

****VIRTUAL MEETING PARTICIPATION OPTIONS****Web Access:<https://grandchute.my.webex.com/grandchute.my/j.php?MTID=m97ee0d5a3c80813cd8b499a8e4907f9b>

Access Code: 620-057-177

Meeting Password: 1900

Telephone Access:

Dial: (408) 418-9388

Access Code: 620-057-177

Meeting Password: 1900

1. Roll Call.
2. Approval of Agenda.
3. Approval of Minutes – June 16, 2020 meeting.
4. Public Input. **No public input** will be permitted at this meeting out of a concern for fairness and safety as many attendees will be attending remotely without any meaningful ability to participate.
5. Community Development Director's Report.
6. **Public Hearing #1 (Continued from 06/16/2020 Plan Commission Meeting)** – Special Exception Permit (SE-10-20) requested by GCD, LLC, 4620 N. Lynndale Drive, for approval of a Planned Unit Development designation of the White Hawk West Condominium. **Action:** Hear testimony/close meeting.
7. **Special Exception Permit (SE-10-20)** – Request by GCD, LLC, 4620 N. Lynndale Drive, for approval of a Planned Unit Development designation of the White Hawk West Condominium. **Action:** Recommend approval/denial of SE-10-20. (TOWN BOARD ACTION 7/21/2020)
8. **Condo Plat (CP-03-20)** – Request by GCD, LLC, 4620 N. Lynndale Drive, for approval of the Condo Plat for White Hawk West Condominium. **Action:** Recommend approval/denial of CP-03-20. (TOWN BOARD ACTION 7/21/2020)
9. **Site Plan (SP-11-20)** – Request by GCD, LLC, 4620 N. Lynndale Drive, for construction of 36 condominium units, a stormwater facility, and associated site improvements. **Action:** Approve/deny SP-11-20.
10. **Site Plan (SP-05-20)** – Request by Prime Storage Appleton LLC, dba College Avenue Self Storage, 200 N. Lynndale Drive, for construction of a stormwater pond to serve an adjacent development located in the City of Appleton. **Action:** Approve/deny SP-05-20.
11. **Site Plan Amendment (SPA1-00-96)** – Request by Community Blood Center, Inc., dba The Community Blood Center, 4330 W. Spencer Street, for construction of a vestibule addition, parking lot modifications, and associated site improvements. **Action:** Approve/deny SPA1-00-96.
12. **Certified Survey Map (CSM-09-20)** – Request by the Town of Grand Chute, 1900 W. Grand Chute Boulevard, for approval of a two-lot CSM with roadway dedication (Evergreen Drive extension). **Action:** Recommend approval/denial of CSM-09-20. (TOWN BOARD ACTION 7/7/2020)
13. Adjournment.

Public Notice: Agendas are posted in the following locations: Town Hall bulletin boards & Town website www.grandchute.net 2015 Wisconsin Act 79 allows the publication of certain legal notices on an Internet site maintained by a municipality. This law allows these types of legal notices to be posted in one physical location in the jurisdiction (instead of three) if also placed on an Internet site maintained by the local government.

Special Accommodations: Requests from persons with disabilities who need assistance to participate in this meeting should be made to the Clerk's Office at (920-832-5644) with at least 24-hour notice.

Notice of Possible Quorum: A quorum of the Town Board, Sanitary Districts, Board of Review, Community Development Authority, Licensing Committee, Parks Commission, Joint Review Board, Zoning Board of Appeals and/or Police and Fire Commission may be present at this meeting for the purpose of gathering information and possible discussion on items listed on this agenda. However, unless otherwise noted in this agenda, no official action by the Town Board, Sanitary Districts, Board of Review, Community Development Authority, Licensing Committee, Parks Commission, Joint Review Board, Zoning Board of Appeals and/or Police and Fire Commission will be taken at this meeting.

GRAND CHUTE PLAN COMMISSION MINUTES

June 16, 2020

Members Present: Chairman Dave Schowalter, Commissioners Brad Gehring, Robert Stadel, Julie Hidde, Duane Boeckers, Pam Crosby, John Weber, Cheryl Ulrich. Members Absent: None.

Also Present: James March, Town Administrator; Katie Schwartz, Public Works Director; Robert Buckingham, Community Development Director; Brent Braun, IT Director; Michael Patza, Town Planner; Tracy Olejniczak, Administrative Assistant; other interested parties.

1. **ROLL CALL**

Chairman Schowalter opened the virtual meeting at 6.06 p.m.

2. **APPROVAL OF AGENDA**

Motion (Boeckers/Hidde) to approve the agenda. Motion carried, all voting aye.

3. **APPROVAL OF MINUTES** – JUNE 2, 2020 MEETING.

Motion (Hidde/Boeckers) to approve the minutes. Motion carried, all voting aye.

4. **PUBLIC INPUT** – There was no public input.

5. **COMMUNITY DEVELOPMENT DIRECTOR'S REPORT** – Director Buckingham stated the customary in-person Plan Commission meetings will resume starting July 7, 2020. He also announced that since project documentation is not yet finalized for the White Hawk West Condominium, no public comment would be taken at the meeting today. The public hearing will be continued to the July 7, 2020 meeting, at which time public comment will be taken.

6. **NEIGHBORHOOD INFORMATION MEETING #1** – CONDITIONAL USE PERMIT (CUP-04-20) REQUESTED BY THE TOWN OF GRAND CHUTE TO ALLOW GRADING, FILLING, AND EXTENSION OF A CULVERT CROSSING ASSOCIATED WITH THE CONSTRUCTION OF A MULTI-USE TRAIL ON THE WEST SIDE OF N. LYNNDALE DRIVE.

Chairman Schowalter opened Neighborhood Information Meeting #1 at 6:11 p.m.

Sue Ingalls, 4741 N. Lynndale Drive, questioned the location of the trail and also asked why a second driveway was permitted to the apartment development on the east side of the road.

Jerry Kohl, 2405 W. Edgewood Drive, expressed concern for pedestrian safety when crossing Lynndale Drive at the Bubolz Nature Preserve entrance. He said there does not appear to be anything planned for the east side of Lynndale Drive. Along with his brother James, 4990 N. Lynndale Drive, they have observed that traffic volumes and driving speeds create a safety hazard for pedestrians.

Planner Patza advised that the proposed trails would be on the west side of the road from Grand Chute Blvd. to the Bubolz Nature Preserve main entrance. It will then cross to the east side of the road to CTH JJ.

Planner Patza also read into the record written correspondence from Randy Tuma, Executive Director of Bubolz Nature Preserve and Trevor Thompson, developer of the Forest View Estates subdivision. Both stated support for the trail. Mr. Thompson also noted that this future trail location was discussed as part of the subdivision planning.

Motion (Boeckers/Ulrich) to close Neighborhood Information Meeting #1 at 6:19p.m. Motion carried, all voting aye.

7. **CONDITIONAL USE PERMIT (CUP-04-20)** – REQUEST BY THE TOWN OF GRAND CHUTE TO ALLOW GRADING, FILLING, AND EXTENSION OF A CULVERT CROSSING ASSOCIATED WITH THE CONSTRUCTION OF A MULTI-USE TRAIL ON THE WEST SIDE OF N. LYNNDALE DRIVE. .

In response to concerns raised by Ms. Ingalls, Planner Patza explained that the second driveway for the apartment development is a temporary access approved by Outagamie County for hauling fill to the site and will be removed when work is completed. He noted that the trail will be placed across the road from the Ingalls property. Regarding safety concerns expressed by Mr. Kohl, he noted that there is a pedestrian operated rapid flashing beacon at the Lynndale Drive crossing to alert drivers.

Motion (Hidde/Ulrich) to recommend approval of the Conditional Use Permit (CUP-04-20) requested by the Town of Grand Chute, to allow grading, filling, and extension of a culvert crossing associated with the construction of a multi-use trail on the west side of N. Lynndale Drive. Motion carried, all voting aye.

8. **PUBLIC HEARING #1** – SPECIAL EXCEPTION PERMIT (SE-10-20) REQUESTED BY GCD, LLC, 4620 N. LYNNDALE DRIVE, FOR APPROVAL OF A PLANNED UNIT DEVELOPMENT DESIGNATION OF THE WHITE HAWK WEST CONDOMINIUM.

Chairman Schowalter opened Public Hearing #1 at 6:27 p.m.

Motion (Hidde/Crosby) to hold open and continue Public Hearing #1 (SE-10-20) to the July 7, 2020 Plan Commission meeting. Motion carried, all voting aye.

9. **PROJECT PLAN APPROVAL (PDD3: PPA-01-20)** – REQUEST BY THE COMMUNITY DEVELOPMENT AUTHORITY OF THE TOWN OF GRAND CHUTE, 5000 W. CHAMPION DRIVE, TO ALLOW CONSTRUCTION OF A PARKING LOT ADDITION AND ASSOCIATED SITE IMPROVEMENTS AT THE COMMUNITY FIRST CHAMPION CENTER.

Director Buckingham said that after the Champion Center open in 2019, peak demand for parking was greater than what the property could provide. The proposed project will provide a 113-stall lot addition, a second refuse corral for and a sidewalk leading from the main entrance to the multi-use trail on Champion Drive.

Motion (Boeckers/Hidde) to recommend approval of PDD3: PPA-01-20 to allow construction of a parking lot addition and associated site improvements at the Community First Champion Center, 5000 W. Champion Drive. (Resolution TBR-18-2020).

In response to a question from Commissioner Crosby, Director Buckingham advised that overall handicapped parking stall requirements are met with this addition.

Motion carried, all voting aye.

10. **FINAL PLAT (FP-01-20)** – REQUEST BY ABS1, LLC DBA INVESTORS COMMUNITY BANK, 3740 N. INVESTORS COURT, FOR APPROVAL OF THE FINAL PLAT OF INVESTORS PARK.

Motion (Crosby/Weber) to recommend approval of the Final Plat of Investors Park (FP-01-20). Motion carried, all voting aye.

11. **SITE PLAN AMENDMENT (SPA1-00-04)** – REQUEST BY THE COMMUNITY FOUNDATION OF THE FOX VALLEY REGION, 4455 W. LAWRENCE STREET, TO REMOVE AN EXISTING MULTI-TENANT MONUMENT SIGN AND INSTALL A NEW MULTI-TENANT MONUMENT SIGN.

Motion (Hidde/Boeckers) to approve the Site Plan Amendment (SPA1-00-04) requested by Community Foundation of the Fox Valley Region, 4455 W. Lawrence Street, to remove an existing multi-tenant monument sign and install a new multi-tenant monument sign. Motion carried, all voting aye.

12. ADJOURNMENT.

Motion (Boeckers/Weber) to adjourn the meeting at 6:36 p.m. Motion carried, all voting aye.

Respectfully Submitted,
Tracy Olejniczak
Com. Dev. Admin. Asst.

DRAFT

6./7.

**Town of Grand Chute
Special Exception Request
GCD, LLC**

To: Plan Commission

From: Michael Patza, Town Planner

Date: June 10, 2020

Address: 4620 N. Lynndale Drive

App. #: SE-10-20

REQUEST

- 1. Proposed Use:** Planned Unit Development (PUD) residential.
- 2. Project Description:** Development of White Hawk West Condominium, a 36-unit residential development.
- 3. Plat/CSM Accurate parcel lines/lot recorded:** Yes, pending approval of the Condo Plat.

ANALYSIS

Applicant proposes to develop this property for a residential condominium project. The development will feature a total of 36 residential units comprised of 9 separate 4-unit townhome style buildings. Site access will be from a new private road connecting to the existing driveway on N. Lynndale Drive that serves White Hawk Apartments. A cross-access easement is in place to provide access to this property. The private road will terminate with a cul-de-sac on the northeast side of the site. A secondary emergency only access lane will be constructed from the cul-de-sac and connect to the existing emergency access lane that extends to future Buran Way. This access will also serve as a connection to the existing multi-use trail and will be gated to prevent private vehicle use.

All units will feature 3 bedrooms/2 baths, 2-car attached garages, separate entrances, and are approximately 1,500 sq. ft. in size. All units will feature look-out windows on the east side of the lower level. Building exteriors will feature a combination of traditional vinyl siding and brick elements. Staff worked closely with the developer to ensure a high design standard was met to ensure compatibility with adjacent neighborhoods. The Stormwater Management Plan consists of using overland flow to direct runoff to a new stormwater facility on the northeast side of the property. The Town Engineer is reviewing Stormwater Management and Erosion Control Plans and their approval is a condition of this Special Exception.

The 8.24 acre parcel being considered is zoned R-4 Multi-family Residence District. The R-4 zoning classification provides for a maximum density of 10 residential units/acre. The current zoning classification would allow development of traditional multi-family apartments at that density with only Site Plan approval required from the Plan Commission. The proposed development has a density of approximately 4.4 units/acre. Introducing a lower density development will provide a buffer between the multi-family development to the west and the single-family residential neighborhood to the south and east. Landscaping for the development includes a buffer yard planting on the south and east side of the site to provide screening to the adjacent single-family residential neighborhood. The buffer yard planting will enhance the natural buffer provided by the stream on the east side of the site. Furthermore, the PUD designation and condo form of ownership will provide assurances on construction of infrastructure, landscaping and buildings, and long-term property maintenance. Subsequent to approval of the Special Exception for PUD designation, a condominium plat and site plan has been submitted for Town approval.

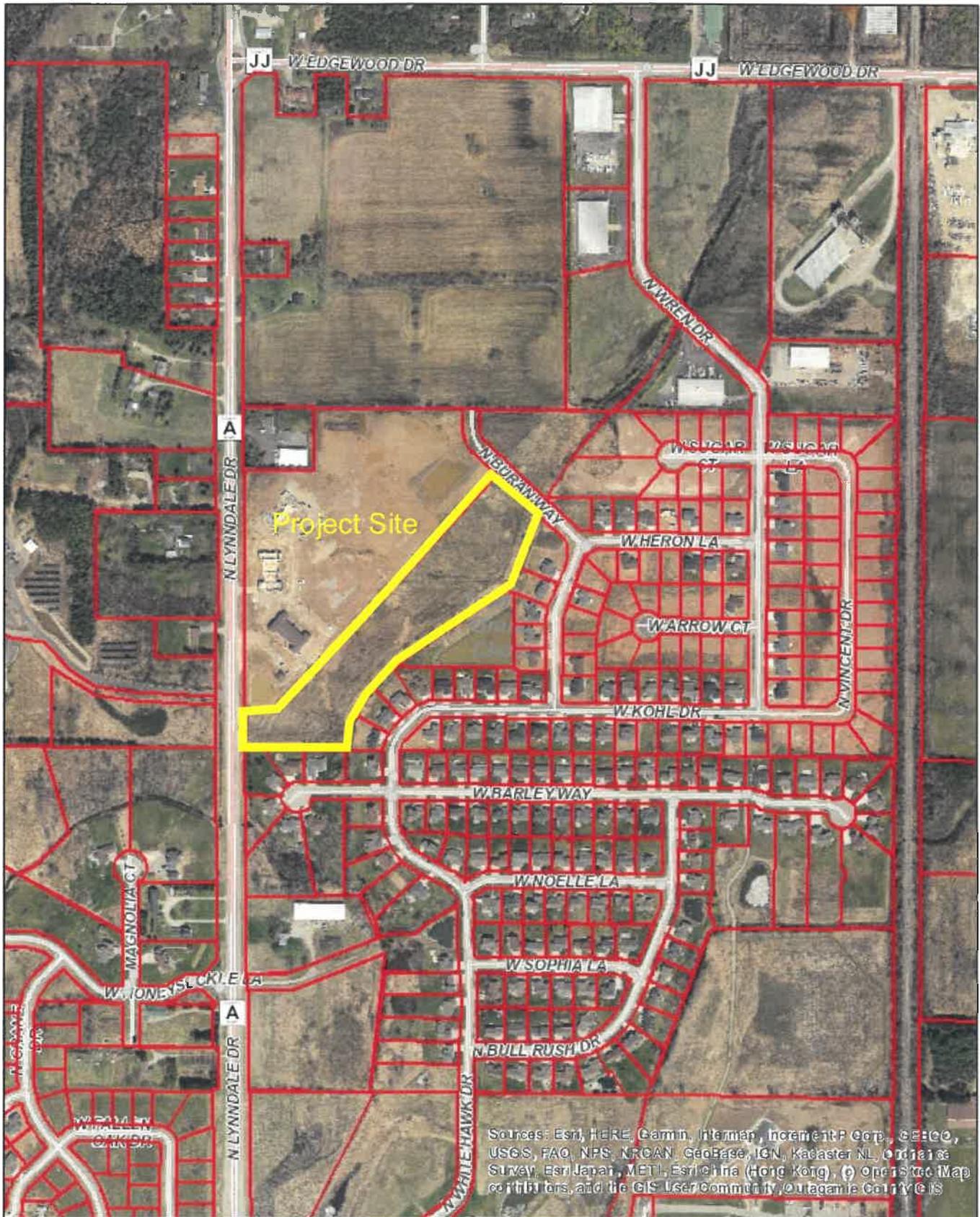
FINDINGS OF FACT IN GRANTING OF A SPECIAL EXCEPTION

- a. The establishment, maintenance or operation of the proposed Special Exception use or structure at the proposed location will not be detrimental or injurious to the use and enjoyment of existing uses on adjacent properties or properties in the vicinity. *Found.*
- b. The establishment, maintenance or operation of the proposed Special Exception use or structure, alone or in combination with other existing Special Exception uses and structures in the vicinity will not cause traffic hazards. *Found.*
- c. Adequate provision is made for surface water drainage, ingress and egress to the property, and off-street parking. *Found.*
- d. Adequate public facilities and services are available for the proposed Special Exception use of structure. *Found.*

RECOMMENDATION

Staff has reviewed and supports a Plan Commission recommendation for approval of the Special Exception (SE-10-20) requested by GCD, LLC, 4620 N. Lynndale Drive, for a Planned Unit Development designation of the White Hawk West Condominium, subject to Town Engineer approval of Stormwater Management and Erosion Control Plans.

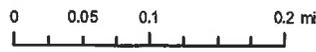
SE-10-20 -- 4620 N. Lynndale Drive



Sources: Esri, HERE, Garmin, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), Swisstopo, Mapbox Contributors, and the GIS User Community, Outagamie County GIS

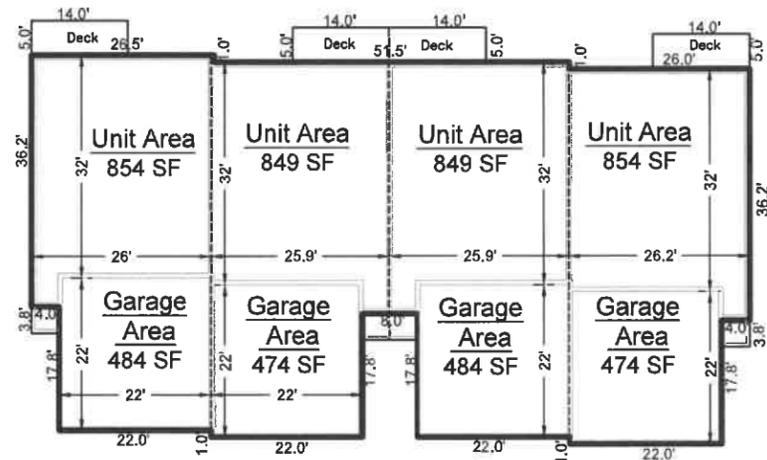
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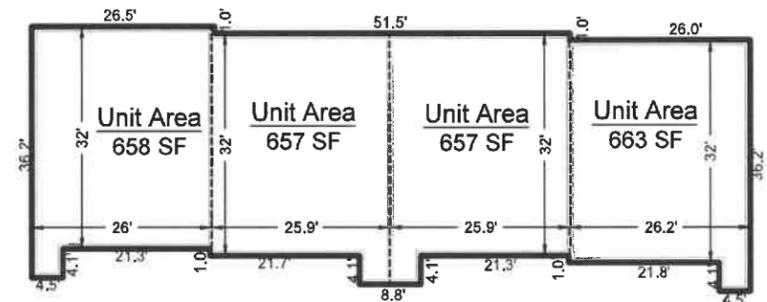


White Hawk West Condominium

All of Lot 2 Certified Survey Map 4634, being part of the Southwest 1/4 of the Northeast 1/4
 Section 09, Township 21 North, Range 17 East, Town of Grand Chute,
 Outagamie County, Wisconsin



First Floor



Lower Level

Units	Units	Units	Units
4, 8, 12, 16, 20, 24, 28, 32 & 36	3, 7, 11, 15, 19, 23, 27, 31 & 35	2, 6, 10, 14, 18, 22, 26, 30 & 34	1, 5, 9, 13, 17, 21, 25, 29 & 33

Unit areas shown are finished floor areas per building plans.

Town Planning Agency Approval Certificate

Resolved, that this Condominium Plat in the Town of Grand Chute, Outagamie County, is hereby approved by The Town of Grand Chute.

 Town Planning Administrator Date

This Condominium Plat is contained wholly within the property described in the following recorded instruments:

Property owner of record:	Recording Information:	Parcel Number(s):
GCD, LLC	Doc No. _____	101030402

 James R. Sehloff PLS 2692 Date
 jim@davel.pro

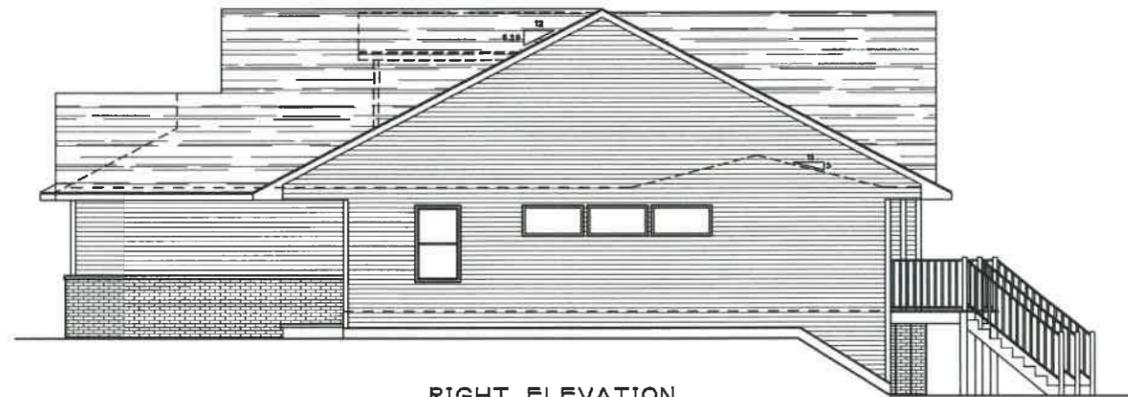
File: 6041Condo.dwg
 Date: 05/26/2020
 Drafted By: jim
 Sheet: 2 of 2



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 ENVIRONMENTAL, INC.**
 Civil Engineers and Land Surveyors
 1164 Province Terrace, Menasha, WI 54952
 Ph: 920-991-1866 Fax: 920-441-0804
 www.davel.pro



LEFT ELEVATION
SCALE: 1/4"=1'-0"



RIGHT ELEVATION
SCALE: 1/4"=1'-0"



ACS
Architectural &
Structural
327 RANDOLPH DRIVE
APPLETON, WI 54913
TEL: 920-574-2657 FAX: 920-574-2660

A NEW COMMERCIAL / RESIDENTIAL BUILDING FOR,

4 UNIT

APPLETON, WISCONSIN

DATE: MAR 18, 2020
ARCH: E. SPERL
D. BY: C. MORNING
JOB: 20-014
REV: 1-18-20

A
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327 RANDOLPH DRIVE
 APPLETON, WI 54913
 TEL: 920-874-2657 FAX: 920-874-2660

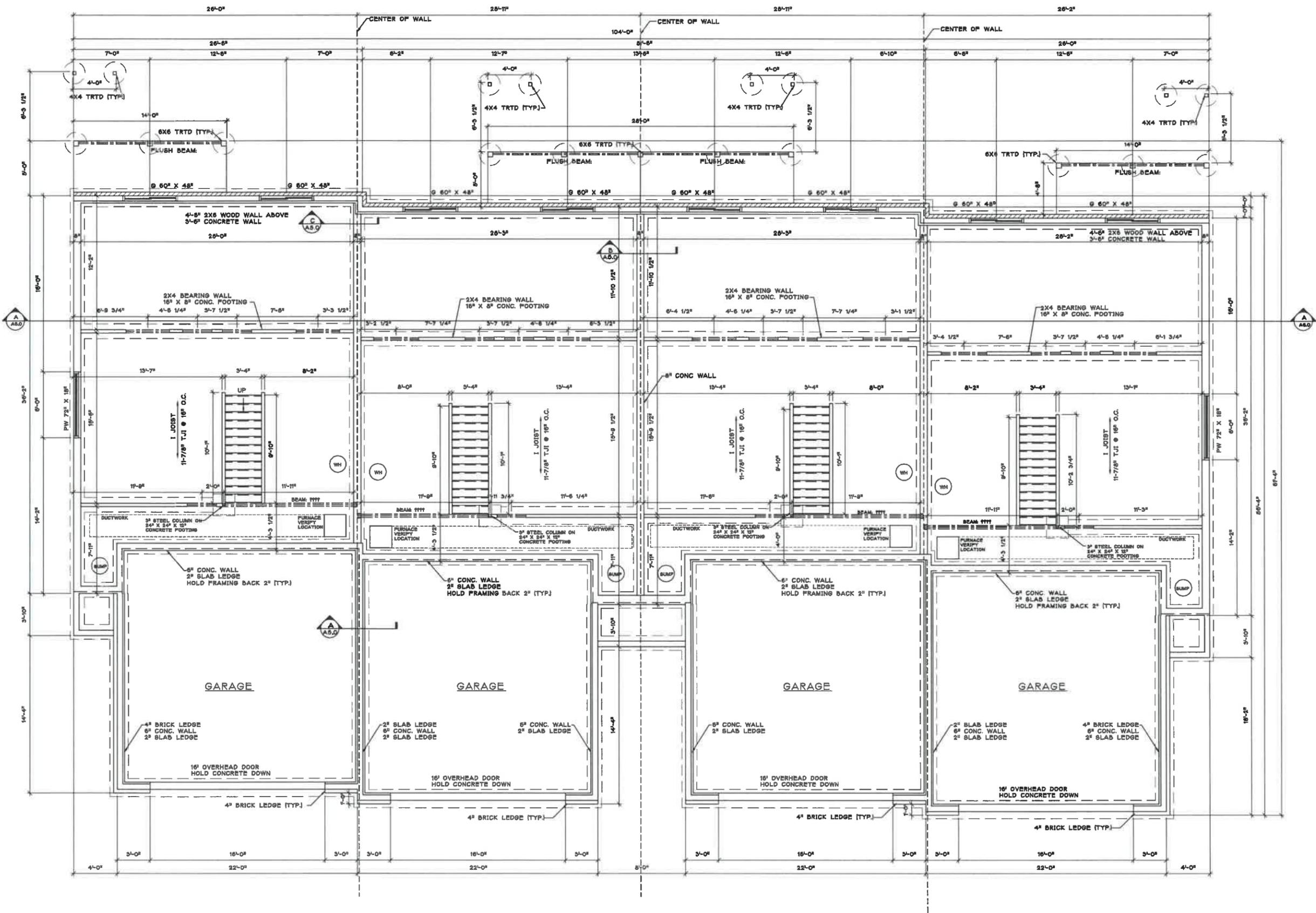
A NEW COMMERCIAL / RESIDENTIAL BUILDING FOR,

4 UNIT

APPLETON, WISCONSIN

DATE: MAR 16, 2020
 ARCH: E. SPEHL
 D. BY: C. HORNBERG
 JOB: 20-016
 REV: 1-18-20

A
 2.0



FOUNDATION PLAN
 SCALE: 1/4"=1'-0"



327 RANDOLPH DRIVE
 APPLETON, WI 54915
 TELE: 920-574-2657 FAX: 920-574-2660

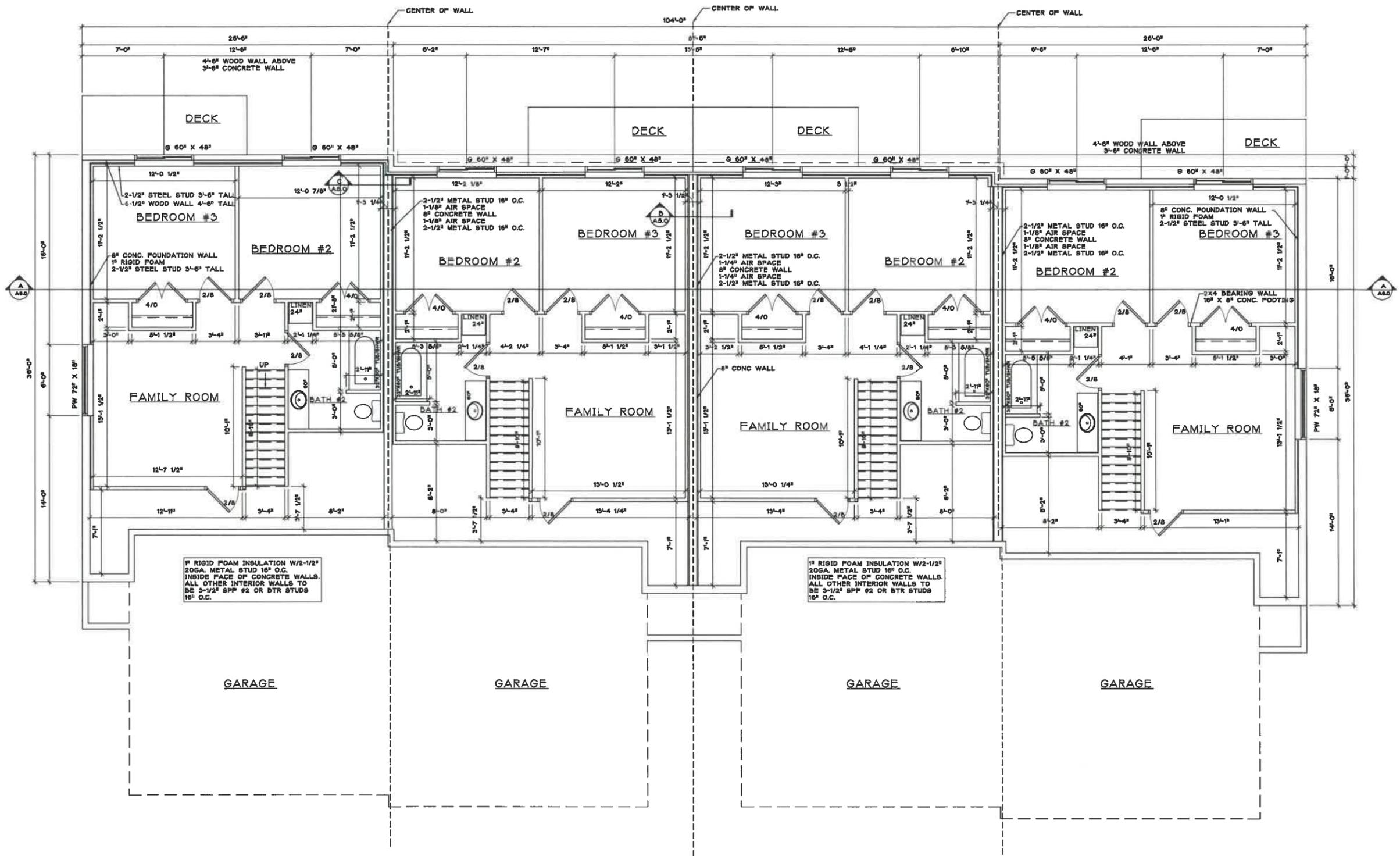
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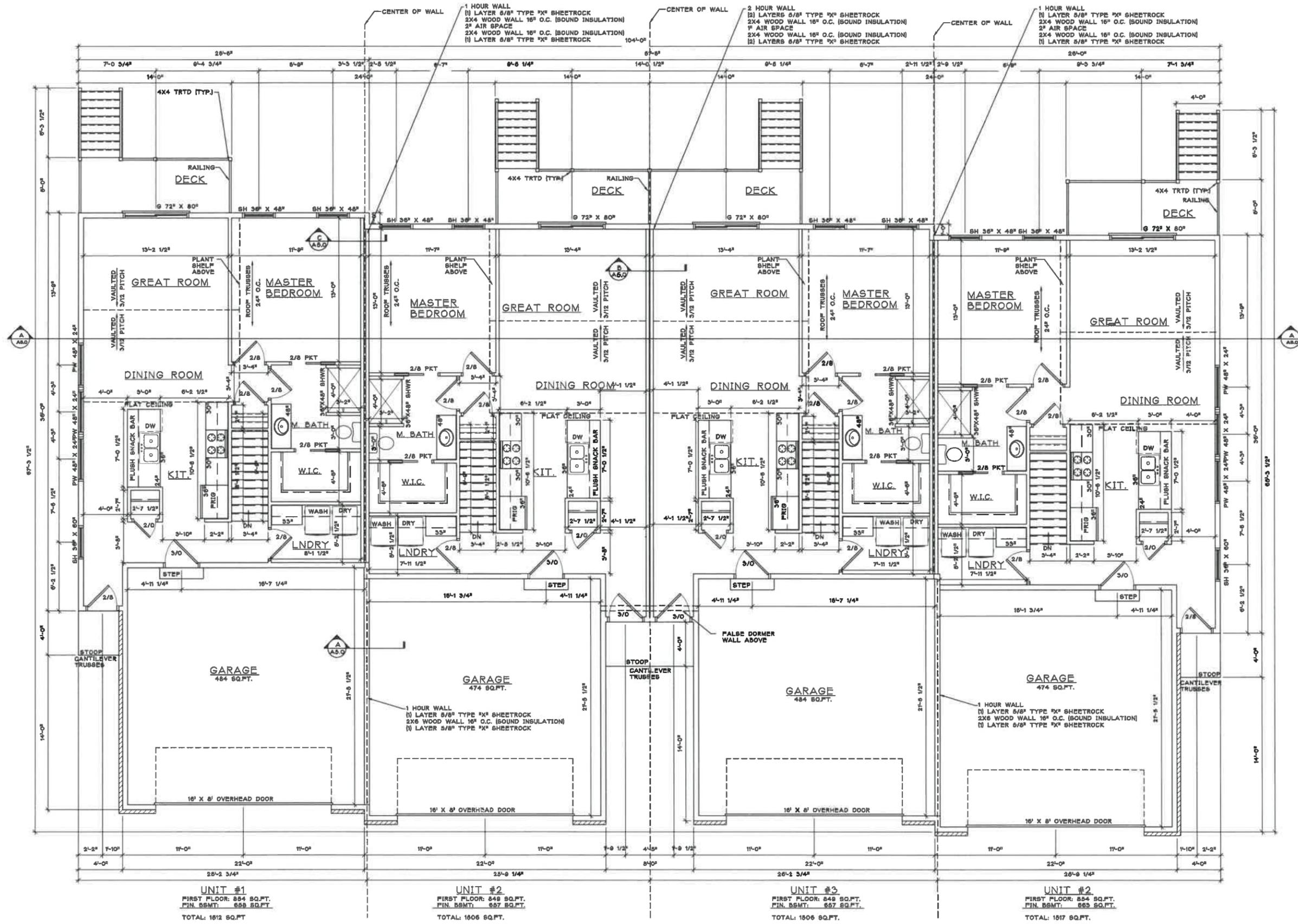
WISCONSIN
 APPLETON,

DATE: MAR 18, 2020
 ARCH: E. SPEER
 D. BY: C. HORNUNG
 JOB: 20-014
 REV: 1-18-20

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 3.0



FINISH BASEMENT PLAN
 SCALE: 1/4"=1'-0"



FIRST FLOOR PLAN
 SCALE: 1/4"=1'-0"



A NEW COMMERCIAL / RESIDENTIAL BUILDING FOR,
4 UNIT
APPLETON, WISCONSIN

DATE:	MAR 18, 2020
ARCH:	K. SPICAL
D. BY:	C. HORNBERG
JOB:	20-014
REV:	1-18-20

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4.0

**Town of Grand Chute
Condominium Plat Review
White Hawk West Condominium**

To: Plan Commission

From: Michael Patza, Town Planner

Date: June 10, 2020

Address: 4620 N. Lynndale Drive

App#: CP-03-20

REQUEST

- 1. Proposed Use(s):** Single-family condominium units.
- 2. Project Description:** 36 attached single-family units.
- 3. Plat/CSM Accurate parcel lines/lot recorded:** Yes, new condominium plat pending

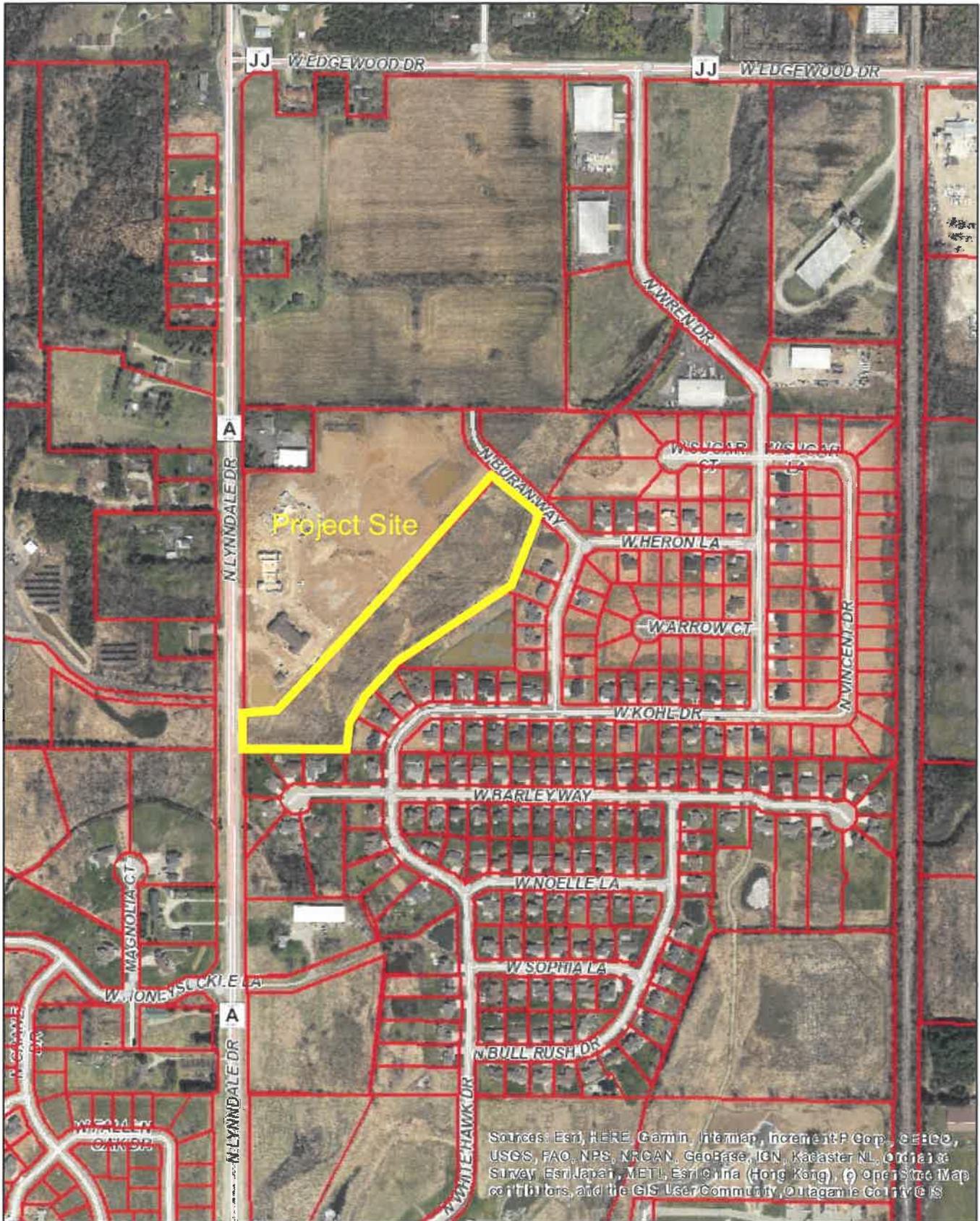
ANALYSIS

This residential condominium features 36 attached single-family units comprised of 9 separate 4-unit buildings. Access to the development will be from a private road connecting to the existing driveway on N. Lynndale Drive that serves White Hawk Apartments. A cross-access easement is in place to provide access to this property. All units will feature 3 bedrooms/2 baths, 2-car attached garages, separate entrances, and are approximately 1,500 sq. ft. in size. The Condominium Plat has been reviewed and meets all statutory requirements.

RECOMMENDATION

Staff has reviewed and supports a Plan Commission recommendation for approval of the Condo Plat for White Hawk West Condominium (CP-03-20), subject to Town Board approval of Special Exception SE-10-20.

CP-03-20 -- 4620 N. Lynndale Drive

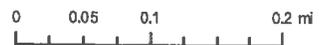


Sources: Esri, HERE, Garmin, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), Swisstopo, Mapbox Contributors, and the GIS User Community, Outagamie County GIS

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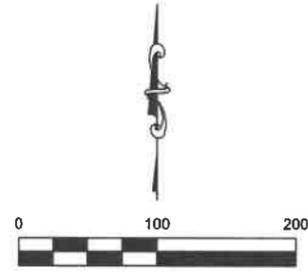
Author:

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White Hawk West Condominium

All of Lot 2 Certified Survey Map 4634, being part of the Southwest 1/4 of the Northeast 1/4 Section 09, Township 21 North, Range 17 East, Town of Grand Chute, Outagamie County, Wisconsin



Bearings are referenced to the West line of the Northeast 1/4, Section 09, T21N, R17E, assumed to bear S00°33'45"E, base on the Outagamie County Coordinate System.

Notes:

Limited Common Elements are depicted on this plat as "LCE".

Limited Common Elements Include:
Patis, Service Walks, Stoops, Decks and Driveways

All areas within the condominium boundary are Common Elements unless depicted as "Unit" or "LCE".

Property Description

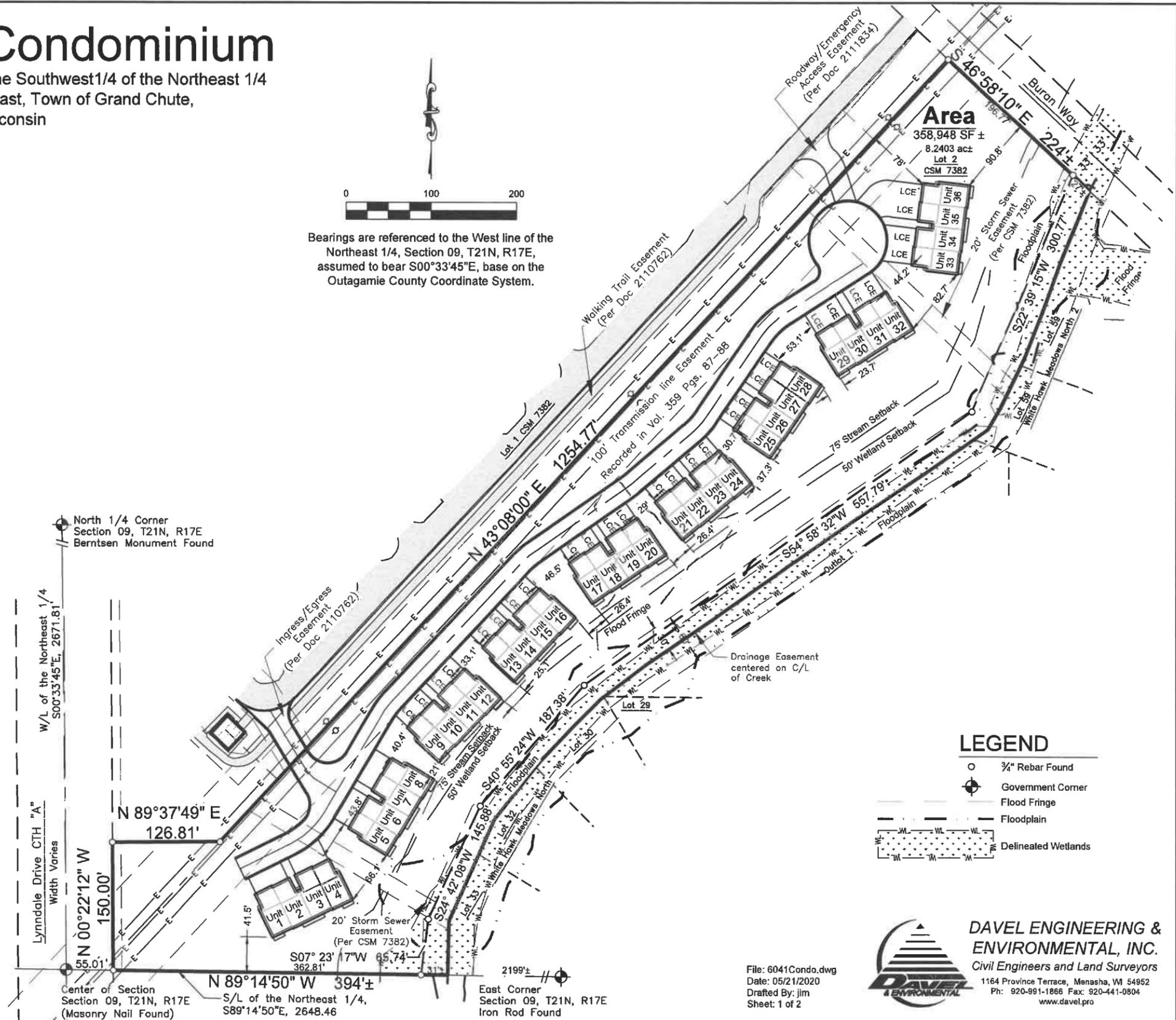
All of Lot 2 Certified Survey Map 4634, being part of the Southwest 1/4 of the Northeast 1/4 Section 09, Township 21 North, Range 17 East, Town of Grand Chute, Outagamie County, Wisconsin, contain 358,948 Square Feet (8.2403 Acres ±) more or less, included all lands between the meander line and centerline of a Navigable Stream, subject to all easement and restriction of records.

Surveyors Certificate

I, James R. Sehloff, Professional Land Surveyor, do hereby certify that this plat is a correct representation of the condominium described and that the identification and location of each unit, limited common elements, and the common elements can be determined from this plat.

James R. Sehloff PLS 2692
jim@davel.pro

Date



LEGEND

- 3/4" Rebar Found
- Government Corner
- Flood Fringe
- Floodplain
- Delineated Wetlands

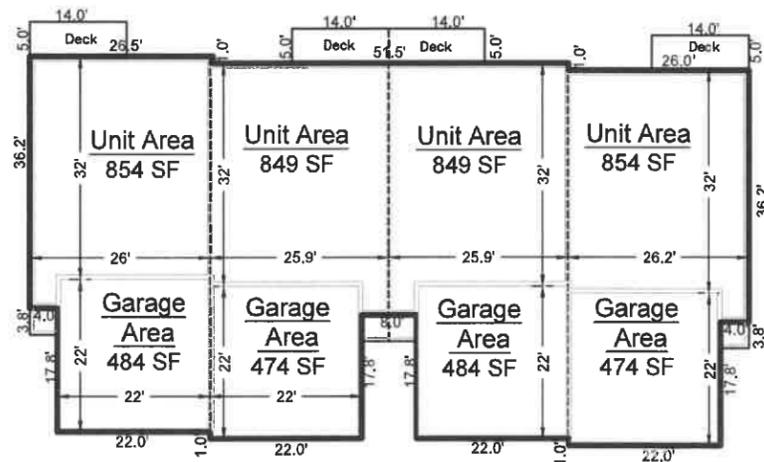
File: 6041Condo.dwg
Date: 05/21/2020
Drafted By: jim
Sheet: 1 of 2



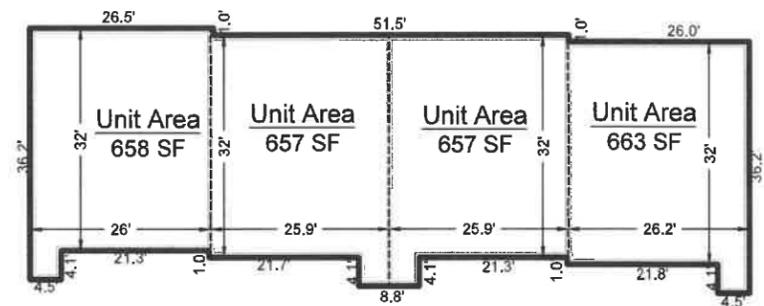
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White Hawk West Condominium

All of Lot 2 Certified Survey Map 4634, being part of the Southwest 1/4 of the Northeast 1/4
 Section 09, Township 21 North, Range 17 East, Town of Grand Chute,
 Outagamie County, Wisconsin



First Floor



Lower Level

Units	Units	Units	Units
4, 8, 12, 16, 20, 24, 28, 32 & 36	3, 7, 11, 15, 19, 23, 27, 31 & 35	2, 6, 10, 14, 18, 22, 26, 30 & 34	1, 5, 9, 13, 17, 21, 25, 29 & 33

Unit areas shown are finished floor areas per building plans.

Town Planning Agency Approval Certificate

Resolved, that this Condominium Plat in the Town of Grand Chute, Outagamie County, is hereby approved by The Town of Grand Chute.

 Town Planning Administrator Date

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Property owner of record:	Recording Information:	Parcel Number(s):
GCD, LLC	Doc No. _____	101030402

 James R. Sehloff PLS 2692 Date
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File: 6041Condo.dwg
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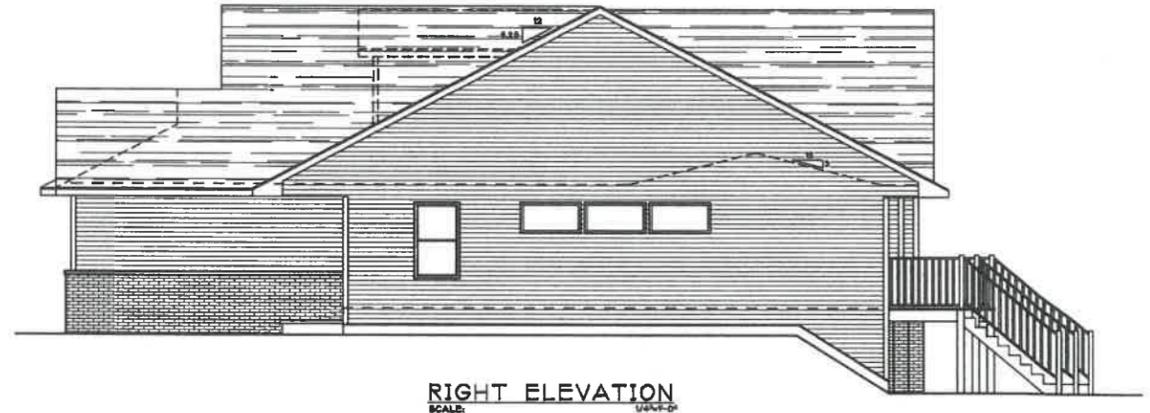
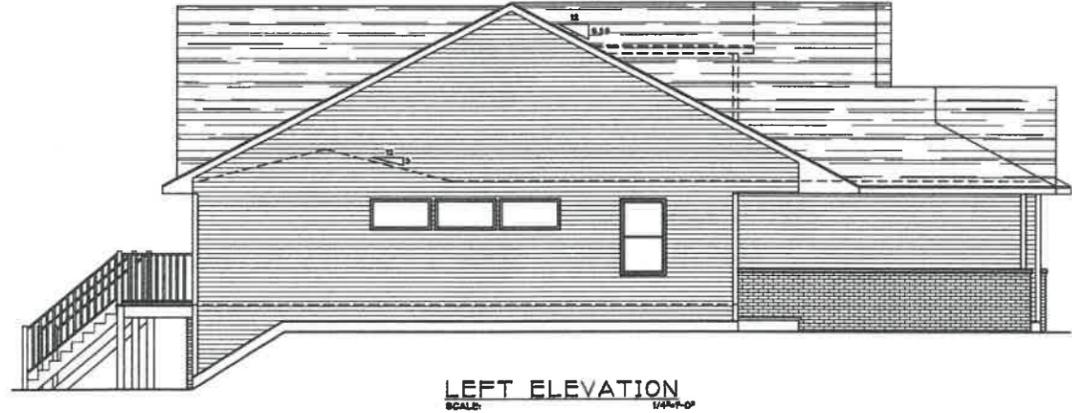
A NEW COMMERCIAL / RESIDENTIAL BUILDING FOR,

4 UNIT

APPLETON, WISCONSIN

DATE: MAR 16, 2020
 ARCH: E. SPERL
 D. BY: C. HORNUNG
 JOB: 20-004
 REV: 1-18-20

**A
1.0**





327 RANDOLPH DRIVE
 APPLETON, WI 54915
 TELE: 920-574-2687 FAX: 920-574-2660

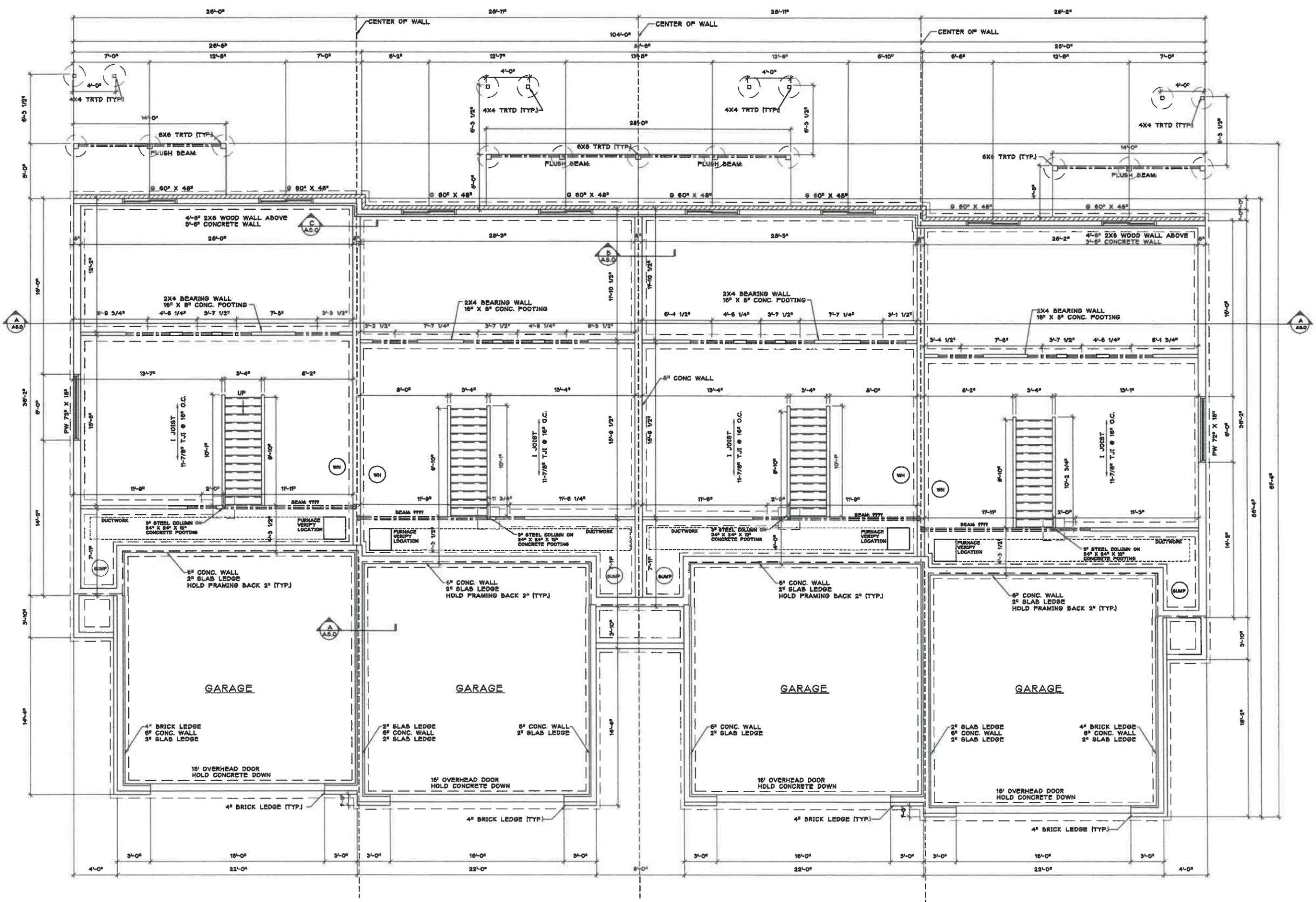
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4 UNIT

APPLETON, WISCONSIN

DATE: MAR 16, 2020
 ARCH: E. SPEEL
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 JOB: 20-04
 REV: 1-19-20

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 2.0



FOUNDATION PLAN
 SCALE: 1/4"=1'-0"



327 RANDOLPH DRIVE
 APPLETON, WI 54912
 TELE: 920-874-2657 FAX: 920-874-2660

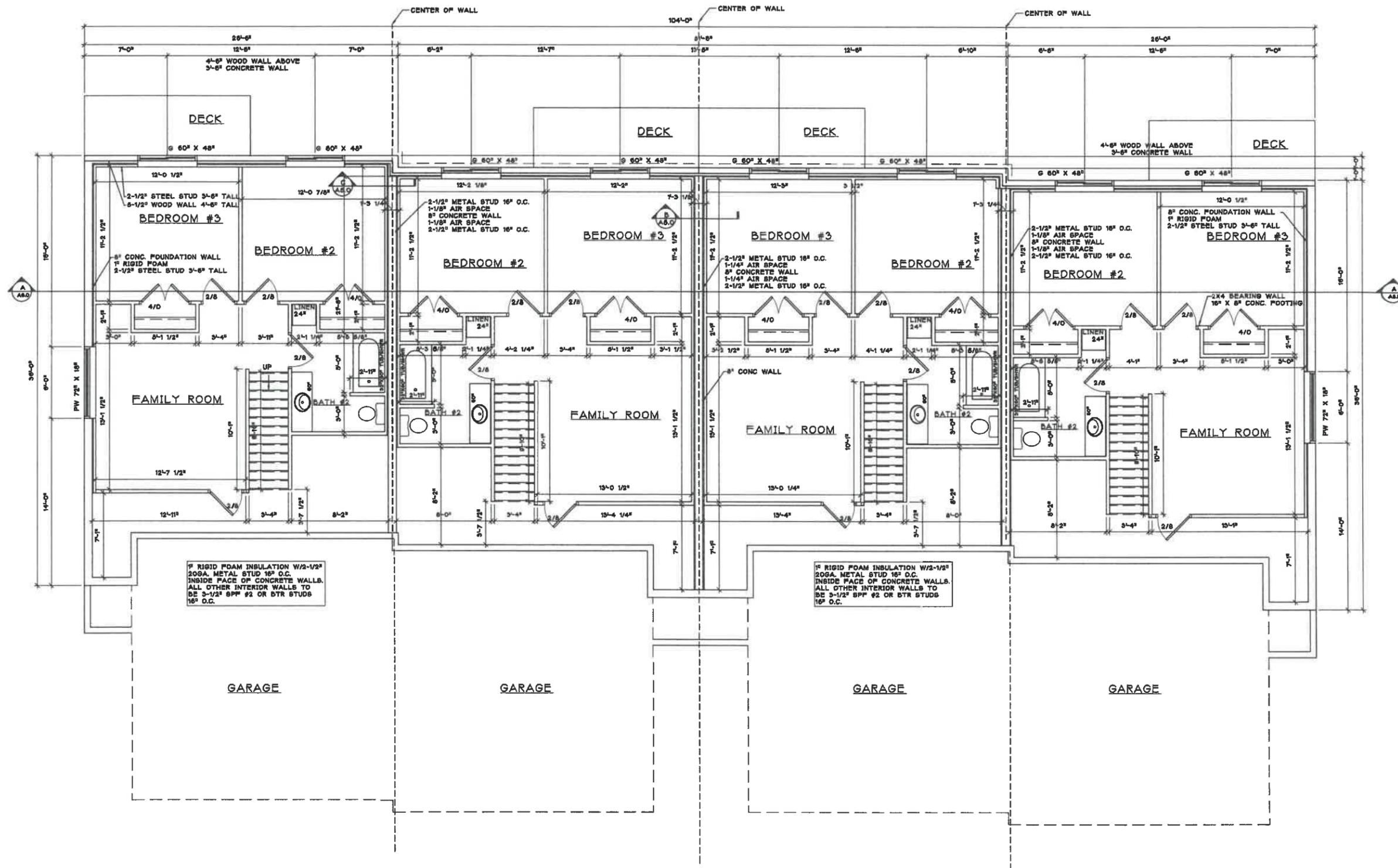
A NEW COMMERCIAL / RESIDENTIAL BUILDING FOR,

4 UNIT

WISCONSIN
 APPLETON,

DATE: MAR 28, 2020
 ARCH. K. SPERL
 D. BY: C. MORNING
 JOB: 20-014
 REV. 1-18-20

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FINISH BASEMENT PLAN
 SCALE: 1/4"=1'-0"

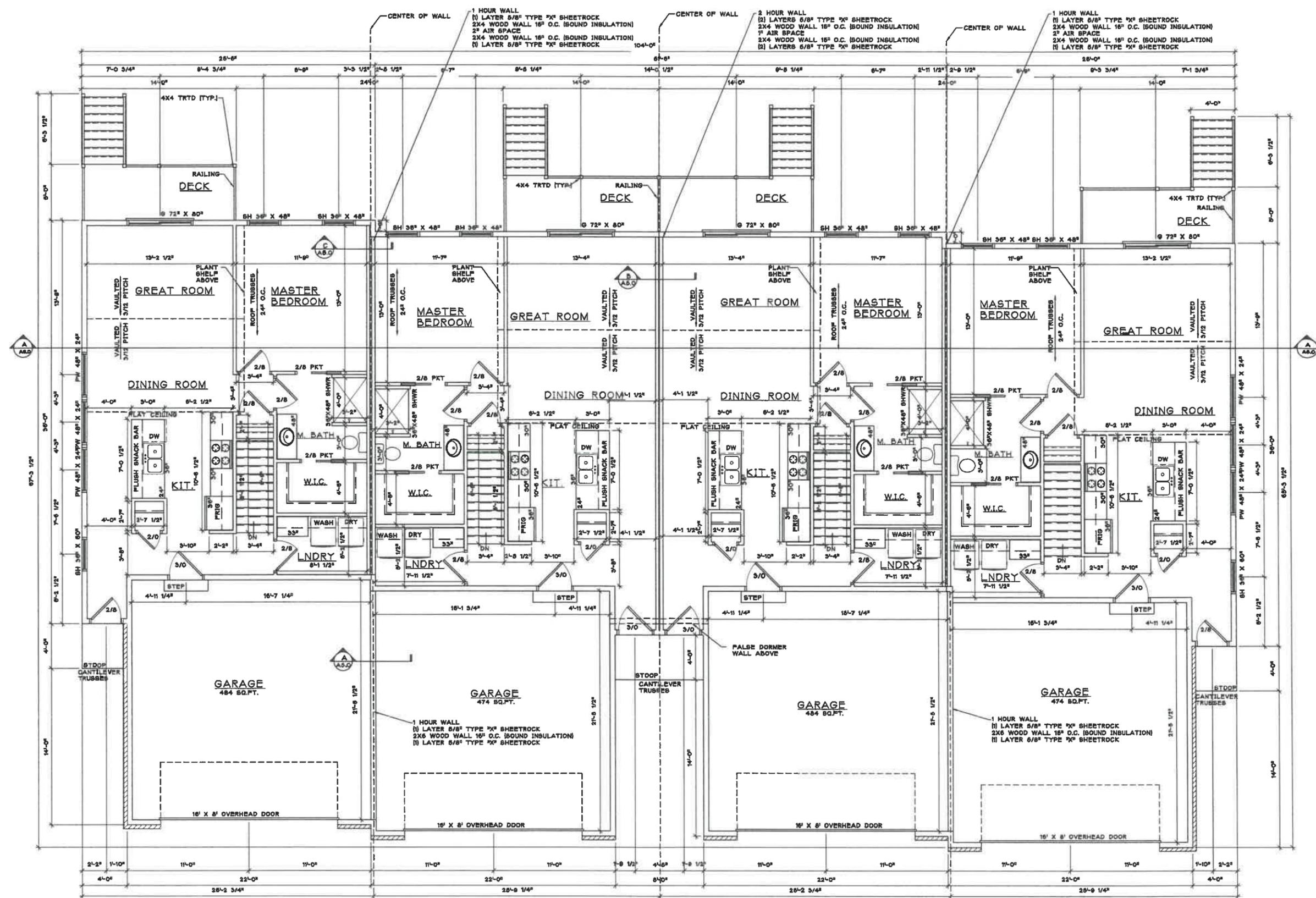


327 RANDOLPH DRIVE
 APPLETON, WI 54915
 TEL: 920-574-2657 FAX: 920-574-2660

A NEW COMMERCIAL / RESIDENTIAL BUILDING FOR,

4 UNIT

WISCONSIN
 APPLETON,



UNIT #1
 FIRST FLOOR: 854 SQ.FT.
 FIN. BSMT.: 658 SQ.FT.
 TOTAL: 1512 SQ.FT.

UNIT #2
 FIRST FLOOR: 849 SQ.FT.
 FIN. BSMT.: 657 SQ.FT.
 TOTAL: 1506 SQ.FT.

UNIT #3
 FIRST FLOOR: 848 SQ.FT.
 FIN. BSMT.: 657 SQ.FT.
 TOTAL: 1505 SQ.FT.

UNIT #4
 FIRST FLOOR: 854 SQ.FT.
 FIN. BSMT.: 658 SQ.FT.
 TOTAL: 1512 SQ.FT.

FIRST FLOOR PLAN
 SCALE: 1/4"=1'-0"

DATE: MAR 19, 2020
 ARCH: K. SPERL
 D. BY: C. HORNUNG
 JOB: 20-014
 REV: 1-18-20

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4.0

**Town of Grand Chute
Site Plan Review
GCD, LLC**

To: Plan Commission

From: Michael Patza, Town Planner

Date: June 10, 2020

Address: 4620 N. Lynndale Drive

App. #: SP-11-20

REQUEST

- 1. Proposed Use(s):** Single-family attached condominium units.
- 2. Project Description:** Construction of 36 condo units, a stormwater facility, and associated site improvements.
- 3. Plat/CSM Accurate parcel lines/lot recorded:** Yes, pending approval of condominium plat.

ANALYSIS

The development will feature a total of 36 residential units comprised of 9 separate 4-unit townhome style buildings. The development will feature a total of 36 residential units comprised of 9 separate 4-unit townhome style buildings. Site access will be from a new private road connecting to the existing driveway on N. Lynndale Drive that serves White Hawk Apartments. A cross-access easement is in place to provide access to this property. The private road will terminate with a cul-de-sac on the northeast side of the site. A secondary emergency only access lane will be constructed from the cul-de-sac and connect to the existing emergency access lane that extends to future Buran Way. This access will also serve as a connection to the existing multi-use trail and will be gated to prevent private vehicle use.

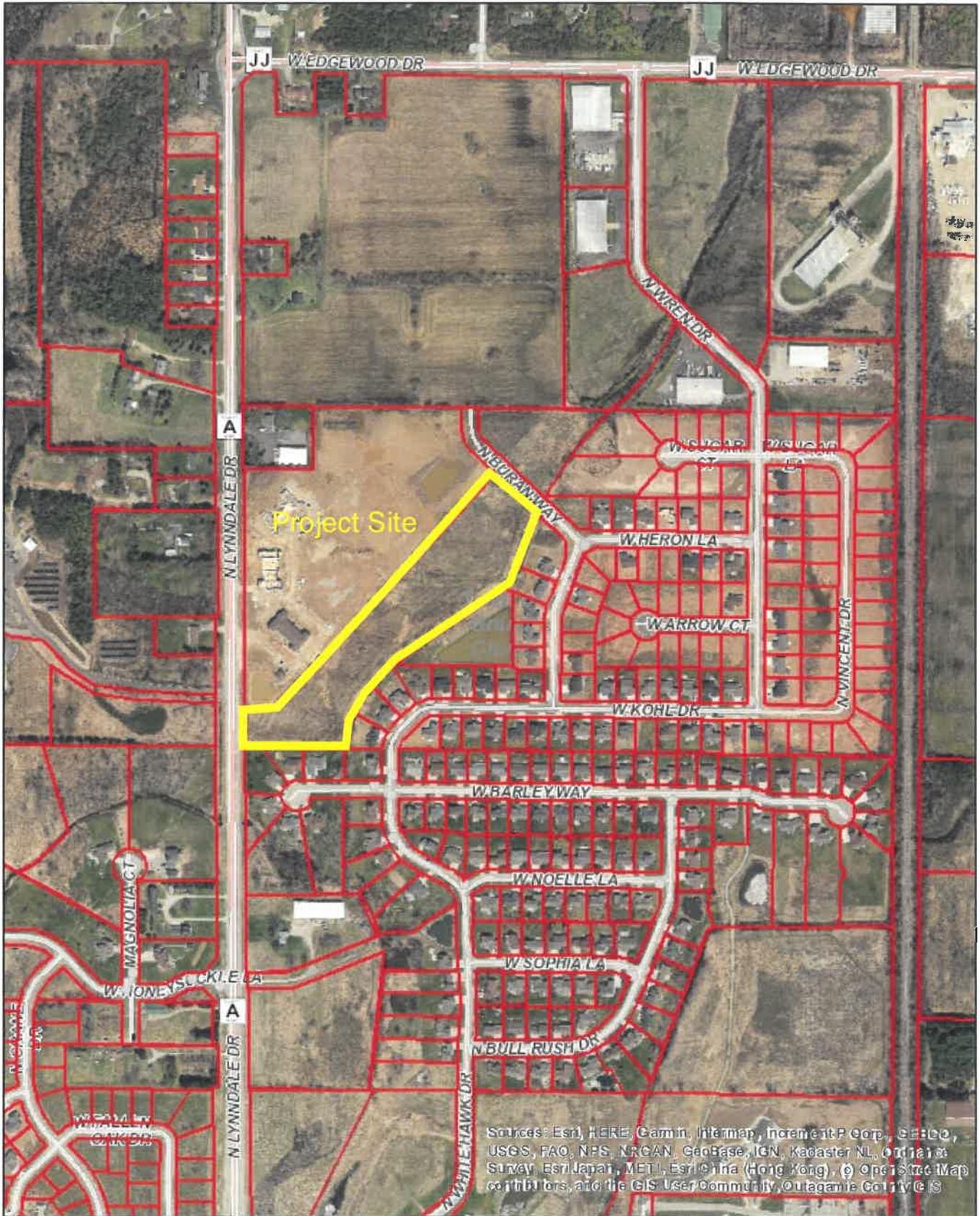
All units will feature 3 bedrooms/2 baths, 2-car attached garages, separate entrances, and are approximately 1,500 sq. ft. in size. All units will feature look-out windows on the east side of the lower level. Building exteriors will feature a combination of traditional vinyl siding and brick elements. Staff worked closely with the developer to ensure a high design standard was met to ensure compatibility with adjacent neighborhoods.

The Stormwater Management Plan consists of using overland flow to direct runoff to a new stormwater facility on the northeast side of the property. The Town Engineer is reviewing Stormwater Management and Erosion Control Plans and their approval is a condition of this Special Exception. Staff has approved the Site Lighting Plan. The Landscape Plan has also been approved by staff and includes a buffer yard planting on the south and east sides of the property providing natural screening to the adjacent single-family residential neighborhood. All other code requirements are met with this request.

RECOMMENDATION

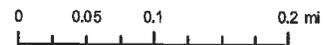
Staff has reviewed and supports Plan Commission approval of the Site Plan (SP-11-20) requested by GCD, LLC, 4620 N. Lynndale Drive, for construction of 36 condo units, a stormwater facility, and associated site improvements, subject to: (1) Town Engineer approval of Stormwater Management and Erosion Control Plans; (2) Town Board approval of Special Exception SE-10-20; and, (3) Town Board approval of Condo Plat CP-03-20.

SP-11-20 -- 4620 N. Lynndale Drive



Disclaimer: The data provided in the Town of Grand Chute Interactive GIS Map was generated from multiple sources and agencies. Every effort has been made to offer the most accurate data. However, the Town provides this information with the understanding that it is not guaranteed to be accurate, correct, or complete. The Town may make improvements to the Interactive GIS Map periodically. Conclusions drawn from this information are the responsibility of the user. The user agrees that the Town of Grand Chute shall not be held responsible for actions, claims, damages, or judgments made from this data.

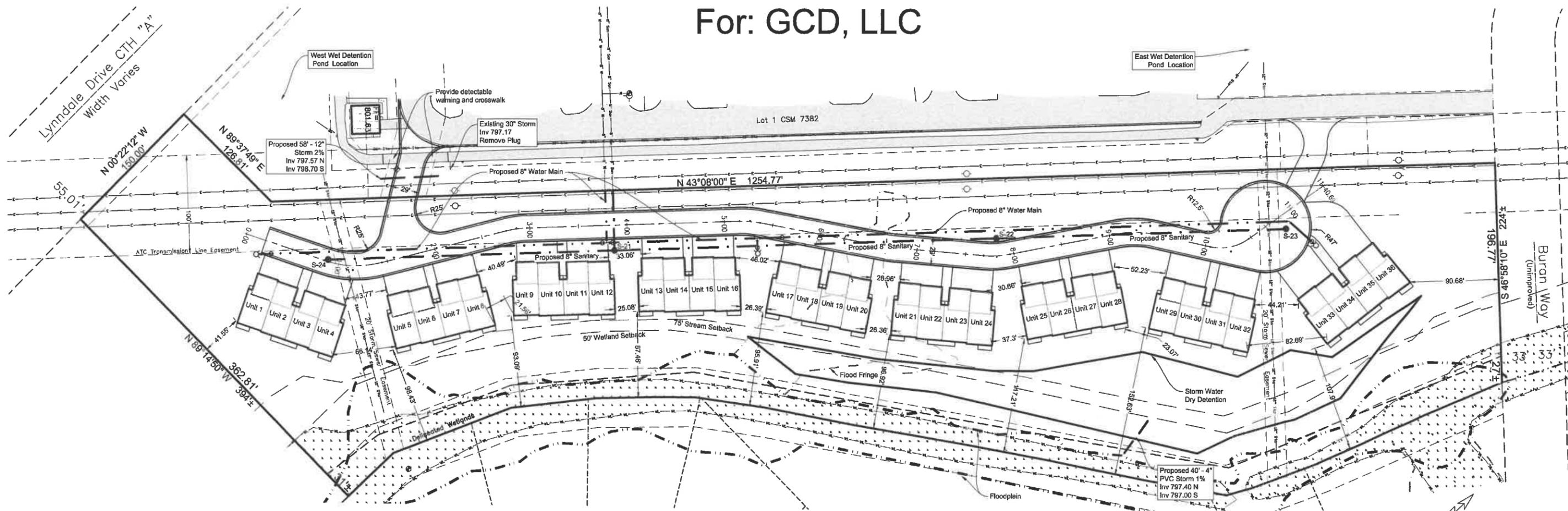
Author:
Copyright:



White Hawk West Condominium

Town of Grand Chute, Outagamie County, WI

For: GCD, LLC



Sewer and Water shall be constructed in accordance with the State of Wisconsin Standard Specifications for Sewer and Water Construction, and all Special Provisions of the Town of Grand Chute.

Streets shall be constructed in accordance with the State of Wisconsin Standard Specifications for Highway and Structures Construction, and all Special Provisions of the Town of Grand Chute.

Contractor shall locate all buried facilities prior to excavating. This plan may not correctly or completely show all buried utilities.

The Contractor shall verify all staking and field layout against the plan and field conditions prior to constructing the work and immediately notify the Engineer of any discrepancies.

The Contractor shall comply with all conditions of the Erosion Control Plan and the Storm Water discharge Perml. All Erosion Control shall be done in accordance with the Plan and Wisconsin DNR Technical Standards.

The outside services are shown to stop at a point 5 feet outside the foundation wall. The Contractor shall be responsible for coordination of continuation of the services into the building to properly coincide with the interior plumbing plans, and compliance with all plumbing permits.

The Contractor is responsible for compliance with Department of Safety & Professional Services, Chapter SPS 382, for lateral construction and cleanout locations.

The contractor shall coordinate with provider for electric, gas, and telecommunication service connection and relocations.

Pipe lengths are measured to center of structure. Endwalls are included in pipe length.

Water Pipe shall be PVC C900 D(18), with minimum of 18 gauge, insulated (blue), single-conductor copper tracer wire, or equivalent, per SPS 382.40 (8)(k).

Sanitary Sewer Pipe shall be PVC Schedule 40, with minimum of 18 gauge, insulated (green), single-conductor copper tracer wire, or equivalent, per SPS 382.30 (11)(h).

Storm Sewer Pipe shall be PVC SDR(35), Reinforced Concrete Class III, or HDPE, AASHTO M 294, Type S with soil tight joints, with minimum of 18 gauge, insulated (brown), single-conductor copper tracer wire, or equivalent, per SPS 382.36 (7)(c)10.a.

Project Information

Site Information
Proposed Condominium Complex

Current:
4730 N. Lynndale Drive
Parcel # 101030402
Lot 2 Certified Survey Map No. 7382

Zoning: R-4

Highway Setback: 55'
Street/Front Yard Setback: 25'
Side Yard Setback: 8'
Rear Yard Setback: 25'

Existing Impervious Area = 0 SF (00.0%)
Total Development Impervious Area = 110,277 SF (30.7%)

Proposed Building Footprint 49,782 SF (13.9%)
Proposed Roadway 38,044 SF (10.6%)
Proposed Drives/Patios 22,451 SF (6.2%)
Lawn and Landscaping 248,671 SF (69.3%)
Total Site Area 358,948 SF (8.2403 Acres)

Proposed Disturbed Area = ± 280,000 SF

No Hazardous materials will be stored on the site. No outdoor storage is proposed

Snow storage shall be located beyond curb in lawn areas per plan.

Owner:
GCD, LLC
2085 American Drive
Neenah, WI 54956
email: derek@hypervibe.liv
phone: (920) 882-4944

Floodplain per Conditional Letter of Map Amendment (No. 19-05-0269R) that includes the extension of Buran Way

LOCATION MAP

NE 1/4 SEC 9, T 21 N, R 17 E,
TOWN OF GRAND CHUTE,
OUTAGAMIE COUNTY, WI



SHEET INDEX:

Sheet	Page
Site Plan	1.1
Drainage and Grading Plan	1.2
Erosion & Sediment Control Plan	1.3
Landscaping Plan	1.4
Construction Details	2.1
Sewer & Water Details	2.2
Erosion & Sediment Control Details	2.3
Plan & Profile: Alignment 1 - Sta 0+00 to 11+50	3.1

LEGEND

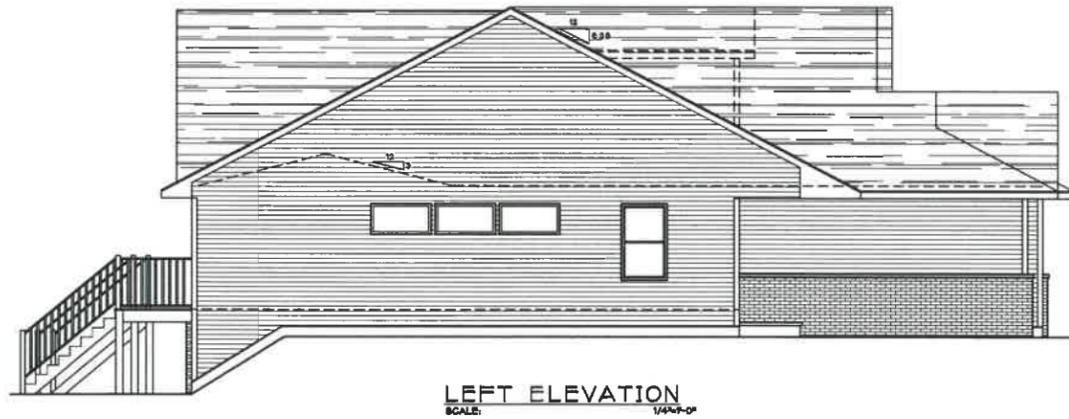
Underground Cable TV	Sanitary MH / Tank / Base	CATV Pedestal
Underground Fiber Optic	Clean Out / Curb Stop / Pull Box	Gas Regulator
Overhead Electric Lines	Storm Manhole	Railroad Signal
Utility Guy Wire	Inlet	Sign
Sanitary Sewer	Catch Basin / Yard Drain	Tower / Site
Storm Sewer	Water MH / Well	Post / Guard Post
Underground Electric	Hydrant	Satellite Dish
Underground Gas Line	Utility Valve	Large Rock
Underground Telephone	Utility Meter	Flag Pole
Water Main	Utility Pole	Deciduous Tree
Fence - Steel	Light Pole / Signal	Coniferous Tree
Fence - Wood	Guy Wire	Bush / Hedge
Fence - Barbed Wire	Electric Pedestal	Slump
Wellheads	Electric Transformer	Marsh
Treeline	Air Conditioner	Soil Boring
Railroad Tracks	Telephone Pedestal	Benchmark
Culvert	Telephone Manhole	Asphalt Pavement
Index Contour		Concrete Pavement
Intermediate Contour	Ex Spot Elevation	Gravel
Proposed Storm Sewer	Proposed Sanitary Manhole	Proposed Reducer
Proposed Sanitary Sewer	Proposed Storm Manhole	Proposed Plug
Proposed Water Main	Proposed Curb Inlet	Proposed Water MH
Proposed Contour	Prop. Catch Basin / Yard Drain	Proposed Tee
Proposed Swale	Proposed Endwall	Proposed Cross
Proposed Culvert	Proposed Hydrant	Proposed 90° Bend
	Proposed Valve	Proposed 45° Bend
	Proposed Curb Stop	Proposed 22.5° Bend
	Proposed Cleanout	

SITE PLAN

DAVEL ENGINEERING & ENVIRONMENTAL, INC.
Civil Engineers and Land Surveyors
1184 Province Terrace, Menasha, WI 54952
Ph: 920-981-1868 Fax: 920-441-0804
www.davel.pro

Project Number: 6041
May 25, 2020 Page 1.1

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ACS
Architectural
Construction
&
Services, Inc.

527 RANDOLPH DRIVE
APPLETON, WI 54915
TELE: 920-874-2857 FAX: 920-874-2860

A NEW COMMERCIAL / RESIDENTIAL BUILDING FOR,
4 UNIT
APPLETON, WISCONSIN

DATE: MAR 19, 2020
ARCH: E. SPERL
D. BY: C. NORMAND
JOB: 20-014
REV: 1-18-20

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327 RANDOLPH DRIVE
APPLETON, WI 54915
TELE: 920-574-2557 FAX: 920-574-2560

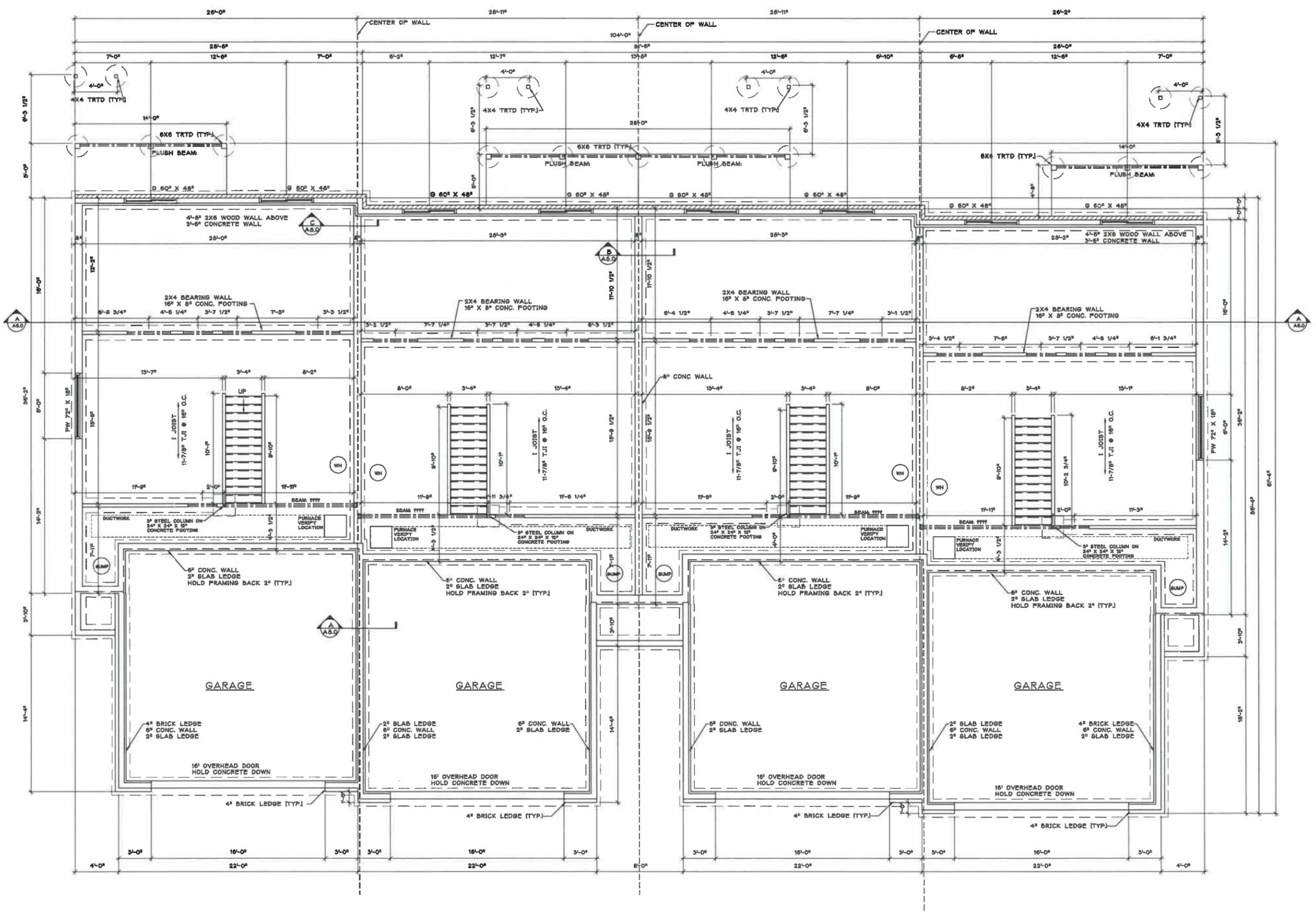
A NEW COMMERCIAL / RESIDENTIAL BUILDING FOR,

4 UNIT

APPLETON, WISCONSIN

DATE: MAR 25, 2020
ARCH: K. SPERL
D. BY: C. HORNUNG
JOB: 20-014
REV: 1-18-20

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2.0**



FOUNDATION PLAN
SCALE: 1/4"=1'-0"



327 RANDOLPH DRIVE
 APPLETON, WI 54915
 TEL: 920-574-2657 FAX: 920-574-2660

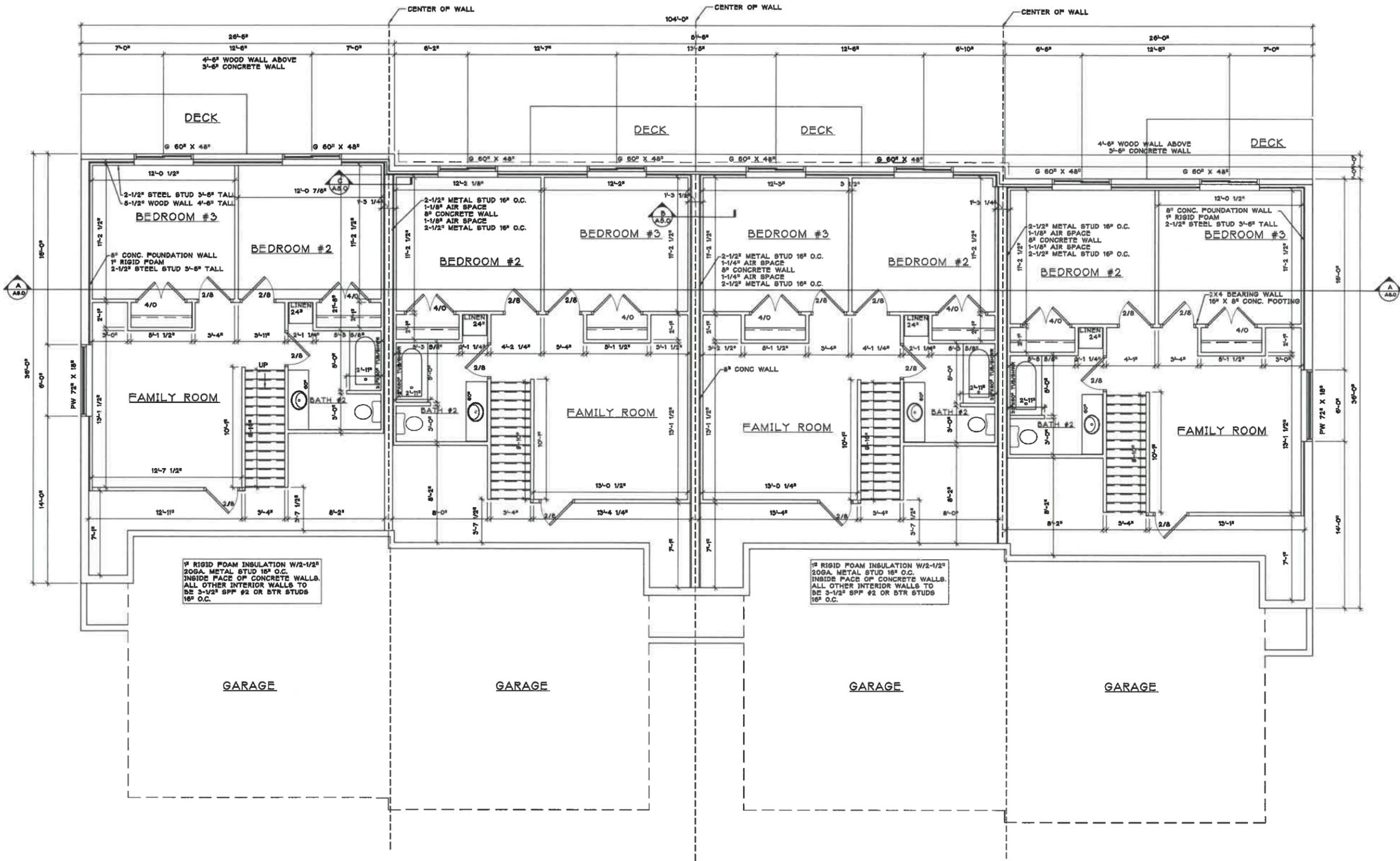
A NEW COMMERCIAL / RESIDENTIAL BUILDING FOR,

4 UNIT

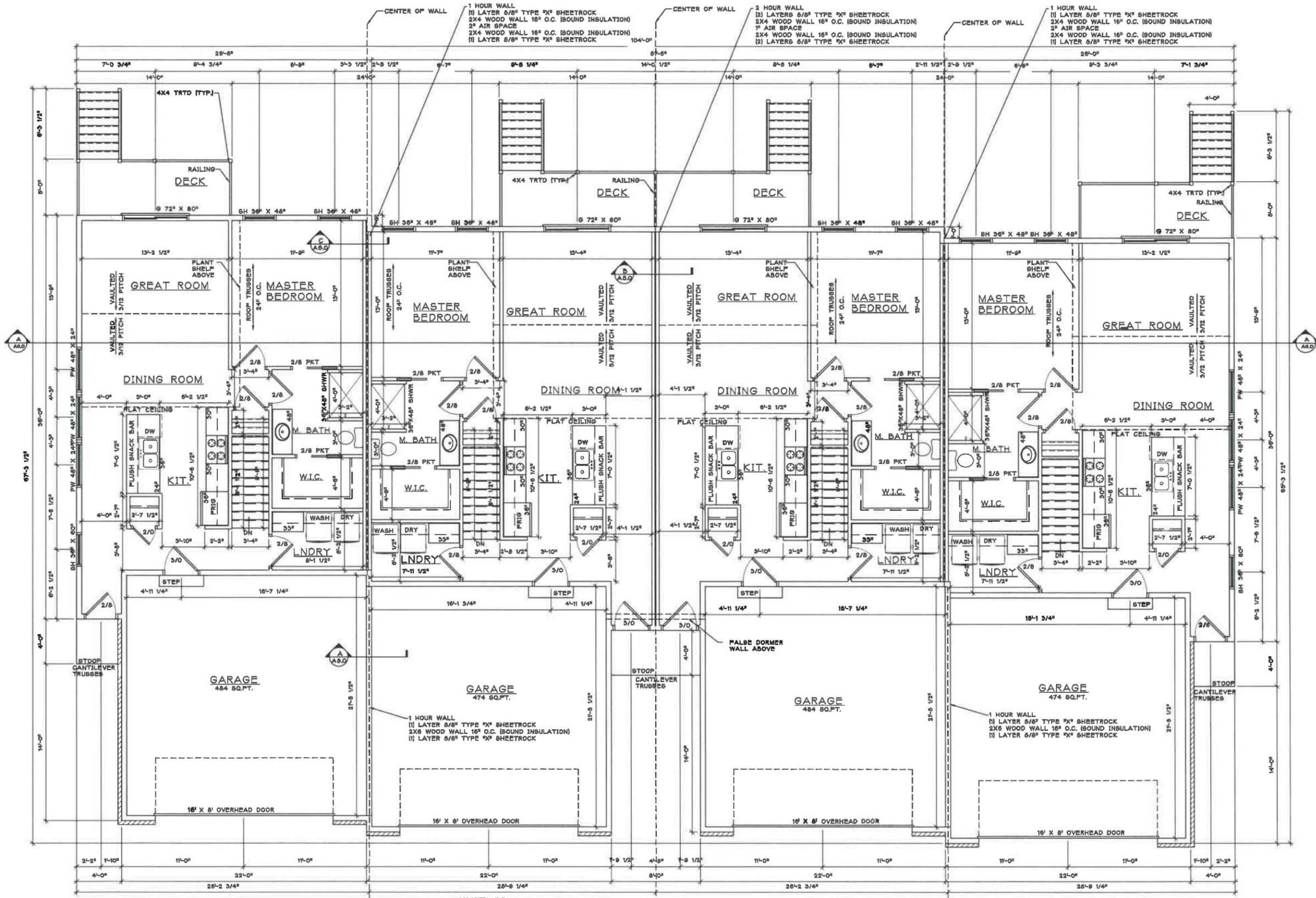
APPLETON, WISCONSIN

DATE: MAR 16, 2000
 ARCH: K. SPERL
 D. BY: C. HORNUNG
 JOB: 20-014
 REV: 1-18-20

**A
3.0**



FINISH BASEMENT PLAN
 SCALE: 1/4"=1'-0"



UNIT #1
 FIRST FLOOR: 854 SQ.FT.
 FIN. BSMT: 868 SQ.FT.
 TOTAL: 1812 SQ.FT.

UNIT #2
 FIRST FLOOR: 849 SQ.FT.
 FIN. BSMT: 897 SQ.FT.
 TOTAL: 1806 SQ.FT.

UNIT #3
 FIRST FLOOR: 848 SQ.FT.
 FIN. BSMT: 897 SQ.FT.
 TOTAL: 1806 SQ.FT.

UNIT #4
 FIRST FLOOR: 854 SQ.FT.
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 TOTAL: 1812 SQ.FT.

FIRST FLOOR PLAN
 SCALE: 1/4"=1'-0"



327 RANDOLPH DRIVE
 APPLETON, WI 54915
 TEL: 920-574-2657 FAX: 920-574-2660

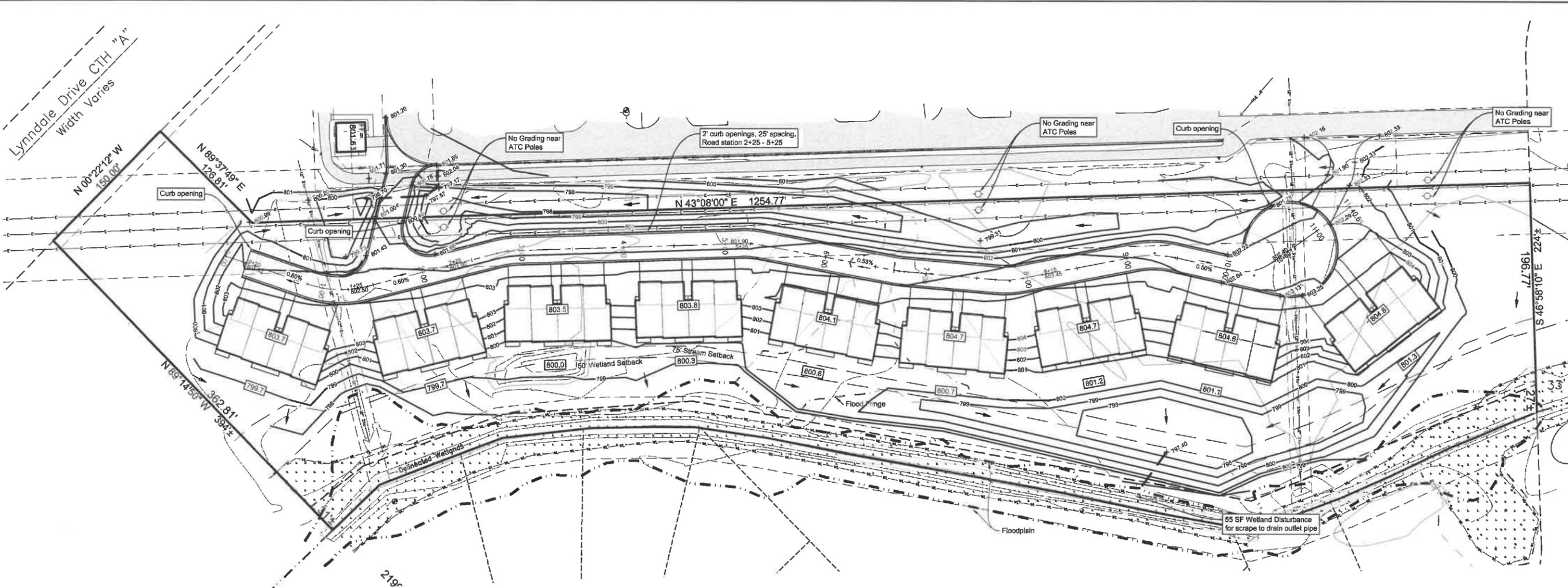
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4 UNIT

APPLETON, WISCONSIN

DATE: MAR 16, 2020
 ARCH: K. SPERL
 D. BY: C. HORNUNG
 JOB: 20-014
 REV: 1-18-20

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DAVE ENGINEERING & ENVIRONMENTAL, INC.
 Civil Engineers and Land Surveyors
 1194 Province Terrace, Menasha, WI 54952
 Ph: 920-991-1886 Fax: 920-441-8804
 www.daveinc.com

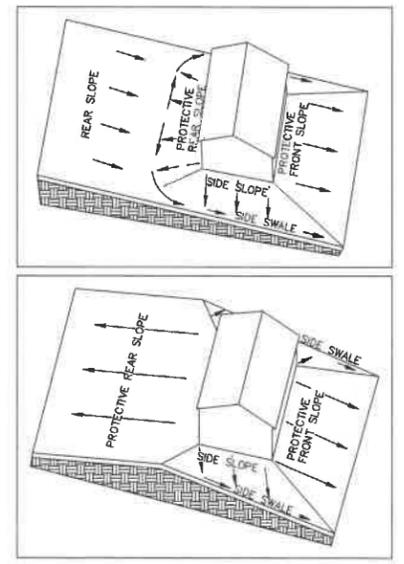
DRAINAGE & GRADING PLAN

White Hawk West Condominium
 Town of Grand Chute, Outagamie County, WI
 For: GCD, LLC

Date: 05/25/2020
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 Author: TNW
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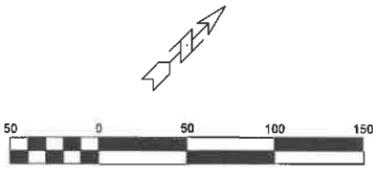
LEGEND

<ul style="list-style-type: none"> --- Underground Cable TV --- Underground Fiber Optic --- Overhead Electric Lines --- Utility Guy Wire --- Sanitary Sewer --- Storm Sewer --- Underground Electric --- Underground Gas Line --- Underground Telephone --- Water Main --- Fence - Steel --- Fence - Wood --- Fence - Barbed Wire --- Wetlands --- Tree Line --- Railroad Tracks --- Culvert --- Index Contour --- Intermediate Contour --- Proposed Storm Sewer --- Proposed Contour --- Proposed Swale --- Proposed Culvert --- Adjacent Plat Grade --- Prop. Lot Corner Elevation --- Proposed Spot Elevation --- Existing Grade 	<ul style="list-style-type: none"> ○ Sanitary MH / Tank / Base □ Clean Out / Curb Stop / Pull Box ⊕ Storm Manhole ⊕ Inlet ⊕ Catch Basin / Yard Drain ⊕ Water MH / Well ⊕ Hydrant ⊕ Utility Valve ⊕ Utility Meter ⊕ Utility Pole ⊕ Light Pole / Signal ⊕ Guy Wire ⊕ Electric Pedestal ⊕ Electric Transformer ⊕ Air Conditioner ⊕ Telephone Pedestal ⊕ Telephone Manhole ⊕ Ex Spot Elevation ⊕ Proposed Storm Manhole ⊕ Proposed Curb Inlet ⊕ Prop. Catch Basin / Yard Drain ⊕ Proposed Elevation ⊕ Proposed Rtp Rep ⊕ Prop. Drainage Direction ⊕ Prop. Grade at Foundation 	<ul style="list-style-type: none"> ⊕ CATV Pedestal ⊕ Gas Regulator ⊕ Railroad Signal ⊕ Sign ⊕ Tower / Silo ⊕ Post / Guard Post ⊕ Satellite Dish ⊕ Large Rock ⊕ Flag Pole ⊕ Deciduous Tree ⊕ Coniferous Tree ⊕ Bush / Hedge ⊕ Stump ⊕ Marsh ⊕ Soil Boring ⊕ Benchmark ⊕ Asphalt Pavement ⊕ Concrete Pavement ⊕ Gravel
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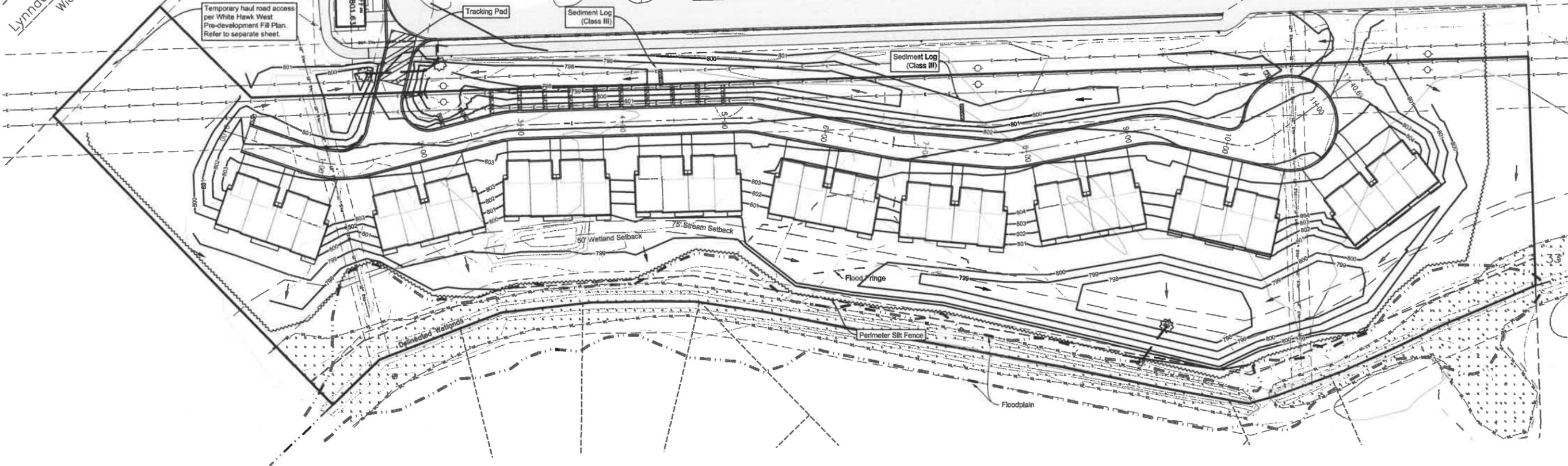
HOUSE ELEVATIONS:

The house elevations shall be set to provide positive drainage away from the building in all directions as shown in the above details. House elevations and driveway locations may need to vary depending on size, location, and architecture of the home. Changes to the grading plan or house elevations can be allowed only if an individual lot grading plan is prepared by a professional engineer.



- NOTES:**
- Existing utilities shown are indicated in accordance with available records and field measurements. The contractor shall be responsible for obtaining exact locations and elevations of all utilities, including sewer and water from the owners of the respective utilities. All utility owners shall be notified by the contractor 72 hours prior to excavation. Contact Digger's Hotline (1-800-242-8511) for exact utility locations.
 - The Contractor shall verify all staking and field layout against the plan and field conditions prior to constructing the work and immediately notify the Engineer of any discrepancies.
 - The contractor shall minimize the area disturbed by construction as the project is constructed. Disturbed areas shall be seeded as soon as final grade is established. Contractor shall replace topsoil and then seed, fertilize and mulch all lawn areas within 1 week of topsoil placement.
 - All sediment and erosion control devices and methods shall be in accordance with the Wisconsin DNR Technical Standards.
 - The contractor shall make weekly inspections and inspections within 1 day of any rainfall exceeding 0.5 inches of the sediment and erosion control devices throughout construction. The contractor shall repair or maintain erosion control devices as necessary. The inspection reports shall be made available to the owner at the end of the construction or upon demand during construction.

Lynndale Drive CTH "A"
Width Varies



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DAVE ENGINEERING & ENVIRONMENTAL, INC.
 Civil Engineers and Land Surveyors
 1164 Province Terrace, Minnetonka, MN 55342
 Ph: 920-891-1888 Fax: 920-441-0884
 www.daveinc.com

EROSION & SEDIMENT CONTROL PLAN

White Hawk West Condominium
 Town of Grand Chute, Outagamie County, WI
 For: GCD, LLC

Date: 05/25/2020
 Filename: 6041enrg.dwg
 Author: TNW
 Last Saved by: eric
 Page 13

Planned Sediment and Erosion Control Practices

All erosion control practices shall be in place prior to disturbing the site. All sediment and erosion control devices and methods shall be in accordance with DNR Technical Standards and the WisDOT Erosion Control product acceptability lists (PAL). It is the responsibility of the Contractor to minimize the area disturbed and the duration of the disturbance. Erosion & sediment control measures shall be maintained on a continuing basis until the site is permanently stabilized. All applicable controls must be in place at the end of each work day with all off-site sediments being cleaned daily or as necessary as no sediment flushing is allowed.

- 1) Diverting Flow
 - a) Permanent Diversion - Intended to divert runoff around disturbed areas to a location where the water can be discharged without adversely impacting the receiving area or channel. Permanent diversions will be used to route runoff to the storm sewers and dry detention basin.
- 2) Overland Flow
 - a) Silt Fence - Intended to provide a temporary barrier to the transportation of sediment offsite. Silt fencing is not to be used in areas of channelized flow and sediment deposits shall be removed when a 6 inch depth is reached. The silt fence shall be repaired or replaced as necessary to maintain a barrier. All Silt Fence shall be installed and maintained in accordance with DNR Technical Standard 1056. It will be placed at the following locations:
 - i) along the site perimeter where runoff will leave the site.
 - ii) and at the toe of soil piles if the pile will remain in place for more than seven (7) days.
 - iii) as slope interruption within the development.
 - b) Mulching and Erosion Mat - Intended to reduce the amount of erosion caused by rainfall impact, high overland and concentrated flow velocities and assist the establishment of both temporary and permanent vegetation. All Erosion Mat shall be installed and maintained in accordance with DNR Technical Standards 1052 and 1053 and all Mulching with DNR Technical Standard 1055. In addition to mulching, Erosion Mat is required per plan if field conditions warrant.
 - c) Seeding - Intended to provide a reduction of overland flow velocities and stabilize disturbed areas. Seeding will be used on all disturbed areas within seven days of the completion of the activity that will disturb the area. All seeding shall be in accordance with DNR Technical Standard 1069. Seed mixture 40 (per WisDOT Specifications, Section 630) shall be applied at 5 pounds per 1000 square feet for permanent seeding prior to September 15th. Temporary seeding shall consist of Oats, Rye, Winter Wheat, and/or Annual Ryegrass applied at rates September 15, 2019. Sod placement may occur at any time sod is available and the sod and soil are not frozen.
- 3) Channelized Flow
 - a) Ditch Checks - Intended to settle suspended sediment in channelized flow by reducing the flow velocity. All Ditch Checks shall be installed and maintained in accordance with DNR Technical Standard 1062 and all manufacturer specifications. Ditch Checks will be used where indicated on the plan as sediment logs. Additional ditch checks may be required in areas where erosion is occurring.
- 4) Permanent Channel Stabilization
 - a) Armored Waterway - Intended to establish a non-erosive lining in the channel to prevent erosion. This can be accomplished using riprap. All areas immediately downstream of storm sewer outfalls or curb openings will be stabilized using riprap.
 - b) Vegetated Waterway - Intended to establish permanent vegetation to reduce the velocity of concentrated runoff thereby protecting the waterway from erosion. The type of erosion mat used will depend upon the velocity of the runoff in the channel and are specified in accordance with DOT Erosion Control Product Acceptability Lists (PAL). Vegetated waterways will be used in the following areas:
 - i) drainage swales as indicated on the plans;
- 5) Inlet Protection Barriers - Intended to prevent the sedimentation of storm water conveyance structures. All Inlet Protection Barriers shall be installed and maintained in accordance with DNR Technical Standard 1060. As required, inlet protection barriers will be used at all storm sewer inlets as indicated on the plans.

- 6) Tracking Pad - Intended to reduce the amount of sediment transported onto public roads or offsite access points. The Tracking Pad shall be installed and maintained in accordance with DNR Technical Standard 1057. Tracking controls will be constructed at the site entrance as indicated on the plan. Initial construction entrance for imported fill and sewer and water construction will occur from the temporary haul road with access to County Highway A per separate sheet. Tracking of material shall be cleaned daily.
- 7) Dust Control - Intended to reduce surface to air transport of dust during construction. Dust control shall be implemented with use of methods provided in DNR Technical Standard 1068. These methods include the use of polymers, seeding, and mulch.
- 8) Dewatering BMP - Intended to reduce the amount of sediment conveyed due to dewatering practices. Dewatering practices require compliance with DNR Technical Standard 1061. The use of geotextile bags is required to prevent sedimentation with a stable discharge to the storm water pond. The bags shall meet the requirements of DNR Technical Standard 1061. Upon completion of the dewatering operation, all materials must be disposed of properly in accordance with all state and local requirements.
- 9) Waste Material - All on-site waste and construction materials shall be handled and disposed of properly. No pavement material, runoff from concrete washout, or other waste material is allowed to enter the storm sewer system or receiving waters.

Sequence of Construction

- Definition of Phases of Construction**
- o Sewer & Water Utility Construction - Construction of underground utilities including water mains, sanitary sewers and storm sewers.
 - o Storm Water Pond Construction - Construction of the storm water pond (dry detention), including the outlet structure and all stabilization.
 - o Site Work Construction - Construction of lot line swales as required for site drainage. Establish swale vegetation no later than 7 days after swale construction is complete.
 - o Grade and Gravel Construction - Construction of road beds and gravel base course. Stabilize topsoil in accordance with WisDOT Technical Standards.
 - o Electric Distribution - Construction of underground utilities including gas mains, electric service, telephone, cable TV and street lights.
 - o Paving - Construction of concrete curbs & gutters and installation of final pavements
- Construction Sequence**
- 1) Obtain plan approval and other applicable permits
 - 2) Install & maintain all erosion & sediment control measures: June 2019
Install all perimeter silt fence per plan.
 - 3) Storm Water Pond Construction: must be complete or concurrent with the commencement of Site Work and Sewer & Water Utility Construction: June 2019.
 - 4) Sewer & Water Utility Construction: June 2019.
 - 5) Site Work Construction: July 2019
 - 6) Grade and Gravel Construction: July 2019
 - 7) Electric Distribution: August 2019
 - 8) Paving: To Be Determined
 - 9) Stabilize lawn and ditch areas no later than one week after final grade is established. Temporary seeding is required immediately upon completion of grade and gravel construction but no later than September 15, 2019.
 - 10) Remove all temporary measures, topsoil critical areas, and establish vegetation. Water if necessary to establish healthy and well rooted vegetation.

Maintenance Plan

The contractor is responsible for inspection and maintenance of sediment and erosion control measures until the project is completed. The inspections shall be made every seven days or within 24-hours of a rainfall event of 0.50-inch or greater. Any practices that are damaged or not working properly shall be repaired by the end of the day. Accumulated sediment shall be removed when it has reached a height of one-half the height of the structure. In addition, the following measures shall be taken:

- 1) All seeded areas will be re-seeded and mulched as necessary according to the specifications in the planned practices to maintain a vigorous, dense vegetated cover.
- 2) Remove silt fence and temporary structures only after final stabilization and vegetative cover is established.
- 3) Avoid the use of fertilizers and pesticides in or adjacent to channels or ditches.
- 4) Construction and waste materials shall be properly disposed.

Weekly inspection reports shall be maintained by the contractor. These reports shall document inspections and maintenance performed. The date and time of the inspections, the inspector's name, and the status of construction and any maintenance performed. Refer to Appendix C or the DNR website for a template: <https://dnr.wisconsin.gov/files/OP/Forms/200034003187.pdf>. Upon request, the inspection reports shall be made available to the owner, the engineer, the Wisconsin Department of Natural Resources, or the Town of Grand Chute.

Responsible Parties

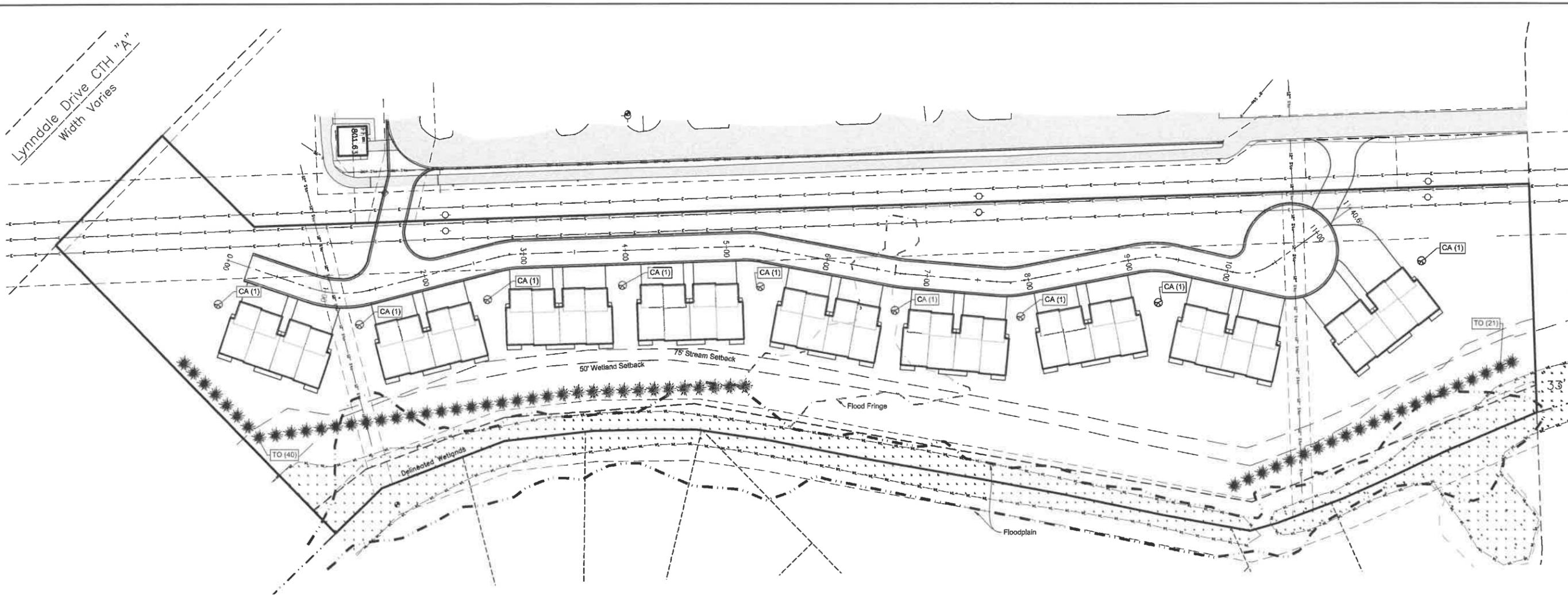
Best Management Practices (BMPs) Construction and Maintenance:
 To be Determined (TBD)

BMP Inspection and Compliance Enforcement
 Town of Grand Chute
 Wisconsin Department of Natural Resources

LEGEND

	Underground Cable TV		Sanitary MH / Tank / Base		CATV Pedestal
	Underground Fiber Optic		Clean Out / Curb Stop / Pull Box		Gas Regulator
	Overhead Electric Lines		Storm Manhole		Railroad Signal
	Utility Guy Wire		Inlet		Sign
	Sanitary Sewer		Catch Basin / Yard Drain		Tower / Silo
	Storm Sewer		Water MH / Well		Post / Guard Post
	Underground Electric		Hydrant		Satellite Dish
	Underground Gas Line		Utility Valve		Large Rock
	Underground Telephone		Utility Meter		Flag Pole
	Water Main		Utility Pole		Deciduous Tree
	Fence - Steel		Light Pole / Signal		Coniferous Tree
	Fence - Wood		Guy Wire		Bush / Hedge
	Fence - Barbed Wire		Electric Pedestal		Slump
	Wetlands		Electric Transformer		Marsh
	Trestle		Air Conditioner		Soil Boring
	Railroad Tracks		Telephone Pedestal		Benchmark
	Culvert		Telephone Manhole		Asphalt Pavement
	Index Contour		Ex Spot Elevation		Concrete Pavement
	Intermediate Contour		Proposed Storm Manhole		Gravel
	Proposed Storm Sewer		Proposed Curb Inlet		
	Proposed Contour		Prop. Catch Basin / Yard Drain		
	Proposed Swale		Proposed Erosion Mat		
	Proposed Culvert		Proposed Rip Rap		
	Proposed Silt Fence		Proposed Erosion Mat		
	Prop. Drainage Direction		Proposed Inlet Protection		
	Proposed Tracking Pad		Type of Inlet Protection		
	Proposed Ditch Check				

Lynndale Drive CTH "A"
Width Varies



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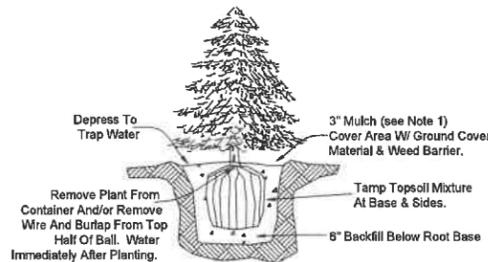
DAVEL ENGINEERING & ENVIRONMENTAL, INC.
Civil Engineers and Land Surveyors
1164 Prichard Terrace, Menasha, WI 54952
Ph: 920-991-1866 Fax: 920-441-0804
www.davel.com



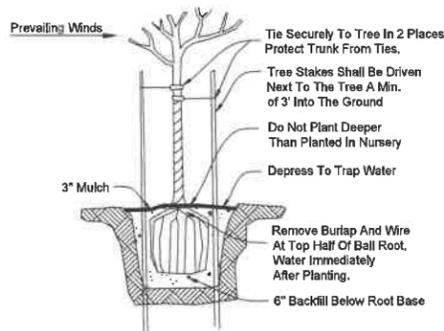
LANDSCAPE PLAN

White Hawk West Condominium
Town of Grand Chute, Outagamie County, WI
For: GCD, LLC

Plant Schedule				
I.D.	Common Name	Latin Name	Planting Size	Qty.
EVERGREEN TREES				
TO	Arborvitae Techny	Thuja Occidentalis 'Techny'	Refer Note 3	61
DECIDUOUS TREES				
CA	Flowering Crabapple	Malus x hybrid	Refer Note 4	9



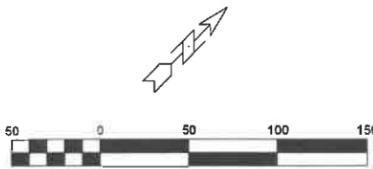
SHRUB PLANTING DETAILS



TREE PLANTING DETAILS

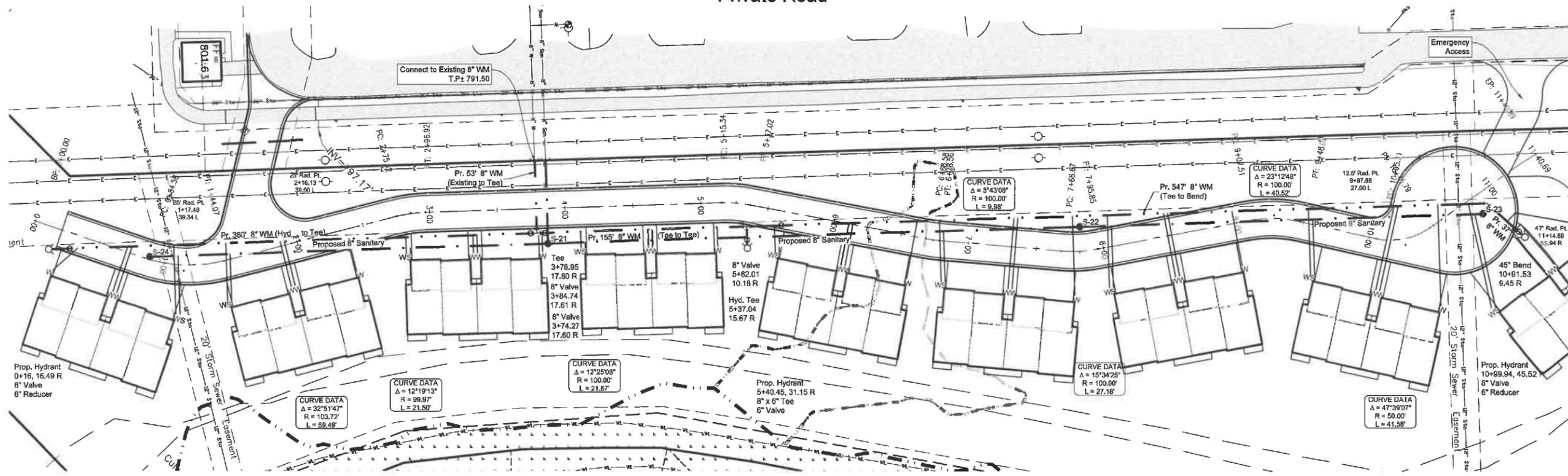
Landscape Notes:

1. Trees: All Trees to be staked. Trees in turf area or seeded area to have 3' dia. circle of shredded hardwood mulch at 3" depth and shovel cut edge separating mulch from lawn area.
2. Plant Warranty Period: All plant material will have 1 full year warranty replacement from date of Village acceptance.
3. Evergreen Trees shall be minimum 60 inch height at time of planting.
4. Ornamental Trees shall be minimum 1 1/2 inch caliper measured 6 inches from the ground at the time of planting.
5. Species may be substituted pending local nursery stock.
6. Seed areas installed on 5" min. fertile topsoil. Loosen subgrade, remove stones, sticks, grasses, and other extraneous materials. Fertilize using commercial grade started fertilizer, non phosphorous at 1# per 1000 sf. Straw mulch, clean mildew and seed free, or threshed straw of wheat, rye, or oats. Plant during non-freezing weather. Install straw mulch or matting per areas on the erosion control plan.

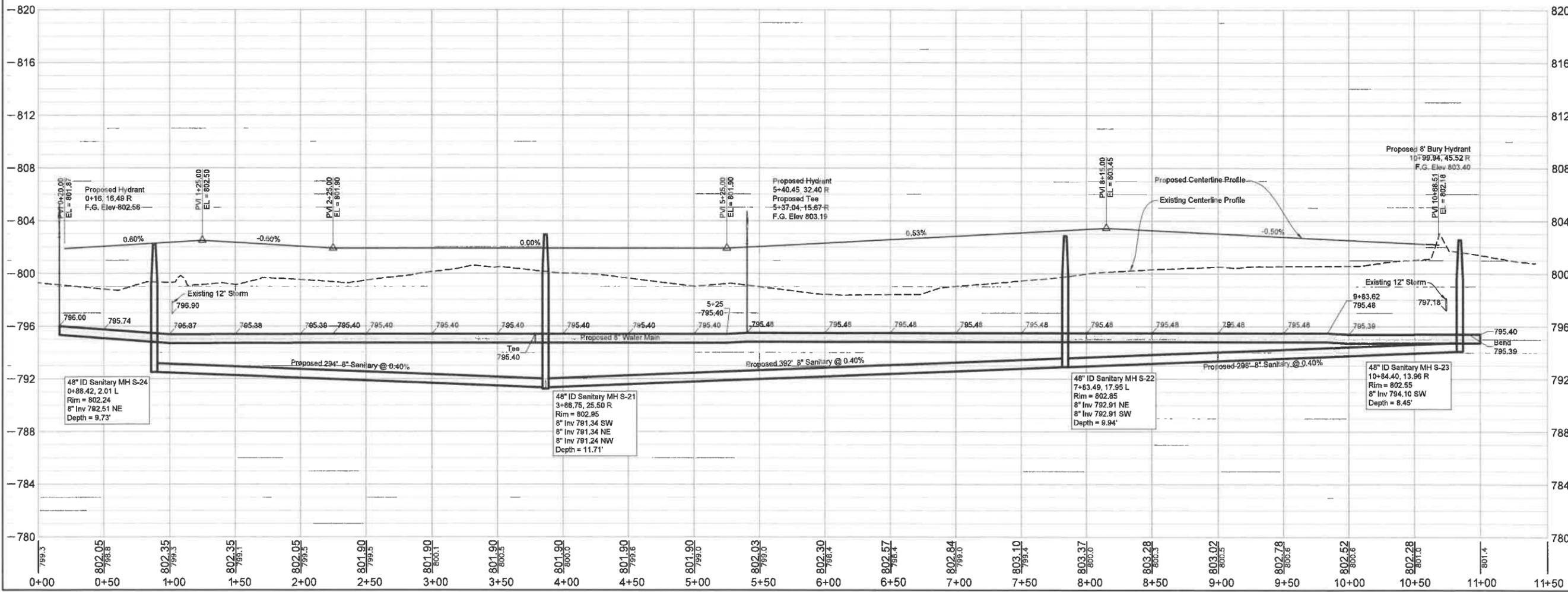
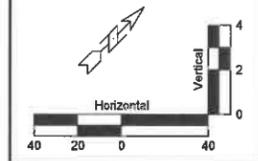
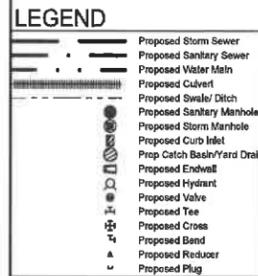


Date: 05/25/2020
Filename: 6041engr.dwg
Author: TNW
Last Saved by: eric
Page: 1.4

Private Road



NOTES:
 RADIUS STATIONING IS TO BACK OF CURB.
 g14.16 = PROPOSED GRADE
 ENDWALLS ARE INCLUDED IN CULVERT LENGTH



White Hawk West Condominiums
 Town of Grand Chute, Outagamie County, WI
 For: Rubble Development LLC

IMPROVEMENT PLANS
 Alignment 1
 Sta 0+00 to 0+00

DAVE ENGINEERING & ENVIRONMENTAL, INC.
 Civil Engineers and Land Surveyors
 1184 Province Terrace, Menasha, WI 54952
 Ph: 920-991-1888 Fax: 920-441-0004
 www.daveinc.com

**Town of Grand Chute
Site Plan Review
Prime Storage Appleton LLC, dba College Avenue Self Storage**

To: Plan Commission

From: Michael Patza, Town Planner

Date: June 30, 2020

Address: 200 N. Lynndale Drive

App. #: SP-05-20

REQUEST

- 1. Proposed Use(s):** Stormwater management pond.
- 2. Project Description:** Construction of a stormwater pond to serve an adjacent development project located in the City of Appleton.
- 3. Plat/CSM Accurate parcel lines/lot recorded:** Yes

ANALYSIS

Applicant proposes the construction of a stormwater pond on this 2.61 acre parcel. The stormwater pond will serve an adjacent commercial redevelopment project of the former K-Mart site, located in the City of Appleton. The project will utilize overland flow and storm sewer to direct runoff to the new pond located on the south side of the site. The stormwater pond will outlet to the Town's storm sewer system in N. Lynndale Drive. Best management practices for erosion control will be in place for the duration of the construction project and until final stabilization of exposed soils. The Stormwater Management and Erosion Control Plans have been approved by the Town Engineer. All other code requirements are met with this request.

RECOMMENDATION

Staff has reviewed and supports Plan Commission approval of the Site Plan (SP-05-20) requested by Prime Storage Appleton LLC, dba College Avenue Self Storage, 200 N. Lynndale Drive, for construction of a stormwater pond to serve an adjacent development project located in the City of Appleton.

PARCEL NO.
7-0026, 1159-1, 1161

LEGAL DESCRIPTIONS

Lot 1 of Certified Survey Map Number 7798, Document Number 2170577, being part of the Southwest 1/4 of the Southeast 1/4 and part of the Northwest 1/4 of the Southeast 1/4, Section 28, Township 21 North, Range 17 East, City of Appleton, Outagamie County, Wisconsin.

and also:
Lot 2 of Certified Survey Map Number 7798, Document Number 2170577, being part of the Southwest 1/4 of the Southeast 1/4 and part of the Northwest 1/4 of the Southeast 1/4, Section 28, Township 21 North, Range 17 East, City of Appleton, Outagamie County, Wisconsin.

and also:
Lot 2 of Certified Survey Map Number 3020, Document Number 1248177, being part of the Northwest 1/4 of the Southeast 1/4, Section 28, Township 21 North, Range 17 East, Town of Grand Chute, Outagamie County, Wisconsin.

and also:
A parcel of land being part of the East 40 acres of the West 60 acres of the South 140 acres of the Southeast 1/4 of Section 28, Township 21 North, Range 17 East, Town of Grand Chute, County of Outagamie, State of Wisconsin, bounded and described as follows:

Commencing at the intersection of the east line of the West 60 acres of the South 140 acres of the Southeast 1/4 of said Section 28 with the North line of West College Avenue as the point of beginning; thence Northerly along the East line of said West 60 acres, 1002.0 feet to the North line of the South 140 acres of the Southeast 1/4 of Section 28; thence westerly, along the North line of said West 60 acres of the west 60 acres of the South 140 acres of the Southeast 1/4 of Section 28; thence Southerly along said West line, 707.49 feet to the Northwesterly right-of-way of the Chicago and North Western Railroad; thence southeasterly, along the said right-of-way line, 424.87 feet to the North line of West College Avenue, thence easterly along the North line of West College Avenue, 448.3 feet to the point of beginning.

EXCEPT that portion thereof described as follows:
Commencing at the intersection of the East line of the West 60 acres of the South 140 acres of the Southeast 1/4 of said Section 28 with the Northwesterly right-of-way line of College Avenue as the point of beginning; thence Northerly along the East line of said West 60 acres, 820.0 feet; thence Westerly parallel with the North line of the South 140 acres of the Southeast 1/4 of Section 28, 670.0 feet; thence Southerly, parallel with the East line of the West 60 acres of the South 140 acres of the Southeast 1/4 of Section 28, 604.59 feet to the Northwesterly right-of-way of the Chicago and North Western Railroad; thence Southeasterly, along said right-of-way line, 512.72 feet to the North line of West College Avenue, 442.5 feet to the point of beginning.

SITE ADDRESS

WEST COLLEGE AVENUE SERVICE ROAD

FIRE SAFETY

KNOX BOX TO BE LOCATED ON FRONT ENTRANCE OF BUILDING.

SITE SOILS

SILTY CLAY LOAM- 63%

SILT LOAM- 37.0%

NOTE

ALL DISTURBED AREAS SHALL BE TOPSOILED TO A DEPTH OF 6 INCHES, SEEDED AND MULCHED. AREA TO BE RAKED FREE OF STONES AND CLUMPS.

PARKING DATA

TOTAL PARKING SPACES PROVIDED = 253

HANDICAP ACCESSIBLE PARKING SPACES = 2

TOTAL PARKING SPACES REQUIRED: 1 PER 5 UNITS = 234

ZONING

C-2

EXISTING SITE DATA

TOTAL AREA = 18.85 ACRES, 821,147 S.F.

BUILDING AREA = 0.0 ACRES, 0 S.F. (0%)

SIDEWALK/PARKING LOT AREA = 11.12 ACRES, 484,512 S.F. (59.0%)

GREEN SPACE = 7.73 ACRES, 336,635 S.F. (41.0%)

PROJECT AREA

TOTAL AREA = 14.06 ACRES, 612,426 S.F.

BUILDING AREA = 4.50 ACRES, 196,184 S.F. (32.0%)

SIDEWALK/PARKING LOT AREA = 5.93 ACRES, 258,126 S.F. (42.2%)

GREEN SPACE = 3.63 ACRES, 158,116 S.F. (25.8%)

INTERIOR GREEN SPACE = 5% MINIMUM

PROPOSED SITE DATA (ALL APPLETON LAND)

TOTAL AREA = 12.09 ACRES, 526,504 S.F.

BUILDING AREA = 4.50 ACRES, 196,184 S.F. (37.2%)

SIDEWALK/PARKING LOT AREA = 5.93 ACRES, 258,126 S.F. (49.1%)

GREEN SPACE = 1.66 ACRES, 72,394 S.F. (13.7%)

INTERIOR GREEN SPACE = 5% MINIMUM

COMMERCIAL LOT SITE DATA

TOTAL AREA = 3.72 ACRES, 162,259 S.F.

BUILDING AREA = 0.79 ACRES, 34,544 S.F. (21.2%)

SIDEWALK/PARKING LOT AREA = 2.46 ACRES, 107,689 S.F. (66.0%)

GREEN SPACE = 0.48 ACRES, 20,226 S.F. (12.8%)

INTERIOR GREEN SPACE = 5% MINIMUM

STORAGE LOT SITE DATA

TOTAL AREA = 8.36 ACRES, 364,245 S.F.

BUILDING AREA = 3.68 ACRES, 161,640 S.F. (44.4%)

SIDEWALK/PARKING LOT AREA = 3.45 ACRES, 150,437 S.F. (41.3%)

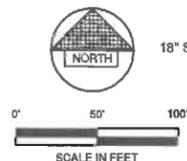
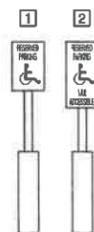
GREEN SPACE = 1.20 ACRES, 52,168 S.F. (14.3%)

INTERIOR GREEN SPACE = 5%

LEGEND

- CONCRETE PAVEMENT
- ASPHALT PAVEMENT (LIGHT)
- ASPHALT PAVEMENT (HEAVY)
- LANDSCAPE AREA
- GREEN SPACE
- PROPOSED 18" STANDARD CURB AND GUTTER (UNLESS OTHERWISE NOTED)
- PROPOSED 18" SHEDDING CURB AND GUTTER
- TRAFFIC FLOW ARROW
- HANDICAPPED PARKING
- INDICATES NUMBER OF PARKING STALLS

*NOTE: ALL DIMENSIONS ARE TO THE FACE OF CURB, UNLESS NOTED OTHERWISE



DATE PLOTTED: 06/20/18
 FILE: 57120020
 JOB NO.: 57120020
 DATE: 06/20/18

NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION	DRAWN	CHECKED	DESIGNED
1	6-16-19	JGS	CITY/TOWN COMMENT REVISIONS					ELT	ELT	ELT
2	8-26-2020	JGS	CITY/TOWN COMMENT REVISIONS #2					ELT	ELT	ELT

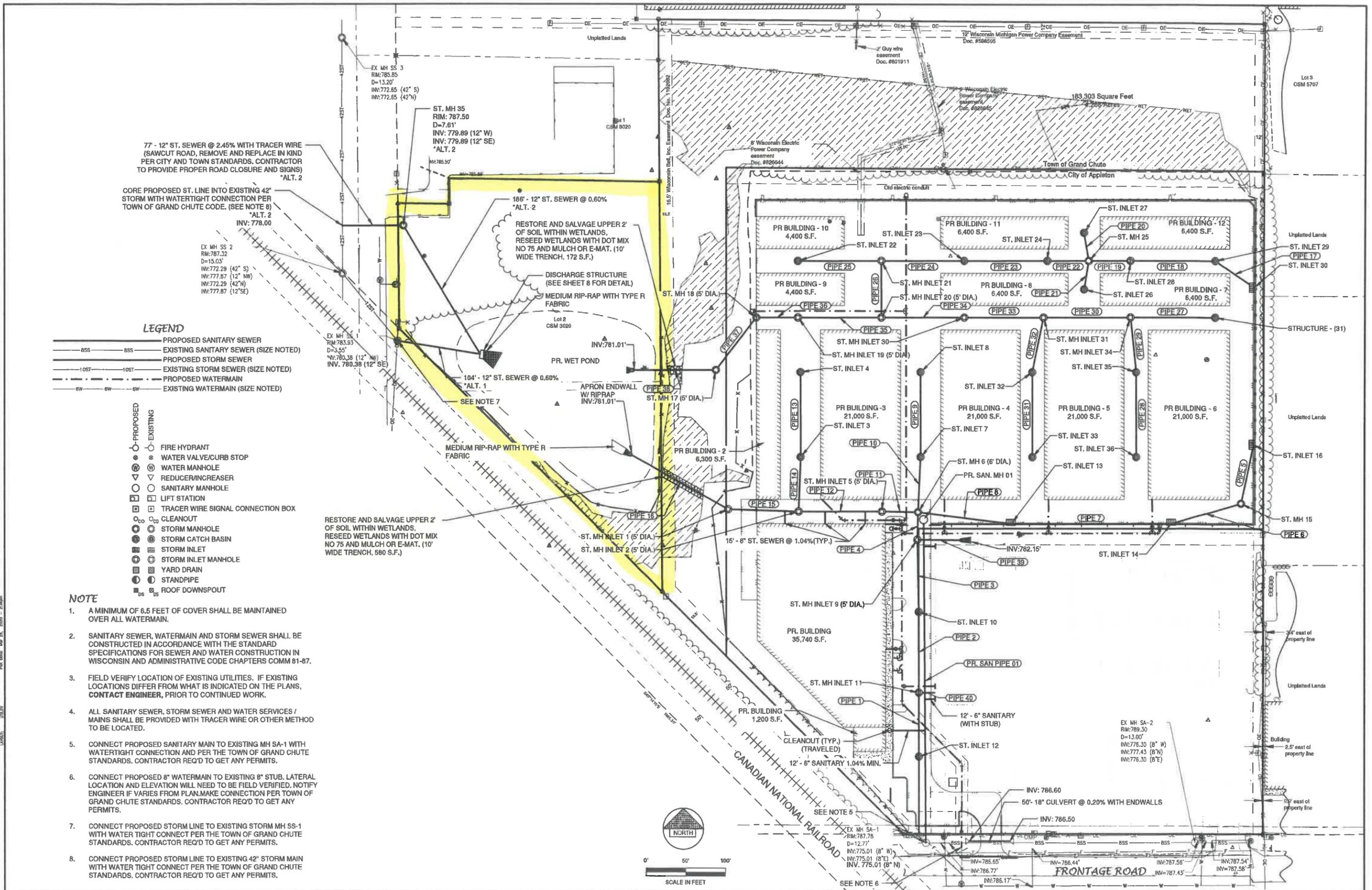
COLLEGE AVENUE SELF STORAGE AND OUTLOT REDEVELOPMENT
CITY OF APPLETON
OUTAGAMIE COUNTY, WISCONSIN

SITE PLAN

DATE: 06/20/18
FILE: 57120020
JOB NO.: 57120020

Robert F. Lee & Associates, Inc.
ENGINEERING, SURVEYING, ENVIRONMENTAL SERVICES
1250 CENTENNIAL CENTRE BOULEVARD HOBART, WI 54155
920-662-8641 www.rleinc.com

SHEET NO. **2**



77 - 12" ST. SEWER @ 2.45% WITH TRACER WIRE (SAWCUT ROAD, REMOVE AND REPLACE IN KIND PER CITY AND TOWN STANDARDS. CONTRACTOR TO PROVIDE PROPER ROAD CLOSURE AND SIGNS) *ALT. 2

CORE PROPOSED ST. LINE INTO EXISTING 42" STORM WITH WATERTIGHT CONNECTION PER TOWN OF GRAND CHUTE CODE. (SEE NOTE 8) *ALT. 2
INV: 778.00

EX MH SS 2
RIM: 787.32
D=15.03'
INV: 772.29 (42" S)
INV: 777.87 (12" NW)
INV: 772.29 (42" N)
INV: 777.87 (12" SE)

EX MH SS 3
RIM: 785.85
D=13.20'
INV: 772.65 (42" S)
INV: 772.65 (42" N)

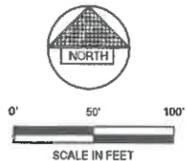
ST. MH 35
RIM: 787.50
D=7.61'
INV: 779.89 (12" W)
INV: 779.89 (12" SE)
*ALT. 2

EX MH SS 1
RIM: 783.93
D=3.55'
INV: 780.38 (12" NW)
INV: 780.38 (12" SE)

EX MH SS 2
RIM: 787.32
D=15.03'
INV: 772.29 (42" S)
INV: 777.87 (12" NW)
INV: 772.29 (42" N)
INV: 777.87 (12" SE)

- LEGEND**
- BSS — BSS — PROPOSED SANITARY SEWER
 - 1.0ST — 1.0ST — EXISTING SANITARY SEWER (SIZE NOTED)
 - 1.0ST — 1.0ST — PROPOSED STORM SEWER
 - 1.0ST — 1.0ST — EXISTING STORM SEWER (SIZE NOTED)
 - 6W — 6W — PROPOSED WATERMAIN
 - 6W — 6W — EXISTING WATERMAIN (SIZE NOTED)
- PROPOSED**
- FIRE HYDRANT
 - ⊙ WATER VALVE/CURB STOP
 - ⊙ WATER MANHOLE
 - ▽ REDUCER/INCREASER
 - SANITARY MANHOLE
 - LIFT STATION
 - TRACER WIRE SIGNAL CONNECTION BOX
 - CLEANOUT
 - ⊙ STORM MANHOLE
 - ⊙ STORM CATCH BASIN
 - ⊙ STORM INLET
 - ⊙ STORM INLET MANHOLE
 - ⊙ YARD DRAIN
 - ⊙ STANDPIPE
 - ⊙ ROOF DOWNSPOUT

- NOTE**
- A MINIMUM OF 6.5 FEET OF COVER SHALL BE MAINTAINED OVER ALL WATERMAIN.
 - SANITARY SEWER, WATERMAIN AND STORM SEWER SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN AND ADMINISTRATIVE CODE CHAPTERS COMM 81-87.
 - FIELD VERIFY LOCATION OF EXISTING UTILITIES. IF EXISTING LOCATIONS DIFFER FROM WHAT IS INDICATED ON THE PLANS, CONTACT ENGINEER, PRIOR TO CONTINUED WORK.
 - ALL SANITARY SEWER, STORM SEWER AND WATER SERVICES / MAINS SHALL BE PROVIDED WITH TRACER WIRE OR OTHER METHOD TO BE LOCATED.
 - CONNECT PROPOSED SANITARY MAIN TO EXISTING MH SA-1 WITH WATERTIGHT CONNECTION AND PER THE TOWN OF GRAND CHUTE STANDARDS. CONTRACTOR REQ'D TO GET ANY PERMITS.
 - CONNECT PROPOSED 8" WATERMAIN TO EXISTING 8" STUB. LATERAL LOCATION AND ELEVATION WILL NEED TO BE FIELD VERIFIED. NOTIFY ENGINEER IF VARIES FROM PLAN. MAKE CONNECTION PER TOWN OF GRAND CHUTE STANDARDS. CONTRACTOR REQ'D TO GET ANY PERMITS.
 - CONNECT PROPOSED STORM LINE TO EXISTING STORM MH SS-1 WITH WATER TIGHT CONNECT PER THE TOWN OF GRAND CHUTE STANDARDS. CONTRACTOR REQ'D TO GET ANY PERMITS.
 - CONNECT PROPOSED STORM LINE TO EXISTING 42" STORM MAIN WITH WATER TIGHT CONNECT PER THE TOWN OF GRAND CHUTE STANDARDS. CONTRACTOR REQ'D TO GET ANY PERMITS.



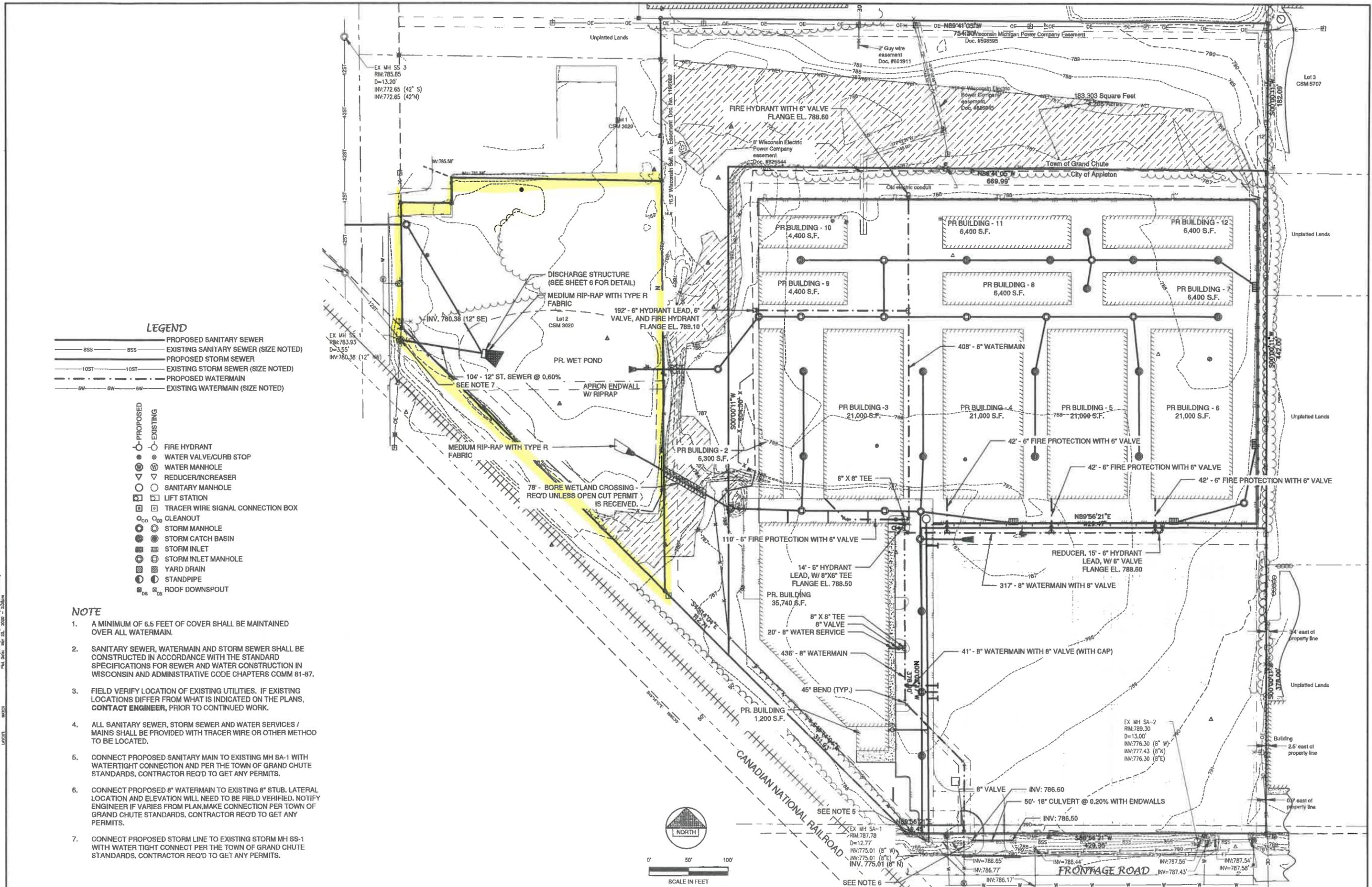
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1	6-16-19	JGS	CITY/TOWN COMMENT REVISIONS					CHECKED	06/20/19	57128353		3
2	3-26-2022	JGS	CITY/TOWN COMMENT REVISIONS #2					DESIGNED		57128353		
								CCC		57128353		

COLLEGE AVENUE SELF STORAGE AND OUTLOT REDEVELOPMENT
CITY OF APPLETON
OUTAGAMIE COUNTY, WISCONSIN

STORM AND SANITARY PLAN

DATE: 06/20/19
FILE: 57128353
JOB NO.: 57128353

Robert E. Lee & Associates, Inc.
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1250 CENTENNIAL CENTRE BOULEVARD HOBBART, WI 54155
920-662-9641 www.releeinc.com

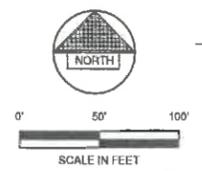


LEGEND

- PROPOSED SANITARY SEWER
 - BSS — BSS — EXISTING SANITARY SEWER (SIZE NOTED)
 - PROPOSED STORM SEWER
 - 10ST — 10ST — EXISTING STORM SEWER (SIZE NOTED)
 - PROPOSED WATERMAIN
 - 6W — 6W — EXISTING WATERMAIN (SIZE NOTED)
-
- PROPOSED
 - EXISTING
 - FIRE HYDRANT
 - ⊙ WATER VALVE/CURB STOP
 - ⊙ WATER MANHOLE
 - ▽ REDUCER/INCREASER
 - SANITARY MANHOLE
 - LIFT STATION
 - TRACER WIRE SIGNAL CONNECTION BOX
 - CLEANOUT
 - ⊙ STORM MANHOLE
 - ⊙ STORM CATCH BASIN
 - ⊙ STORM INLET
 - ⊙ STORM INLET MANHOLE
 - ⊙ YARD DRAIN
 - ⊙ STANDPIPE
 - ⊙ ROOF DOWNSPOUT

NOTE

1. A MINIMUM OF 6.5 FEET OF COVER SHALL BE MAINTAINED OVER ALL WATERMAIN.
2. SANITARY SEWER, WATERMAIN AND STORM SEWER SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN AND ADMINISTRATIVE CODE CHAPTERS COMM 81-87.
3. FIELD VERIFY LOCATION OF EXISTING UTILITIES. IF EXISTING LOCATIONS DIFFER FROM WHAT IS INDICATED ON THE PLANS, CONTACT ENGINEER, PRIOR TO CONTINUED WORK.
4. ALL SANITARY SEWER, STORM SEWER AND WATER SERVICES / MAINS SHALL BE PROVIDED WITH TRACER WIRE OR OTHER METHOD TO BE LOCATED.
5. CONNECT PROPOSED SANITARY MAIN TO EXISTING MH SA-1 WITH WATERTIGHT CONNECTION AND PER THE TOWN OF GRAND CHUTE STANDARDS. CONTRACTOR REQ'D TO GET ANY PERMITS.
6. CONNECT PROPOSED 8" WATERMAIN TO EXISTING 8" STUB. LATERAL LOCATION AND ELEVATION WILL NEED TO BE FIELD VERIFIED. NOTIFY ENGINEER IF VARIES FROM PLAN. MAKE CONNECTION PER TOWN OF GRAND CHUTE STANDARDS. CONTRACTOR REQ'D TO GET ANY PERMITS.
7. CONNECT PROPOSED STORM LINE TO EXISTING STORM MH SS-1 WITH WATER TIGHT CONNECT PER THE TOWN OF GRAND CHUTE STANDARDS. CONTRACTOR REQ'D TO GET ANY PERMITS.



NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION	DRAWN	CHECKED	DESIGNED
1	6-16-19	JGS	CITY/TOWN COMMENT REVISIONS					BLT	CRP	SEC
2	8-26-2020	JGS	CITY/TOWN COMMENT REVISIONS #2							

COLLEGE AVENUE SELF STORAGE AND OUTLOT REDEVELOPMENT
CITY OF APPLETON
OUTAGAMIE COUNTY, WISCONSIN

WATER AND LATERAL PLAN

DATE: 08/20/18
FILE: 5712003D
JOB NO.: 5712003

Robert E. Lee & Associates, Inc.
ENGINEERING, SURVEYING, ENVIRONMENTAL SERVICES
1250 CENTENNIAL CENTRE BOULEVARD HOBART, WI 54155
920-662-9641 www.releinc.com

SHEET NO. **4**

CONSTRUCTION SEQUENCE

1. INSTALL EROSION CONTROL BMP'S SUCH AS SILT FENCE, INLET PROTECTION, AND TRACKING CONTROL PADS PRIOR TO ANY SITE DISTURBANCE. MAY 2020
2. EXCAVATE PROPOSED WET DETENTION POND AND INSTALL OUTFALL STORM SEWER PIPING. POND TO SERVE AS A SEDIMENT BASIN THROUGHOUT CONSTRUCTION. MAY 2020
3. INSTALL ALL NECESSARY SITE UTILITIES INCLUDING SANITARY SEWER, STORM SEWER, AND WATER MAIN. MAY 2020
4. PLACE FILL MATERIAL, COMPACT, AND GRADE AS NECESSARY FOR BUILDING AND PARKING LOT. EXCAVATE FOR BUILDING FOUNDATION AND BEGIN BUILDING CONSTRUCTION. JUNE 2020
5. PLACE GRAVEL BASE COURSE AND CONSTRUCT PARKING LOT. JULY - AUGUST 2020
6. COMPLETE REMAINING BUILDING AND PAVE PARKING LOT. AUGUST-NOVEMBER 2020.
7. V
8. CONTRACTOR TO DREDGE WET POND PRIOR TO FINAL SEEDING AND RE-GRADE THE WET POND TO BE SAME AS DESIGNED WITH NO SEDIMENT BUILD UP.
9. TOPSOIL, SEED, AND MULCH OR E-MAT TO STABILIZE ALL REMAINING DISTURBED AREAS AS SOON AS FINAL GRADING IS COMPLETED. FINAL RESTORATION BY MAY 2021.
10. ONCE SITE VEGETATION HAS REACHED 70%. ALL EROSION CONTROL BMP'S MAY BE REMOVED.

BENCHMARK		
BENCHMARK ESTABLISHED BY: ROBERT E. LEE & ASSOCIATES, INC.		
FIELD VERIFY BENCHMARKS FOR ACCURACY.		
NO.	DESCRIPTION	EL.
1	TAG BOLT ON FIRE HYDRANT	790.75
2	TAG BOLT ON FIRE HYDRANT	790.13
3	TOP SW BOLT ON LIGHT POLE BASE	790.00

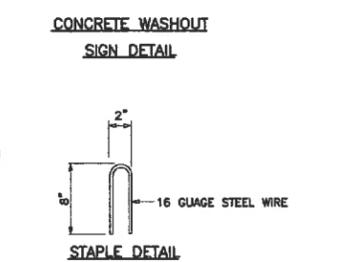
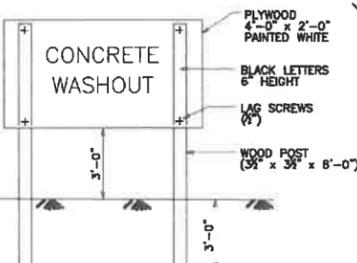
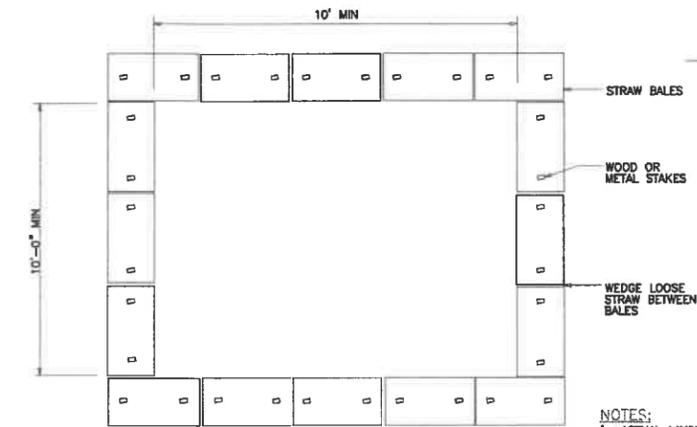
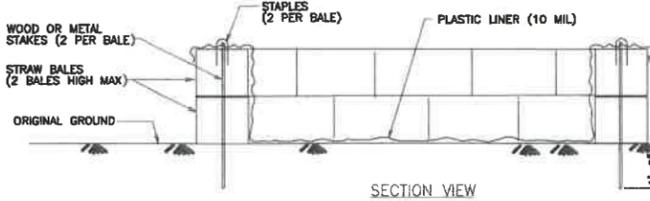
LEGEND

- DRAINAGE SWALE
- DRAINAGE DIVIDE
- FLOW ARROW
- SILT FENCE (PER WDNR TECHNICAL STANDARD 1056)
- DITCH CHECK (PER WDNR TECHNICAL STANDARD 1062)
- TRACKING PAD (PER WDNR TECHNICAL STANDARD 1057)
- EROSION MAT (PER WDNR TECHNICAL STANDARD 1053)
- INLET PROTECTION (PER WDNR TECHNICAL STANDARD 1060)

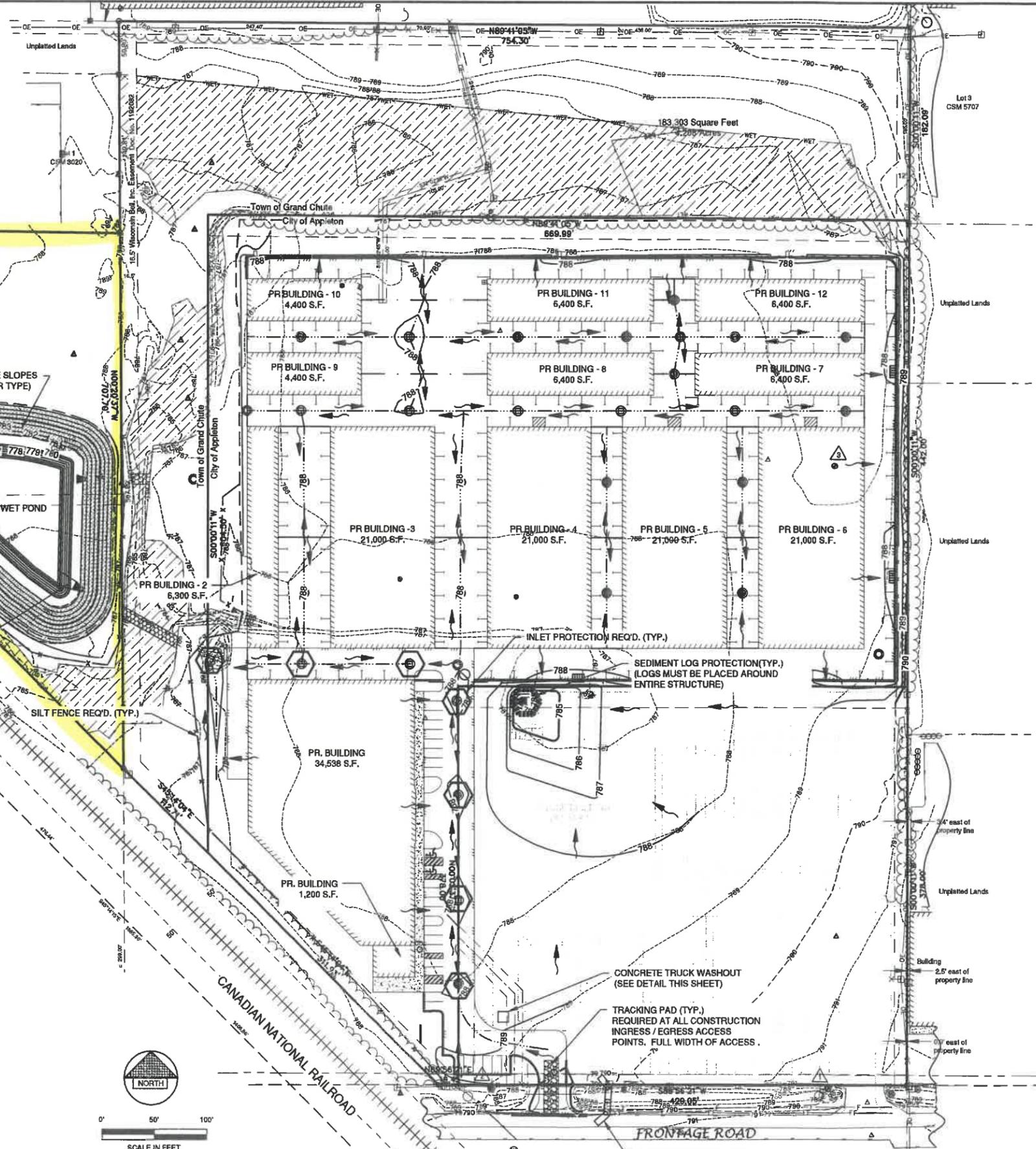
EROSION CONTROL

ALL EROSION CONTROL PRACTICES INDICATED ON THIS PLAN ARE APPROXIMATE LOCATIONS ONLY. THE ACTUAL SITE MAY REQUIRE MORE OR LESS EROSION CONTROL DEPENDING ON THE CURRENT CONDITION OF THE SITE.

1. SILT FENCE IS REQUIRED DOWNSLOPE OF ANY DISTURBED LAND THAT MAY CARRY SEDIMENTS OFF SITE.
2. A TRACKING PAD IS REQUIRED AT ANY INGRESS/EGRESS LOCATION, WHERE SEDIMENT MAY BE TRACKED OFF-SITE.
3. PROPER INLET PROTECTION SHALL BE USED DEPENDING ON THE INLET TYPE.
4. ALL NECESSARY SITE DEWATERING SHALL BE PERFORMED IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1061.



- NOTES:**
1. ACTUAL LAYOUT TO BE DETERMINED IN FIELD.
 2. THE CONCRETE WASHOUT SIGN SHALL BE INSTALLED WITHIN 30' OF THE TEMPORARY CONCRETE WASHOUT FACILITY.



File in X:\projects\1517\151700000\151700000.dwg
 Plot Color: 25, 2020 - 2:48pm
 User: E

NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION	DRAWN	CHECKED
1	6-18-19	JGS	CITY/TOWN COMMENT REVISIONS					ELT	ELT
2	3-25-2020	JGS	CITY/TOWN COMMENT REVISIONS #2					DESIGNED CCC	CCC

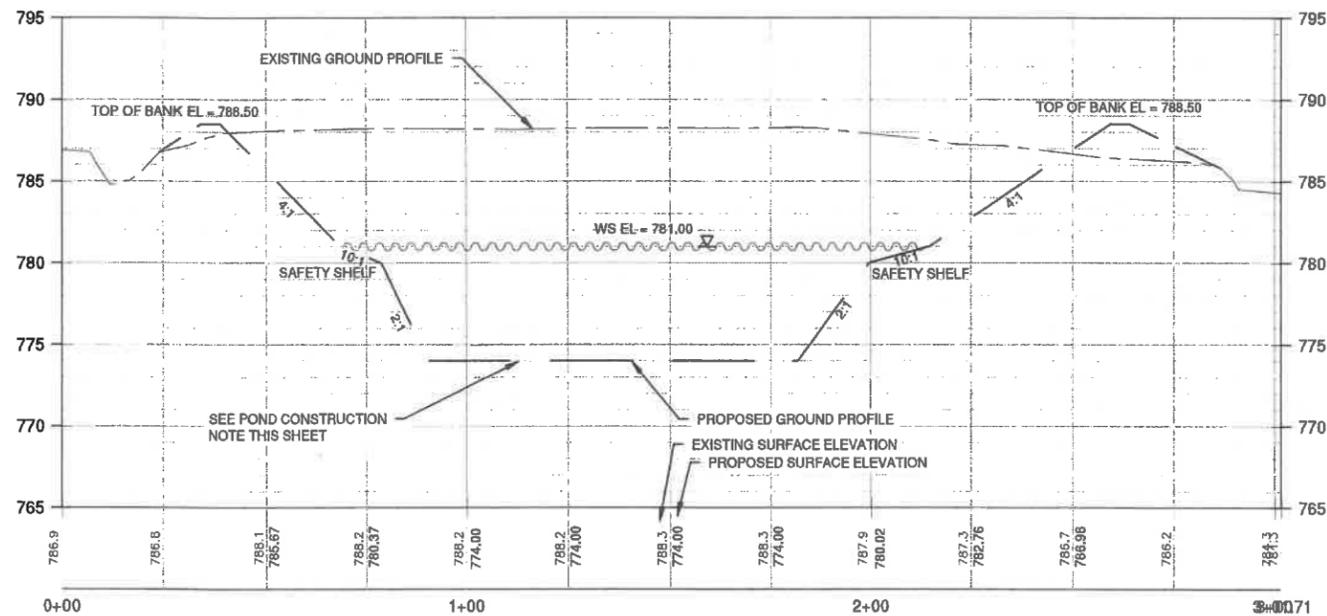
COLLEGE AVENUE SELF STORAGE
AND OUTLOT REDEVELOPMENT
CITY OF APPLETON
OUTAGAMIE COUNTY, WISCONSIN

EROSION CONTROL PLAN

DATE	06/20/18
FILE	5712009D
JOB NO.	5712009

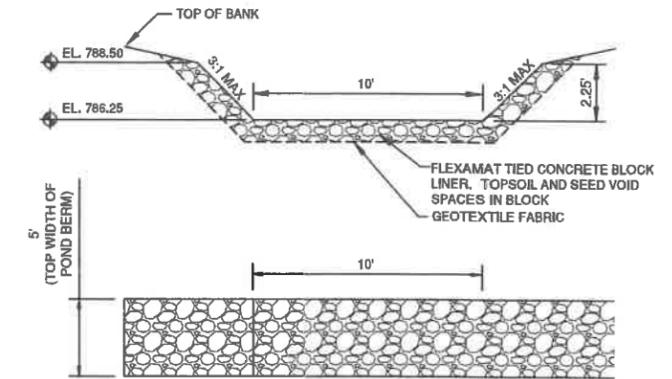
Robert E. Lee & Associates, Inc.
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1250 CENTENNIAL CENTRE BOULEVARD HOBART, WI 54155
920-562-9841 www.releeinc.com

SHEET NO.	7
-----------	---



POND FLOOD ELEVATION SUMMARY

YEAR STORM	PEAK WATER SURFACE ELEVATION
1-YEAR	784.32
2-YEAR	784.85
5-YEAR	785.72
10-YEAR	785.84
100-YEAR	786.68



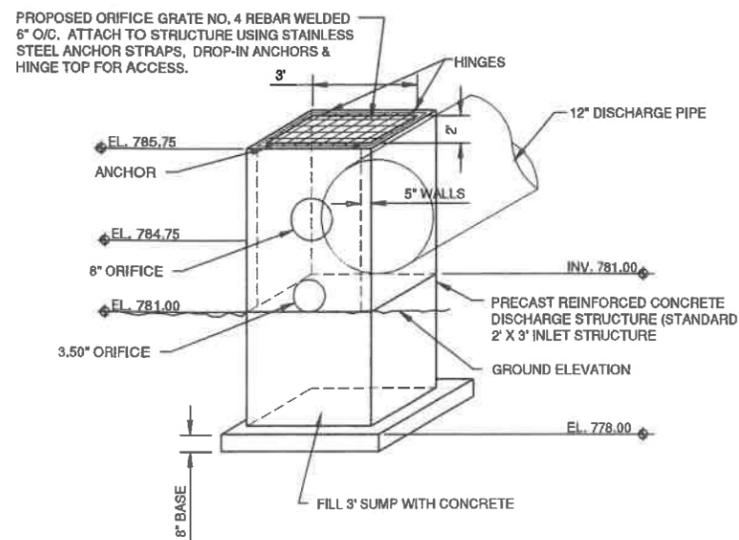
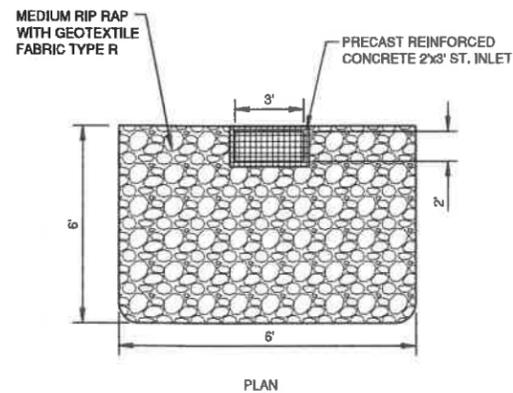
EMERGENCY OVERFLOW STRUCTURE DETAIL

POND CONSTRUCTION NOTE

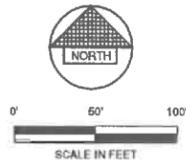
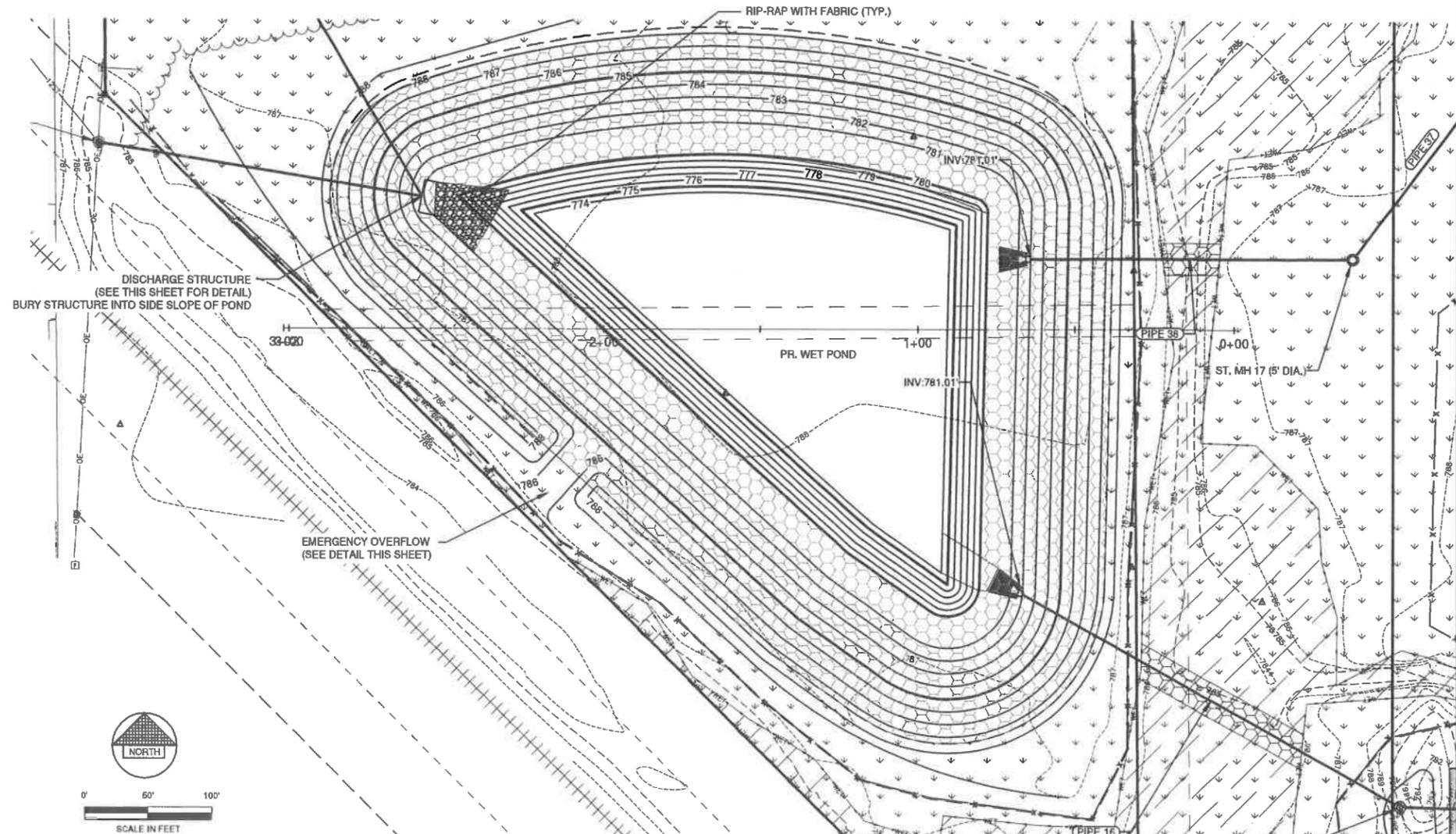
CONTRACTOR TO VERIFY EXISTING SOILS WITHIN POND EXCAVATION. IF SOILS OTHER THAN CLAY WITH A HYDRAULIC CONDUCTIVITY OF 1×10^{-7} cm/sec OR LESS ARE ENCOUNTERED, A TWO FOOT CLAY LINER WILL BE REQUIRED AND INSTALLED PER WDNR TECHNICAL STANDARD 1001. CLAY LINER WILL NEED TO BE CERTIFIED BY GEOTECHNICAL ENGINEER LICENSED IN WISCONSIN.

- RIP-RAP
- EROSION MAT - CLASS 1 URBAN TYPE B

SECTION A-A
HORIZ. SCALE: 1" = 20'
VERT. SCALE: 1" = 5'



DISCHARGE STRUCTURE DETAIL



FILE: R:\A\1700\17001\17001.dwg Plot Date: May 25, 2020 11:23:00 AM

NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION
1	8-18-19	JGS	CITY/TOWN COMMENT REVISIONS				
2	8-26-2020	JGS	CITY/TOWN COMMENT REVISIONS #2				

COLLEGE AVENUE SELF STORAGE AND OUTLOT REDEVELOPMENT
CITY OF APPLETON
OUTAGAMIE COUNTY, WISCONSIN

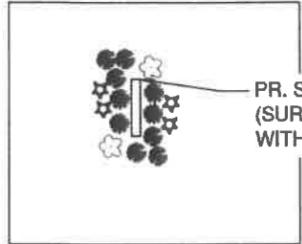
POND PLAN

DATE	06/09/18
FILE	17120020
JOB NO.	17120020
DATE	01/19/20

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SHEET NO. **8**

PR. SIGN PLANTING DETAIL



PR. SIGN
(SURROUND PLANTINGS
WITH BROWN MULCH)

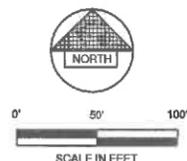
GENERAL NOTES

1. CONTACT DIGGER'S HOTLINE 5 WORKING DAYS PRIOR TO THE START OF DEMOLITION / CONSTRUCTION.
2. ALL PLANTINGS SHALL MEET THE NURSERYMEN'S ASSOCIATION STANDARDS
3. ALL AREAS SHOWN AS GREEN SPACE TO BE TOPSOILED TO A DEPTH OF 6 INCHES. RAKE FREE OF STONES AND CLUMPS. ALL AREAS NOT SHOWN WITH LANDSCAPE BEDS TO BE SEEDED AND MULCHED FOR LAWN. MULCH SHALL BE HELD IN PLACE BY CRIMPING OR BY USE OF A TACKIFIER.
4. ALL TREES TO BE STAKED WITH A MINIMUM OF 3 STAKES.
5. COORDINATE LANDSCAPE WORK WITH ALL TRADES (EXAMPLE: GAS, ELECTRIC, CABLE AND TELEPHONE).
6. PLANTING BEDS SHALL BE MULCHED WITH SHREDDED HARDWOOD MULCH WITH WEED FABRIC BELOW AND EDGING WHERE NEEDED.

AMOUNT SYMBOL BOTANICAL NAME COMMON NAME SIZE MATURE WIDTH MATURE HEIGHT

AMOUNT	SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	MATURE WIDTH	MATURE HEIGHT
12		ACER X FREEMANI	AUTUMN BLAZE MAPLE	25'	40'	50'-60'
2		PICEA PUNGENS	COLORADO SPRUCE	6'	15'	50'-60'
19		PICEA GLAUCA	BLACK HILLS SPRUCE	25'	35'	50'
6		SYRINGA RETICULATA	IVORY SILK LILAC	2.5"	15'	25'-30'
2		JUNIPERS COMPACTA	ANDARA JUNIPER	5 GAL	4-5'	8-12"
4		SPIRAEA JAPONICA	MAGIC CARPET SPIREA	5 GAL	3'	3'
4		SCHIZACHYRIUM SCAPARIUM	LITTLE BLUESTEM	1 GAL	24"	3-5'
6		HEMEROCALLIS	PARDON ME DAYLILY	1 GAL	18-24"	18-24"
219		THUJA OCCIDENTALIS	AMERICAN ARBORVITAE	6' MIN.	12'	40-60'

GREEN SPACE



LAYOUT: LANDSCAPE PLAN
DATE: 06/20/18
FILE: 57120020
JOB NO.: 5712002

NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION	DRAWN BY
1	6-16-19	JGS	CITY/TOWN COMMENT REVISIONS					CHECKED
2	8-26-2020	JGS	CITY/TOWN COMMENT REVISIONS #2					DESIGNED
								CCC

COLLEGE AVENUE SELF STORAGE
AND OUTLOT REDEVELOPMENT
CITY OF APPLETON
OUTAGAMIE COUNTY, WISCONSIN

LANDSCAPING PLAN

DATE: 06/20/18
FILE: 57120020
JOB NO.: 5712002

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SHEET NO. L

**Town of Grand Chute
Site Plan Amendment Review
Community Blood Center, Inc., dba The Community Blood Center**

To: Plan Commission

From: Michael Patza, Town Planner

Date: June 30, 2020

Address: 4330 W. Spencer Street

App. #: SPA1-00-96

REQUEST

- 1. Proposed Use(s):** Medical facility use.
- 2. Project Description:** Construction of a vestibule addition, parking lot modification, and associated site improvements.
- 3. Plat/CSM Accurate parcel lines/lot recorded:** Yes.

ANALYSIS

The Community Blood Center has acquired the property at 4330 W. Spencer Street to expand their existing operations. The building will be renovated to function as the new donor center. The current donor center, located at 4406 W. Spencer Street, will be utilized for office space. New access drives will be constructed on the north and south sides of the sites to provide access between the two properties through cross-access easements. The public entrance for the new donor center will be located on the southwest side of the building and includes a new entrance vestibule. A loading dock on the southwest side of the building will be removed as part of the project. The parking lot on the south side of the building will be reconstructed and serve as public parking. The employee entrance and parking will be located on the north side of the building.

The project will create less than 4,000 sq. ft. of new impervious area. Consequently, on-site stormwater management is not required. The Town Engineer has approved Drainage and Erosion Control Plans. Staff has approved the Landscaping and Site Lighting Plans. All other code requirements are met with this request.

RECOMMENDATION

Staff has reviewed and supports Plan Commission approval of the Site Plan Amendment (SPA1-00-96) requested by Community Blood Center, Inc., dba The Community Blood Center, 4330 W. Spencer Street, for construction of a vestibule addition, parking lot modification, and associated site improvements.

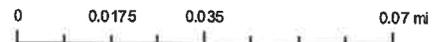
SPA1-00-96 -- 4330 W. Spencer Street



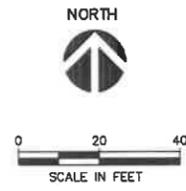
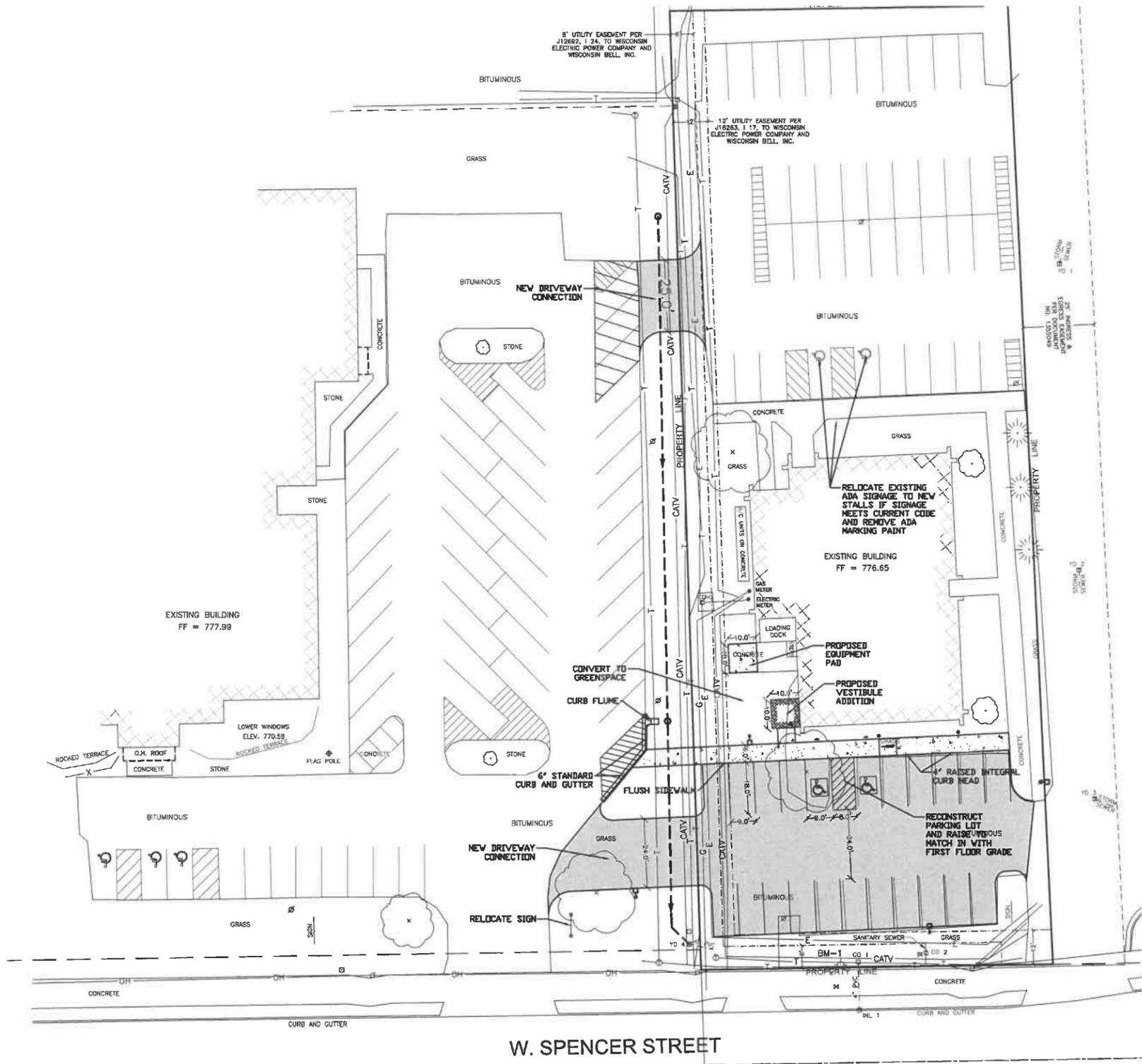
Source: Esri, HERE, Garmin, Intermap, P Corp., GEBCO, USGS, FAO, NPS, NRCAN, GEBCO, IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), Swire, OneMap, Bing, Aero, IGN, Esri, Swire, and the GIS User Community, OpenStreetMap contributors, and the GIS User Community, OpenStreetMap contributors, and the GIS User Community.

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Author:
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SITE PLAN



PAVEMENT KEY

	ASPHALT PAVEMENT	1 C1.5
	CONCRETE SIDEWALK	6 C1.5

- ### SITE PLAN NOTES
- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL TOWN OF GRAND CHUTE REGULATIONS AND CODES.
 - ALL DISTURBED AREAS ARE TO RECEIVE FOUR INCHES OF TOPSOIL, SEED, MULCH AND WATER UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED.
 - ALL DIMENSIONS ARE TO THE EDGE OF BUILDING OR FACE OF CURB.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
 - NO HAZARDOUS MATERIALS WILL BE STORED ON SITE.
 - THE CONTRACTOR AND/OR OWNER SHALL NOT PROCEED WITH LAND DISTURBING ACTIVITIES PRIOR TO RECEIVING WRITTEN NOTICE TO PROCEED FROM THE ENGINEER.
 - NO OUTDOOR STORAGE OR DISPLAY IS PROPOSED.

SITE PLAN LEGEND

	EXISTING CONTOUR	X (000.00)	PROP F/L ELEVATION
	PROPOSED CONTOUR	X (000.00)	PERTINENT DITCH OR SWALE ELEVATION
	STORM SEWER MAIN	0	EXISTING ELEVATION
	STORM MANHOLE	000.0	PROPOSED FIRST FLOOR ELEVATION
	2' x 3' PRECAST STORM INLET	←	DIRECTION OF DRAINAGE

TOPOGRAPHIC LEGEND

	1" x 18" IRON PIPE SET		OVERHEAD POWER LINES		GAS VALVE
	1-1/4" x 36" REBAR SET		UNDERGROUND ELECTRIC		EXIST. STORM MAN-HOLE
	CHISELED "X" SET		UNDERGROUND TELEPHONE		STORM INLET
	3/4" REBAR FOUND		FIBER - UNDERGROUND FIBEROPTIC		YARD DRAIN
	1" IRON PIPE FOUND		UNDERGROUND GAS		EXIST. SANITARY MANHOLE
	1-1/4" REBAR FOUND		UNDERGROUND CABLE TV		EXIST. SAN. SEWER
	2" IRON PIPE FOUND		EXIST. FENCE LINE		EXIST. STD. SEWER
	CHISELED "X" FOUND		SIGN		EXIST. WATER MAIN
	GOVERNMENT CORNER		POWER POLE		EXIST. SPOT ELEVATION
	RECORDED AS		LIGHT POLE		CONTOUR W/ ELEVATION
	CONFERENTIAL TREE		TELEPHONE PEDESTAL		EXIST. TOP OF CURB ELEV.
	DECIDUOUS TREE		ELECTRIC PEDESTAL		EXIST. FLOW LINE ELEV.
	EXIST. WOODS LINE		CABLE PEDESTAL		FIRST FLOOR = 000.00
	WETLANDS		EXIST. HYDRANT		TOPSOIL DEPTH
	SOIL BORING		WATER VALVE		INFILTRATION SOIL BORING
			WATER STOP BOX		

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Kaukauna, WI 54130
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Fax (920)788-5004

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Madison, WI 53762
Phone (608)448-2245
1-800-238-2534
Fax (608)448-5004

MILWAUKEE
2204 N11509
Goldendale Rd
German Town, WI 53022
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1-800-238-2534
Fax (262)250-9740

WAUSAU
5605 Linc Ave
Wausau, WI 54401
Phone (715)849-3141
Fax (715)849-3181
Fax (262)250-9740

www.kellerbuilds.com

PROPOSED FOR:
COMMUNITY BLOOD CENTER
 4330 WEST SPENCER STREET
 GRAND CHUTE
 WISCONSIN

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REVISIONS

1	
2	
3	
4	
5	
6	
7	

PROJECT MANAGER: W ZULEGER
DESIGNER: J RICHESON
DRAWN BY: J RICHESON
EXPEDITOR: X
SUPERVISOR: X
PRELIMINARY NO.: -----
CONTRACT NO.: 74036
DATE: 6/8/2020
SHEET: C1.1



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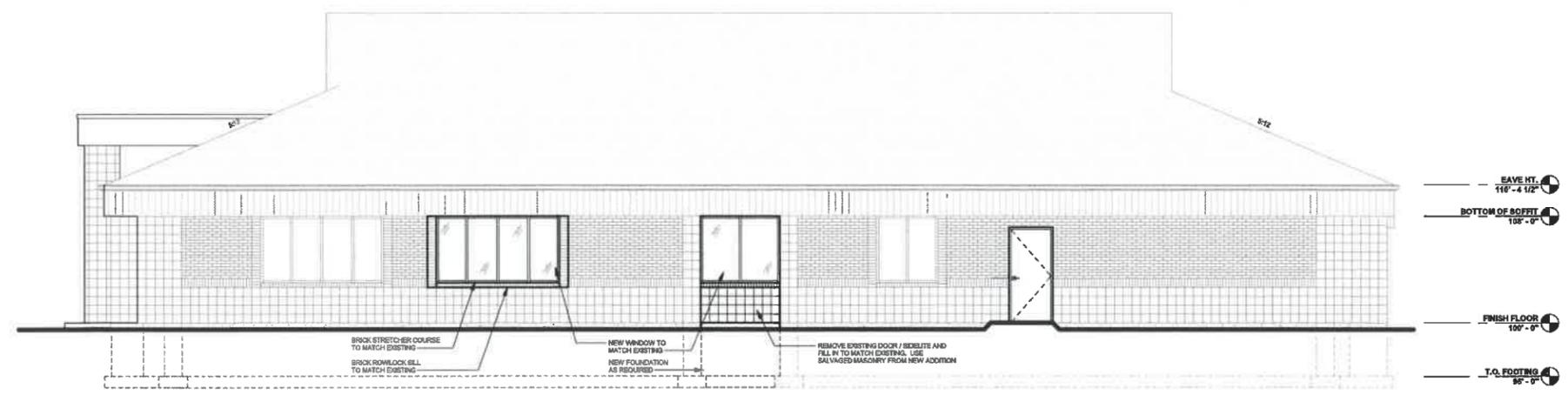
FOX CITIES
 10216 Stone Road #B
 P.O. Box 420
 Appleton, WI 54912
 PHONE (920) 766-0700 /
 1-800-226-0234
 FAX (920) 766-0034

MILWAUKEE
 1000 N. 11th St
 Oak Leafside Rd
 Greenfield, WI 53001
 PHONE (262) 280-9710
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 FAX (262) 280-9740

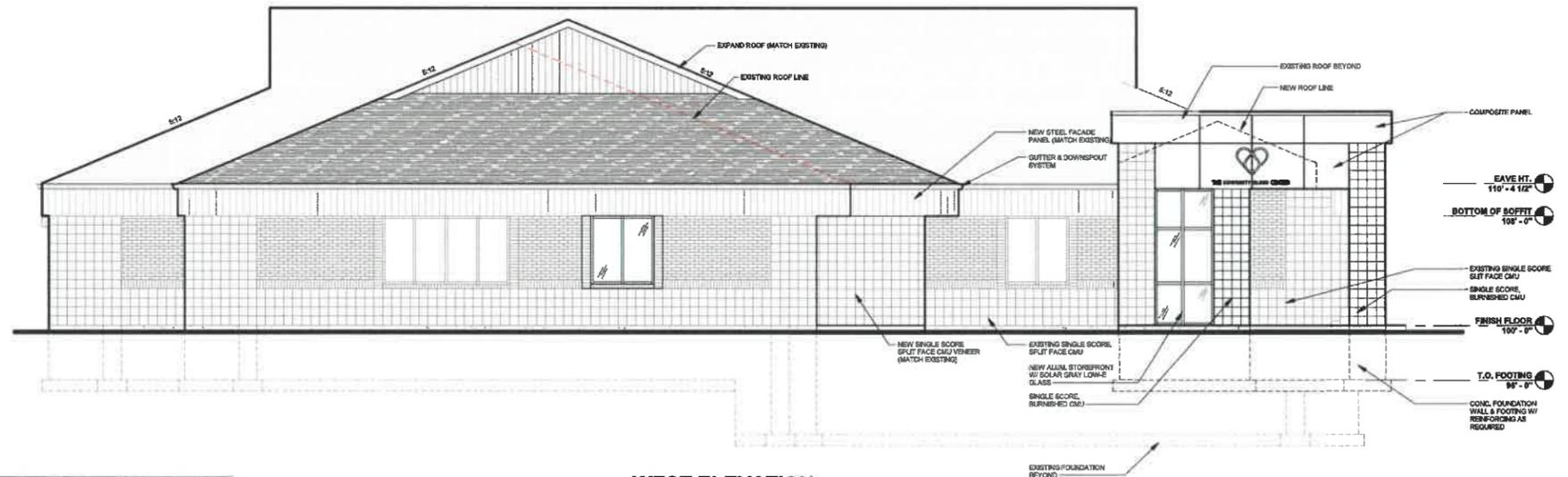
MADISON
 771 Leff Dr.
 Sun Prairie, WI 53588
 PHONE (608) 218-2326
 FAX (608) 218-2327

WALSAU
 8000 11th Ave
 Wausau, WI 54481
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 FAX (715) 848-0181

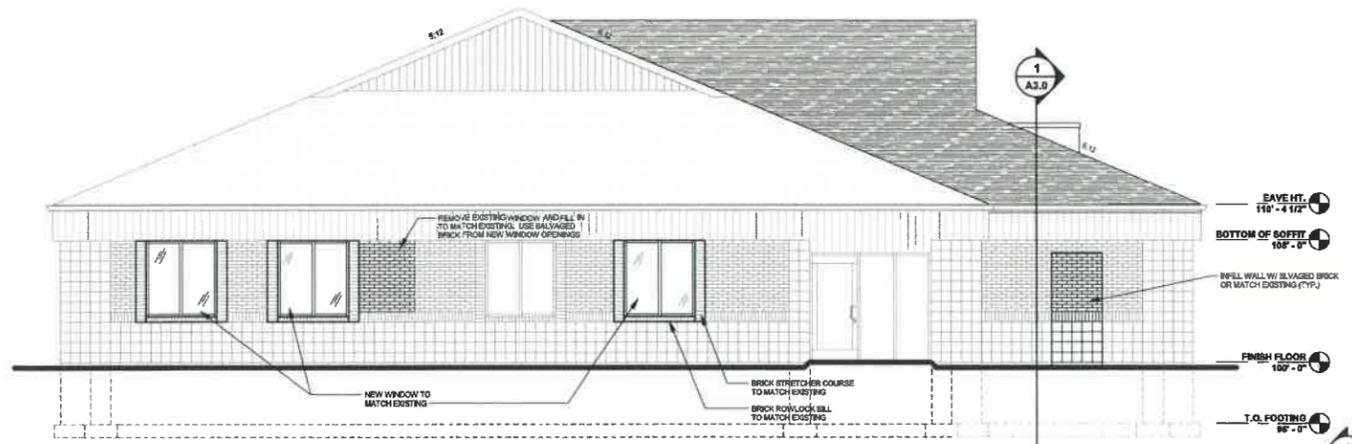
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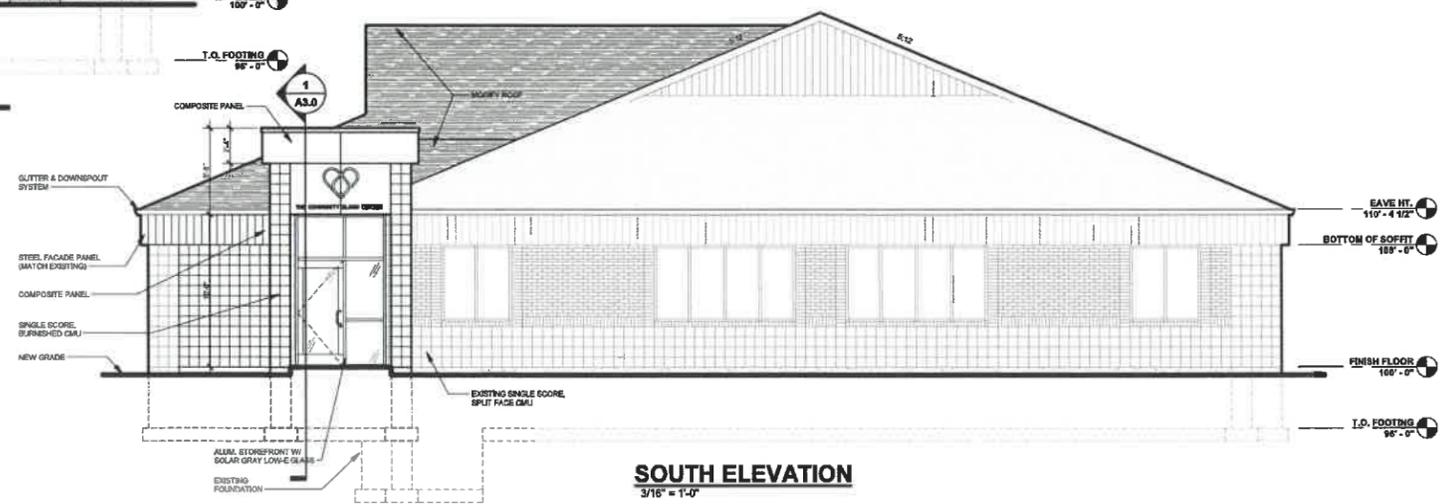
EAST ELEVATION
 3/16" = 1'-0"



WEST ELEVATION
 3/16" = 1'-0"



NORTH ELEVATION
 3/16" = 1'-0"



SOUTH ELEVATION
 3/16" = 1'-0"

PROPOSED ADDITION & REMODEL FOR:
THE COMMUNITY BLOOD CENTER
APPLETON, WISCONSIN

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REVISIONS		
1	04.07.2020	A.C.M.
2	05.12.2020	J.R.S.
3	06.12.2020	J.R.S.
4		
5		
6		

PROJECT MANAGER:
 W. ZULEGER

DESIGNER:
 R. LINDSTROM

DRAWN BY:
 J.R.S.

EXPEDITOR:

SUPERVISOR:

PRELIMINARY NO.:
 P20009

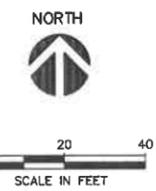
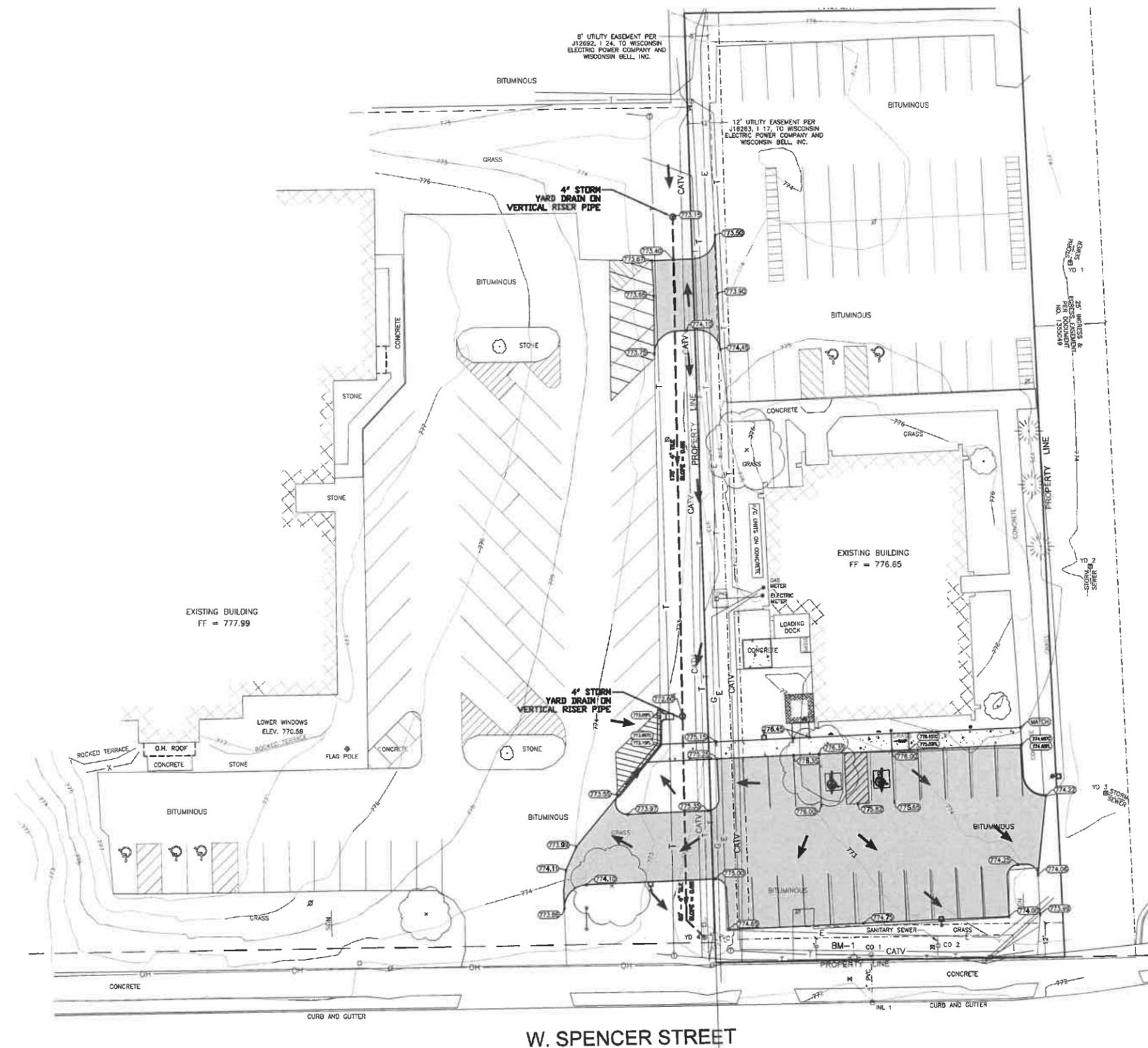
CONTRACT NO.:

DATE:
 01.09.2020

SHEET:
A2.0

PRELIMINARY - NOT FOR CONSTRUCTION

DRAINAGE PLAN



- ### DRAINAGE PLAN NOTES
- THE LOCATION OF EXISTING UTILITY FACILITIES AS SHOWN ON THE PLAN ARE APPROXIMATE. THERE MAY BE OTHER UTILITIES WITHIN THE PROJECT AREA THAT ARE NOT SHOWN. THE CONTRACTOR SHALL HAVE ALL FACILITIES LOCATED PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF A CONFLICT WITHIN THE WORK IS DISCOVERED.
 - ALL WORK UNDER THIS CONTRACT SHALL BE DONE IN ACCORDANCE WITH THE TOWN OF GRAND CHUTE STANDARD SPECIFICATIONS.
 - THE CONTRACTOR AND/OR OWNER SHALL NOT PROCEED WITH CONSTRUCTION ACTIVITIES UNTIL APPROPRIATE PERMITS/APPROVALS ARE OBTAINED.
 - THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL NECESSARY PERMITS FOR CONSTRUCTION.
 - THE CONTRACTOR SHALL CLEAN UP ALL EXCESS MATERIAL AND DEBRIS CAUSED AS A RESULT OF WORK UNDER THIS CONTRACT.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL DAMAGE RESULTING FROM THE PERFORMANCE OF THE WORK UNDER THIS CONTRACT.
 - CONTRACTOR SHALL DISPOSE OF NON-SUITABLE MATERIAL OFF-SITE.

DRAINAGE PLAN LEGEND

	EXISTING CONTOUR		PROP F/L ELEVATION
	PROPOSED CONTOUR		PERTINENT DITCH OR SWALE ELEVATION
	STORM SEWER MAIN		EXISTING ELEVATION
	STORM MANHOLE		PROPOSED FIRST FLOOR ELEVATION
	2' x 3' PRECAST STORM INLET		DIRECTION OF DRAINAGE

DIGGERS HOTLINE

TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

CALL 811 or
Toll Free 1-800-242-8511
(262)432-7910
Emergency Only (877) 500-9592
FAX 1-800-338-3860
FAX (414) 259-0947
Hearing Impaired TDD 1-800-542-2289

WIS. STATUTE 182.0175 (1974)
REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE

TOPOGRAPHIC LEGEND

	1" x 18" IRON PIPE SET		OVERHEAD POWER LINES		GAS VALVE
	1-1/4" x 30" REBAR SET		UNDERGROUND ELECTRIC		EXIST STORM MANHOLE
	CHISELED "Y" SET		UNDERGROUND TELEPHONE		STORM INLET
	3/4" REBAR FOUND		FIBER- UNDERGROUND FIBEROPTIC		YARD DRAIN
	1" IRON PIPE FOUND		UNDERGROUND GAS		EXIST SANITARY MANHOLE
	1-1/4" REBAR FOUND		CATV- UNDERGROUND CABLE TV		EXIST SAN. SEWER
	2" IRON PIPE FOUND		EXIST. FENCE LINE		EXIST. STD. SEWER
	CHISELED "X" FOUND		IRON		EXIST. WATER MAIN
	GOVERNMENT CORNER		POWER POLE		EXIST. SPOT ELEVATION
	RECORDED AS		GUY		CONTOUR W/ ELEVATION
	CONIFEROUS TREE		LIGHT POLE		000.000 EXIST. TOP OF CURB ELEV.
	DECIDUOUS TREE		ELECTRIC PEDESTAL		000.000 EXIST. FLOW LINE ELEV.
	EXIST. WOODS LINE		CABLE PEDESTAL		FF = 000.000 FIRST FLOOR = 000.000
	WETLANDS		EXIST. HYDRANT		DEPTH
	SOIL BORING		WATER VALVE		INFILTRATION SOIL BORING

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Phone (608)445-2245

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Phone (715)849-3141
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PROPOSED FOR:
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 GRAND CHUTE
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REVISIONS

PROJECT MANAGER: **W ZULEGER**

DESIGNER: **J RICHESON**

DRAWN BY: **J RICHESON**

EXPEDITOR: **X**

SUPERVISOR: **X**

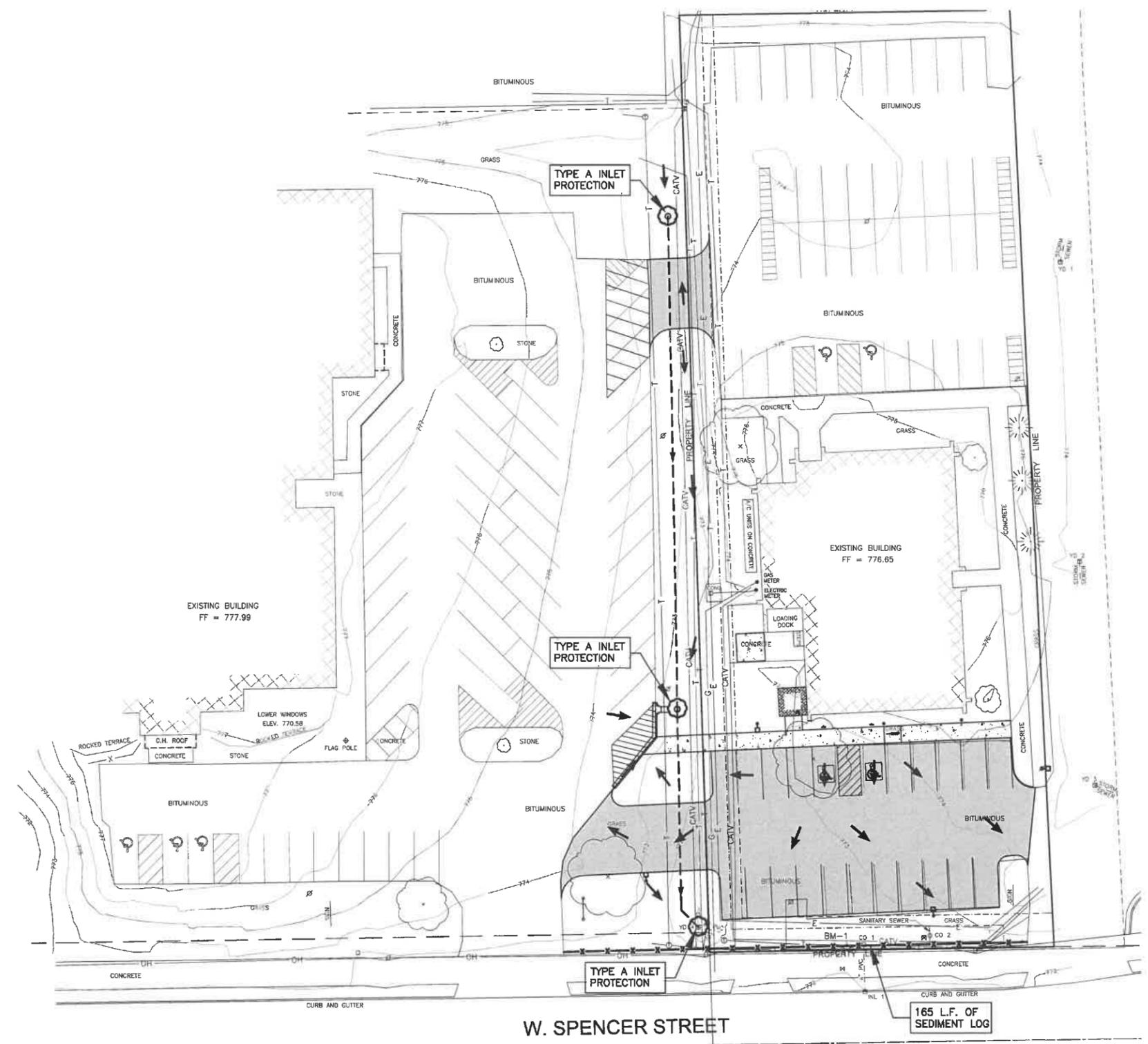
PRELIMINARY NO: _____

CONTRACT NO: **74036**

DATE: **6/8/2020**

SHEET: **C1.3**

EROSION CONTROL PLAN



EROSION CONTROL PLAN KEY LEGEND	
	1 SILTY FENCE
	2 TRACKING PROTECTION
	3 INLET PROTECTION TYPES A, B, C, & D
	4 INLET PROTECTION TYPE D-M
	5 INLET PROTECTION TYPE D-HR
	6 SANDBAG CULVERT PIPE DITCH CHECK
	7 DEWATERING DETAIL
	8 EROSION CONTROL MAT DETAIL (CLASS 2, TYPE A)
	9 EROSION CONTROL MAT DETAIL (CLASS 1, TYPE B)
	10 SEDIMENT LOG INLET PROTECTION
	11 SEDIMENT LOG CHANNEL DITCH CHECK

- GENERAL NOTES**
- SITE DEWATERING: WATER PUMPED FROM THE SITE SHALL BE TREATED BY TEMPORARY SEDIMENTATION BASINS OR OTHER APPROPRIATE CONTROLS DESIGNED FOR THE HIGHEST DEWATERING PUMPING RATE. WATER MAY NOT BE DISCHARGED IN A MANNER THAT CAUSES EROSION OF THE SITE OR RECEIVING CHANNELS.
 - WASTE AND MATERIAL DISPOSAL: ALL WASTE AND UNUSED BUILDING MATERIALS (INCLUDING GARBAGE, DEBRIS, CLEANING WASTES, WASTEWATER, TOXIC MATERIALS OR HAZARDOUS MATERIALS) SHALL BE PROPERLY DISPOSED OF AND NOT ALLOWED TO BE CARRIED BY RUNOFF INTO A RECEIVING CHANNEL OR STORM SEWER SYSTEM.
 - TRACKING: THIS SITE SHALL STABILIZE THE EXISTING DRIVE WITH 3" TO 6" (12" THICK) CLEAR AGGREGATE SUFFICIENT TO PREVENT SEDIMENT FROM BEING TRACKED ONTO PUBLIC OR PRIVATE ROADWAYS AS APPROVED BY THE DIRECTOR. ANY SEDIMENT REACHING A PUBLIC OR PRIVATE ROAD SHALL BE REMOVED BEFORE THE END OF EACH WORK DAY. FLUSHING MAY NOT BE USED UNLESS THE SEDIMENT WILL BE CONTROLLED BY A SEDIMENT TRAP, SEDIMENT BASIN OR EQUIVALENT. TRACKING PAD DIMENSIONS ARE SHOWN ON THE EROSION CONTROL PLAN (24'X50' MIN).
 - DRAIN INLET PROTECTION: ALL ON-SITE STORM DRAIN INLETS AND THE IMPACTED DOWNSTREAM INLETS SHALL BE PROTECTED WITH THE CATCH-ALL CONFIGURATION. OFF-SITE CULVERTS SHALL BE PROTECTED WITH SAND BAG CULVERT CHECKS.
 - SEDIMENT CLEANUP: ALL OFF-SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF A STORM EVENT SHALL BE CLEANED UP BY THE END OF THE NEXT WORK DAY. ALL OTHER OFF-SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF LAND DISTURBING ACTIVITIES SHALL BE CLEANED UP BY THE END OF THE WORK DAY.
 - DISTURBANCE TIMING: ALL ACTIVITIES ON THE SITE SHALL BE CONDUCTED IN A LOGICAL SEQUENCE TO MINIMIZE THE AREA OF BARE SOIL EXPOSED AT ANY ONE TIME. EXISTING VEGETATION SHALL BE MAINTAINED AS LONG AS POSSIBLE.

TOPOGRAPHIC LEGEND			
	1" x 1/4" IRON PIPE SET		GAS VALVE
	1-1/4" x 30" REBAR SET		EXIST. STORM MANHOLE
	CHISELED "X" SET		1/2" DRAIN
	3/4" REBAR FOUND		1" DRAIN
	1" IRON PIPE FOUND		1-1/4" DRAIN
	1-1/4" REBAR FOUND		2" DRAIN
	2" IRON PIPE FOUND		CHISELED "X" FOUND
	CHISELED "X" FOUND		CONDIMENT CORNER
	CONDIMENT CORNER		RECORDED AS
	RECORDED AS		CONIFEROUS TREE
	DECIDUOUS TREE		EXIST. WOODS LINE
	EXIST. WOODS LINE		WETLANDS
	WETLANDS		SOIL BORING
	SOIL BORING		OVERHEAD POWER LINES
	OVERHEAD POWER LINES		UNDERGROUND ELECTRIC
	UNDERGROUND ELECTRIC		UNDERGROUND TELEPHONE
	UNDERGROUND TELEPHONE		UNDERGROUND FIBEROPTIC
	UNDERGROUND FIBEROPTIC		UNDERGROUND GAS
	UNDERGROUND GAS		UNDERGROUND CABLE TV
	UNDERGROUND CABLE TV		EXIST. FENCE LINE
	EXIST. FENCE LINE		SPOT ELEVATION
	SPOT ELEVATION		CONTOUR W/ ELEVATION
	CONTOUR W/ ELEVATION		EXIST. TOP OF CURB ELEV.
	EXIST. TOP OF CURB ELEV.		EXIST. FLOW LINE ELEV.
	EXIST. FLOW LINE ELEV.		1st FLOOR = 000.00
	1st FLOOR = 000.00		TOPSOIL DEPTH
	TOPSOIL DEPTH		INFILTRATION SOIL BORING
	INFILTRATION SOIL BORING		DUCT
	DUCT		LIGHT POLE
	LIGHT POLE		TELEPHONE PEDESTAL
	TELEPHONE PEDESTAL		ELECTRIC PEDESTAL
	ELECTRIC PEDESTAL		CABLE PEDESTAL
	CABLE PEDESTAL		EXIST. INVARIANT
	EXIST. INVARIANT		WATER VALVE
	WATER VALVE		WATER STOP BOX
	WATER STOP BOX		

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PROPOSED FOR:

COMMUNITY BLOOD CENTER

4330 WEST SPENCER STREET
GRAND CHUTE

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REVISIONS

PROJECT MANAGER: W ZULEGER

DESIGNER: J RICHESON

DRAWN BY: J RICHESON

EXPEDITOR: X

SUPERVISOR: X

PRELIMINARY NO.: _____

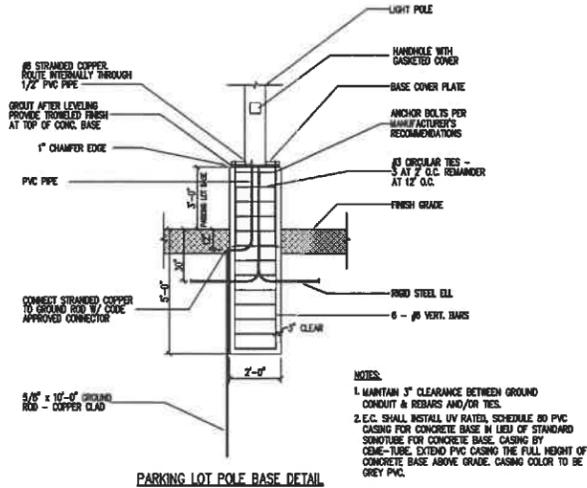
CONTRACT NO.: 74036

DATE: 6/8/2020

SHEET: C1.4

LIGHTING PLAN

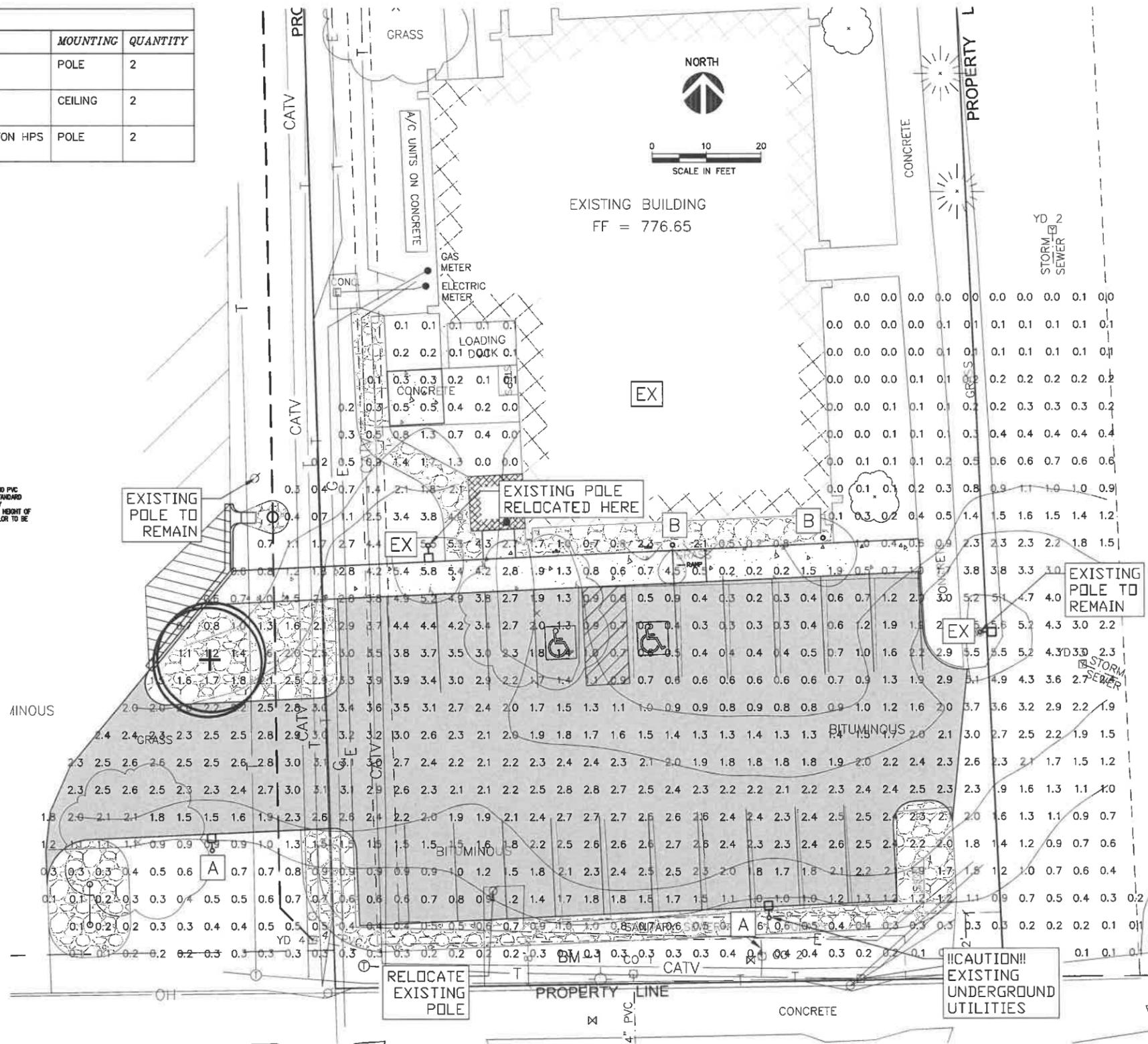
LUMINAIRE SCHEDULE				
CALLOUT	SYMBOL	DESCRIPTION	MOUNTING	QUANTITY
A	◻	HUBBELL OUTDOOR ON 20' POLE, RAR-2-320L-110--3K7-4-BC	POLE	2
B	•	HUBBELL FRESNO SQUARE 42" BOLLARD, FN1-12LU-3K-DBS	CEILING	2
EX	◻	ASSUMED EXISTING POLE - COOPER/EATON HPS LAMP ON 20' POLE TRU-15S-4F	POLE	2



NOTES:
 1. MAINTAIN 3" CLEARANCE BETWEEN GROUND CONDUIT & REBARS AND/OR TIES.
 2. E.C. SHALL INSTALL UV RATED, SCHEDULE 80 PVC CASING FOR CONCRETE BASE IN LIEU OF STANDARD SAND/TUBE FOR CONCRETE BASE. CASING BY CSME-TUBE. EXTEND PVC CASING THE FULL HEIGHT OF CONCRETE BASE ABOVE GRADE. CASING COLOR TO BE GREY PVC.

LIGHTING PLAN NOTES:

① AS PART OF ELECTRICAL BASE BID PRICE, E.C. SHALL INSTALL ALL NEW RACEWAYS AND CONDUCTORS TO FEED NEW LIGHT FIXTURES "A", "B" AND RELOCATED EXISTING POLES AS NOTED ON SITE PLAN. ALL FIXTURES SHALL BE WIRED INTO THE SAME ELECTRICAL LOOP AS THE EXISTING SITE LIGHTING SO THAT ALL LIGHTS ARE CONTROLLED BY THE EXISTING CONTROLS.



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REVISIONS

PROJECT MANAGER: W ZULEGER

DESIGNER: J RICHESON

DRAWN BY: J RICHESON

EXPEDITOR: X

SUPERVISOR: X

PRELIMINARY NO: -----

CONTRACT NO: 74036

DATE: 6/8/2020

SHEET: C1.8

**Town of Grand Chute
Certified Survey Map Review
Town of Grand Chute - Evergreen Drive extension**

To: Plan Commission

From: Robert Buckingham, Community Development Director

Date: June 30, 2020

Address: 1900 W. Grand Chute Blvd.

App. #: CSM-09-20

REQUEST

The CSM creates the dedication of right-of-way for the extension of Evergreen Drive across the southern portion of the Town Hall campus. By virtue of this street extension, two new lots are created south of the new roadway. Because of the R/W dedication, this CSM needs Plan Commission and Town Board approval.

ANALYSIS

This is the final portion of right-of-way dedication required to complete the full extension of Evergreen Drive between Grand Chute Blvd. and Orion Lane. The new Lot 1 is a buildable site that the Town could either utilize for municipal purposes or sell for private development. Lot 2 will be held in ownership by the Town and will include the existing water tower and a new stormwater pond. The CSM meets all Town requirements.

RECOMMENDATION

Staff has reviewed and supports a Plan Commission recommendation for approval of the Certified Survey Map (CSM-09-20) requested by the Town of Grand Chute, 1900 W. Grand Chute Blvd, for a two-lot CSM with roadway dedication.

PART OF LOT 1 OF CSM 3893 AS RECORDED IN VOLUME 21 OF MAPS ON PAGE 3893 AS DOCUMENT No. 1383319, LOCATED IN THE SOUTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 9, TOWNSHIP 21 NORTH, RANGE 17 EAST, TOWN OF GRAND CHUTE, OUTAGAMIE COUNTY, WISCONSIN.

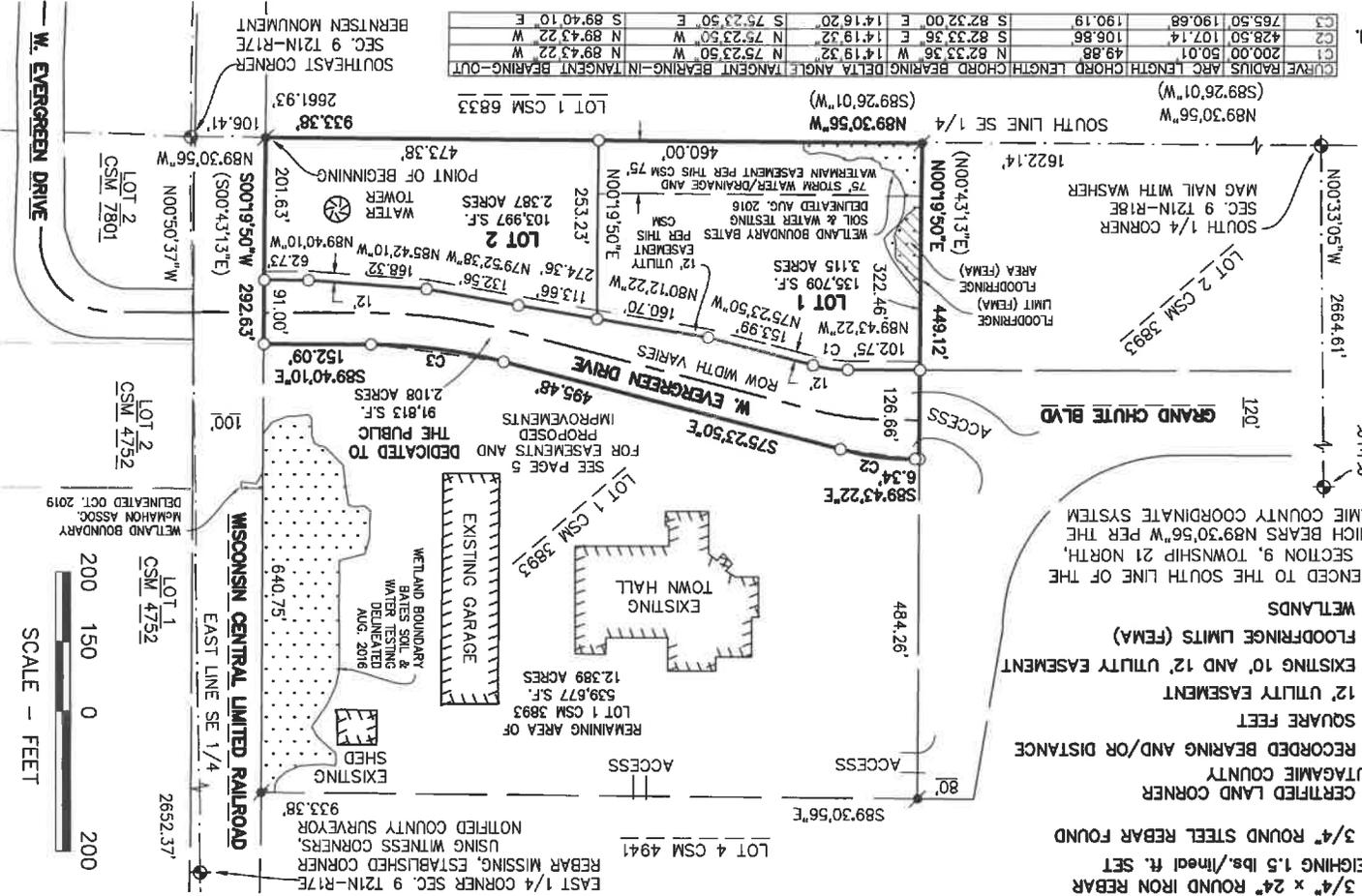
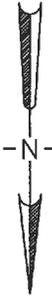
LEGEND

- - 3/4" x 24" ROUND IRON REBAR WEIGHING 1.5 lbs./lineal ft. SET
- ◊ - 3/4" ROUND STEEL REBAR FOUND
- ⊙ - CERTIFIED LAND CORNER OUTAGAMIE COUNTY
- () - RECORDED BEARING AND/OR DISTANCE
- S.F. - SQUARE FEET
- - EXISTING 10' AND 12' UTILITY EASEMENT
- - FLOODFRINGE LIMITS (FEMA)
- ▨ - WETLANDS

BEARINGS ARE REFERENCED TO THE SOUTH LINE OF THE SOUTHEAST 1/4 OF SECTION 9, TOWNSHIP 21 NORTH, RANGE 17 EAST WHICH BEARS N89°30'56"W PER THE PUBLISHED OUTAGAMIE COUNTY COORDINATE SYSTEM

CENTER 1/4 CORNER SEC. 9 T21N-R18E MAG NAIL WITH WASHER

SOUTH 1/4 CORNER SEC. 9 T21N-R18E MAG NAIL WITH WASHER



CURVE RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE	TANGENT BEARING	IN-TANGENT BEARING	OUT-TANGENT BEARING
C1	200.00	50.01	N 82°33'36" W	14°19'32"	N 75°23'50" W	N 89°43'22" W	N 89°43'22" W
C2	428.50	107.14	S 82°33'36" E	14°19'32"	N 75°23'50" W	N 89°43'22" W	N 89°43'22" W
C3	765.50	190.68	S 82°32'00" E	14°16'20"	S 75°23'50" E	S 89°40'10" E	S 89°40'10" E

FOR: -Town of Grand Chute
 -1900 W. Grand Chute Blvd
 -Grand Chute, WI 54913
 -PHONE: (920) 832-6050

DRAFTED BY: DAVID W. JOHNSON

PART OF LOT 1 OF CSM 3893 AS RECORDED IN VOLUME 21 OF MAPS ON PAGE 3893 AS DOCUMENT NO. 1383319, LOCATED IN THE SOUTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 9, TOWNSHIP 21 NORTH, RANGE 17 EAST, TOWN OF GRAND CHUTE, OUTAGAMIE COUNTY, WISCONSIN.

SURVEYOR'S CERTIFICATE

I, Douglas E. Woelz, Wisconsin Professional Land Surveyor S-2327, certify that I have surveyed, divided and mapped part of Lot 1 of Certified Survey Map (CSM) 3893, as recorded in Volume 21 of Maps on Page 3893 as Document No. 1383319, located in the Southeast 1/4 of the Southeast 1/4 of Section 9, Township 21 North, Range 17 East, Town of Grand Chute, Outagamie County, Wisconsin containing 331,519 square feet (7.611 acres) of land and described as follows:

Commencing at the Southeast corner of said Section 9;
 Thence N89°30'56"W, 106.41 feet (S89°26'01"W, 106.38') along the South line of said Section 9 to the West right-of-way line of the Wisconsin Central limited Railroad, the Southeast corner of Lot 1 of CSM 3893 and the Point of Beginning;
 Thence continue N89°30'56"W, 933.38 feet along the South line of said Lot 1 of CSM 3893 to the Southwest corner thereof;
 Thence N00°19'50"E, 449.12 feet along the West line of Lot 1 of CSM 3893;
 Thence S89°43'22"E, 6.34 feet;
 Thence 107.14 feet along the arc of a 428.50 foot radius curve to the right having a chord of S82°33'36"E, 106.86 feet;
 Thence S75°23'50"E, 495.48 feet;
 Thence 190.68 feet along on the arc of a 765.50 foot radius curve to the left having a chord of S82°32'00"E, 190.19 feet;
 Thence S89°40'10"E, 152.09 feet to the West right-of-way line of the Wisconsin Central Limited Railroad and the East line of Lot 1 of CSM 3893;
 Thence S00°19'50"W, 292.63 along said line to the Point of Beginning.

That I have made this survey by the direction of the Owners of said Land.

I further certify that this map is a correct representation of the exterior boundary lines of the land surveyed and the division of that land, and that I have complied with section 236.34 of the Wisconsin Statutes, the Town of Grand Chute Subdivision Ordinance, and the Outagamie County Subdivision Ordinance in surveying, dividing and mapping the same.

Given under my hand and seal this _____ day of _____, 20____.

 Douglas E. Woelz, Professional WI land Surveyor S-2327

NOTES

- This CSM is all of Parcel ID, 10-1-0330-01
- The property owner of record is, Town of Grand Chute
- This property is contained wholly within lands described in Document No. 1308885.

McMAHON
 ENGINEERS ARCHITECTS

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 1445 McMAHON DRIVE NEENAH, WI 54956
 Mailing: P.O.BOX 1025 NEENAH, WI 54957-1025
 PH 920.751.4200 FX 920.751.4284 MCMGRP.COM

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DETAIL MAP

