W. Northland Avenue frontage and install a new monument sign in approximately the same location. The new sign will be 8'-5" in height and 50 sq. ft. in size. All code requirements are met with this request.

RECOMMENDATION

Staff has reviewed and supports Plan Commission approval of the Site Plan Amendment (SPA1-00-93) requested by Scott D. Nerenhausen, dba The Dog House, 2230 W. Nordale Drive, to remove an existing pylon sign and install a new monument sign.



605 LAWRENCE DR. DE PERE, WI 54115
920.336.8900 GREENBAYSIGNS.COM

CLIENT: THE DOG HOUSE

LOCATION: 2230 W. NORDALE DRIVE
DRAWN BY: CHINDY X
SALESPERSON: KELSEY H
DATE: 5/22/19
DESIGN #: D15272
PAGE: 1

| REVISION LOG: | INTL | DATE | DESCRIPTION |
|---------------|------|---------|----------------|
| CX | | 5/29/19 | COPY CHANGE |
| CX | | 6/13/19 | LOGO/REVISIONS |

MONUMENT

QUANTITY: 1
SIDES: D/F
CABINET: FABRICATED ALUM (16")
LIGHTING: LED (WHITE)
RETAINER: 2"
FACES: LEXAN
GRAPHICS: DIRECT PRINT
FONT: LOGO/MYRIAD SEMIBOLD

MOUNTING: DIRECT EMBEDMENT

INSTRUCTION: REMOVE EXISTING PYLON.
PRODUCE AND INSTALL NEW
MONUMENT AS SHOWN.
PLACE CLOSER TO CEMENT AREA.

COLORS:

- P-1 /C-1 WHITE
- P-2 /C2 PMS 195 C
- C-2 BLACK

CUSTOMER SIGNATURE FOR DESIGN APPROVAL:

DATE

5000

MONUMENT: OPT 1

1 LOCATION VIEW (AFTER)
SCALE: 3/32" = 1"



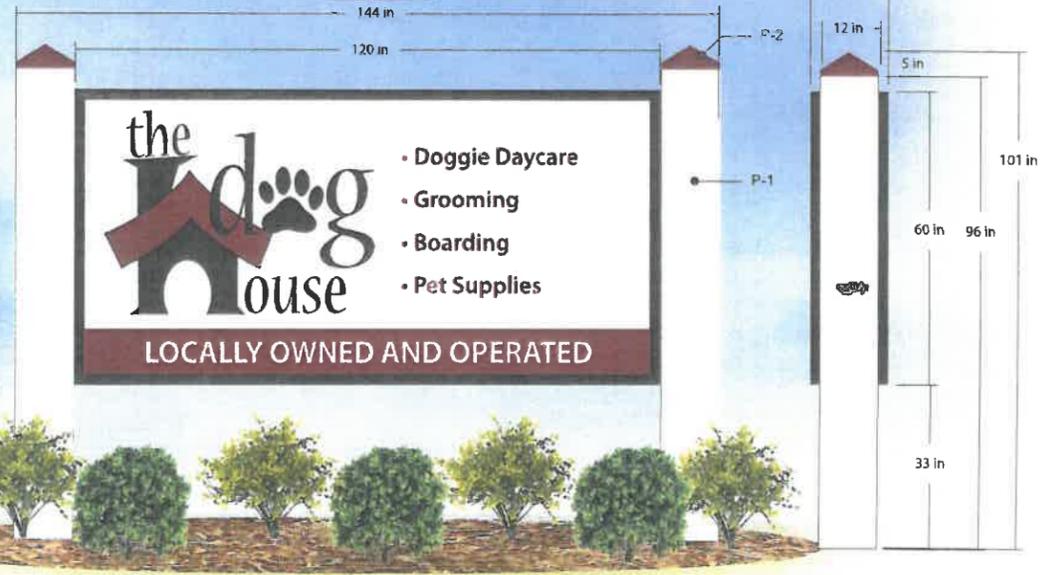
2 EXISTING VIEW
NTS



3 NIGHT VIEW
NTS



4 DETAIL VIEW
SCALE: 1/2" = 1"



5 END VIEW
SCALE: 1/2" = 1"

CONCEPTUAL DRAWING ONLY - NOT FOR FABRICATION PURPOSES (SIZES ARE APPROX)

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