



**PLAN COMMISSION AGENDA**  
Tuesday, September 17, 2019 - 6:00 pm  
Town Hall - 1900 W. Grand Chute Blvd.

1. Roll Call.
2. Pledge of Allegiance.
3. Approval of Agenda.
4. Approval of Minutes – September 3, 2019 meeting.
5. Public Input.
6. Community Development Director's Report.
7. **Neighborhood Information Meeting #1** – Conditional Use Permit (CUP-15-19) requested by Michael S. Berg and Allison E. Berg, 5145 W. Century Farm Boulevard to allow grading and filling within the Shoreland Zoning District. **Action:** Hear testimony/close meeting.
8. **Conditional Use Permit (CUP-15-19)** – Request by Michael S. Berg and Allison E. Berg, 5145 W. Century Farm Boulevard to allow grading and filling within the Shoreland Zoning District. **Action:** Recommend approval/denial of CUP-15-19. (TOWN BOARD ACTION 10/1/2019)
9. **Public Hearing #1** – Special Exception Permit (SE-13-19) requested by Guggenheim Development Services LLC, dba Jiffy Lube, 3203 W. College Avenue, for operation of an automotive service business. **Action:** Hear testimony/close hearing.
10. **Special Exception Permit (SE-13-19)** – Request by Guggenheim Development Services LLC, dba Jiffy Lube, 3203 W. College Avenue, for operation of an automotive service business. **Action:** Recommend approval/denial of SE-13-19. (TOWN BOARD ACTION 10/1/2019)
11. **Site Plan (SP-19-19)** – Request by Guggenheim Development Services LLC, dba Jiffy Lube, 3203 W. College Avenue, for construction of a new commercial building and associated site improvements. **Action:** Approve/deny SP-19-19.
12. **Public Hearing #2** – Special Exception Permit (SE-14-19) requested by Fore Dreams LLC, dba Culver's, 850 W. Evergreen Drive, for operation of an electronic message center sign. **Action:** Hear testimony/close hearing.
13. **Special Exception Permit (SE-14-19)** – Request by Fore Dreams LLC, dba Culver's, 850 W. Evergreen Drive, for operation of an electronic message center sign. **Action:** Recommend approval/denial of SE-14-19. (TOWN BOARD ACTION 9/17/2019)
14. **Site Plan Amendment (SPA1-22-18)** – Request by Fore Dreams LLC, dba Culver's, 850 W. Evergreen Drive, for installation of a monument sign, including an electronic message center. **Action:** Approve/deny SPA1-22-18.
15. **Special Exception Amendment (SEA2-24-17)** – Request by Greene Development Appleton, LLC, 3810 W. Wisconsin Avenue, for approval of Amendment No. 2 to the Greene Development PUD, updating site development plans and site signage plans. **Action:** Recommend approval/denial of SEA2-24-17. (TOWN BOARD ACTION 10/1/2019)

16. **Public Hearing #3** – Special Exception (SE-15-19) requested by Greene Development Appleton, LLC, 3850 W. Wisconsin Avenue, to allow a sign with a size and height bonus as permitted in Ch. 535-59 and Ch. 535-108 of the Town of Grand Chute Municipal Code. **Action:** Hear testimony/close hearing.
17. **Special Exception Permit (SE-15-19)** – Request by Greene Development Appleton, LLC, 3850 W. Wisconsin Avenue, to allow a sign with a size and height bonus as permitted in Ch. 535-59 and Ch. 535-108 of the Town of Grand Chute Municipal Code. **Action:** Recommend approval/denial of SE-15-19. (TOWN BOARD ACTION 10/1/2019)
18. **Site Plan Amendment (SPA1-10-19)** – Request by Greene Development Appleton, LLC, 3850 W. Wisconsin Avenue, for installation of a pylon sign. **Action:** Approve/deny SPA1-10-19.
19. **Public Hearing #4** – Special Exception Permit (SE-16-19) requested by Casey’s Marketing Company, dba Casey’s General Store, 100 W. Northland Avenue, for operation of an automotive fueling station and convenience store. **Action:** Hear testimony/close hearing.
20. **Special Exception Permit (SE-16-19)** - Request by Casey’s Marketing Company, dba Casey’s General Store, 100 W. Northland Avenue, for operation of an automotive fueling station and convenience store. **Action:** Recommend approval/denial of SE-16-19. (TOWN BOARD ACTION 10/1/2019)
21. **Site Plan (SP-21-19)** – Request by Casey’s Marketing Company, dba Casey’s General Store, 100 W. Northland Avenue, for construction of an automotive fueling station, convenience store, and associated site improvements. **Action:** Approve/deny SP-21-19.
22. **Site Plan (SP-20-19)** – Request by Griffin Builders, Inc., 704 N. Perkins Street, for construction of a commercial storage building and associated site improvements. **Action:** Approve/deny SP-20-19.
23. **Site Plan Amendment (SPA1-03-08)** – Request by Community Blood Center, Inc., dba The Community Blood Center, 4406 W. Spencer Street, for construction of cooler/freezer building additions and associated site improvements. **Action:** Approve/deny SPA1-03-08.
24. **Site Plan Amendment (SPA3-04-17)** – Request by Waldoch Properties LLC, dba Waldoch Properties, 600 N. Mayflower Drive, for installation of a monument sign. **Action:** Approve/deny SPA3-04-17.
25. **Certified Survey Map (CSM-17-19)** – Request by Outagamie County for approval of a two-lot CSM with roadway dedication at property located in the 2200 & 2300 blocks of N. Lynndale Drive. **Action:** Recommend approval/denial of CSM-17-19. (TOWN BOARD ACTION 10/1/2019)
26. Adjournment.

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**Public Notice:** Agendas are posted in the following locations: Town Hall bulletin boards & Town website [www.grandchute.net](http://www.grandchute.net) 2015 Wisconsin Act 79 allows the publication of certain legal notices on an Internet site maintained by a municipality. This law allows these types of legal notices to be posted in one physical location in the jurisdiction (instead of three) if also placed on an Internet site maintained by the local government.

**Special Accommodations:** Requests from persons with disabilities who need assistance to participate in this meeting should be made to the Clerk’s Office at (920-832-5644) with at least 24-hour notice.

**Notice of Possible Quorum:** A quorum of the Town Board, Sanitary Districts, Board of Review, Community Development Authority, Licensing Committee, Parks Commission, Joint Review Board, Zoning Board of Appeals and/or Police and Fire Commission may be present at this meeting for the purpose of gathering information and possible discussion on items listed on this agenda. However, unless otherwise noted in this agenda, no official action by the Town Board, Sanitary Districts, Board of Review, Community Development Authority, Licensing Committee, Parks Commission, Joint Review Board, Zoning Board of Appeals and/or Police and Fire Commission will be taken at this meeting.

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## GRAND CHUTE PLAN COMMISSION MINUTES

September 3, 2019

Members Present: Chairman Dave Schowalter, Commissioners Robert Stadel, Bruce Sherman, Julie Hidde, John Weber, Duane Boeckers, Cheryl Ulrich. Members Absent: Commissioner Pam Crosby

Also Present: James March, Town Administrator; Eric Davidson, Town Board Supervisor; Brent Braun, IT Director; Katie Schwartz, Public Works Director; Karen Heyrman, Deputy Public Works Director; Robert Buckingham, Community Development Director; Michael Patza, Town Planner; Tyler DeBruin, GIS/Utility Technician; Tracy Olejniczak, Administrative Assistant; interested parties (audience attendance = 1)

1. **ROLL CALL**

Chairman Schowalter opened the meeting at 6:00 p.m.

2. **PLEDGE OF ALLEGIANCE**

3. **APPROVAL OF AGENDA**

**Motion (Sherman/Boeckers) to approve the agenda.** Motion carried, all voting aye.

4. **APPROVAL OF MINUTES** – AUGUST 20, 2019 MEETING.

**Motion (Hidde/Sherman) to approve the minutes.** Motion carried, all voting aye.

5. **PUBLIC INPUT** – There was no public input.

6. **COMMUNITY DEVELOPMENT DIRECTOR'S REPORT**

Director Buckingham introduced Tyler DeBruin, who was recently hired as GIS/Utility Technician. Technician DeBruin described some of the projects he is currently working on.

7. **SITE PLAN AMENDMENT (SPA1-00-99)** – REQUEST BY LIMITLESS POSSIBILITIES LLC, 302 S. BLUEMOUND DRIVE, FOR INSTALLATION OF A NON-ILLUMINATED MONUMENT SIGN.

**Motion (Sherman/Hidde) to approve the Site Plan Amendment (SPA1-00-99) requested by Limitless Possibilities LLC, 302 S. Bluemound Drive, for installation of a monument sign.** Motion carried, all voting aye.

8. **CERTIFIED SURVEY MAP (CSM-18-19)** – REQUEST BY CYPRESS HOMES, INC., 1735 W. EVERGREEN DRIVE, FOR APPROVAL OF A THREE-LOT CSM WITH ROADWAY DEDICATION.

Director Buckingham noted that this is for division of the former golf driving range, which includes dedication of right-of-way for the extension of W. Evergreen Drive to the CN railroad tracks. From there, the road will be extended to intersect with W. Grand Chute Blvd.

**Motion (Stadel/Boeckers) to recommend approval of Certified Survey Map (CSM-18-19) requested by Cypress Homes, Inc., for a three-lot CSM with roadway dedication at 1735 W. Evergreen Drive.** Motion carried, all voting aye.

9. **ADJOURNMENT.**

**Motion (Sherman/Boeckers) to adjourn the meeting at 6:09 p.m.** Motion carried, all voting aye.

Respectfully Submitted,

Tracy Olejniczak/BB  
Com. Dev. Admin. Asst.

**Town of Grand Chute  
Conditional Use Permit Application Review  
Michael S. Berg and Allison E. Berg**

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**To:** Plan Commission  
**From:** Michael Patza, Town Planner  
**Date:** September 10, 2019  
**Address:** 5145 W. Century Farm Boulevard **App. #: CUP-15-19**

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**REQUEST**

Applicant has built a single-family home on this property. Final grading and filling work is necessary within the Shoreland Zoning District. Consequently, a County Conditional Use Permit is required.

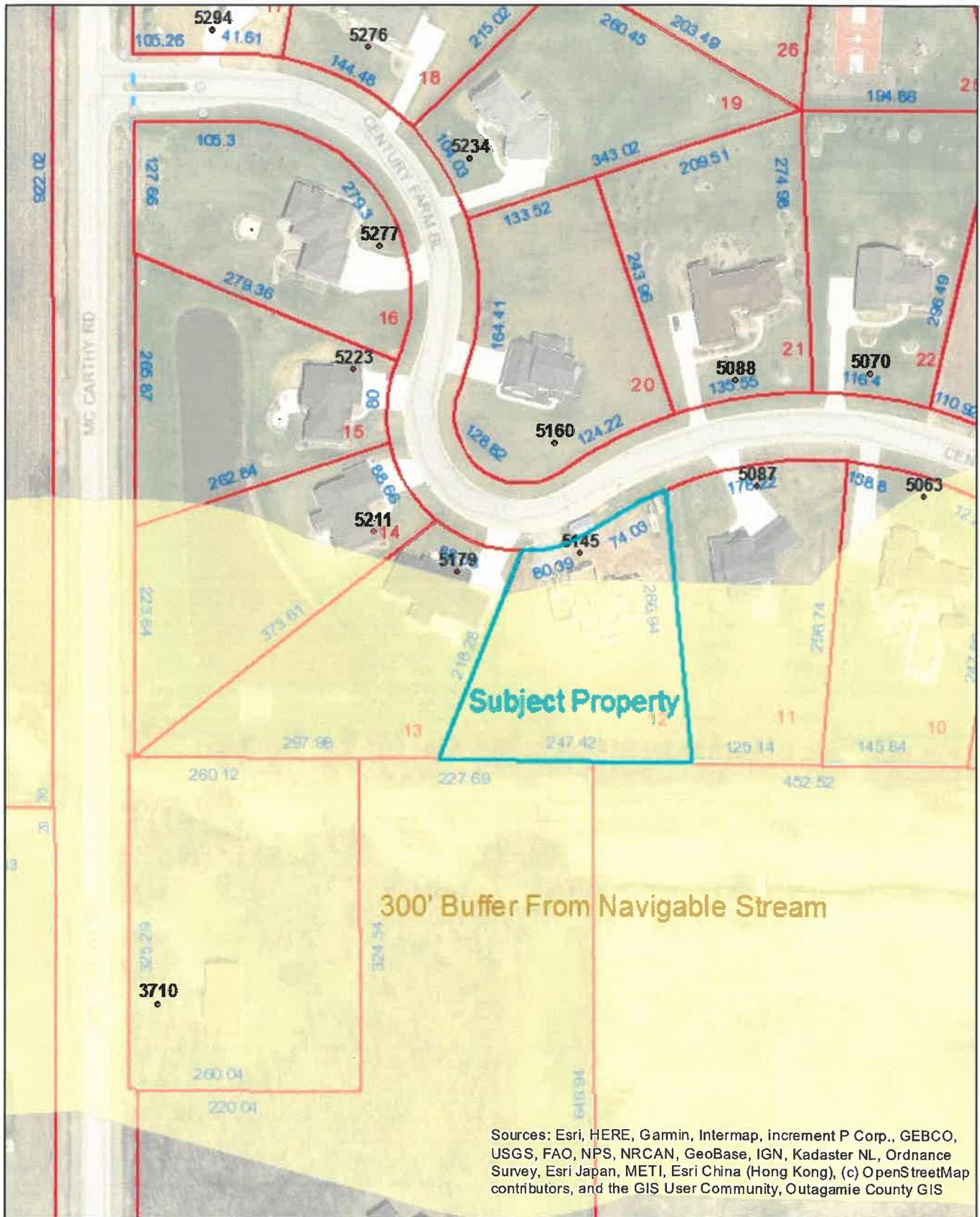
**ANALYSIS**

This property is a platted lot within the Century Farm Estates subdivision. To complete final grading and comply with the approved Drainage Plan, additional work is required within 300' of the navigable stream to the south. There are no regulatory floodplains associated with the stream and no wetlands on the subject property. Standard erosion control measures and best management practices will be followed during this project.

**RECOMMENDATION**

Staff has reviewed and supports a Plan Commission recommendation for approval of the Conditional Use Permit (CUP-15-19) requested by Michael S. Berg and Allison E. Berg, 5145 W. Century Farm Boulevard, to allow grading and filling within the Shoreland Zoning District.

# CUP-15-19 -- 5145 W. Century Farm Blvd.



Sources: Esri, HERE, Gamin, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), (c) OpenStreetMap contributors, and the GIS User Community, Outagamie County GIS

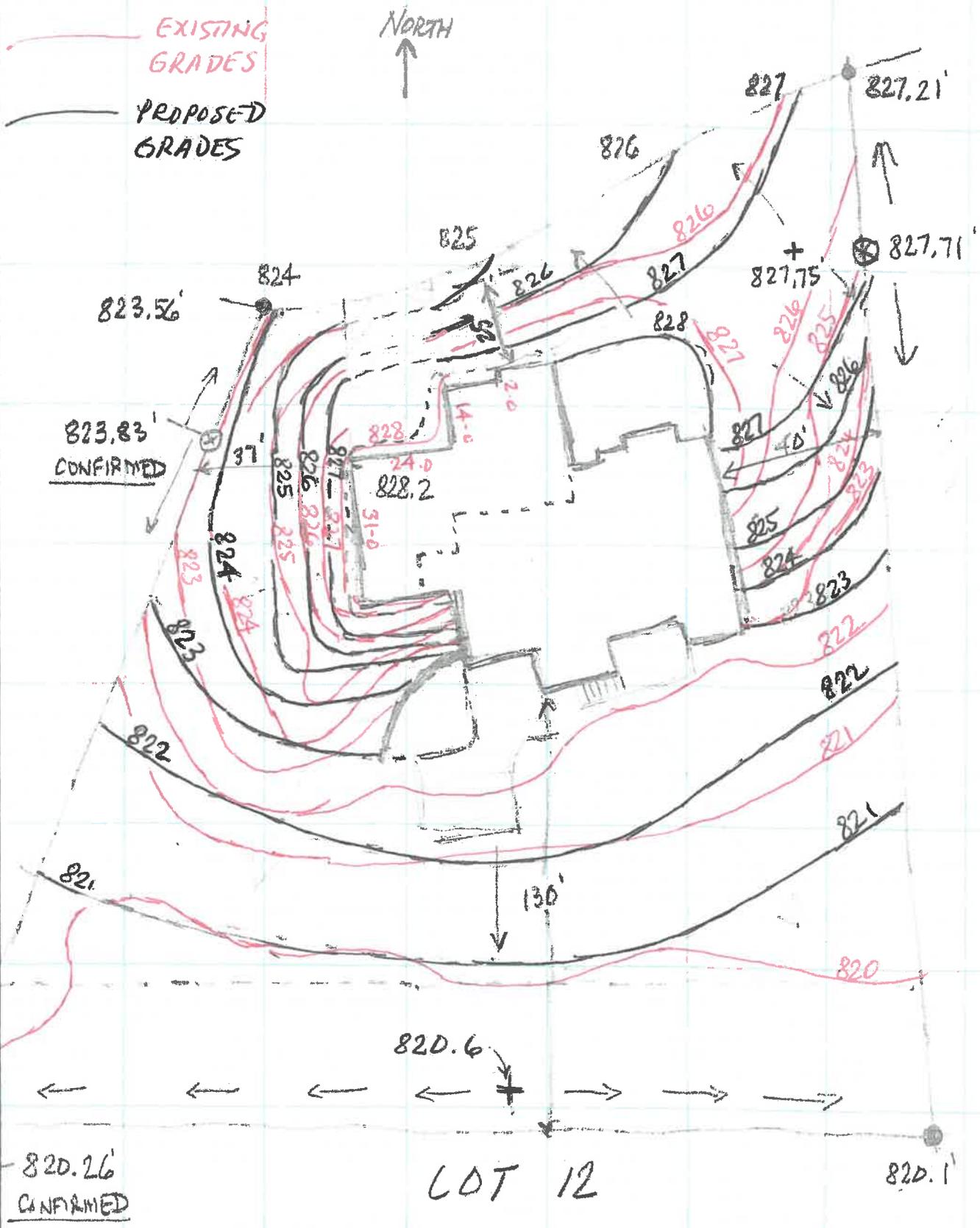
**Disclaimer:** The data provided in the Town of Grand Chute Interactive GIS Map was generated from multiple sources and agencies. Every effort has been made to offer the most accurate data. However, the Town provides this information with the understanding that it is not guaranteed to be accurate, correct, or complete. The Town may make improvements to the Interactive GIS Map periodically. Conclusions drawn from this information are the responsibility of the user. The user agrees that the Town of Grand Chute shall not be held responsible for actions, claims, damages, or judgments made from this data.

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CLIENT MIKE BERG  
 PROJECT 5145 CENTURY FARM BLVD

PROJ. NO. \_\_\_\_\_  
 SKETCH NO. \_\_\_\_\_  
 SHEET NO. 1 OF 3  
 BY/DATE \_\_\_\_\_  
 CHKD. BY/DATE \_\_\_\_\_  
 OFFICE \_\_\_\_\_



**RUNOFF SUMMARY:**

**Table 1: Pre-Development Conditions**

Basin	Area (Ac)	CN	Tc (hr)
Existing Northwest Basin	3.95	71.0	0.78
Existing North Basin	10.80	73.0	0.65
Existing South Basin	25.02	72.2	0.81
Offsite Drainage Area	17.80	71.0	0.75

**Table 2: Post-Development Conditions**

Basin	Area (Ac)	CN
Northwest Retention Basin	27.96	76.1
Southwest Retention Basin	18.19	81.4
Direct Runoff	12.41	76.8

**Table 3: Pre-Development Peak Flow Rates**

Basin	24-hour Rainfall Event			
	2-Year (cfs)	10-Year (cfs)	25-Year (cfs)	100-Year (cfs)
Existing Northwest Basin	0.95	2.95	N/A	6.78
Existing North Basin	3.61	10.70	N/A	20.10
Existing South Basin	8.85	19.96	N/A	38.12
Offsite Drainage Area	4.28	13.24	N/A	26.58
Total	11.38	32.80	N/A	63.40

**Table 4: Post-Development Peak Flow Rates**

Basin	24-hour Rainfall Event, w/ Detention, w/ Detention			
	2-Year (cfs)	10-Year (cfs)	25-Year (cfs)	100-Year (cfs)
Northwest Retention Basin	0.55 (0.51)	3.01 (4.89)	N/A	31.44 (46.20)
Southwest Retention Basin	0.39 (17.25)	5.40 (36.06)	N/A	6.58 (59.50)
Direct Runoff	6.73	16.66	N/A	29.72
Total	6.63	16.66	N/A	46.90

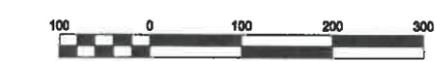
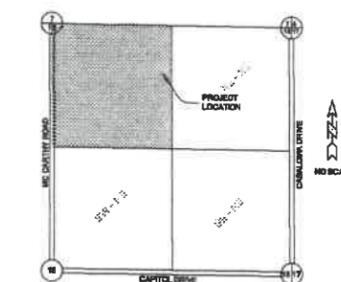
**Table 5: Northwest Retention Basin**

Storm	Peak Discharge (cfs)	Storage (ac-ft)	Pool Elevation (feet)
2-Year	0.55	1.115	821.02
10-Year	3.01	1.888	821.90
100-Year	1.93 to Southwest basin 29.51 to road ditch	2.406	822.37

**Table 6: Southwest Retention Basin**

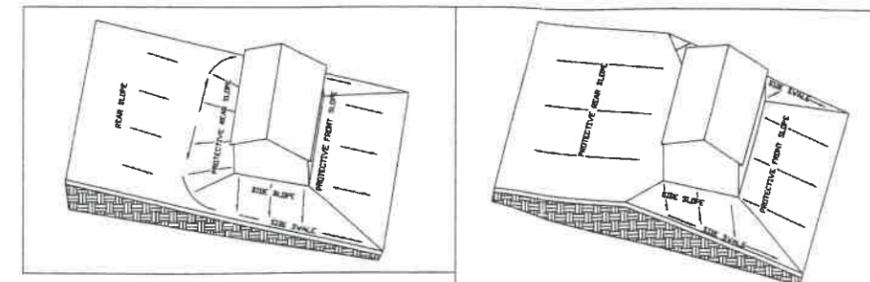
Storm	Peak Discharge (cfs)	Storage (ac-ft)	Pool Elevation (feet)
2-Year	0.39	1.505	820.35
10-Year	5.40	1.892	820.82
100-Year	6.58	2.886	821.94

**LOCATION MAP**  
 NE 1/4 Sec 18, T 21 N, R 17 E,  
 OUTAGAMIE COUNTY



**LEGEND**

Proposed Storm Sewer	Proposed Storm Manhole
Proposed Catch Basin	Proposed Curb Inlet
Proposed Easement	Prop. Catch Basin / Yard Drain
Adjacent Plot Grade	Proposed Easement
Prop. Lot Corner Elevation	Proposed Rip Rap
Proposed Setback Elev.	Prop. Drainage Direction
Existing Grade	Prop. Garage Floor Elev.
Regional Flood Elevation	



**HOUSE ELEVATIONS:**

The house elevations shall be set to provide positive drainage away from the building in all directions as shown in the above details. House elevations and driveway locations may need to vary depending on size, location, and architecture of the home. Changes to the grading plan or house elevations can be allowed only if an individual lot grading plan is prepared by a professional engineer.

**NOTES:**

- Existing utilities shown are indicated in accordance with available records and field measurements. The contractor shall be responsible for obtaining exact locations & elevations of all utilities, including sewer and water from the owners of the respective utilities. All utility owners shall be notified by the contractor 72 hours prior to excavation. Contact Digger's Hotline (1-800-242-8511) for exact utility locations.
- Silt fence shall be installed at the toe of all newly constructed fill slopes and shall be maintained until slope vegetation is established. Silt fence shall be installed prior to site grading.
- Erosion protection shall be installed around the upstream end of new culvert pipes and inlets, in accordance with Wisconsin DOT Standard Detail Drawing 8E10-2.
- Gravel access shall be provided to homes under construction.
- Tracking of mud on existing streets shall be cleaned up daily.
- Vegetation beyond slopes shall remain.
- Total area to be disturbed shall not be less than 1 acre. The contractor shall minimize the area disturbed by construction as the project is constructed. Disturbed areas shall be seeded as soon as final grade is established. Contractor shall replace topsoil and then seed, fertilize and mulch all lawn areas within 1 week of topsoil placement.
- Contractor shall remove all excess materials from the site.
- Earthwork contractors shall verify topsoil depth.
- All sediment and erosion control devices and methods shall be in accordance with the Wisconsin Construction Site Handbook and DNR Technical Standards. DNR Technical Standards shall supersede the construction site handbook as they are approved and posted on the DNR website.
- The contractor shall make weekly inspections and inspections within 1 day of any rainfall exceeding 0.5 inches of the sediment and erosion control devices throughout construction. The contractor shall repair or maintain erosion control devices as necessary. The inspection reports shall be made available to the owner at the end of the construction or upon demand during construction.
- Ground elevations adjacent to walk out basements or lower exposed windows shall be a minimum of 1 foot about regional flood elevations shown.
- The farm drain the Ron Schroeder's farm shall be found and allowed to drain into the north pond. All other enclosures south of the north pond shall involve removal and plugging of the tile.

**BENCHMARKS:**

- Elev = 822.93 Nail E. face of PP #01-11751 approx. 440' South of intersection of McCarthy and Private gravel road (gravel road is along N. prop. line.)
- Elev = 828.69 Nail in S. side of small tree approx. 667' East to intersection of McCarthy and Private gravel rd. N side of property.
- Elev = 823.13 Nail E. side of small tree approx. 1651' East of intersection of McCarthy Rd. and Private road along North line of property.
- Elev = 823.20 tag-bolt Hyd. West side of Cul-De-sac of subdivision to the East of prop. approx. 675' south of private gravel road on south prop. line.
- Elev = 821.24 Nail E. side of PP approx. 1008' South of intersection along E. R/W of McCarthy.
- Elev = 822.04 Nail in W. face PP #01-11800 2nd PP N of int. of Capital & McCarthy E. R/W McCarthy.
- Elev = 820.85 Nail in W. face PP #75-3169 of 8th PP N of int. Capital & McCarthy E. of R/W McCarthy.
- Elev = 828.70 Tag-bolt Hyd. NE corner of int. of McCarthy & Capital.
- Elev = 831.13 Nail in E. face of 2nd PP#01-10816 South of int. of Capital & McCarthy.
- Elev = 834.22 Top of Hyd. (not nut) 80'- S. of North entrance of Pierce MFG.
- Elev = 828.89 Top of Culvert E. R/W McCarthy 100' S. of S. entrance to Pierce mfg.
- Elev = 838.47 40p nail in E. face PP # 02-11492 of SW corner int. of Neuber & McCarthy.
- Elev = 835.50 "X" on Con. NE corner Quasnet hutner cluster of buildings in center of property.

**DRAINAGE PLAN CERTIFICATION:**

I, John R. Davel, Professional Engineer, hereby certify that this Drainage Plan will meet or exceed the requirements of the Outagamie County Subdivision Ordinance and the requirements of the Town of Grand Chute.

John R. Davel, P.E. E-25512 Date

9/10.

**Town of Grand Chute  
Special Exception Request  
Guggenheim Development Services LLC, dba Jiffy Lube**

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**To:** Plan Commission  
**From:** Michael Patza, Town Planner  
**Date:** September 11, 2019  
**Address:** 3203 W. College Avenue

**App. #: SE-13-19**

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**REQUEST**

- 1. Proposed Use:** Operation of an automotive service business.
- 2. Project Description:** New commercial building and associated site improvements.
- 3. Plat/CSM Accurate parcel lines/lot recorded:** Yes

**ANALYSIS**

The applicant proposes to construct and operate a new automotive service business at this location. Anticipated hours of operation will be 8:00 a.m. - 6:00 p.m. Monday-Friday, 8:00 a.m. – 5:00 p.m. Saturdays, and 10:00 a.m. – 4:00 p.m. on Sundays. The property is located east of S. Bluemound Drive, with frontage on the W. College Avenue Service Road and W. Lawrence Street. Site access will be provided from driveways on both streets. The project includes a full redevelopment of the site including a new commercial building and associated site improvements.

**FINDINGS OF FACT IN GRANTING OF A SPECIAL EXCEPTION**

- a. The establishment, maintenance or operation of the proposed Special Exception use or structure at the proposed location will not be detrimental or injurious to the use and enjoyment of existing uses on adjacent properties or properties in the vicinity. *Found.***
- b. The establishment, maintenance or operation of the proposed Special Exception use or structure, alone or in combination with other existing Special Exception uses and structures in the vicinity will not cause traffic hazards. *Found.***
- c. Adequate provision is made for surface water drainage, ingress and egress to the property, and off-street parking. *Found.***
- d. Adequate public facilities and services are available for the proposed Special Exception use of structure. *Found.***

**RECOMMENDATION**

Staff has reviewed and supports a Plan Commission recommendation for approval of the Special Exception Permit (SE-13-19) requested by Guggenheim Development Services LLC, dba Jiffy Lube, to allow the operation of an automotive service business at 3203 N. W. College Avenue.



7700 Windrose Avenue  
Suite G300  
Plano, TX 75024  
972.514.7641  
www.greenbergfarrow.com  
We Are Global

August 15, 2019

To Michael Patza  
Town of Grand Chute  
Community Development Department  
1900 W Grand Chute Blvd  
Grand Chute, WI 54913  
T: 920.832.1599  
E: [Michael.Patza@grandchute.net](mailto:Michael.Patza@grandchute.net)

Project Guggenheim/Jiffy Lube – Grand Chute, WI  
3203 W. College Avenue  
Project # 20181977.0  
Re: Project Narrative - Variance, Site Plan and  
Special Exception Review

Dear Mr. Patza, Members of the Plan Commission and Members of the Town Board:

The proposed Jiffy Lube is located at the SEQ of W. College Avenue and Bluemound Drive or specifically at 3203 W. College Avenue in the Town of Grand Chute. The subject parcel is approximately 0.63 acres in size and "currently" owned by John and Kathy Davis of Neenah, WI. The existing building will be demolished, and a new Jiffy Lube will be constructed. Guggenheim Development Services LLC intends to purchase the lot and is currently negotiating a purchase agreement with the current owners.

The subject parcel is currently zoned CL - Local Commercial which requires Special Exception approval for the proposed auto related use. The proposed Jiffy Lube will be all new construction and not require any demolition. The project will feature a 3,567 square foot service center with a 2-lane service bay, 14 stall parking lot, and a freestanding sign with an electronic message board to maintain the attractiveness to the site. A storm water detention area will not be required.

The proposed Jiffy Lube will operate Monday through Friday during the hours of 8 AM to 6 PM, Saturday during the hours of 8 AM to 5 PM, and Sunday during the hours of 10 AM to 4 PM. The maximum number of employees per shift will be 8. All storing and handling of hazardous materials will be completed as required under OSHA standards and procedures.

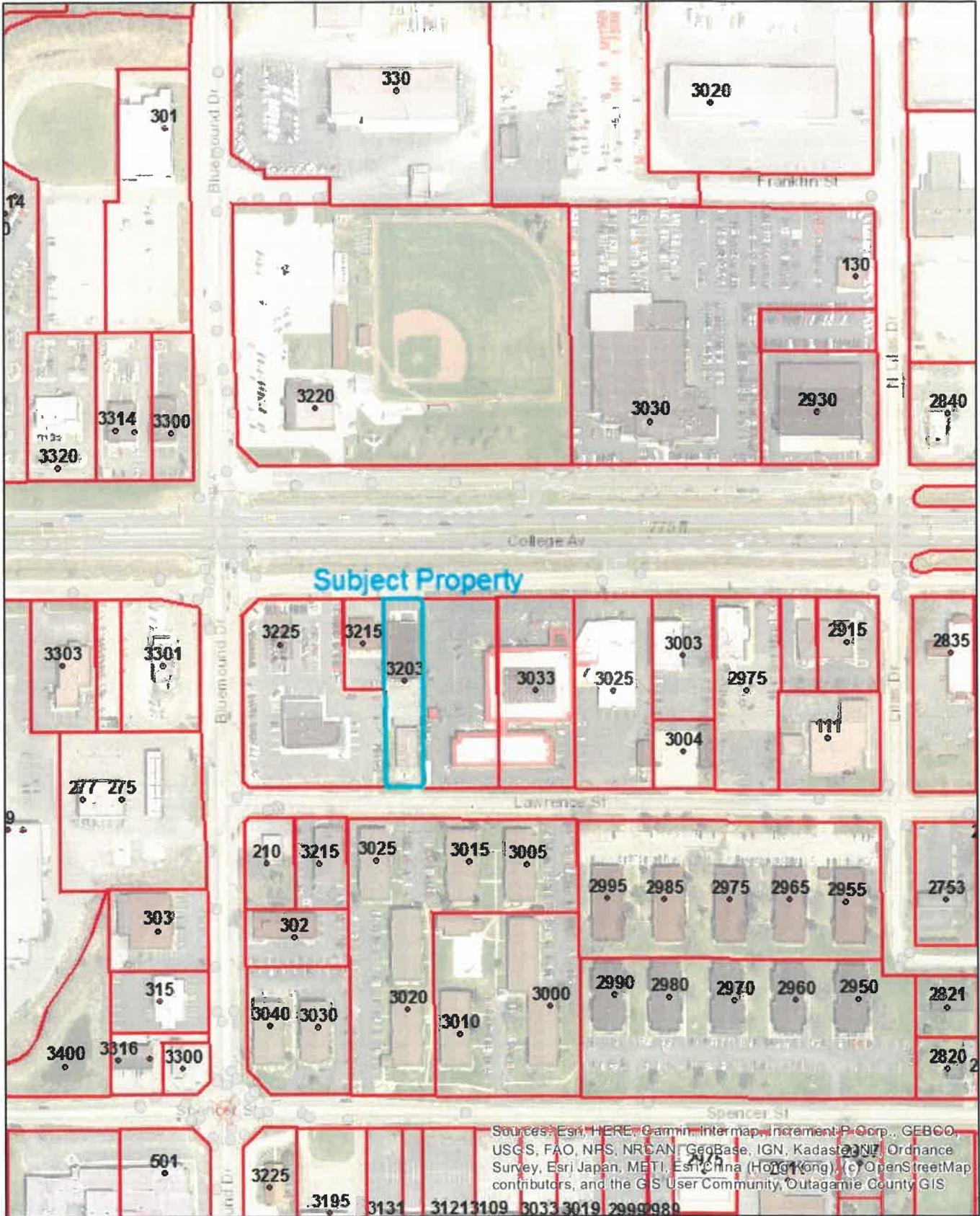


Exhibit A

Sincerely,

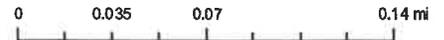
Jason Bolling  
Due Diligence Coordinator

# SE-13-19 -- 3203 W. College Avenue



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**PROJECT TEAM**

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**ISSUE/REVISION RECORD**

DATE	DESCRIPTION
02/20/19	PRELIMINARY SITE PLAN
04/26/19	PRELIMINARY SITE PLAN
04/29/19	PRELIMINARY SITE PLAN
08/05/19	PRELIMINARY SITE PLAN
08/15/19	PERMIT SET
08/28/19	REVISED SITE PLAN
09/05/19	REVISED PLANS

**PROPOSED LEGEND:**

- PROPERTY LINE
- PROPOSED CONCRETE CURB AND GUTTER
- PROPOSED REVERSE PITCH CURB AND GUTTER
- PROPOSED DEPRESSED CURB AND GUTTER
- PROPOSED PARKING STALL COUNT
- PROPOSED CONCRETE WHEEL STOP
- PROPOSED SIGN
- PROPOSED PYLON SIGN
- PROPOSED STORM SEWER STRUCTURES
- PROPOSED SANITARY SEWER STRUCTURES
- PROPOSED TRANSFORMER PAD AND STEEL BOLLARDS
- PROPOSED GAS METER
- PROPOSED ELECTRIC METER, CT CABINET AND DISCONNECT
- PROPOSED AREA LIGHT

**PAVEMENT HATCH LEGEND:**

- PROPOSED CONCRETE SIDEWALK  
5" PORTLAND CEMENT CONCRETE  
4" AGGREGATE BASE
- PROPOSED HEAVY DUTY CONCRETE  
6" PORTLAND CEMENT CONCRETE  
4" AGGREGATE BASE
- PROPOSED ASPHALT PAVEMENT  
1.5" ASPHALT SURFACE COURSE  
2.5" ASPHALT LOWER COURSE  
8" AGGREGATE BASE
- PROPOSED LANDSCAPE AREA  
(SEE LANDSCAPE PLANS FOR ADDITIONAL INFORMATION AND DETAILS)

**PROJECT INFORMATION:**

LOT AREA: ±0.63 ACRES  
ZONED: CL LOCAL COMMERCIAL  
PROPOSED USE: AUTOMOTIVE SERVICE  
MAX. BUILDING HEIGHT: 22'-2"  
PARKING REQUIRED: TBD  
PARKING PROVIDED: 14 STALLS (INCLUDING 1 ADA STALLS)

**SITE KEY NOTES:**

- S1 PROPOSED JIFFY LUBE BUILDING (SEE ARCHITECTURAL AND STRUCTURAL PLANS FOR ADDITIONAL INFORMATION AND DETAILS)
- S2 PROPOSED TRASH ENCLOSURE (SEE ARCHITECTURAL AND STRUCTURAL PLANS FOR ADDITIONAL INFORMATION AND DETAILS)
- S3 PROPOSED CONCRETE CURB AND GUTTER
- S5 PROPOSED MONOLITHIC CONCRETE CURB AND SIDEWALK
- S6 PROPOSED DEPRESSED CURB AND GUTTER
- S8 PROPOSED HEAVY DUTY CONCRETE
- S10 PROPOSED ASPHALT PAVEMENT
- S12 PROPOSED DETECTABLE WARNING PLATE
- S13 PROPOSED LANDSCAPE AREA (SEE LANDSCAPE PLANS FOR ADDITIONAL INFORMATION AND DETAILS)
- S16 PROPOSED 4" PAVEMENT STRIPING PER LOCAL CODE
- S17 PROPOSED 30" R1-1 STOP SIGN
- S18 PROPOSED 24" WIDE STOP BAR PAINTED WHITE
- S19 PROPOSED HANDICAP ACCESSIBLE PARKING SIGN PER LOCAL CODE
- S20 PROPOSED HANDICAP ACCESSIBLE PARKING STALL STRIPING AND SYMBOL PER LOCAL CODE
- S22 PROPOSED CONCRETE TRANSFORMER PAD (CONTRACTOR SHALL COORDINATE CONCRETE TRANSFORMER PAD LOCATION, SIZE AND THICKNESS WITH ELECTRIC COMPANY PRIOR TO INSTALLATION)
- S23 PROPOSED BOLLARD (TYP. OF 19)
- S24 PROPOSED PYLON SIGN TO BE PLACED ON EXISTING SUPPORT
- S30 PROPOSED LIGHT POLE (CONTRACTOR SHALL CONNECT POWER SUPPLY FOR NEW LIGHT POLES TO JIFFY LUBE SITE LIGHTING CIRCUITRY. SEE PHOTOMETRIC PLAN AND BUILDING ELECTRICAL PLANS FOR ADDITIONAL INFORMATION AND DETAILS)
- S31 PROPOSED FULL DEPTH SAW CUT
- S32 PROPOSED BUTT JOINT
- S40 EXISTING ASPHALT PAVEMENT TO REMAIN
- S41 EXISTING CONCRETE CURB AND GUTTER TO REMAIN



**PROFESSIONAL IN CHARGE**  
KERI L. WILLIAMS  
PROFESSIONAL ENGINEER  
LICENSE NO. 42288-6

**PROJECT MANAGER**  
EDWARD GOSS  
**QUALITY CONTROL**  
JAMES GOYLE  
**DRAWN BY**  
TRISTAN BUSCH

**PROJECT NAME**  
**JIFFY LUBE**

**GRAND CHUTE WISCONSIN**  
3203 W. COLLEGE AVE  
GRAND CHUTE, WI 54914



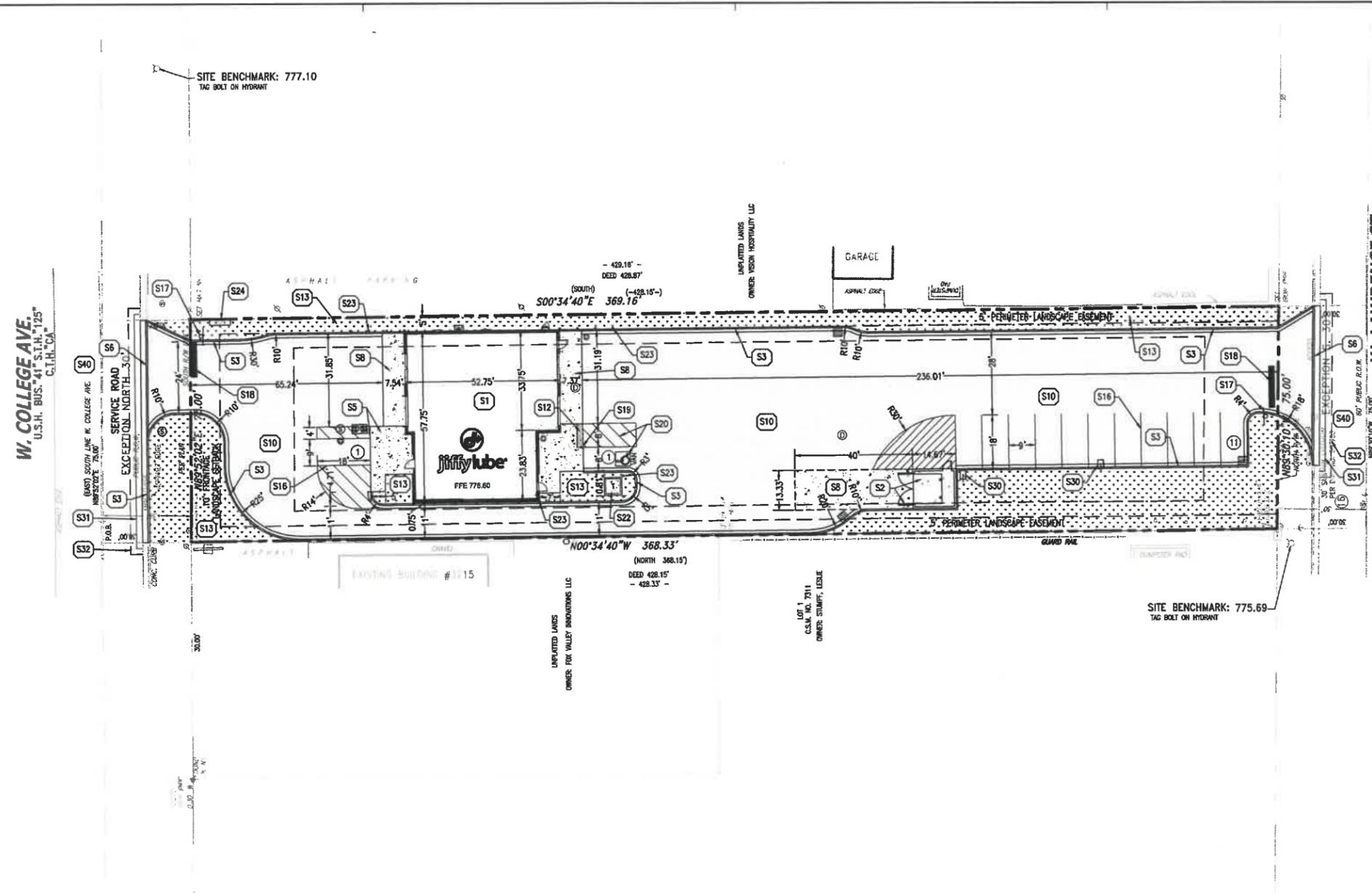
**PROJECT NUMBER**  
20181977.0

**SHEET TITLE**  
**SITE PLAN**

**SHEET NUMBER**

**C3.0**

NOT ISSUED FOR CONSTRUCTION

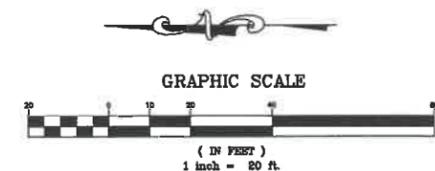


**GENERAL SITE NOTES:**

- CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING SAFE AND ADEQUATE WORKING CONDITIONS THROUGHOUT THE DURATION OF CONSTRUCTION OF THE PROPOSED SITE IMPROVEMENTS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL SITE SETBACKS, EASEMENTS AND DIMENSIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- ALL CONSTRUCTION MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE LATEST STATE AND LOCAL GOVERNMENT CONSTRUCTION STANDARDS AND SPECIFICATIONS.
- ALL HANDICAP ACCESSIBLE SITE IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL CODES AND REQUIREMENTS.
- IF DURING THE COURSE OF CONSTRUCTION THE CONTRACTOR FINDS ANY DISCREPANCIES OR CONFLICTS BETWEEN THE PROPOSED SITE IMPROVEMENTS INDICATED ON THE PLANS AND THE PHYSICAL CONDITIONS OF THE SITE, OR ANY ERRORS OR OMISSIONS WITHIN THE PLANS OR IN THE SITE LAYOUT AS PROVIDED BY THE ENGINEER, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO IMMEDIATELY NOTIFY THE ENGINEER. UNTIL AUTHORIZED TO PROCEED, ANY WORK PERFORMED BY THE CONTRACTOR AFTER SUCH A DISCOVERY WILL BE AT THE CONTRACTOR'S SOLE RISK AND EXPENSE.
- CONTRACTOR SHALL COORDINATE ALL SITE IMPROVEMENTS WITH ARCHITECTURAL PLANS. ARCHITECTURAL PLANS SHALL BE USED FOR BUILDING STAKEOUT.
- CONTRACTOR SHALL COORDINATE ALL LANDSCAPE IMPROVEMENTS, INCLUDING NEW PLANTINGS AND TURF AREA RESTORATION REQUIREMENTS, WITH LANDSCAPE PLANS.
- CONSTRUCTION SURVEY AND STAKEOUT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL DIMENSIONS SHOWN ARE MEASURED FROM FACE OF CURB TO FACE OF CURB OR EDGE OF PAVEMENT TO EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- ALL CURB RADI ARE MEASURED AT THE FACE OF CURB UNLESS OTHERWISE NOTED.
- ALL NEW ASPHALT AND/OR CONCRETE PAVING SHALL MATCH EXISTING PAVEMENTS FLUSH.
- CONTRACTOR SHALL RESTORE ALL DISTURBED AREAS OUTSIDE OF CONSTRUCTION LIMITS TO ORIGINAL CONDITION OR BETTER.
- CONTRACTOR SHALL REPAIR AT HIS EXPENSE ANY DAMAGE TO EXISTING ASPHALT, CONCRETE, CURBS, SIDEWALKS, ETC. RESULTING FROM CONSTRUCTION TRAFFIC AND/OR OPERATIONS. REPAIRS SHALL BE MADE TO THE SATISFACTION OF THE OWNER AND/OR ENGINEER.
- ALL FIRE ACCESS LANES WITHIN THE PROJECT AREA SHALL REMAIN IN SERVICE, CLEAN OF DEBRIS, AND ACCESSIBLE FOR USE BY EMERGENCY VEHICLES.
- ALL DETECTABLE WARNING PLATES SHALL BE PREFORMED PLASTIC INSERTS UNLESS OTHERWISE NOTED.
- SEE GENERAL NOTES SHEET FOR ADDITIONAL INFORMATION AND REQUIREMENTS.

**COVERAGE TABLE**

SITE AREA:	27,655 SQ. FT./0.63 ACRES
PROPOSED CONDITIONS:	
PROPOSED IMPERVIOUS AREA:	18,920 SQ. FT./0.43 ACRES (68% IMPERVIOUS)
PROPOSED BUILDING AREA:	2,830 SQ. FT./0.06 ACRES (10% BUILDING)
PROPOSED PERVIOUS AREA:	5,905 SQ. FT./0.14 ACRES (22% PERVIOUS)
	27,655
IMPERVIOUS AREA INCREASE:	181 SF < 4000 SF



11

# Town of Grand Chute

## Site Plan Review

### Guggenheim Development LLC, dba Jiffy Lube

---

To: Plan Commission

From: Michael Patza, Town Planner

Date: September 9, 2019

Address: 3203 W. College Avenue

App. #: SP-19-19

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#### **REQUEST**

1. **Proposed Use(s):** Automotive service.
2. **Project Description:** Construction of a new commercial building and associated site improvements.
3. **Plat/CSM Accurate parcel lines/lot recorded:** Yes

#### **ANALYSIS**

This redevelopment project includes demolition of two existing buildings and construction of a new automotive service building and associated site improvements. The property is located east of S. Bluemound Drive, with frontage on both the W. College Avenue Service Road and W. Lawrence Street. Site access will be provided from driveways on both streets. The proposed building is 2,830 sq. ft. in size and includes a 2-lane vehicle service bay. The building exterior features a combination of brick and EFIS materials that meet the architectural requirements outlined in the Zoning Code.

At its September 12, 2019 meeting, the Zoning Board of Appeals granted a variance to allow a 5' side yard setback from the east property line. A 5' landscape strip will be maintained in this setback area.

The redevelopment project will result in a slight increase of impervious surface on the site. However, since the project will result in less than 4,000 sq. ft. of new impervious surface, on-site stormwater management is not required. The Drainage and Erosion Control Plans are being reviewed by the Town Engineer and their approval is a condition of Site Plan approval.

The new pylon sign associated with the development is included in the Site Plan approval. Located along the W. College Avenue Service Road frontage, the sign will be 20' in height and 46 sq. ft. in size. The Landscape and Site Lighting Plans have been approved by staff. All other code requirements are met with this request.

#### **RECOMMENDATION**

Staff has reviewed and supports Plan Commission approval of the Site Plan (SP-19-19) requested by Guggenheim Development Services LLC, dba Jiffy Lube, 3203 W. College Avenue, for construction of a new commercial building and associated site improvements, subject to: (1) Town Board approval of Special Exception SE-13-19; and, (2) Town Engineer approval of the Drainage and Erosion Control Plans.



DATE	DESCRIPTION
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04/26/19	PRELIMINARY SITE PLAN
04/29/19	PRELIMINARY SITE PLAN
08/05/19	PRELIMINARY SITE PLAN
08/15/19	PERMIT SET
08/28/19	REVISED SITE PLAN
09/05/19	REVISED PLANS



**PROFESSIONAL IN CHARGE**  
**KERI L. WILLIAMS**  
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**PROJECT MANAGER**  
EDWARD COSS

**QUALITY CONTROL**  
JAMES COYLE  
**DRAWN BY**  
TRISTAN BUSCH

**PROJECT NAME**  
**JIFFY LUBE**

**GRAND CHUTE WISCONSIN**  
3203 W. COLLEGE AVE  
GRAND CHUTE, WI 54914

**PROJECT NUMBER**  
20181977.0

**SHEET TITLE**  
**SITE PLAN**

**SHEET NUMBER**

**C3.0**

NOT ISSUED FOR CONSTRUCTION

**PROPOSED LEGEND:**

- PROPERTY LINE
- ===== PROPOSED CONCRETE CURB AND GUTTER
- ===== PROPOSED REVERSE PITCH CURB AND GUTTER
- ===== PROPOSED DEPRESSED CURB AND GUTTER
- (7) PROPOSED PARKING STALL COUNT
- PROPOSED CONCRETE WHEEL STOP
- PROPOSED SIGN
- PROPOSED PYLON SIGN
- (S) PROPOSED STORM SEWER STRUCTURES
- (S) PROPOSED SANITARY SEWER STRUCTURES
- [ ] PROPOSED TRANSFORMER PAD AND STEEL BOLLARDS
- GMV PROPOSED GAS METER
- EMSD/CT DISCONNECT PROPOSED ELECTRIC METER, CT CABINET AND DISCONNECT
- PROPOSED AREA LIGHT

**PAVEMENT HATCH LEGEND:**

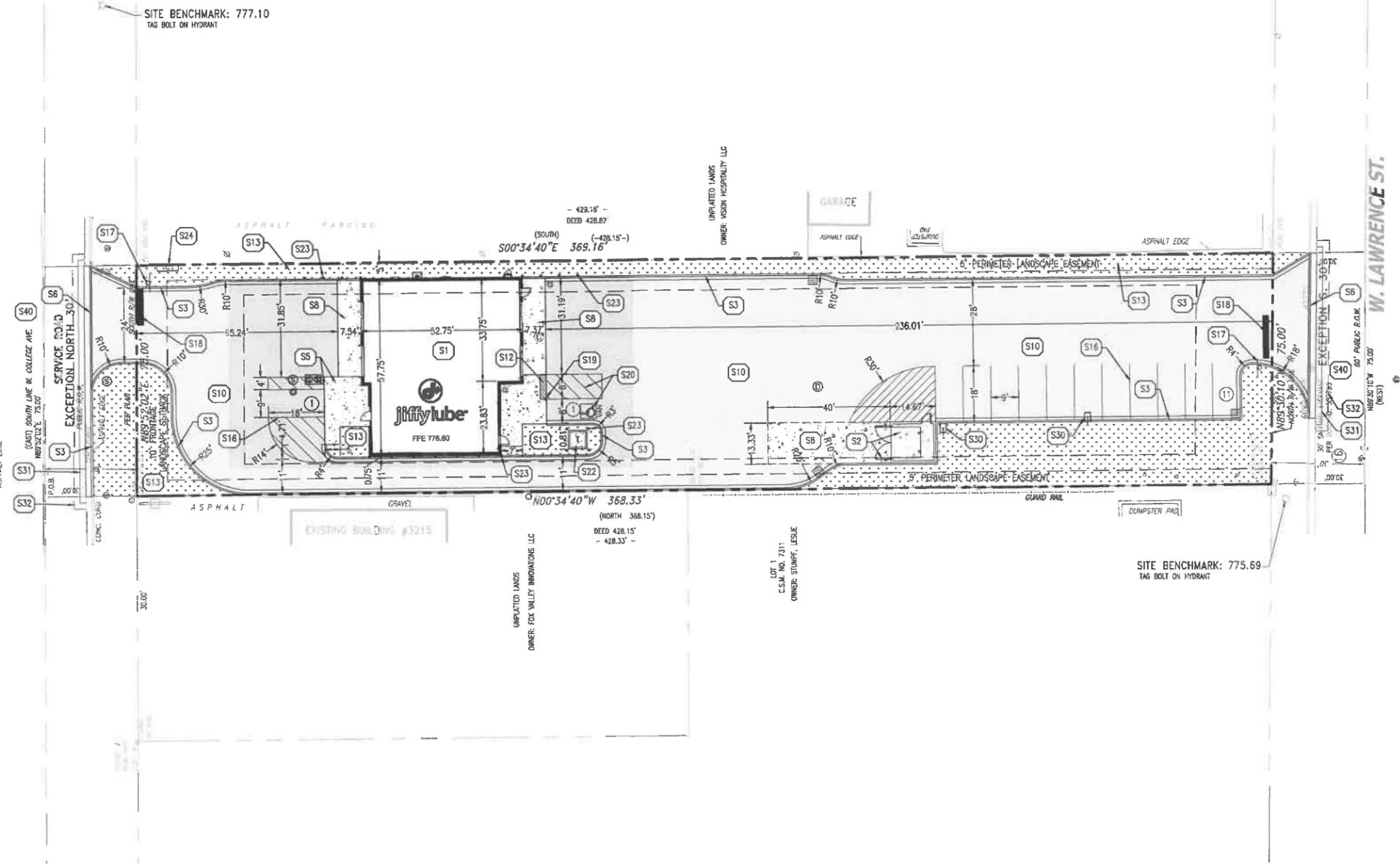
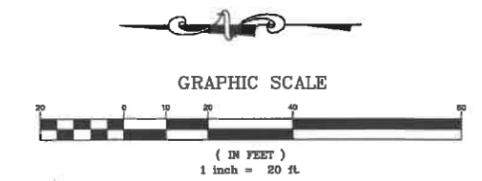
- (S5) PROPOSED CONCRETE SIDEWALK  
5" PORTLAND CEMENT CONCRETE  
4" AGGREGATE BASE
- (S10) PROPOSED HEAVY DUTY CONCRETE  
6" PORTLAND CEMENT CONCRETE  
4" AGGREGATE BASE
- (S11) PROPOSED ASPHALT PAVEMENT  
1.5" ASPHALT SURFACE COURSE  
2.5" ASPHALT LOWER COURSE  
8" AGGREGATE BASE
- (S12) PROPOSED LANDSCAPE AREA  
(SEE LANDSCAPE PLANS FOR ADDITIONAL INFORMATION AND DETAILS)

**PROJECT INFORMATION:**

LOT AREA:	±0.63 ACRES
ZONED:	CL - LOCAL COMMERCIAL
PROPOSED USE:	AUTOMOTIVE SERVICE
MAX. BUILDING HEIGHT:	22'-2"
PARKING REQUIRED:	TBD
PARKING PROVIDED:	14 STALLS (INCLUDING 1 ADA STALLS)

**SITE KEY NOTES:**

- S1 PROPOSED JIFFY LUBE BUILDING (SEE ARCHITECTURAL AND STRUCTURAL PLANS FOR ADDITIONAL INFORMATION AND DETAILS)
- S2 PROPOSED TRASH ENCLOSURE (SEE ARCHITECTURAL AND STRUCTURAL PLANS FOR ADDITIONAL INFORMATION AND DETAILS)
- S3 PROPOSED CONCRETE CURB AND GUTTER
- S5 PROPOSED MONOLITHIC CONCRETE CURB AND SIDEWALK
- S6 PROPOSED DEPRESSED CURB AND GUTTER
- S8 PROPOSED HEAVY DUTY CONCRETE
- S10 PROPOSED ASPHALT PAVEMENT
- S12 PROPOSED DETECTABLE WARNING PLATE
- S13 PROPOSED LANDSCAPE AREA (SEE LANDSCAPE PLANS FOR ADDITIONAL INFORMATION AND DETAILS)
- S16 PROPOSED 4" PAVEMENT STRIPING PER LOCAL CODE
- S17 PROPOSED 30" R1-1 STOP SIGN
- S18 PROPOSED 24" WIDE STOP BAR PAINTED WHITE
- S19 PROPOSED HANDICAP ACCESSIBLE PARKING SIGN PER LOCAL CODE
- S20 PROPOSED HANDICAP ACCESSIBLE PARKING STALL STRIPING AND SYMBOL PER LOCAL CODE
- S22 PROPOSED CONCRETE TRANSFORMER PAD (CONTRACTOR SHALL COORDINATE CONCRETE TRANSFORMER PAD LOCATION, SIZE AND THICKNESS WITH ELECTRIC COMPANY PRIOR TO INSTALLATION)
- S23 PROPOSED BOLLARD (TYP. OF 19)
- S24 PROPOSED PYLON SIGN TO BE PLACED ON EXISTING SUPPORT
- S30 PROPOSED LIGHT POLE (CONTRACTOR SHALL CONNECT POWER SUPPLY FOR NEW LIGHT POLES TO JIFFY LUBE SITE LIGHTING CIRCUITRY. SEE PHOTOMETRIC PLAN AND BUILDING ELECTRICAL PLANS FOR ADDITIONAL INFORMATION AND DETAILS)
- S31 PROPOSED FULL DEPTH SAW CUT
- S32 PROPOSED BUTT JOINT
- S40 EXISTING ASPHALT PAVEMENT TO REMAIN
- S41 EXISTING CONCRETE CURB AND GUTTER TO REMAIN



**GENERAL SITE NOTES:**

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- ALL DIMENSIONS SHOWN ARE MEASURED FROM FACE OF CURB TO FACE OF CURB OR EDGE OF PAVEMENT TO EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- ALL CURB RADII ARE MEASURED AT THE FACE OF CURB UNLESS OTHERWISE NOTED.
- ALL NEW ASPHALT AND/OR CONCRETE PAVING SHALL MATCH EXISTING PAVEMENTS FLUSH.
- CONTRACTOR SHALL RESTORE ALL DISTURBED AREAS OUTSIDE OF CONSTRUCTION LIMITS TO ORIGINAL CONDITION OR BETTER.
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- ALL FIRE ACCESS LANES WITHIN THE PROJECT AREA SHALL REMAIN IN SERVICE, CLEAN OF DEBRIS, AND ACCESSIBLE FOR USE BY EMERGENCY VEHICLES.
- ALL DETECTABLE WARNING PLATES SHALL BE PREFORMED PLASTIC INSERTS UNLESS OTHERWISE NOTED.
- SEE GENERAL NOTES SHEET FOR ADDITIONAL INFORMATION AND REQUIREMENTS.

**COVERAGE TABLE**

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PROPOSED BUILDING AREA:	2,830 SQ. FT./0.06 ACRES (10% BUILDING)
PROPOSED PERVIOUS AREA:	5,905 SQ. FT./0.14 ACRES (22% PERVIOUS)
TOTAL:	27,655
IMPERVIOUS AREA INCREASE:	181 SF < 4000 SF

PROPOSED LEGEND:

- PROPERTY LINE
- PROPOSED CONCRETE CURB AND GUTTER
- PROPOSED DEPRESSED CONCRETE CURB AND GUTTER
- PROPOSED REVERSE PITCH CONCRETE CURB AND GUTTER
- PROPOSED SPOT ELEVATION
- FFE: FINISHED FLOOR ELEVATION  
TC: TOP OF CURB ELEVATION  
FL: CURB FLOWLINE ELEVATION  
C: TOP OF CONCRETE ELEVATION  
P: TOP OF PAVEMENT ELEVATION  
FG: FINISHED GRADE ELEVATION  
ME: MATCH EXISTING ELEVATION
- PROPOSED SPOT ELEVATION  
EXPOSED CURB FACE VARIES
- PROPOSED GRADING RIDGE LINE
- PROPOSED DRAINAGE FLOW DIRECTION
- PROPOSED OVERLAND FLOOD ROUTE
- PROPOSED STORM SEWER STRUCTURE WITH OPEN GRADE
- PROPOSED STORM SEWER STRUCTURE WITH CLOSED LID
- PROPOSED STORM SEWER CLEAN OUT
- PROPOSED STORM SEWER

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**ISSUE/REVISION RECORD**

DATE	DESCRIPTION
02/20/19	PRELIMINARY SITE PLAN
04/26/19	PRELIMINARY SITE PLAN
04/29/19	PRELIMINARY SITE PLAN
06/05/19	PRELIMINARY SITE PLAN
06/15/19	PERMIT SET
06/28/19	REVISED SITE PLAN
09/05/19	REVISED PLANS



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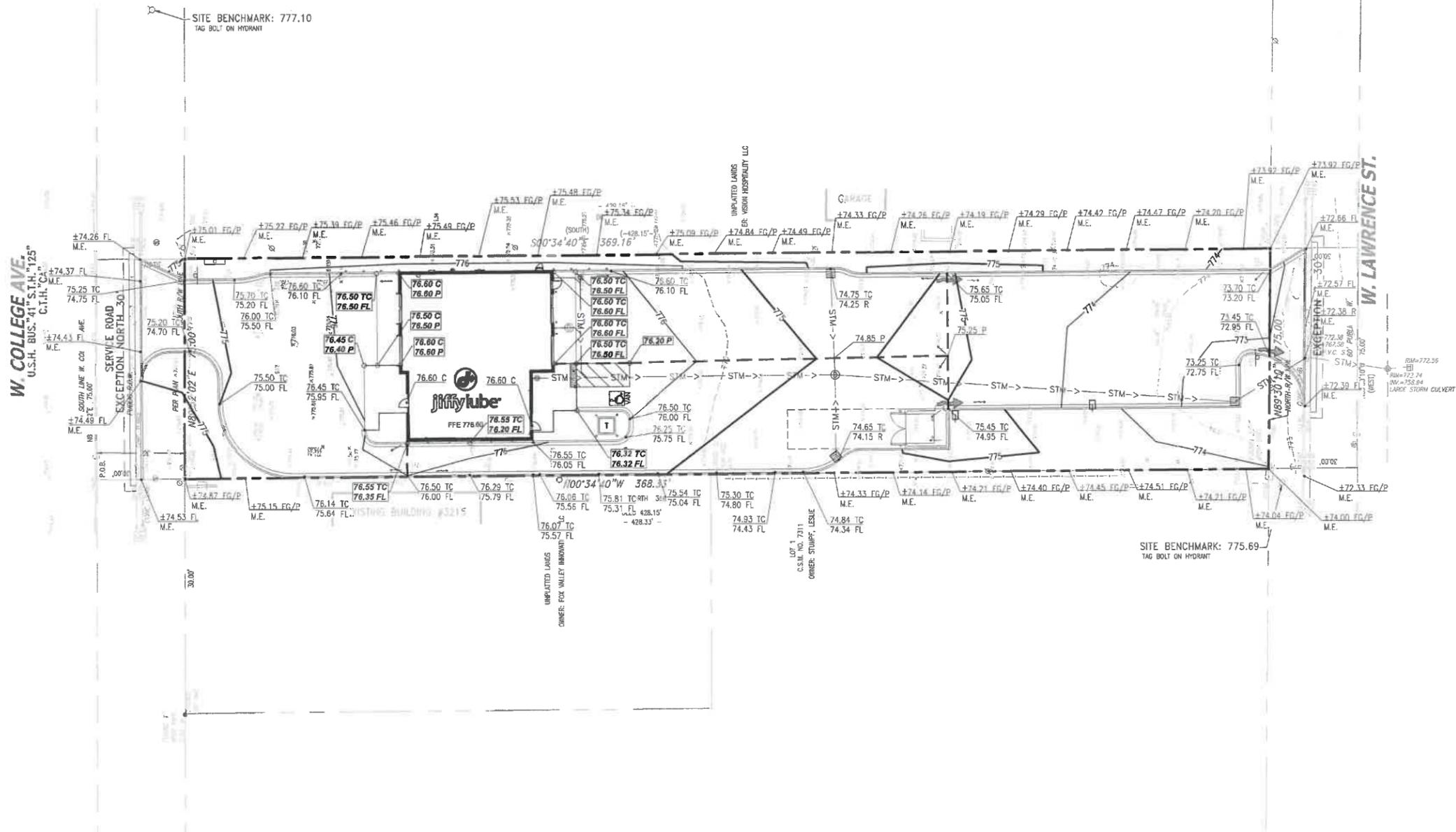
**PROJECT NUMBER**  
20181977.0

**SHEET TITLE**  
**GRADING AND DRAINAGE PLAN**

**SHEET NUMBER**

**C4.0**

NOT ISSUED FOR CONSTRUCTION



**GENERAL GRADING NOTES:**

- ALL GRADING AND SITE PREPARATION WORK SHALL CONFORM WITH THE RECOMMENDATIONS AND SPECIFICATIONS CONTAINED IN THE GEOTECHNICAL REPORT.
- CONTRACTOR SHALL CAREFULLY PRESERVE ALL SITE BENCHMARKS AND REFERENCE POINTS DURING CONSTRUCTION OPERATIONS.
- CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST FORTY-EIGHT (48) HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED SITE IMPROVEMENTS SHOWN ON THE PLANS.
- CONTRACTOR SHALL INSTALL APPROPRIATE TREE PROTECTION MEASURES PRIOR TO COMMENCEMENT OF SITE GRADING OPERATIONS.
- ALL PROPOSED GRADING, PAVEMENT, APRONS, CURBS, WALKS, ETC. SHALL MATCH EXISTING GRADES FLUSH.
- CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE TO ALL STORM DRAINAGE STRUCTURES. AREAS OF SURFACE PONDING SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER.
- ALL EXISTING AND PROPOSED TOP OF FRAME ELEVATIONS FOR STORM, SANITARY, WATER AND OTHER UTILITY STRUCTURES SHALL BE ADJUSTED TO MEET FINISHED GRADE WITHIN THE PROJECT LIMITS.
- CONTRACTOR SHALL UTILIZE CARE WHEN WORKING NEAR EXISTING UTILITIES TO REMAIN. ANY DAMAGE TO EXISTING UTILITIES NOT NOTED TO BE REMOVED SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE AND TO THE SATISFACTION OF THE OWNER AND/OR ENGINEER.
- CONTRACTOR SHALL REPAIR AT HIS EXPENSE ANY DAMAGE TO EXISTING ASPHALT, CONCRETE, CURBS, SIDEWALKS, ETC. RESULTING FROM CONSTRUCTION TRAFFIC AND/OR OPERATIONS. REPAIRS SHALL BE MADE TO THE SATISFACTION OF THE OWNER AND/OR ENGINEER.
- CONTRACTOR SHALL RESTORE ALL DISTURBED AREAS OUTSIDE OF CONSTRUCTION LIMITS TO ORIGINAL CONDITION OR BETTER.
- MAXIMUM CROSS SLOPES AND LONGITUDINAL SLOPES FOR ALL CONCRETE SIDEWALKS AND HANDICAP ACCESSIBLE ROUTES SHALL NOT EXCEED 2% AND 5%, RESPECTIVELY.
- MAXIMUM SLOPES WITHIN THE HANDICAP ACCESSIBLE PARKING AREAS SHALL NOT EXCEED 2% IN ANY DIRECTION.
- MAXIMUM GRADE DIFFERENCE BETWEEN PAVEMENT SURFACES AND ADJACENT CONCRETE SIDEWALKS FOR THE ACCESSIBLE ROUTE TO THE BUILDING SHALL NOT EXCEED 1/4" VERTICAL OR 1/2" WHEN BEVELED.
- ALL HANDICAP ACCESSIBLE EXTERIOR DOORWAY LOCATIONS REQUIRE AN EXTERIOR LANDING THAT IS A MINIMUM OF FIVE (5) FEET IN LENGTH WITH A SLOPE NOT EXCEEDING 2% IN ANY DIRECTION.
- EXCAVATION SHORING SHALL BE DONE AS NECESSARY FOR THE PROTECTION OF THE WORK AND FOR THE SAFETY OF PERSONNEL. SHORING SHALL BE IN ACCORDANCE WITH ALL O.S.H.A AND LOCAL REGULATIONS.
- ALL STRUCTURE BENCH WALLS SHALL BE SHAPED AND FORMED FOR A CLEAN TRANSITION WITH PROPER HYDRAULICS TO ALLOW THE SMOOTH CONVEYANCE OF FLOWS THROUGH THE MANHOLE OR BOX INLET. THE BENCH WALL SHALL FORM A DEFINED CHANNEL, TO A MINIMUM HEIGHT OF 80-PERCENT OF THE INSIDE DIAMETER OF THE INLET AND OUTLET PIPES TO FORM A "U" SHAPED CHANNEL, CONSTRUCTED AT A MINIMUM 1/2-INCH PER FOOT SLOPE TO THE MANHOLE WALL.
- ALL STORM WATER INLETS AND CATCH BASIN CASTINGS SHALL HAVE THE WORDS "NO DUMPING, DRAINS TO STREAM", OR SIMILARLY APPROVED MESSAGE, CAST IN RAISED OR RECESSED LETTERS AT A MINIMUM OF 1" IN HEIGHT. IN ADDITION, A SYMBOL OF A FISH SHALL ALSO BE CAST WITH THE LETTERS.
- SEE GENERAL NOTES SHEET FOR ADDITIONAL INFORMATION AND REQUIREMENTS.

**PROJECT BENCHMARKS:**

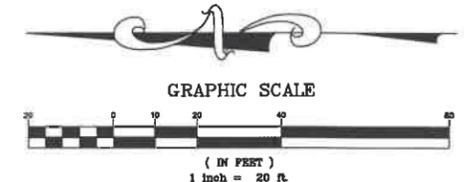
- SITE BENCHMARKS:**
- BM #1  
TAG BOLT ON HYDRANT  
ELEVATION = 775.69' (NAVD88)
  - BM #2  
TAG BOLT ON HYDRANT  
ELEVATION = 777.10' (NAVD88)

**FLOOD NOTE:**

PROPERTY IS LOCATED IN ZONE "X" AND NOT LOCATED WITHIN THE FLOOD PLAIN PER FEDERAL EMERGENCY MANAGEMENT AGENCY MAPPING, COMMUNITY PANEL NUMBER 55087C0314D, EFFECTIVE DATE: JULY 22, 2010.

**STORMWATER SUMMARY TABLE**

SITE AREA		27,655 SQ. FT./0.63 ACRES
<b>EXISTING CONDITIONS:</b>		
EXISTING IMPERVIOUS AREA:	21,569 SQ. FT./0.49 ACRES (78% IMPERVIOUS)	
EXISTING PERVIOUS AREA:	6,086 SQ. FT./0.14 ACRES (22% PERVIOUS)	
	27,655	
<b>PROPOSED CONDITIONS:</b>		
PROPOSED IMPERVIOUS AREA:	21,633 SQ. FT./0.50 ACRES (78% IMPERVIOUS)	
PROPOSED PERVIOUS AREA:	6,022 SQ. FT./0.14 ACRES (22% PERVIOUS)	
	27,655	
IMPERVIOUS AREA INCREASE:	64 SF < 4000 SF	



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04/26/19	PRELIMINARY SITE PLAN
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09/05/19	REVISED PLANS



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**PROJECT NAME**  
**JIFFY LUBE**

**GRAND CHUTE WISCONSIN**  
3203 W. COLLEGE AVE  
GRAND CHUTE, WI 54914



**PROJECT NUMBER**  
20181977.0

**SHEET TITLE**  
**STORMWATER POLLUTION PREVENTION PLAN**

**SHEET NUMBER**

**C4.1**

NOT ISSUED FOR CONSTRUCTION

**PROPOSED LEGEND:**

- PROPERTY LINE
- 774 --- PROPOSED CONTOUR
- LOD --- LAND DISTURBANCE LIMITS (SEE DISTURBED AREA TABLE)
- SF --- PROPOSED SILT FENCE
- ⊗ PROPOSED INLET PROTECTION INSERT
- ⊗ SW3 PROPOSED STABILIZED CONSTRUCTION ENTRANCE
- ⊗ SW4 PROPOSED CONCRETE WASHOUT (SUGGESTED LOCATION)
- ⊗ SW5 PROPOSED CONTRACTOR STAGING AREA (SUGGESTED LOCATION)
- ⊗ SW6 PROPOSED TEMPORARY TOPSOIL STOCKPILE (SUGGESTED LOCATION)
- PROPOSED GRADING RIDGE LINE
- PROPOSED DRAINAGE FLOW DIRECTION
- ⊗ PROPOSED STORM SEWER STRUCTURES
- ⊗ PROPOSED NOI/SWPPP PUBLIC NOTIFICATION SIGN

**SWPPP KEY NOTES:**

- SW1 PROPOSED PROJECT LAND DISTURBANCE LIMITS
- SW2 PROPOSED SILT FENCE
- SW3 PROPOSED STABILIZED CONSTRUCTION ENTRANCE
- SW4 PROPOSED CONCRETE WASHOUT WITH MINIMUM 30-MIL POLYETHYLENE LINING AND LOCATION SIGNAGE
- SW5 SUGGESTED LOCATION OF CONTRACTOR STAGING AREA INCLUDING MATERIALS STORAGE, COVERED TRASH DUMPSTER, AND PORTABLE TOILET FACILITIES
- SW6 SUGGESTED LOCATION OF TEMPORARY TOPSOIL STOCKPILE WITH SILT FENCE PROTECTION
- SW7 PROPOSED INLET PROTECTION
- SW8 PROPOSED NOI/SWPPP PUBLIC NOTIFICATION SIGN

**SWPPP/SESC CONSTRUCTION SCHEDULE:**

1. OBTAIN ALL APPLICABLE SITE PERMITS AND THOROUGHLY REVIEW PROJECT'S SOIL EROSION AND SEDIMENT CONTROL PLAN (SESC) OR STORMWATER POLLUTION PREVENTION PLANS (SWPPP) PRIOR TO COMMENCEMENT OF CONSTRUCTION OPERATIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING AND UPDATING THE SWPPP/SESC THROUGHOUT THE DURATION OF CONSTRUCTION AS NECESSARY UNTIL FINAL SITE STABILIZATION IS ACHIEVED.
2. INSTALL PERIMETER SEDIMENT CONTROL MEASURES (I.E. SILT FENCE AND DRAINAGE STRUCTURES).
3. INSTALL INLET PROTECTION DEVICES FOR EXISTING STORM SEWER INLETS AND STABILIZED CONSTRUCTION ENTRANCES.
4. PERFORM SITE INSPECTIONS ON A WEEKLY BASIS AND WITHIN TWENTY-FOUR (24) HOURS OF THE END OF A RAINFALL EVENT THAT IS 0.5 INCH OR GREATER (OR EQUIVALENT SNOWFALL). AT A MINIMUM, THE INSPECTIONS SHALL INCLUDE THE DISTURBED AREAS OF THE CONSTRUCTION SITE THAT HAVE NOT BEEN FINALLY STABILIZED, ALL STRUCTURAL CONTROL MEASURES, LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE, AND ANY ADDITIONAL BEST MANAGEMENT PRACTICES IDENTIFIED IN THE SWPPP/SESC.
  - 4.1. ALL SITE EROSION AND SEDIMENT CONTROL MEASURES AND BEST MANAGEMENT PRACTICES SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND SHALL BE CONTINUOUSLY MAINTAINED THROUGHOUT THE DURATION OF CONSTRUCTION. CONTRACTOR SHALL MAKE AND COMPLETE THE REQUIRED REPAIRS WITHIN FORTY-EIGHT (48) HOURS OF THE INSPECTION.
  - 4.2. CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ANY ADDITIONAL STRUCTURAL CONTROL MEASURES NECESSARY TO PREVENT EROSION AND SEDIMENTATION AS DETERMINED BY THE SITE INSPECTIONS.
5. INSTALL NEW STORM SEWERS AND OTHER SITE UTILITIES AS INDICATED ON THE PLANS.
6. PROVIDE TEMPORARY SEEDING AND/OR MULCHING FOR ALL DISTURBED SITE AREAS THAT WILL NOT BE WORKED ON FOR MORE THAN FOURTEEN (14) DAYS.
7. INSTALL TEMPORARY CONCRETE WASHOUT FACILITY PRIOR TO COMMENCEMENT OF ANY CONCRETE WORK ON SITE.
8. INSTALL CURBS AND BEGIN SITE PAVING OPERATIONS (I.E. DRIVEWAYS, SIDEWALKS, ETC.)
9. PERFORM STREET CLEANING OPERATIONS AND OTHER BEST MANAGEMENT PRACTICES AS NEEDED FOR AREAS ADJACENT TO THE PROJECT SITE.
10. INSTALL BUILDING FOUNDATION AND COMPLETE BUILDING CONSTRUCTION AND REMAINING SITE IMPROVEMENTS.
11. REMOVE ALL TEMPORARY SITE EROSION AND SEDIMENT CONTROL MEASURES WITHIN THIRTY (30) DAYS OF FINAL SITE STABILIZATION ONCE PERMANENT STABILIZATION OF THE ENTIRE SITE HAS BEEN COMPLETED, ALL GROUND COVER IS ESTABLISHED, AND A NOTICE OF TERMINATION (NOT) HAS BEEN FILED.

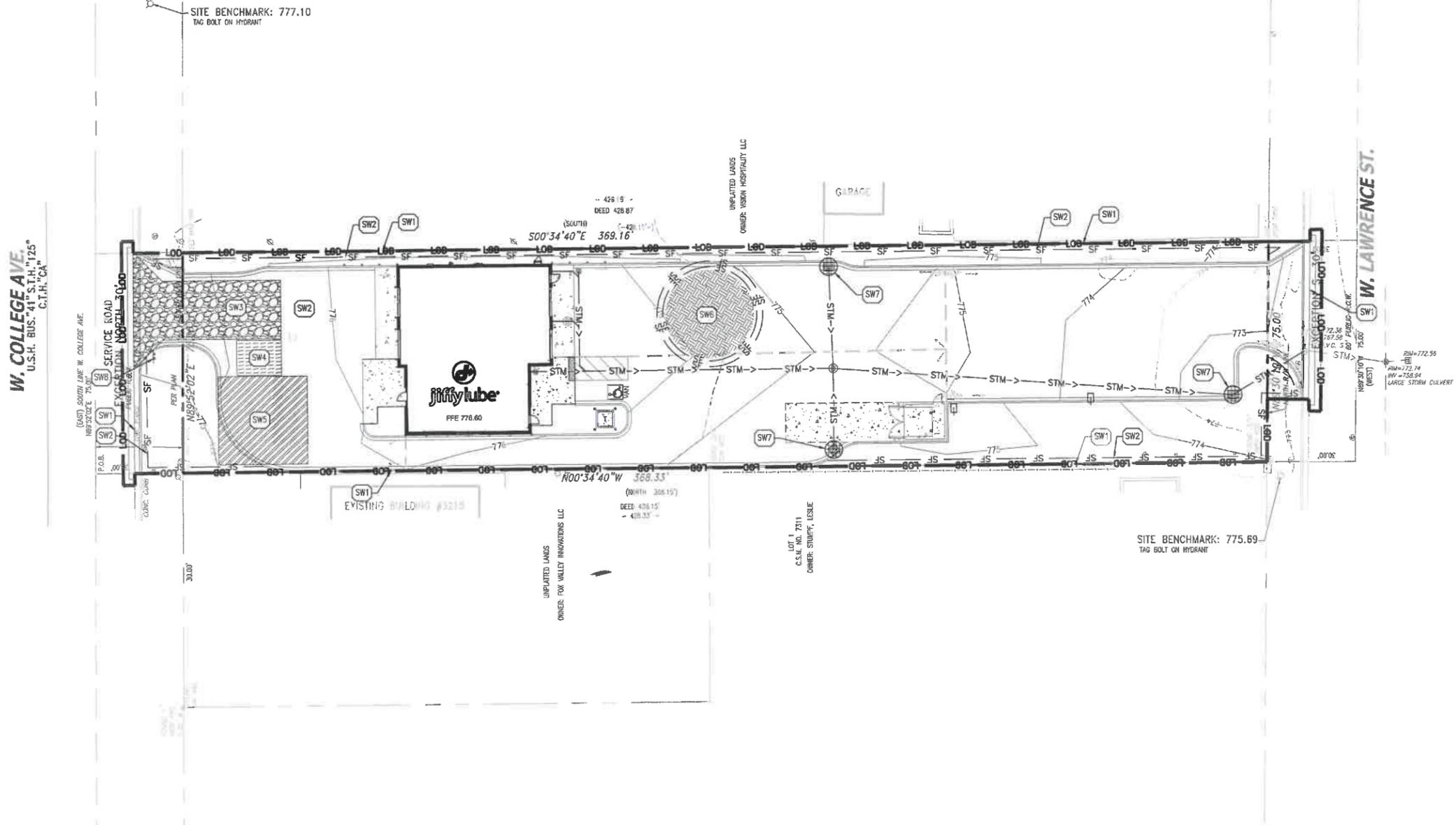
**DISTURBED SITE AREA TABLE:**

TOTAL DISTURBED AREA:	30,253 SQ. FT. / 0.69 ACRES
IMPERVIOUS AREA:	23,518 SQ. FT. / 0.54 ACRES
PERVIOUS AREA:	6,735 SQ. FT. / 0.15 ACRES

**TEMPORARY SEEDING**

SPRING AND SUMMER SEEDING		
SPECIES	LBS/ACRE	PERCENT PURITY
OATS	131	98

FALL SEEDING		
SPECIES	LBS/ACRE	PERCENT PURITY
ANNUAL RYE GRASS	80	97
CEREAL RYE	131	97
WINTER WHEAT	131	95



**SWPPP / SESC NOTES:**

1. COPIES OF THE APPROVED SOIL EROSION AND SEDIMENT CONTROL (SESC) PLANS OR STORMWATER POLLUTION PREVENTION PLANS (SWPPP) SHALL BE MAINTAINED ON THE SITE AT ALL TIMES ALONG WITH ANY NECESSARY PERMITS AND INSPECTION FORMS.
2. ALL EROSION AND SEDIMENTATION CONTROL MEASURES AND DEVICES SHALL BE INSTALLED AND FUNCTIONAL BEFORE THE SITE IS OTHERWISE DISTURBED. THEY SHALL BE KEPT OPERATIONAL AND MAINTAINED CONTINUOUSLY THROUGHOUT THE PERIOD OF LAND DISTURBANCE UNTIL PERMANENT SITE STABILIZATION HAS BEEN ACHIEVED.
3. CONTRACTOR SHALL IMPLEMENT SITE SPECIFIC BEST MANAGEMENT PRACTICES (BMPs) AS SHOWN AND REQUIRED BY THE SWPPP/SESC. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED BY THE CONTRACTOR AS DICTATED BY SITE CONDITIONS OR THE PROJECT GOVERNING AUTHORITIES AT NO ADDITIONAL COST TO THE OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.
4. ALL BEST MANAGEMENT PRACTICES AND CONTROLS SHALL CONFORM TO THE APPLICABLE FEDERAL, STATE, OR LOCAL REQUIREMENTS, STANDARDS, AND SPECIFICATIONS OR MANUAL OF PRACTICE.
5. IF AFTER REPEATED FAILURE ON THE PART OF THE CONTRACTOR TO PROPERLY CONTROL SOIL EROSION, SEDIMENT AND/OR POLLUTION FROM THE PROJECT SITE, THE GOVERNING AUTHORITIES RESERVE THE RIGHT TO EFFECT NECESSARY CORRECTIVE MEASURES AND CHARGE ANY COSTS TO THE CONTRACTOR.
6. INLET PROTECTION SHALL BE INSTALLED IN EACH DRAINAGE STRUCTURE WITHIN THE VICINITY OF THE DISTURBED AREA LIMITS AS SHOWN ON THE PLANS. THESE SHALL BE MAINTAINED UNTIL THE TRIBUTARY DRAINAGE AREAS HAVE ADEQUATE GRASS COVER AND/OR APPROPRIATE GROUND STABILIZATION.
7. ALL STREETS ADJACENT TO THE PROJECT SITE SHALL BE KEPT FREE OF DIRT, MUD AND DEBRIS. CONTRACTOR SHALL CLEAN ADJACENT PAVEMENTS AT THE END OF EACH WORKING DAY WHEN NECESSARY.
8. CONTRACTORS SHALL MINIMIZE BARE EARTH SURFACES DURING CONSTRUCTION TO THE MAXIMUM EXTENT PRACTICABLE.
9. ALL DISTURBED AREAS SHALL BE SEEDING OR SODDED AS SOON AS IT IS PRACTICABLE.
10. IF DURING CONSTRUCTION OPERATIONS ANY LOOSE MATERIALS ARE DEPOSITED IN THE FLOW LINE OF CUTTERS, DRAINAGE STRUCTURES, OR DITCHES SUCH THAT THE NATURAL FLOW LINE OF WATER IS OBSTRUCTED, THIS LOOSE MATERIAL SHALL BE REMOVED.
11. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY EXISTING STORM DRAINAGE SYSTEMS BY THE USE OF INLET PROTECTION OR OTHER APPROVED FUNCTIONAL METHODS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING

12. CONSTRUCTION ACCESS POINTS TO THE SITE SHALL BE PROTECTED IN SUCH A WAY AS TO PREVENT TRACKING OF MUD OR SOIL ONTO PUBLIC THROUGHFARES. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY BY THE CONTRACTOR.
13. SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS AND LEAKS.
14. DUST SHALL BE ADEQUATELY CONTROLLED ON THE PROJECT SITE AT ALL TIMES DURING CONSTRUCTION.
15. RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED TRASH CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORMWATER DISCHARGE INTO DRAINAGE DITCHES OR WATERS OF THE STATE.
16. DURING DEWATERING OPERATIONS, WATER SHALL BE PUMPED OR OTHERWISE DISCHARGED FROM THE SITE INTO SEDIMENT BASINS, SILT TRAPS, DEWATERING BAGS OR POLYMER MIXING SWALES. DEWATERING DIRECTLY INTO FIELD TILES OR STORMWATER SYSTEMS IS PROHIBITED.
17. ALL DISTURBED AREAS SHALL BE SEEDING OR SODDED WITHIN 14 DAYS OF FINAL DISTURBANCE.
18. ALL SOIL STOCKPILES SHALL BE STABILIZED WITHIN 14 DAYS OF FORMING THE STOCKPILE.
19. STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN 14 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED AS FOLLOWS:
  - 19.1. WHEN THE INITIATION OF STABILIZATION MEASURES BY THE 14 DAYS AFTER CONSTRUCTION ACTIVITY TEMPORARILY OR PERMANENTLY CEASES IS PRECLUDED BY SNOW COVER, STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE.
  - 19.2. WHEN CONSTRUCTION ACTIVITY WILL RESUME ON A PORTION OF THE SITE WITHIN 14 DAYS FROM WHEN ACTIVITIES CEASED (I.E. THE TOTAL TIME PERIOD THAT CONSTRUCTION ACTIVITY IS TEMPORARILY CEASED IS LESS THAN 14 DAYS), THEN STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE BY THE 14 DAYS AFTER CONSTRUCTION ACTIVITY TEMPORARILY CEASES.
20. PRE-QUALIFIED PERSONNEL (PROVIDED BY THE CONTRACTOR) SHALL INSPECT

21. EROSION CONTROL BLANKETS SHALL BE USED IN AREAS OF 4:1 SLOPE OR STEEPER.
22. ALL TEMPORARY EROSION CONTROL AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED THIRTY (30) DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED. TRAPPED SEDIMENT SHALL BE PROPERLY STABILIZED OR DISPOSED OF OFF SITE BY THE CONTRACTOR.
23. PRIOR TO COMMENCING LAND DISTURBING ACTIVITIES IN AREAS OTHER THAN THOSE INDICATED ON THESE PLANS (INCLUDING BUT NOT LIMITED TO ADDITIONAL PHASES OF DEVELOPMENT AND OFF-SITE BORROW OR WASTE AREAS) A SUPPLEMENTARY STORM WATER POLLUTION PREVENTION PLAN SHALL BE SUBMITTED TO THE OWNER AND ENGINEER FOR REVIEW.
24. ALL CONSTRUCTION VEHICLE TRAFFIC MUST REMAIN WITHIN THE LIMITS OF CONSTRUCTION.

W. COLLEGE AVE.  
U.S.H. BUS. 41° S.T.H. 125°  
C.T.H. CA

(EAST) SOUTH LINE W. COLLEGE AVE.  
NEED STATE T.V.P.

P.O.B.

UNPLANTED LANDS  
OWNER: FOX VALLEY INNOVATIONS LC

UNPLANTED LANDS  
OWNER: VISION HOSPITALITY LLC

UNPLANTED LANDS  
OWNER: FOX VALLEY INNOVATIONS LC

UNPLANTED LANDS  
OWNER: STUMP, LESLIE

UNPLANTED LANDS  
OWNER: FOX VALLEY INNOVATIONS LC

UNPLANTED LANDS  
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OWNER: STUMP, LESLIE

UNPLANTED LANDS  
OWNER: FOX VALLEY INNOVATIONS LC

SITE BENCHMARK: 777.10  
TAG BOLT ON HYDRANT

426.15  
DEED 428.87

500'34"40"E 369.16

**PROPOSED LEGEND:**

- — — — — PROPERTY LINE
- STM —> PROPOSED STORM SEWER
- SAN —> PROPOSED SANITARY SEWER
- 8"W — PROPOSED 8" WATERMAIN
- 1.25" — PROPOSED 1.25" DOMESTIC WATER SERVICE
- E — PROPOSED ELECTRIC SERVICE LINE
- G — PROPOSED GAS SERVICE LINE
- T — PROPOSED TELEPHONE SERVICE LINE
- ⊕ PROPOSED STORM SEWER STRUCTURE WITH OPEN GRATE
- ⊙ PROPOSED STORM SEWER STRUCTURE WITH CLOSED LID
- ⊖ PROPOSED STORM SEWER CLEAN OUT
- ⊖ PROPOSED SANITARY SEWER CLEAN OUT
- ⊙ PROPOSED SANITARY SEWER MANHOLE
- ⊙ PROPOSED WATER MAIN LOCATOR BOX
- ⊙ PROPOSED BUTTERFLY VALVE AND VALVE BOX
- ⊙ PROPOSED GATE VALVE AND VALVE BOX
- ⊙ PROPOSED FIRE HYDRANT
- ⊙ PROPOSED FIRE DEPARTMENT CONNECTION (FDC)
- ⊙ PROPOSED LIGHT POLE
- ⊙ PROPOSED GAS METER
- ⊙ PROPOSED ELECTRIC METER
- ⊙ PROPOSED TRANSFORMER

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**ISSUE/REVISION RECORD**

DATE	DESCRIPTION
02/20/19	PRELIMINARY SITE PLAN
04/26/19	PRELIMINARY SITE PLAN
04/29/19	PRELIMINARY SITE PLAN
08/05/19	PRELIMINARY SITE PLAN
08/15/19	PERMIT SET
08/28/19	REVISED SITE PLAN
09/05/19	REVISED PLANS

**GENERAL UTILITY NOTES:**

- CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST FORTY-EIGHT (48) HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED SITE IMPROVEMENTS SHOWN ON THE PLANS.
- CONTRACTOR SHALL UTILIZE CARE WHEN WORKING NEAR EXISTING UTILITIES TO REMAIN. ANY DAMAGE TO EXISTING UTILITIES NOT NOTED TO BE REPAIRED SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE AND TO THE SATISFACTION OF THE OWNER AND/OR ENGINEER.
- CONTRACTOR SHALL EXCAVATE AND VERIFY IN FIELD ALL EXISTING UTILITY LOCATIONS, SIZES, CONDITIONS AND ELEVATIONS AT PROPOSED POINTS OF CONNECTION PRIOR TO COMMENCING ANY UNDERGROUND CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE OWNER AND ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO PROCEEDING WITH CONSTRUCTION.
- ALL PROPOSED CONNECTIONS TO EXISTING UTILITY STRUCTURES OR PIPING SHALL BE IN ACCORDANCE WITH THE APPLICABLE GOVERNING AUTHORITY REQUIREMENTS AND SPECIFICATIONS.
- CONTRACTOR SHALL CONTINUOUSLY MAINTAIN ALL EXISTING SEWER SYSTEMS DURING CONSTRUCTION OPERATIONS AS NECESSARY TO PREVENT SILT OR DEBRIS ACCUMULATION.
- SEE THE GENERAL NOTES SHEET FOR ADDITIONAL INFORMATION AND REQUIREMENTS INCLUDING ALL PIPE MATERIAL AND JOINT SPECIFICATIONS.
- DEVELOPER SHALL PROVIDE PRIVATE STORM SEWER AS-BUILTS TO THE CITY FOLLOWING CONSTRUCTION.



**PROFESSIONAL IN CHARGE**  
**KERI WILLIAMS**  
PROFESSIONAL ENGINEER  
LICENSE NO. 42288-6

**PROJECT MANAGER**  
EDWARD GOSS

**QUALITY CONTROL**  
JAMES COYLE  
**DRAWN BY**  
TRISTAN BUSCH

**PROJECT NAME**  
**JIFFY LUBE**

**GRAND CHUTE WISCONSIN**  
**3203 W. COLLEGE AVE**  
**GRAND CHUTE, WI 54914**

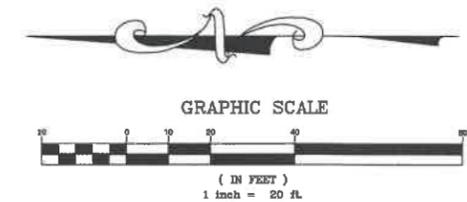
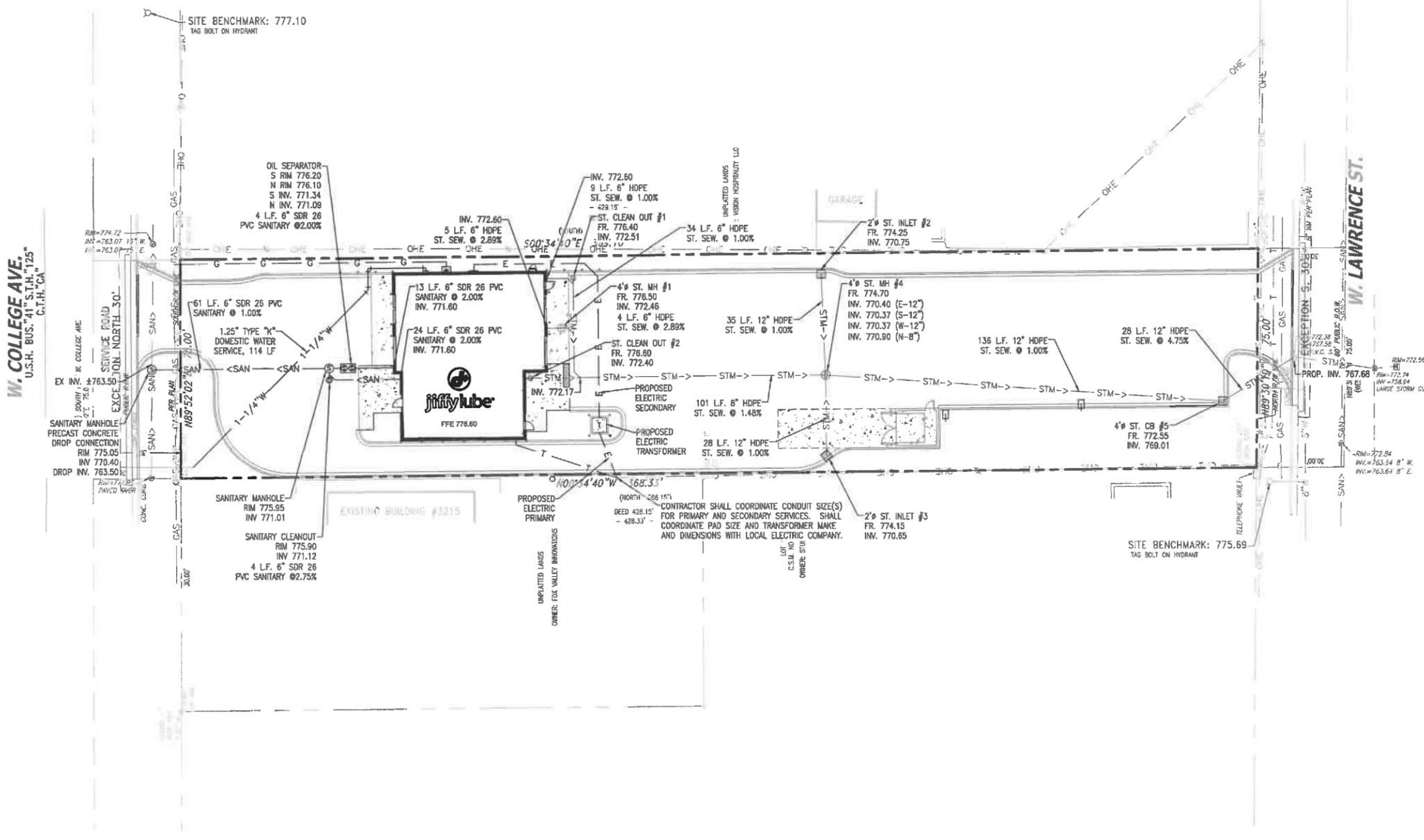


**PROJECT NUMBER**  
20181977.0

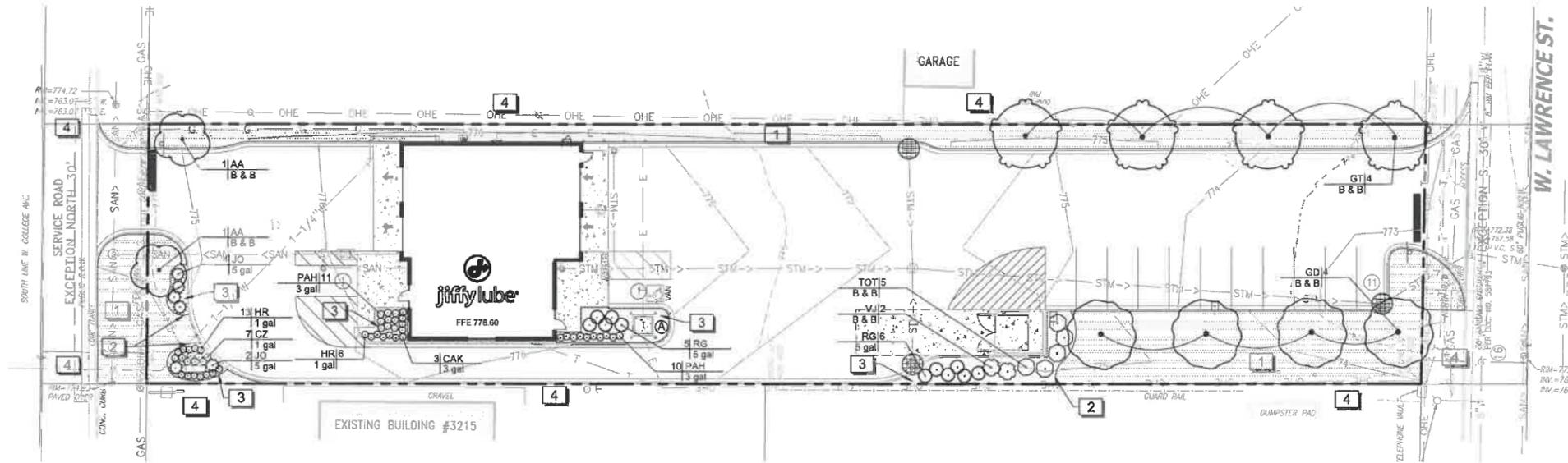
**SHEET TITLE**  
**UTILITY PLAN**

**SHEET NUMBER**  
**C5.0**

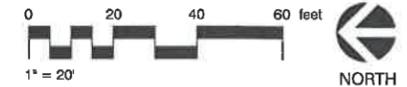
NOT ISSUED FOR CONSTRUCTION



W. COLLEGE AVE.  
U.S.H. BUS. 41° S.T.H. 125°  
C.T.H. CA



## LANDSCAPE PLAN



### LANDSCAPE CALCULATIONS:

	REQUIRED	PROVIDED
<b>OVERALL SITE</b>		
MINIMUM LANDSCAPE SURFACE RATIO	20%	22% (6,022 SF/27,655 SF=0.2177)
<b>FRONTAGE LANDSCAPING</b>		
10' WIDE LANDSCAPE AREA		
1 SHADE TREE/40 LF	2 TREES (75 LF/40 LF = 1.8)	2 TREES
<b>PERIMETER LANDSCAPING</b>		
5' WIDE LANDSCAPE AREA		
1 SHADE TREE/40 LF		
<b>EAST</b>		3 TREES
<b>WEST</b>		3 TREES
<b>SOUTH</b>		2 TREES

### PLANT MATERIAL SPECIFICATION

SUGGESTED LOCATION FOR PLANT MATERIAL:

FOX VALLEY NURSERY INC.  
http://www.foxvalleynursery.com/  
920-734-4081  
1425 S. ONEIDA STREET APPLETON, WISCONSIN 54915

PARKING LOT IMPERVIOUS SURFACE: 18,822 SQ. FT.

PLANTING ISLAND SQUARE FEET:  
A 266 SF

NUMBER OF TREES IN PARKING LOT OR WITHIN 10 FEET: 10 TREES

### INSTALLATION/CERTIFICATION

ALL LANDSCAPING, BUFFERING AND SCREENING IMPROVEMENTS REQUIRED UNDER THIS SECTION MUST BE COMPLETED ON A SCHEDULE APPROVED BY THE COMMUNITY DEVELOPMENT DEPARTMENT. WITHIN 30 DAYS OF THE INSTALLATION OF PLANT MATERIALS, THE OWNER/DEVELOPER SHALL SUBMIT WRITTEN CERTIFICATION TO THE COMMUNITY DEVELOPMENT DEPARTMENT THAT HEALTHY PLANT MATERIALS WERE PROPERLY INSTALLED IN ACCORDANCE WITH THE APPROVED LANDSCAPE PLAN.

### MAINTENANCE OF LANDSCAPING

THE OWNER, TENANT, OR AGENT, IF ANY, SHALL BE RESPONSIBLE FOR PROVIDING, PROTECTING AND MAINTAINING ALL LANDSCAPING IN HEALTHY GROWING CONDITIONS, REPLACING IT WHEN NECESSARY TO ENSURE CONTINUOUS CONFORMANCE WITH THESE GUIDELINES AND KEEPING IT FREE FROM REFUSE AND DEBRIS. MAINTENANCE SHALL INCLUDE THE REPLACEMENT OF ALL DEAD AND NOT THRIVING PLANT MATERIAL WITHIN THE GUARANTEED CONTRACT PERIOD (ONE YEAR).

THE OWNER OF THE LOT ON WHICH LANDSCAPING HAS BEEN PROVIDED SHALL BE RESPONSIBLE FOR PROTECTING, MAINTAINING AND REPAIRING ALL LANDSCAPING MATERIAL AND BARRIERS, INCLUDING FENCES AND REFUSE STORAGE AREAS, TO ACCEPTED NURSERY PRACTICES. UNDER THE PROVISIONS OF THIS SECTION, PROPER MAINTENANCE INCLUDES KEEPING ALL LIVE PLANT MATERIALS IN HEALTHY AND GROWING CONDITION (INCLUDING BUT NOT LIMITED TO REGULARLY SCHEDULED WATERING, FERTILIZING, PRUNING, WEEDING, AND MOWING) AND KEEPING ALL LANDSCAPED AREAS FREE FROM DEBRIS, WEEDS, AND REFUSE. ALL DEAD OR DISEASED PLANT MATERIALS SHALL BE REMOVED AND REPLACED DURING THE NEXT APPROPRIATE PLANTING PERIOD. ONCE A LANDSCAPED PLANTING AREA HAS BEEN APPROVED BY THE TOWN OF GRAND CHUTE AND ESTABLISHED BY THE OWNER, IT MAY NOT BE USED, ALTERED OR DISTURBED FOR ANY OTHER PURPOSE WITHOUT REVIEW AND APPROVAL OF A NEW OR AMENDED LANDSCAPE PLAN. FAILURE TO PROPERLY MAINTAIN ALL LANDSCAPING MATERIALS AND BARRIERS, AS DEFINED HEREIN, SHALL CONSTITUTE A VIOLATION OF THE PROVISIONS OF THIS SECTION AND SHALL BE SUBJECT TO PENALTY PROVISIONS OF THE TOWN OF GRAND CHUTE MUNICIPAL CODE.

### REFERENCE NOTES SCHEDULE

SYMBOL	DESCRIPTION
1	SEED AND BLANKET LAWNS WITH A KENTUCKY BLUEGRASS BLEND.
2	CULTIVATED BEDLINE 4" DEPTH. (TYP.)
3	INSTALL 3" DEPTH OF SHREDDED BARK MULCH (TYP.)
4	ANY DAMAGE TO ADJACENT PROPERTY OR AREAS OF WORK BY OTHERS IS TO BE REPAIRED TO ITS ORIGINAL CONDITION WITH NO ADDITIONAL COST TO OWNER.

### PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL
	AA	2	ACER FREEMANII 'ARMSTRONG'	FREEMAN MAPLE	B & B	2.5' CAL
	GT	4	GLEDITSIA TRIACANTHOS INERMIS 'SKYCOLE' TM	SKYLINE THORNLESS HONEY LOCUST	B & B	2.5' CAL
	GD	4	GYMNOCLADUS DIOICA 'ESPRESSO'	KENTUCKY COFFEETREE	B & B	2.5' CAL
	JO	6	JUNIPERUS CHINENSIS 'OLD GOLD'	OLD GOLD JUNIPER	5 GAL	36" HT. MIN.
	RG	11	RHUS AROMATICA 'GRO-LOW'	GRO-LOW FRAGRANT SUMAC	5 GAL	24"-30" HT. MIN.
	TOT	5	THUJA OCCIDENTALIS 'TECHNY'	TECHNY ARBORVITAE	B & B	5' HT. MIN.
	VJ	2	VIBURNUM X JUDDII	JUDD VIBURNUM	B & B	30"-36" HT. MIN.
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	HEIGHT
	CAK	3	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	FEATHER REED GRASS	3 GAL	
	PAH	21	PENNISETUM ALOPECUROIDES 'HAMELN'	HAMELN DWARF FOUNTAIN GRASS	3 GAL	
PERENNIALS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	HEIGHT
	CZ	7	COREOPSIS VERTICILLATA 'ZAGREB'	ZAGREB THREAD LEAF COREOPSIS	1 GAL	
	HR	19	HEMEROCALLIS X 'ROSY RETURNS'	ROSY RETURNS DAYLILY	1 GAL	
GROUND COVERS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	
	SEED	5,762 SF	LAWN GRASSES SEED & BLANKET	KENTUCKY BLUEGRASS BLEND	SEED	

SHRUB HEIGHT MEASUREMENTS ARE TO BE AS MEASURED FROM TOP OF ROOTBALL (TYP.)

**DIGGERS HOTLINE**  
Call 811 or (800) 242-8511  
Milwaukee Area (262) 432-7910  
Hearing Impaired TDD (800) 542-2289  
www.DiggersHotline.com

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#### ISSUE/REVISION RECORD

DATE DESCRIPTION

08/15/19 PERMIT SET

#### PROFESSIONAL SEAL



PROFESSIONAL IN CHARGE  
DENNIS JARRARD  
PROFESSIONAL LANDSCAPE ARCHITECT  
LICENSE NO. 887-14

PROJECT MANAGER  
EDWARD GOSS

QUALITY CONTROL  
DENNIS JARRARD

DRAWN BY  
JEAN SH

#### PROJECT NAME

**JIFFY LUBE**

**GRAND CHUTE WISCONSIN**  
3203 W. COLLEGE AVE  
GRAND CHUTE, WI 54914



PROJECT NUMBER  
20181977.0

SHEET TITLE  
**LANDSCAPE PLAN**

SHEET NUMBER  
**L1.0**

**PROJECT TEAM**

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06/05/19	PRELIMINARY SITE PLAN
06/15/19	PERMIT SET
06/28/19	REVISED SITE PLAN
09/05/19	REVISED PLANS

**PROFESSIONAL IN CHARGE**  
**KEBI WILLIAMS**  
PROFESSIONAL ENGINEER  
LICENSE NO. 42288-6

**PROJECT MANAGER**  
**EDWARD COSS**  
**QUALITY CONTROL**  
**JAMES COYLE**  
**DRAWN BY**  
**TRISTAN BUSCH**

**PROJECT NAME**  
**JIFFY LUBE**

**GRAND CHUTE WISCONSIN**  
3203 W. COLLEGE AVE  
GRAND CHUTE, WI 54914

**jiffy lube**

**PROJECT NUMBER**  
20181977.0

**SHEET TITLE**  
**PHOTOMETRIC PLAN**

**SHEET NUMBER**

**PH1.0**

NOT ISSUED FOR CONSTRUCTION

SITE BENCHMARK: 777.10  
TAG BOLT ON HYDRANT

Symbol	Qty	Label	Arrangement	Foot Lam	Lumens Description
1	2	SA-BL	STRINGS	N.A.	Site light arm mounted, type 3 backlight control, 32,000 lumens LED, 26" pole
2	4	GWC-AF-01-LED-E1-T3-600	SINGLES	N.A.	GWC-AF-01-LED-E1-T3-600

Label	CalcType	Costs	Avg	Max	Min	Avg/Min	Max/Min
JiffyLube Site	Illuminance	Ec	3.33	11.3	0.1	33.30	191.00

W. COLLEGE AVE,  
U.S.H. BUS. 41° S.T.H. 125°  
C.T.H. CA

SOUTH LINE W. COLLEGE AVE

SERVICE ROAD  
EXCEPTION NORTH 30'

ASPHALT EDGE

PER PLAN

CONC. CURB

ASPHALT PAVING

GARAGE

ASPHALT EDGE

CONC. CURB

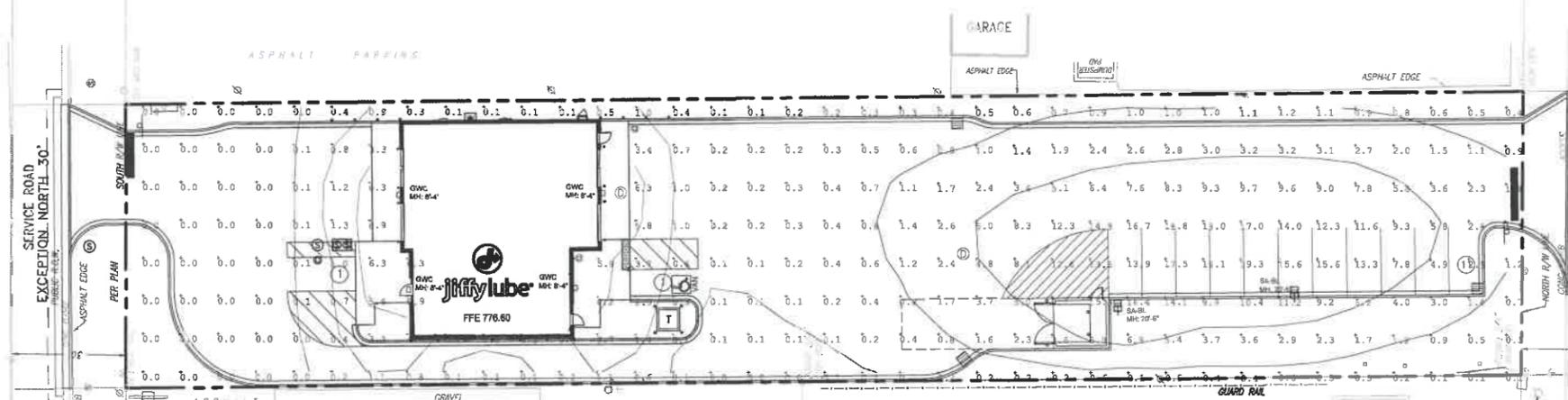
ASPHALT EDGE

W. LAWRENCE ST.

60' PUBLIC ROW

EXCEPTION S-30'

60' PUBLIC ROW



SITE BENCHMARK: 775.69  
TAG BOLT ON HYDRANT

Submitted by: WITTEKAMP SCHARCK ENGINEERS  
Job Name: JIFFY LUBE COLLEGE STATION  
Catalog Number: GWC-AF-01-LED-E1-T3-XX-600  
Type: F  
Notes: SPECIFY FINISH COLOR  
Finish: F2517-62285

### McGraw-Edison

**DESCRIPTION**  
The Galleon™ wall LED luminaire's appearance is complementary with the Galleon area and site luminaire bringing a modern architectural style to lighting applications. Flexible mounting options accommodate wall surfaces in both an upward and downward configuration. The Galleon family of LED products deliver exceptional performance with patented, high-efficiency AccuLED Optics™, providing uniform and energy conscious lighting for parking lots, building and security lighting applications.

**CONSTRUCTION**  
Driver enclosure thermally isolated from optics for optimal thermal performance. Heavy wall aluminum housing die-cast with integral external heat sink to provide superior structural rigidity and an IP68 rated housing. One of construction passes a 1.5G vibration test to ensure mechanical integrity. LPLIGHT™ ID: Identify with the LPL option for improved mount/light housing with additional protection to maintain IP rating.

**SPECIFICATION FEATURES**  
Construction  
Driver enclosure thermally isolated from optics for optimal thermal performance. Heavy wall aluminum housing die-cast with integral external heat sink to provide superior structural rigidity and an IP68 rated housing. One of construction passes a 1.5G vibration test to ensure mechanical integrity. LPLIGHT™ ID: Identify with the LPL option for improved mount/light housing with additional protection to maintain IP rating.

**Optics**  
Choice of driver patented, high efficiency AccuLED Optics. The optics are precisely designed to shape the distribution matching efficiency and application spacing. AccuLED Optics create consistent distributions with the scalability to meet customized application requirements. Offered standard is 4000K (± 275K) CCT and minimum 76 CRI. Optional 2000K, 3000K and 6000K CCT. Greater than 90% lumen maintenance expected at 50,000 hours. Available for standard 1A drive current and optional 1200mA, 800mA, and 600mA drive currents.

**Electrical**  
LED drivers are mounted for ease of maintenance. 120-277V 50/60Hz, 347V or 480V 60Hz operation. 480V is compatible for use with 480V VFD systems only. Drivers are provided standard with 0-10V dimming. An optional Eaton proprietary surge protection module is available and designed to withstand 10kV of transient line surge. The Galleon Wall LED luminaire is suitable for operation in -30°C to 40°C ambient environments. For applications with ambient temperatures exceeding 40°C, specify the HA (High Ambient) option. Emergency agency options for -20°C ambient environments and occupancy sensor available.

**Warranty**  
Five-year warranty.

**FINISHING**  
Housing finished in super durable TPOC polyester powder coat paint. 22 mil nominal thickness for superior protection against fade and wear. Standard colors include black, bronze, grey, white, dark aluminum and granite metallic. RAL and custom color matches available. Contact the McGraw-Edison Architectural Colors brochure for the complete selection.

**Mounting**  
Available in standard or custom configurations. Mounting hardware included. Mounting holes are pre-drilled and spaced for easy installation. Sealed with two cap screws. Resistant black oxide coated steel. Heat set screws which are concealed but accessible from bottom of luminaire.

**Finish**  
Housing finished in super durable TPOC polyester powder coat paint. 22 mil nominal thickness for superior protection against fade and wear. Standard colors include black, bronze, grey, white, dark aluminum and granite metallic. RAL and custom color matches available. Contact the McGraw-Edison Architectural Colors brochure for the complete selection.

**Warranty**  
Five-year warranty.

**GWC GALLEON WALL LUMINAIRE**  
1-2 Light Equivalents  
Solid State LED  
WALL MOUNT LUMINAIRE

**CERTIFICATION DATA**  
UL Listed  
UL919 / UL919-1 Listed Component  
IMD Number  
801-1061  
DesignLight Consortium™ Qualified

**ENERGY DATA**  
Maximum LED Drive  
504 Power Factor  
C95 Total Harmonic Distortion  
10:0775W @ 0.9A, 347V/3P/4, 400V/3P  
30°C Minimum Temperature  
40°C Ambient Temperature Range

**SHIPPING DATA**  
Approximate Net Weight  
27 lbs (12.3 kg)

**INDEX PAGE**

**OSQ Series**  
OSQ™ High Output LED Area/Flood Luminaire featuring Cree TrueWhite® Technology

**Product Description**  
The OSQ™ High Output Area/Flood luminaire blends extreme optical control, advanced thermal management and modern, clean aesthetics. Built to last, the housing is rugged cast aluminum with an integral, weatherlight LED driver compartment. Versatile mounting configurations offer simple installation, the slim, low profile design maintains minimal head requirements and blends seamlessly into the site providing even, quality illumination. The OSQ high output luminaire is a suitable upgrade for HID applications with one or even multiple 1000 Watt luminaires. Applications: Auto dealerships, parking lots, campuses, landscape lighting, high-mast and general site lighting applications.

**Performance Summary**  
Utilizes Cree TrueWhite® Technology on 1000K Luminaires  
NanoOptic® Precision Delivery Grid™ optic  
Assembled in the U.S.A. of U.S. and imported parts  
Initial Delivered Lumens: Up to 68,911  
Efficiency Up to 125 LPW  
CRI: Minimum 90 CRI (3000K, 4000K & 5700K), 90 CRI (5000K)  
CCT: 2000K (± 200K), 3000K (± 200K), 4000K (± 200K), 5000K (± 200K), 5700K (± 500K)  
Unlimited Warranty\* 10 years on luminaire/10 years on Colorfast DataGuard™ Finish  
(See [www.mcgraw-edison.com/warranty](http://www.mcgraw-edison.com/warranty) for warranty terms)

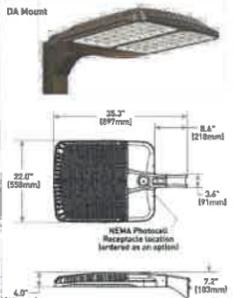
**Accessories**

Field-Installed	Not-Field-Installed	Not-Field-Installed
Backlight Shield (See part 052-10-0000)	5/8" Spikes (See part 052-10-0000)	Heat-Set Screws (See part 052-10-0000)
Field-Facing Optic (See part 052-10-0000)	Field-Facing Optic (See part 052-10-0000)	For successful implementation of the programmable multi-beam option, a 1/8" brass wire mesh field fence is required.
Retired Optics		

**Ordering Information**  
Fully assembled luminaire is comprised of two components that must be ordered separately:  
Galleon Mount OSQ-HD-AV-01 + Luminaire OSQ-HD-AV-01-01E-42L-42R-UL-01

**Mount (Luminaire must be ordered separately)**

OSQ-HD-	Color Options	RT Color	RT Bronze
OSQ-HD-AA Adjustable Arm	001 Black	002 Bronze	003 White
OSQ-HD-0A Fixed Arm	001 Black	002 Bronze	003 White



Lumen Package	Voltage	Weight
4000K	120-480V	70.0 lbs (31.6kg)
4000K	120-480V	72.0 lbs (32.7kg)

**Luminaire (Mount must be ordered separately)**

Product	Version	Mounting	Optic	Lumen Package**	CCT	Voltage	Color Options	Options
OSQ-HD	A	001 No Bracket	Aggressive/High Beam	400	3000	120-480V	001 Black	F Finish -Power factor correction (PFC), see Cree Optics data -Available for U.S. applications only -Factory programmed HPS-Genie™ up to 40' mounting height -Retro for PHL, ACCULED™ for circles -Not available with DALI -Intended for daylight applications of 0-100 -Factory programmed per ANSI C136.4 -Intended for daylight applications with maximum 40' ht -Factory programmed 0-10V dim levels -Green conductor and white luminaire -Photoresist and shattering tape for retrofits -Not available with UL when retrofitted with option
			Medium	800	3000	120-480V	001 Black	B HPS/LED™ Photoresist Encapsulated -Tightest available per ANSI C136.4 -Intended for daylight applications with maximum 40' ht -Factory programmed 0-10V dim levels -Photoresist and shattering tape for retrofits -Not available with UL when retrofitted with option
			Wide Beam	1600	3000	120-480V	001 Black	
			Wide Beam	3200	3000	120-480V	001 Black	
			Wide Beam	6400	3000	120-480V	001 Black	
			Wide Beam	12800	3000	120-480V	001 Black	
			Wide Beam	25600	3000	120-480V	001 Black	
			Wide Beam	51200	3000	120-480V	001 Black	
			Wide Beam	102400	3000	120-480V	001 Black	
			Wide Beam	204800	3000	120-480V	001 Black	
			Wide Beam	409600	3000	120-480V	001 Black	
			Wide Beam	819200	3000	120-480V	001 Black	
			Wide Beam	1638400	3000	120-480V	001 Black	
			Wide Beam	3276800	3000	120-480V	001 Black	
			Wide Beam	6553600	3000	120-480V	001 Black	
			Wide Beam	13107200	3000	120-480V	001 Black	
			Wide Beam	26214400	3000	120-480V	001 Black	
			Wide Beam	52428800	3000	120-480V	001 Black	
			Wide Beam	104857600	3000	120-480V	001 Black	
			Wide Beam	209715200	3000	120-480V	001 Black	
			Wide Beam	419430400	3000	120-480V	001 Black	
			Wide Beam	838860800	3000	120-480V	001 Black	
			Wide Beam	1677721600	3000	120-480V	001 Black	
			Wide Beam	3355443200	3000	120-480V	001 Black	
			Wide Beam	6710886400	3000	120-480V	001 Black	
			Wide Beam	13421772800	3000	120-480V	001 Black	
			Wide Beam	26843545600	3000	120-480V	001 Black	
			Wide Beam	53687091200	3000	120-480V	001 Black	
			Wide Beam	107374182400	3000	120-480V	001 Black	
			Wide Beam	214748364800	3000	120-480V	001 Black	
			Wide Beam	429496729600	3000	120-480V	001 Black	
			Wide Beam	858993459200	3000	120-480V	001 Black	
			Wide Beam	1717986918400	3000	120-480V	001 Black	
			Wide Beam	3435973836800	3000	120-480V	001 Black	
			Wide Beam	6871947673600	3000	120-480V	001 Black	
			Wide Beam	13743895347200	3000	120-480V	001 Black	
			Wide Beam	27487790694400	3000	120-480V	001 Black	
			Wide Beam	54975581388800	3000	120-480V	001 Black	
			Wide Beam	109951162777600	3000	120-480V	001 Black	
			Wide Beam	219902325555200	3000	120-480V	001 Black	
			Wide Beam	439804651110400	3000	120-480V	001 Black	
			Wide Beam	879609302220800	3000	120-480V	001 Black	
			Wide Beam	1759218644441600	3000	120-480V	001 Black	
			Wide Beam	3518437288883200	3000	120-480V	001 Black	
			Wide Beam	7036874577766400	3000	120-480V	001 Black	
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			Wide Beam	28147498310665600	3000	120-480V	001 Black	
			Wide Beam	56294996621331200	3000	120-480V	001 Black	
			Wide Beam	112589993242662400	3000	120-480V	001 Black	
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			Wide Beam	14411519135060787200	3000	120-480V	001 Black	
			Wide Beam	28823038270121574400	3000	120-480V	001 Black	
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			Wide Beam	46116861232194518400	3000	120-480V	001 Black	
			Wide Beam	92233722464389036800	3000	120-480V	001 Black	
			Wide Beam	184467444928778073600	3000	120-480V	001 Black	
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			Wide Beam	1475739598430224588800	3000	120-480V	001 Black	
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			Wide Beam	5902958393720898355200	3000	120-480V	001 Black	
			Wide Beam	11805916787441796710400	3000	120-480V	001 Black	
			Wide Beam	23611833574883593420800	3000	120-480V	001 Black	
			Wide Beam	47223667149767188441600	3000	120-480V	001 Black	
			Wide Beam	94447334299534376883200	3000	120-480V	001 Black	
			Wide Beam	188894668591068753766400	3000	120-480V	001 Black	
			Wide Beam	377789337182137507532800	3000	120-480V	001 Black	
			Wide Beam	755578674364275015065600	3000	120-480V	001 Black	
			Wide Beam	15111573487285503101113600	3000	120-480V	001 Black	
			Wide Beam	30223146974571006202227200				



**EXISTING D/F PYLON SIGN**

REMOVE TOP, CENTER, & LOWER CABINETS-LAMPS-FIXTURES & DISCARD  
 SAVE SUPPORT TO BE PAINTED TO MATCH #SW2827 "COLONIAL REVIVAL STONE"

**MANUFACTURING SURVEY REQUIRED  
 VERIFY ALL SIZES AND MOUNTING  
 CONDITIONS PRIOR TO FABRICATION**



**PROPOSED D/F PYLON SIGN**

Design #	0405878Ar4
Sheet	2 of 20
Client	Jiffy Lube
Address	3203 W. College Ave. Grand Chute, WI
Account Rep.	Ron Charlton
Designer	[SR]
Date	8.12.19
Approval / Date	
Client	
Sales	
Estimating	
Art	
Engineering	
Landlord	
Revision/Date	

- R1 SR 8-14-19: mov A2 & rmv button, 1 opt1, chg K to gray, qty4 M1, qty2 N1, del N2&3, chg #18 instructions, chg Q to temp. pole sign
- R2 SR 8-15-19: chg #'s on 2ndary signs, chg door to red, add hours, new cabinet pole sign
- R3 KMc 8/30/19: update site plan
- R4 SR 9-4-19: update site plan



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**National Headquarters** 14201 Sovereign Road #101  
 Fort Worth, TX 76155  
 (214) 349-2000 Fax (214) 349-2044

**San Antonio** 17319 San Pedro Ave  
 Ste 200  
 San Antonio, TX 78232  
 (210) 349-2000 Fax (210) 349-8724

**West Coast** 3220 Executive Ridge Dr  
 Ste 250  
 Vista, CA 92081  
 (760) 734-1788 Fax (760) 734-9752

**Northeast US** 2301 River Road  
 Suite 201  
 Louisville, KY 40206  
 (502) 887-8800 Cell (502) 884-2575

**Florida** 2584 Sand Hill Point Circle  
 Davenport, FL 33837  
 (863) 420-1300 Fax (863) 424-1160

**Georgia** 111 Woodstone Place  
 Dawsonville, GA 30534  
 (770) 725-8852 Fax (210) 349-8724

**South Texas** PO BOX 125 206 Doral Drive  
 Portland, TX 78374  
 (961) 563-5599 Fax (961) 643-6533

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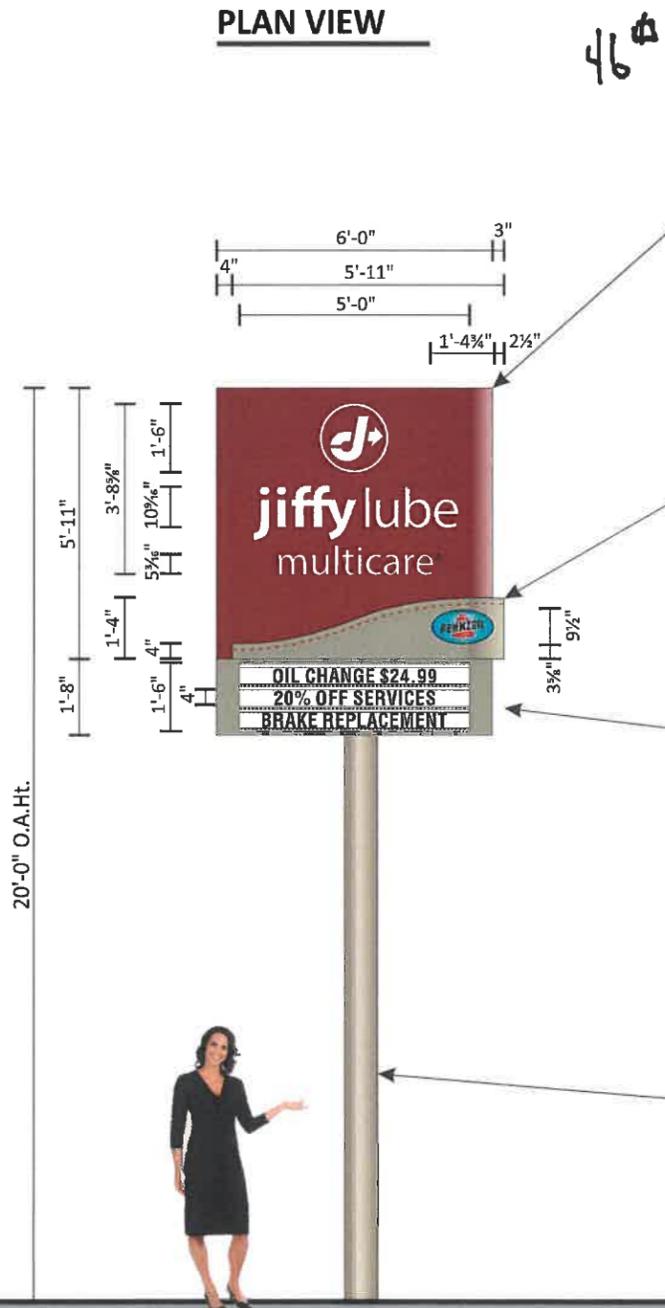
**FINAL ELECTRICAL CONNECTION BY CUSTOMER**

THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING & BONDING OF THE SIGN. SIGN WILL BEAR UL LABEL(S).





**PLAN VIEW**



STREET SIDE

46 #

FABRICATED UPPER CABINET: (2) SHEETS 4mm APOLIC (ACM) w/ A JIFFY LUBE DARK RED FINISH - FORMED & ROUTED - CABINET TOP TO BE .090" ALUMINUM PAINTED MATTHEWS PAINT POLYURETHANE ENAMEL MAP #MP55143 "DARK RED" - ALUMINUM & STEEL FRAMING - STAINLESS STEEL SCREWS - CONTINUOUS & CONSISTENT WELDS - INSIDE PAINTED LIGHT-ENHANCING WHITE - FACES BACKED w/ .125" #7328 WHITE MODIFIED ACRYLIC SHOWING THRU - R-O/S-T COPY BACKED w/ .125" THICK #7328 WHITE ACRYLIC

CURVE ACCENT: (2) SHEETS 4mm ALPOLIC (ACM) w/ A JIFFY LUBE MEDIUM BRONZE METALLIC FINISH - FORMED TO FIT AROUND CABINET & w/ LIGHTING COVE - CABINET BOTTOM TO BE .090" ALUMINUM PAINTED MATTHEWS PAINT POLYURETHANE ENAMEL MAP #MP11663 MT. SINAI BRONZE (METALLIC FINISH) - ALUMINUM & STEEL FRAMING - STAINLESS STEEL SCREWS - CONTINUOUS & CONSISTENT WELDS - COVE ILLUMINATED w/ RED SLOAN FLEXIBRITE LED TUBING

PENNZOIL LOGO: DIGITALLY-PRINTED VINYL (SEE PROVIDED FILE) (NON-ILLUMINATED)

LOWER CABINET .090" ALUMINUM PAINTED MATTHEWS PAINT POLYURETHANE ENAMEL MAP #MP11663 MT. SINAI BRONZE (METALLIC FINISH) - ALUMINUM & STEEL FRAMING - STAINLESS STEEL SCREWS - CONTINUOUS & CONSISTENT WELDS

WHITE LED INTERNAL ILLUMINATION

#7328 WHITE ACRYLIC w/ ZIP TRACK (3) ROWS FOR 4" COPY ON EACH SIDE

SUPPORT: REUSE EXISTING STEEL PIPE SUPPORT PAINTED POLYURETHANE ENAMEL TO MATCH SHERWIN WILLIAMS #SW2827 "COLONIAL REVIVAL STONE"



**END VIEW**



**JLM-P37 D/F PYLON ELEVATION**

(1) REQUIRED - MANUFACTURE & INSTALL

SCALE: 1/4" = 1'-0"

37 Sq.Ft.

<b>Design #</b>	
0405878Ar4	
<b>Sheet 3 of 20</b>	
<b>Client</b>	
Jiffy Lube	
<b>Address</b>	
3203 W. College Ave. Grand Chute, WI	
<b>Account Rep.</b>	Ron Charlton
<b>Designer</b>	[SR]
<b>Date</b>	8.12.19
<b>Approval / Date</b>	
<b>Client</b>	
<b>Sales</b>	
<b>Estimating</b>	
<b>Art</b>	
<b>Engineering</b>	
<b>Landlord</b>	
<b>Revision/Date</b>	
R1 SR 8-14-19: mov A2 & rmv button, l opt1, chg K to gray, qty4 M1, qty2 N1, del N2&3, chg #18 instructions, chg Q to temp. pole sign	
R2 SR 8-15-19: chg #'s on 2ndary signs, chg door to red, add hours, new cabinet pole sign	
R3 KMc 8/30/19: update site plan	
R4 SR 9-4-19: update site plan	

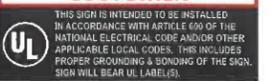


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<b>San Antonio</b>	17319 San Pedro Ave Ste 200 San Antonio, TX 78232 (210) 349-3804 Fax (210) 349-8724
<b>West Coast</b>	3220 Executive Ridge Dr Ste 250 Vista, CA 92081 (760) 734-1708 Fax (760) 734-3752
<b>Northeast US</b>	2301 River Road Suite 201 Louisville, KY 40206 (502) 887-9800 Cell (502) 584-2575
<b>Florida</b>	2584 Sand Hill Point Circle Davenport, FL 33837 (888) 426-1100 Fax (888) 424-1160
<b>Georgia</b>	111 Woodstone Place Dawsonville, GA 30534 (678) 725-8852 Fax (210) 349-8724
<b>South Texas</b>	PO BOX 125 206 Doral Drive Portland, TX 78374 (501) 948-8999 Fax (501) 643-6533

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**FINAL ELECTRICAL CONNECTION BY CUSTOMER**



EXTERIOR FINISH SCHEDULE

MARK	DESCRIPTION	MATERIAL	MFR#	COLOR	NOTES
A01	ALUMINUM STOREFRONT WITH 1" INSULATED CLEAR SAFETY GLAZING	ALUMINUM		MEDIUM BRONZE, ANODIZED	
A02	STANDARD SECTIONAL OVERHEAD DOOR WITH CLEAR SAFETY GLAZING AND PRE-FINISHED	ALUMINUM	AA-M10C21A44	MEDIUM BRONZE	
B01	4" DIA BOLLARD FILLED WITH CONCRETE			PAINT P09, APPLY E04	SEE 6/A-13.2
E01	EXT WALLS: SIGN POLES/FENCES/EXT DOORS AND TRIM	PAINT (SATIN/SEMI GLOSS)	SW 2827	COLONIAL REVAL STONE	DOOR FRAMES TO HAVE DRIP CAP
E02	EXT WALLS: WALLS ABOVE WAINSCOT	EFS		PURE WHITE	EFS THICKNESS TO MATCH CONT. R-VALUE AS LISTED IN COMCHECK
E03	EXT WALLS: REAR FASCIA/HANDRAILS/GUARDRAILS/BOLLARDS	PAINT (SEMI GLOSS)	SW 2805	CARMINE RED	
E04	EXT WALLS: APPLY OVER E03	PAINT (SEMI GLOSS)	CLEAR COAT	SHER-CLEAR	
E05	EXT WALLS: STONE WAINSCOT	STONE VENEER		TO MATCH E01	
E06	EXPOSED CONCRETE FOUNDATION			TROWEL PLASTER COAT FINISH	
E07	STONE CAP			TO MATCH MASONRY VENEER	
E08	EXT WALLS: EFS REVEAL	EFS		PURE WHITE	V-GROOVE CONTROL JOINT
L01	WALL PACK				SEE ELECTRICAL DRAWINGS FOR TYPE
L02	J-BOX FOR SECURITY CAMERA				14" O" AFF. SEE ELECTRICAL DRAWINGS
L03	KNOX BOX				KEY DROP BOX, WEG-160 PROTEX WALL DROP BOX WITH ADJUSTABLE CHUTE. SEE EXTERIOR ELEVATIONS A-4
M01	ROOF ACCESS LADDER			MEDIUM BRONZE	TO HAVE SECURITY COVER. SEE DETAIL 1/A-7.2
M02	METAL PARAPET CAP	PRE-FINISHED		MEDIUM BRONZE	SEE A-3
M04	PRIMARY AND OVERFLOW SCUPPER OPENINGS			PAINT TO MATCH WALL	SEE A-3
M05	METAL DOWNSPOUT			PAINT TO MATCH WALL	SEE A-3
L01	DISCONNECT AND METER SYSTEM			PAINT TO MATCH WALL	SEE ELECTRICAL DRAWINGS
L02	GAS METER			PAINT TO MATCH WALL	SEE ELECTRICAL DRAWINGS
L03	WATER METER			PAINT TO MATCH WALL	SEE PLUMBING DRAWINGS WEATHER SEAL GAS LINE
X01	CANOPY				SEE PLUMBING DRAWINGS
X02	SIGNAGE				PROVIDED AND INSTALLED BY SIGN VENDOR. SEE 11/A-7.2
X03	2 TONE FASCIA PANEL OVER DOOR BY SIGN VENDOR				PROVIDED AND INSTALLED BY SIGN VENDOR. SEE 11/A-7.2
X04	ROOF TOP UNIT				PROVIDE 3/4" PLYWOOD SHEATHING AT LOCATION OF FASCIA PANELS FOR ATTACHMENT. SEE DETAIL 11/A-7.2

GENERAL NOTES

- ALL COLOR NAMES INDICATED ARE FOR SELECTION PURPOSES ONLY. SEE PAINT SPECS FOR SPECIFIC REQUIREMENTS DESCRIPTION (ALL "SHERWIN WILLIAMS" NUMBERS "SW" COLORS).
  - APPLY CLEAR COAT (E04) OVER CARMINE RED ON EXTERIOR APPLICATIONS.
  - STREET NUMBERS - 6" NUMBERS IN CONTRASTING COLORS PROVIDED IN "JIFFY LUBE DOOR KIT"
  - STREET NUMBERS - 10" NUMBERS IN CONTRASTING COLORS
- A - VERIFY SIZE COLOR AND PLACEMENT WITH LOCAL FIRE MARSHAL

JIFFY LUBE INTERNATIONAL 2013 (ALL RIGHTS RESERVED) FOR WHICH THESE DOCUMENTS HAVE BEEN PREPARED. THESE DOCUMENTS ARE THE PROPERTY OF JIFFY LUBE INTERNATIONAL. ANY UNAUTHORIZED USE OF THESE DOCUMENTS FOR ANY PURPOSE IS PROHIBITED. JIFFY LUBE INTERNATIONAL OR ITS AFFILIATES, AGENTS, AND SUBSIDIARIES SHALL NOT BE LIABLE FOR ANY DESIGN OR CONSTRUCTION DEFECTS OR DAMAGES CAUSED BY ANY OTHER PROFESSIONAL ENGINEER, ARCHITECT, OR CONTRACTOR. THESE DOCUMENTS SHALL NOT BE CHANGED OR REVISIONS MADE WITHOUT THE WRITTEN APPROVAL OF JIFFY LUBE INTERNATIONAL. THESE DOCUMENTS SHALL BE KEPT ON FILE FOR A MINIMUM OF 10 YEARS AFTER THE PROJECT IS COMPLETED.

design west | architects  
 255 SOUTH 300 WEST  
 795 NORTH 400 WEST  
 LOGAN UT 84321  
 SALT LAKE CITY UT 84103

JIFFY LUBE  
 GRAND CHUTE, WI  
 WEST COLLEGE AVE  
 GUGGENHEIM

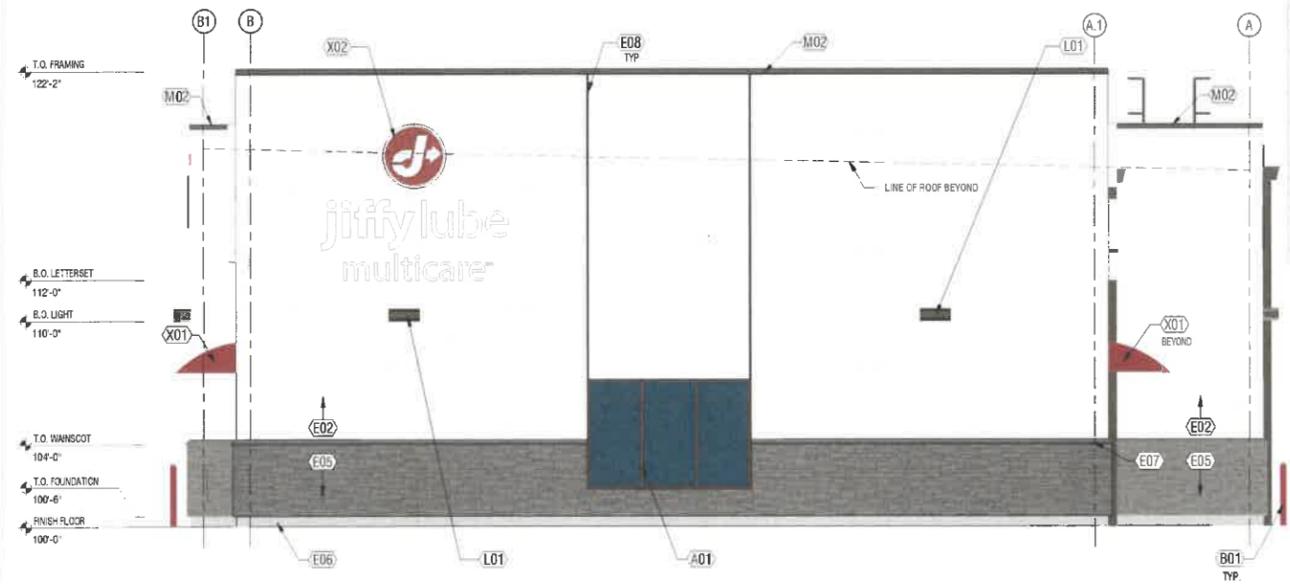
PRELIMINARY, NOT FOR CONSTRUCTION

MARK	DATE	DESCRIPTION

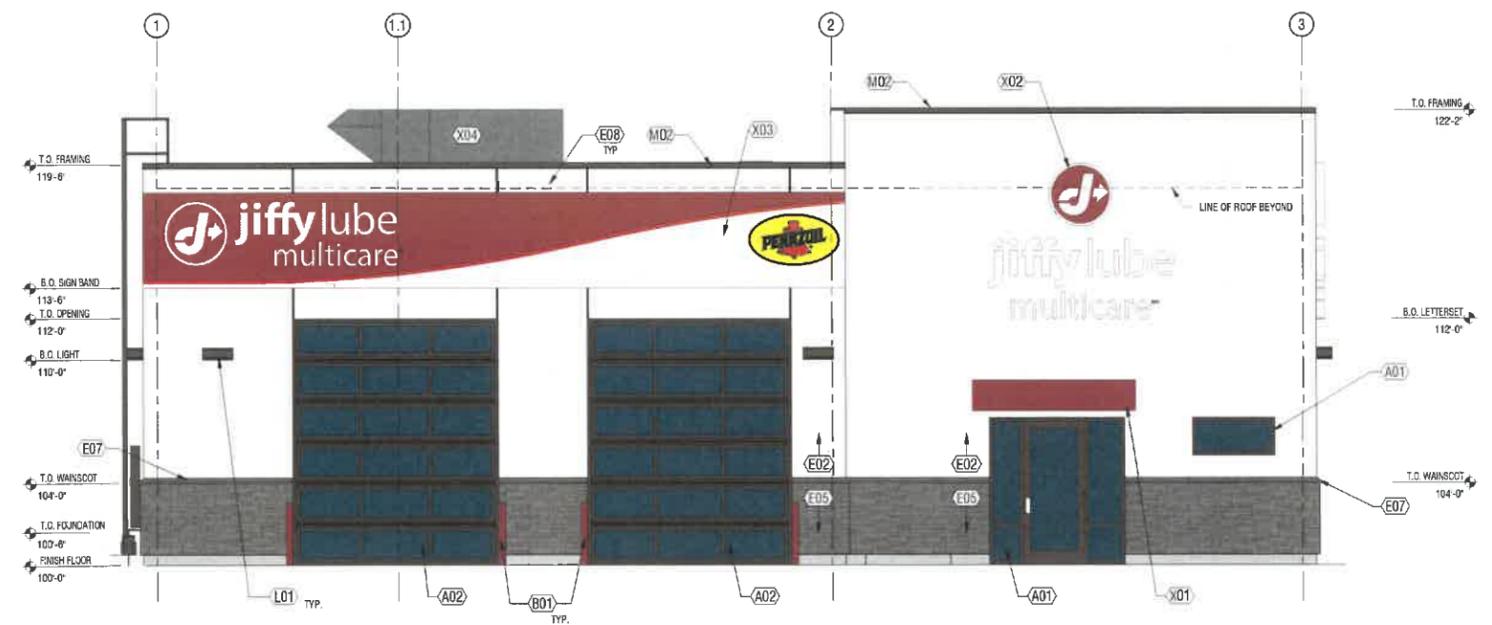
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 DRAWN BY: HARMISON  
 CHECKED BY: GOLIGHTLY  
 ISSUED: 06/24/2019

RENDERINGS

A-4.2



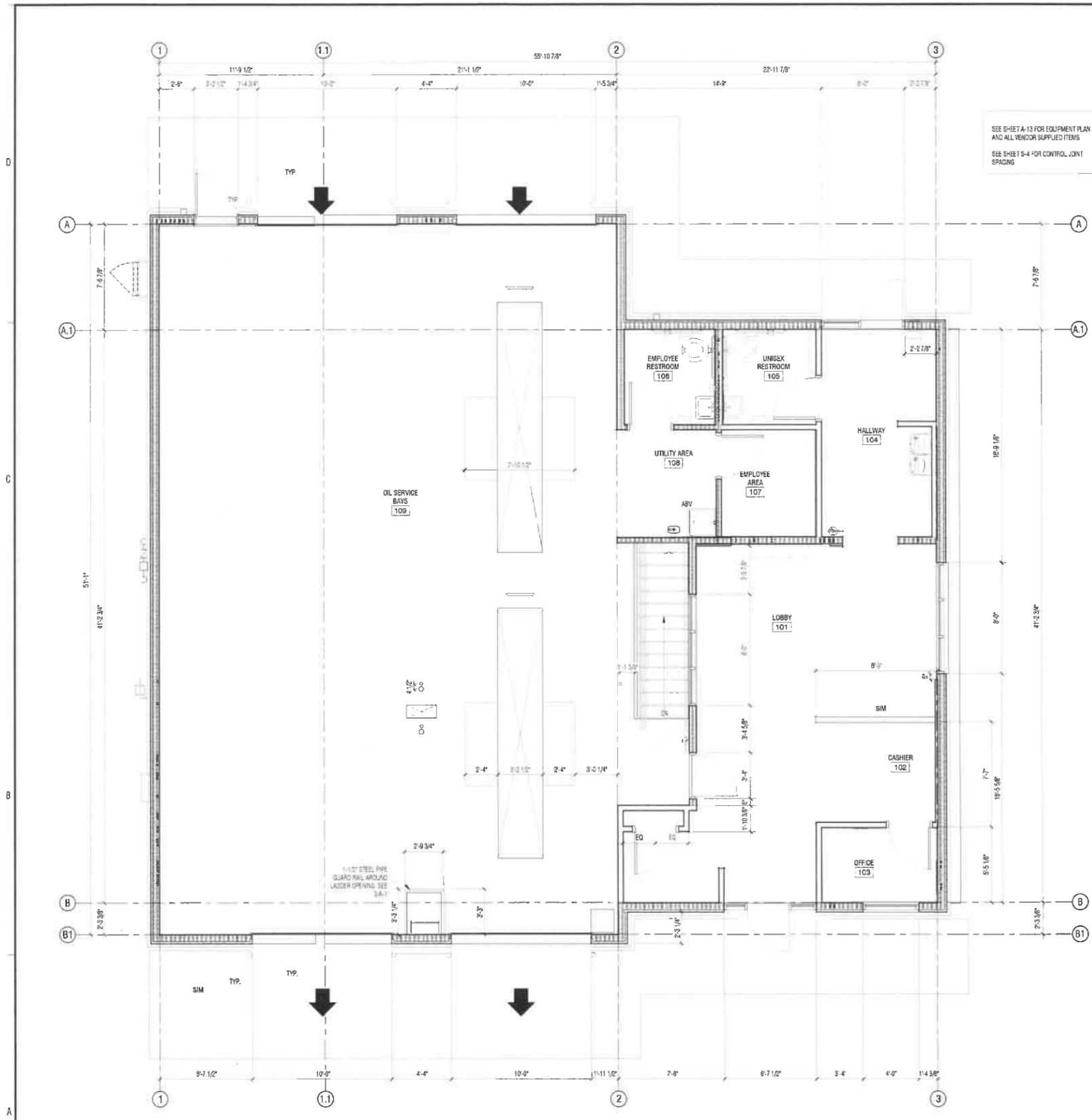
2 EXTERIOR ELEVATION - WEST  
 1/4" = 1'-0"



1 EXTERIOR ELEVATION - NORTH  
 1/4" = 1'-0"

1800115 12/20/14





FLOOR PLAN - UPPER BAY  
1/4" = 1'-0"

PRELIMINARY, NOT FOR CONSTRUCTION

FLOOR PLAN - UPPER BAY

MARK	DATE	DESCRIPTION

PROJECT #: 419542  
DRAWN BY: HARMISON  
CHECKED BY: GOLIGHTLY  
ISSUED: 06/24/2019

**JIFFY LUBE  
GRAND CHUTE, WI**  
WEST COLLEGE AVE  
GUGGENHEIM

**design west | architects**  
265 SOUTH 300 WEST  
795 NORTH 400 WEST  
LOGAN, UT 84321  
SALT LAKE CITY, UT 84103

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**Town of Grand Chute  
Special Exception Request  
Fore Dreams LLC, dba Culver's  
Electronic Message Center Sign**

12/13.

---

**To:** Plan Commission  
**From:** Michael Patza, Town Planner  
**Date:** September 11, 2019  
**Address:** 850 W. Evergreen Drive

**App. #: SE-14-19**

---

**REQUEST**

1. **Proposed Use(s):** Restaurant use.
2. **Project Description:** Operation of an electronic message center sign.
3. **Plat/CSM Accurate parcel lines/lot recorded:** Yes.

**ANALYSIS**

Applicant seeks approval to operate an electronic message center sign (EMU) that will be a part of a monument sign for the new restaurant. The sign will be 12' in height with a total size of 72 sq. ft., including a 20 sq. ft. EMU. The EMU will be equipped with automatic light sensors that adjust sign brightness according to the intensity of ambient light levels. The Sign Code enumerates a series of standards and technical requirements that must be met in the operation of this electronic message center sign.

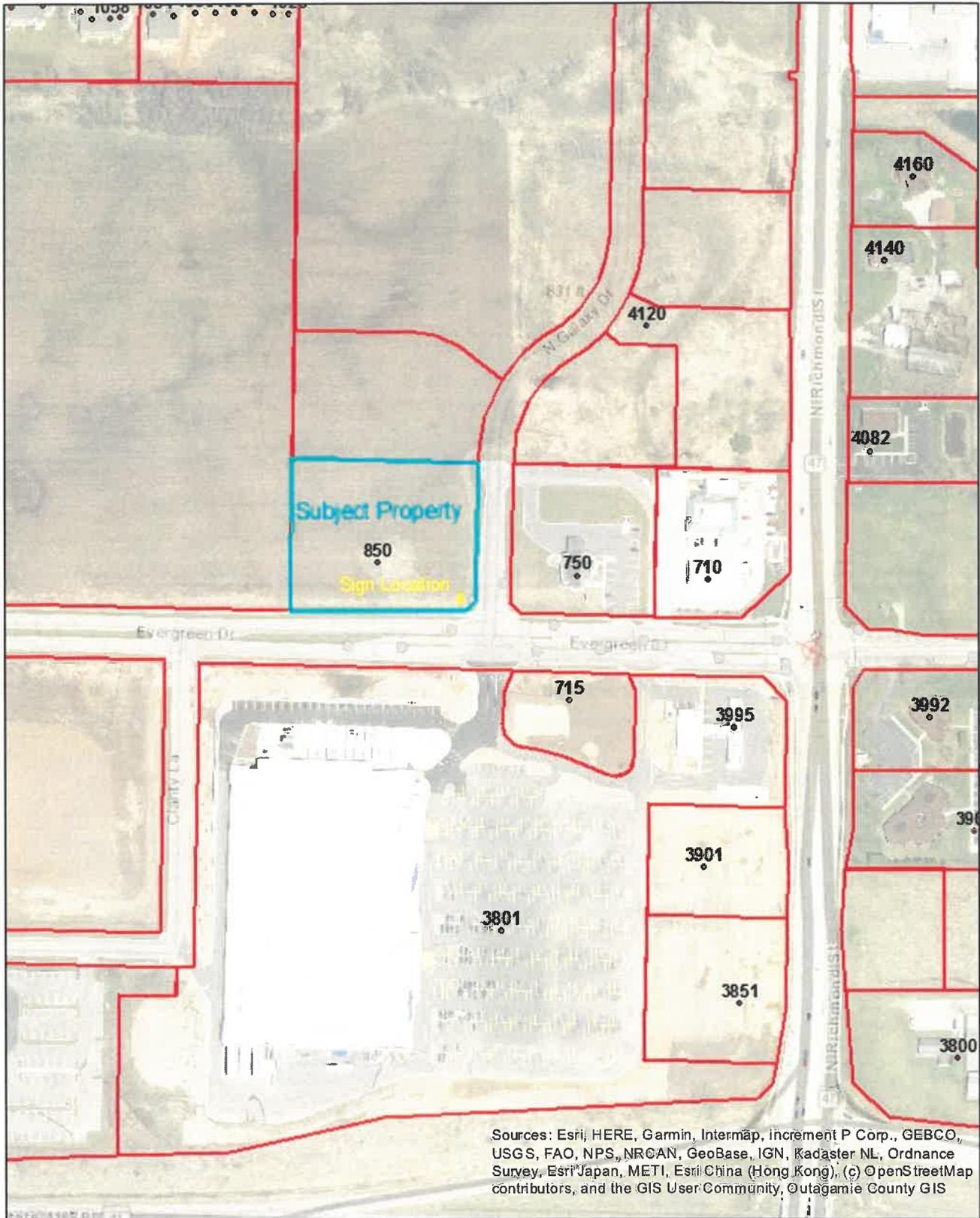
**FINDINGS OF FACT IN GRANTING OF A SPECIAL EXCEPTION**

- a. **The establishment, maintenance or operation of the proposed Special Exception use or structure at the proposed location will not be detrimental or injurious to the use and enjoyment of existing uses on adjacent properties or properties in the vicinity. *Found.***
- b. **The establishment, maintenance or operation of the proposed Special Exception use or structure, alone or in combination with other existing Special Exception uses and structures in the vicinity will not cause traffic hazards. *Found.***
- c. **Adequate provision is made for surface water drainage, ingress and egress to the property, and off-street parking. *NA.***
- d. **Adequate public facilities and services are available for the proposed Special Exception use of structure. *NA.***

**RECOMMENDATION**

Staff has reviewed and supports a Plan Commission recommendation for approval of the Special Exception Permit (SE-14-19) requested by Fore Dreams LLC, dba Culver's, 850 W. Evergreen Drive, to allow operation of an electronic message center sign.

# SE-14-19 -- 850 W. Evergreen Drive



Sources: Esri, HERE, Garmin, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), (c) OpenStreetMap contributors, and the GIS User Community, Outagamie County GIS

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Author:  
Copyright:



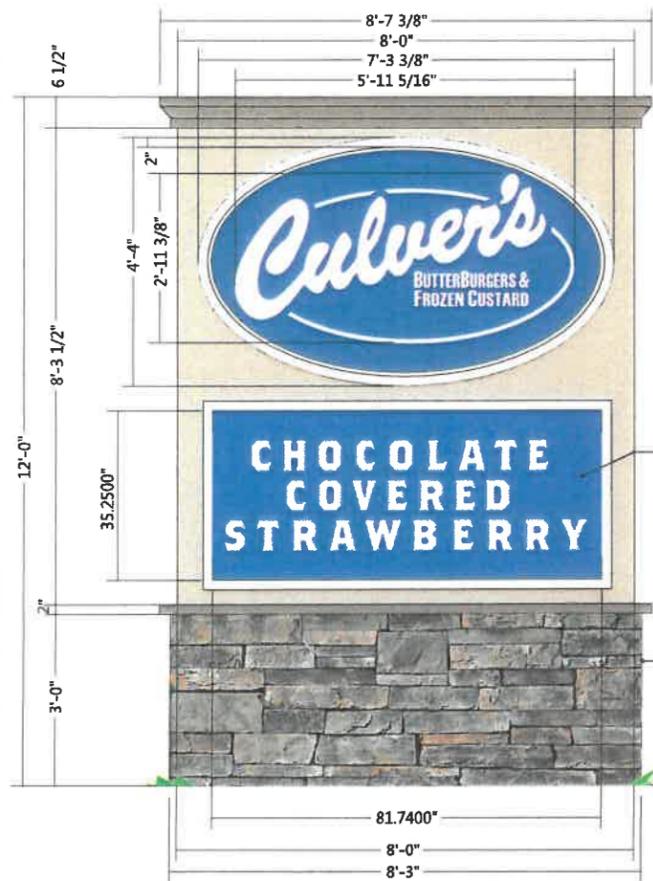


S1

### Custom Monument

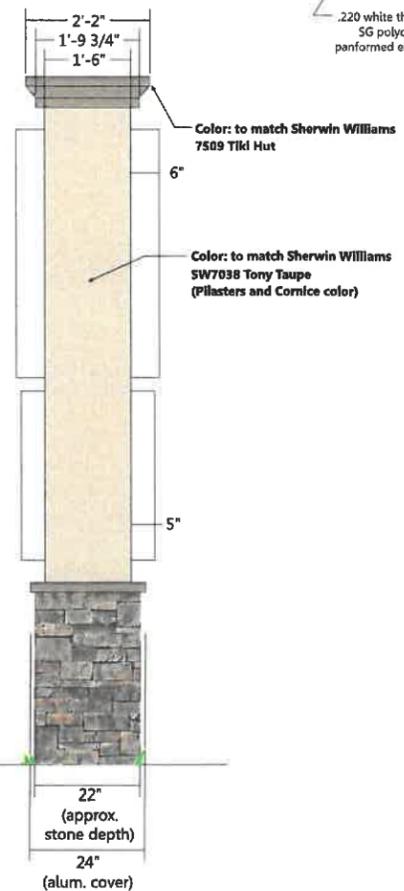
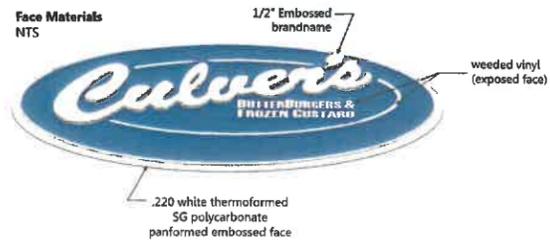
New monument to be installed. Main oval aluminum cabinet with pan-formed embossed sign faces. Translucent film applied first surface matching PMS 294C. Brick base to be completed by the general contractor.

72<sup>th</sup>



52<sup>th</sup>

20<sup>th</sup>



Scale = 1/2" = 1'

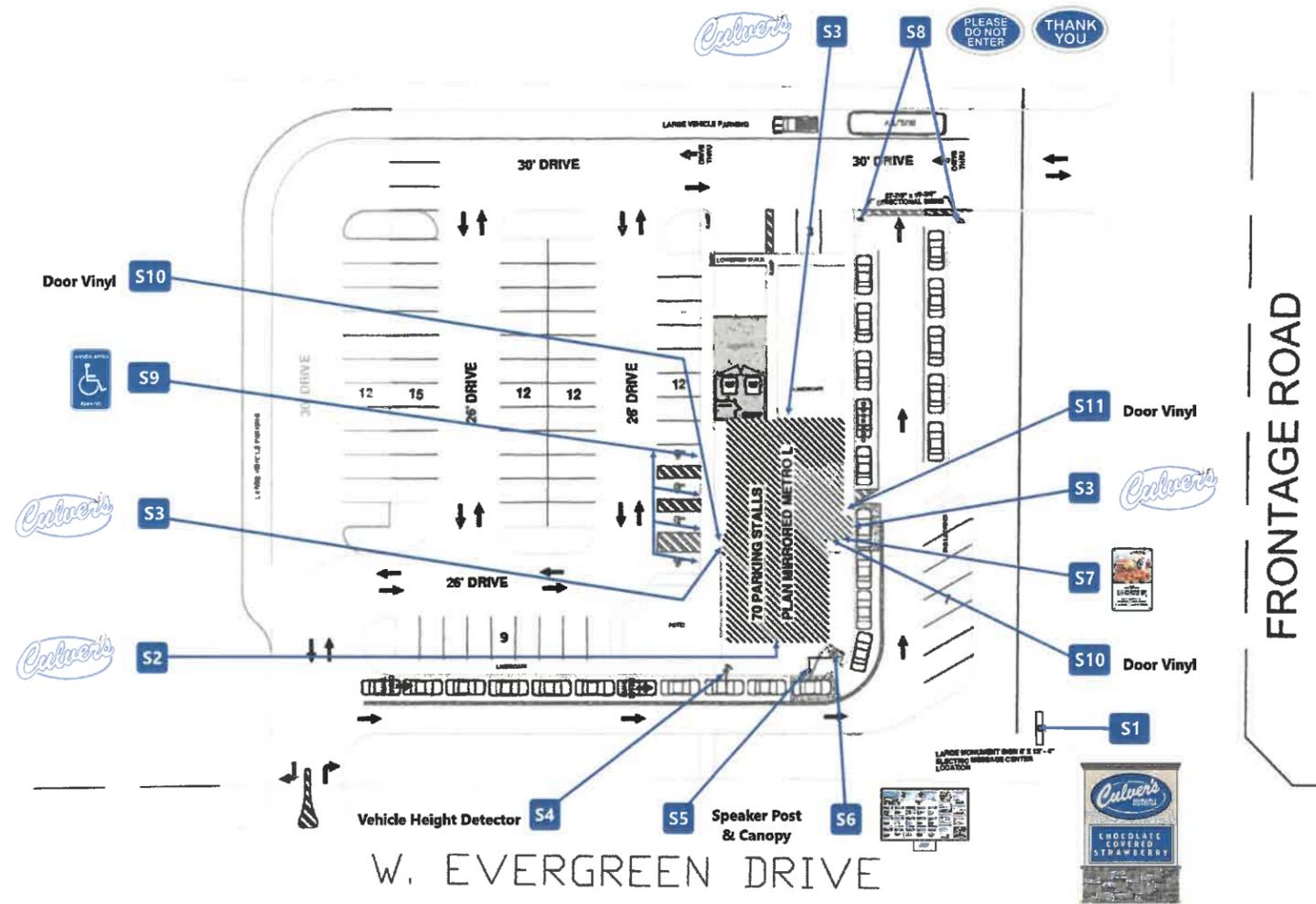


Revisions:	Revisions:	Revisions:
add second monument option - MS - 11.13.18	X	X
Revised EMC and made primary option (7/24/19) PB	X	X
X	X	X

File Location:	STHD	X	Date:	10/15/18	City/State:	Grand Chute, WI.
Drive/Client:	CSTM		Designer:	PB	PM:	MC
			Address:	W Evergreen		

Drawing #	C58933-2
QE #	118984

Site Plan



Revisions:  
 Added S9 / 11/15/18  
 Site plan revised (11/15/18)  
 X

Revisions:  
 X  
 X

Revisions:  
 X  
 X

File Location:  
 Drive/Clients/  
 AS  CR  EN

STND   
 CSTM

Date: 10/15/18  
 Designer: PB  
 PK: MC

City/State: Grand Chute, WI  
 Address: W. Evergreen

Drawing # C58933-1  
 OE # 118984

**Town of Grand Chute  
Site Plan Amendment Review  
Fore Dreams LLC, dba Culver's**

---

**To: Plan Commission**

**From: Michael Patza, Town Planner**

**Date: September 11, 2019**

**Address: 850 W. Evergreen Drive**

**App. #: SPA1-22-18**

---

**REQUEST**

- 1. Proposed Use(s):** Restaurant use.
- 2. Project Description:** Installation of a monument sign, including an electronic message center.
- 3. Plat/CSM Accurate parcel lines/lot recorded:** Yes.

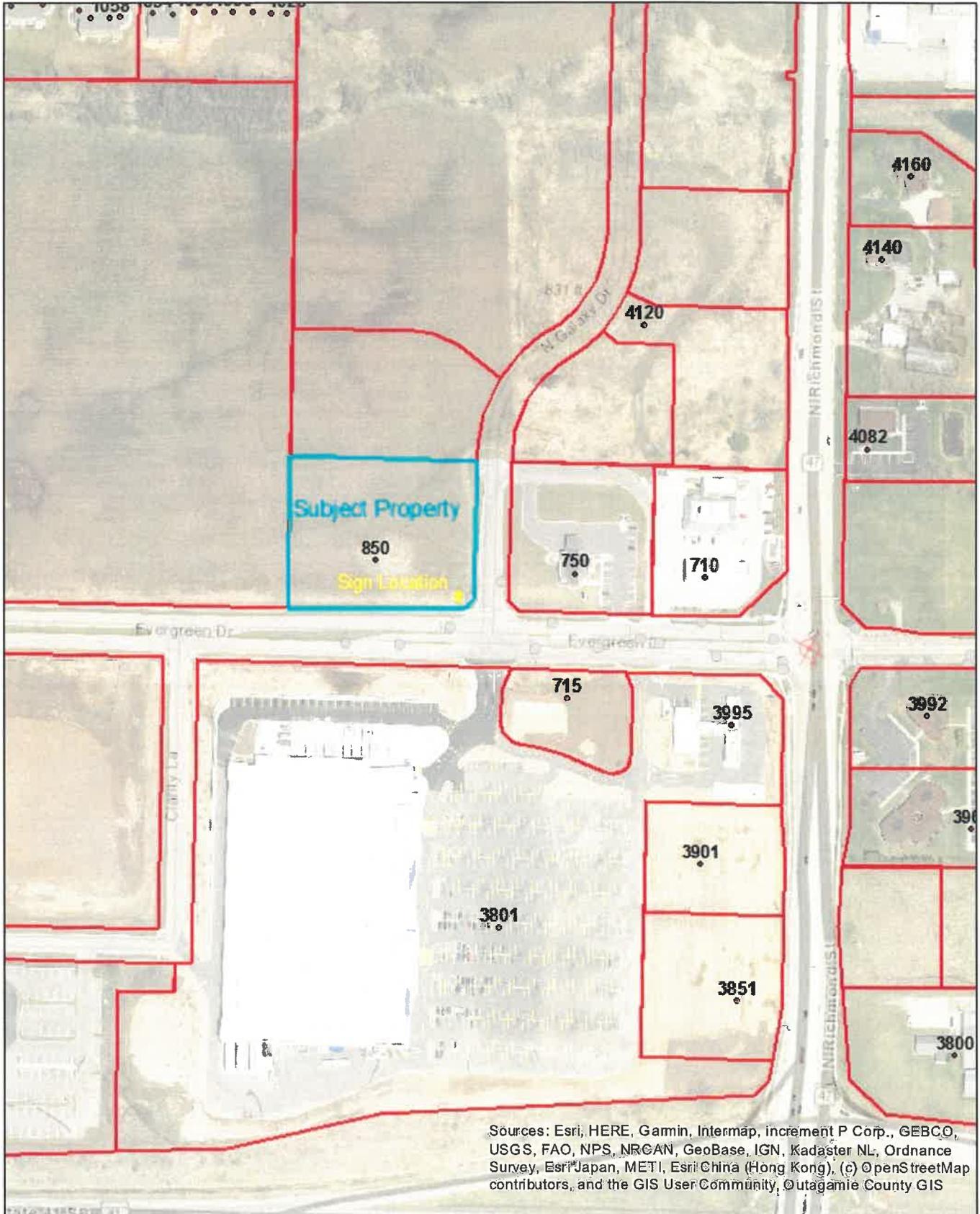
**ANALYSIS**

Applicant seeks approval to install a monument sign, including a new electronic message center (EMU). The sign will be 12' in height with a total size of 72 sq. ft., including a 20 sq. ft. EMU. The sign will be located on the corner of W. Evergreen Drive and N. Galaxy Drive. All code requirements are met with this request.

**RECOMMENDATION**

Staff has reviewed and supports Plan Commission approval of the Site Plan Amendment (SPA1-22-18) requested by Fore Dreams LLC, dba Culver's, 850 W. Evergreen Drive, to install a monument sign, including an electronic message center, subject to Town Board approval of Special Exception SE-14-19.

# SPA1-22-18 -- 850 W. Evergreen Drive



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Author:  
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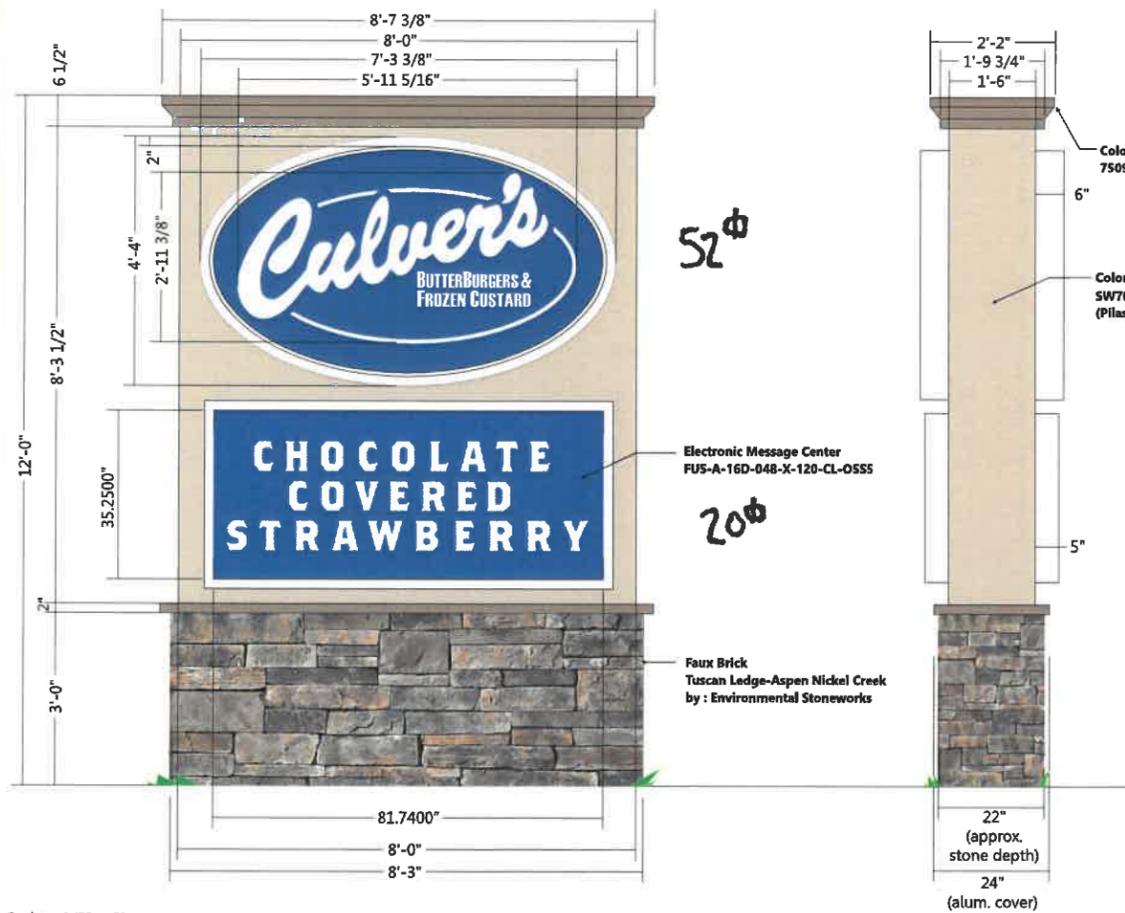


S1

### Custom Monument

New monument to be installed. Main oval aluminum cabinet with pan-formed embossed sign faces.  
Translucent film applied first surface matching PMS 294C. Brick base to be completed by the general contractor.

72<sup>φ</sup>



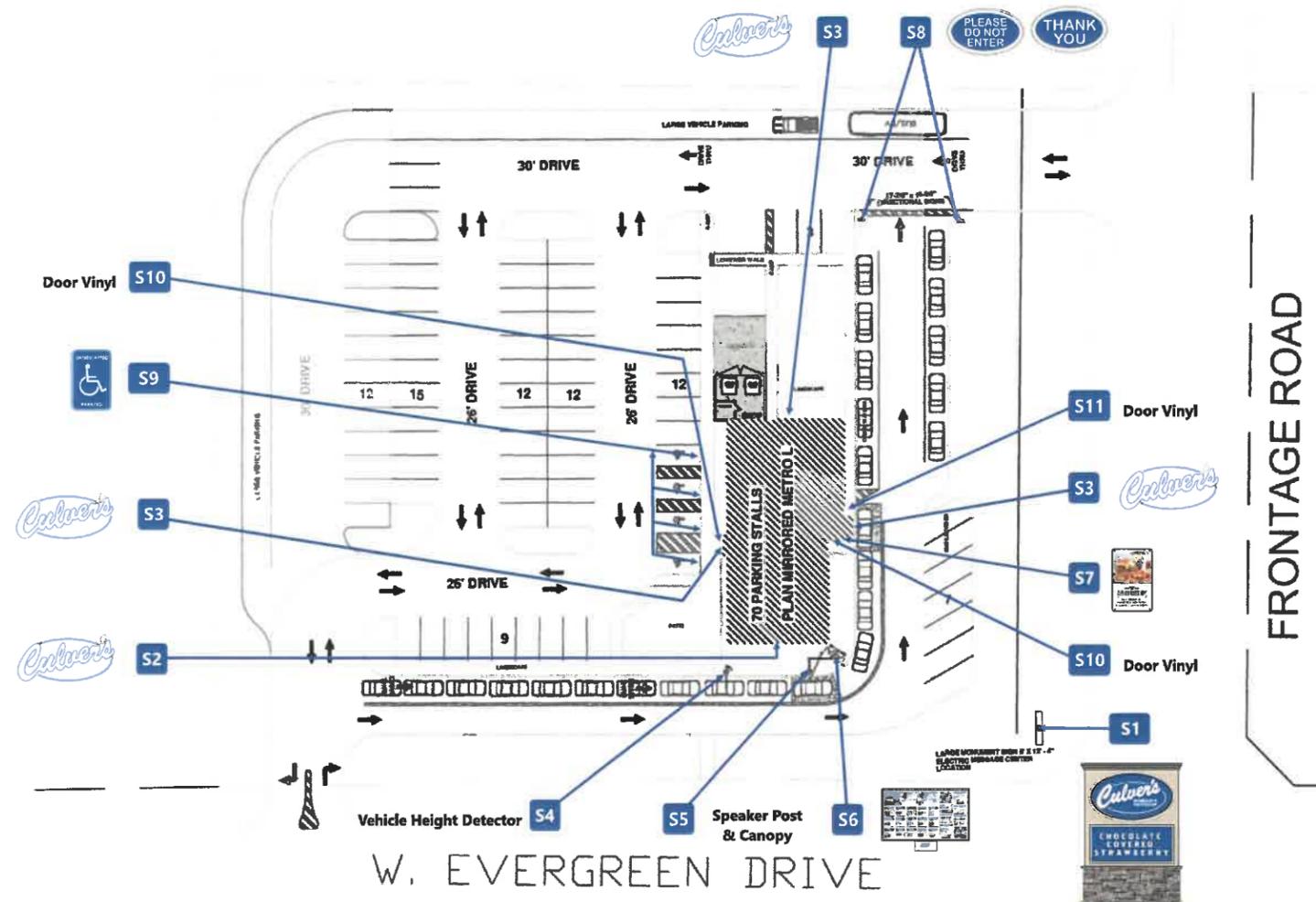
Scale = 1/2" = 1'



Revisions:	Revisions:	Revisions:
added second monument option - JIS - 81218	X	X
Revised CNC and made primary option (7/26/19) PB	X	X
X	X	X

File Location: Drive/Clients/	STND CSTM	Date: 10/15/18	City/State: Grand Chute, WI	Drawing # C58933-2
<input type="checkbox"/> AS	<input checked="" type="checkbox"/> CR	<input checked="" type="checkbox"/> EN	Designer: PB	PM: MC
			Address: W. Evergreen	OE # 118984

Site Plan



Revisions:  
 Added STD / KB / 10/15/18  
 Site plan revised (P25/26) PB  
 X

Revisions:  
 X  
 X  
 X

Revisions:  
 X  
 X  
 X

File Location: STND X  
 Drive/Clients/ CSTM

Date: 10/15/18  
 Designer: PB  
 PM: MC

City/State: Grand Chute, WI  
 Address: W. Evergreen

Drawing # C58933-1  
 OE # 118984

AS  CR  EN

**Town of Grand Chute  
Special Exception Amendment Request  
Greene Development Appleton, LLC**

---

**To:** Plan Commission  
**From:** Michael Patza, Town Planner  
**Date:** September 11, 2019  
**Address:** 3810 W. Wisconsin Avenue

**App. #: SEA2-24-17**

---

**REQUEST**

- 1. **Proposed Use:** Planned Unit Development (PUD) commercial.
- 2. **Project Description:** Amendment No. 2 to the Greene Development PUD, updating development plans and site signage plans.
- 3. **Plat/CSM accurate parcel lines/lot recorded:** Yes.

**ANALYSIS**

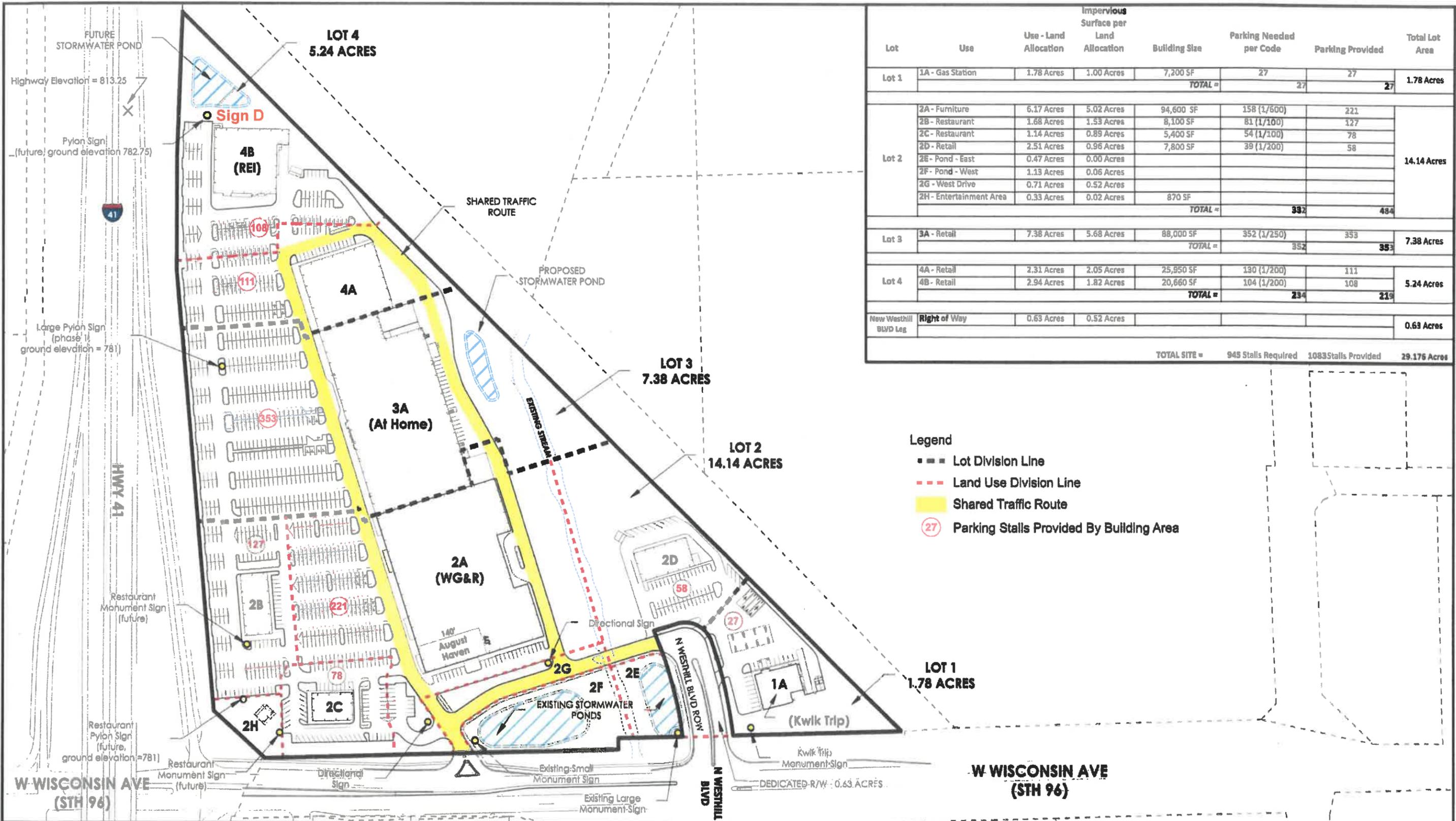
The proposed amendment will update the Greene Development PUD Master Plan to reflect recent site development. Changes include modifications to the footprint of the REI building, modifications to parking and drive lanes on the north side of the development, and reconfiguration of a stormwater pond. The revised PUD Signage Plan also reflects a change in location for the REI pylon sign. The proposed sign is consistent with the Signage Plan previously approved through the first phase of the Greene Development PUD. Approval of a Special Exception Permit and Site Plan Amendment are required for the proposed sign.

**FINDINGS OF FACT IN GRANTING OF A SPECIAL EXCEPTION**

- a. **The establishment, maintenance or operation of the proposed Special Exception use or structure at the proposed location will not be detrimental or injurious to the use and enjoyment of existing uses on adjacent properties or properties in the vicinity. Found.**
- b. **The establishment, maintenance or operation of the proposed Special Exception use or structure, alone or in combination with other existing Special Exception uses and structures in the vicinity will not cause traffic hazards. Found.**
- c. **Adequate provision is made for surface water drainage, ingress and egress to the property, and off-street parking. Found.**
- d. **Adequate public facilities and services are available for the proposed Special Exception use of structure. Found.**

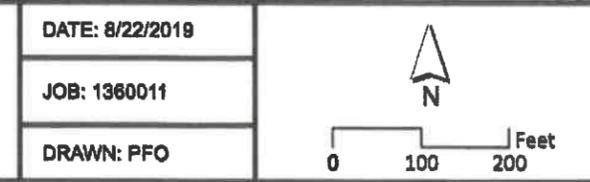
**RECOMMENDATION**

Staff has reviewed and supports a Plan Commission recommendation for approval of the Special Exception Amendment (SEA2-24-17) requested by Greene Development Appleton, LLC, 3810 W. Wisconsin Avenue, for Amendment No. 2 to the Greene Development PUD, updating site development plans and site signage plans.



**PUD MASTER PLAN**  
**TOWN OF GRAND CHUTE**  
**OUTAGAMIE COUNTY, WI**

DATE: 8/22/2019  
 JOB: 1360011  
 DRAWN: PFO

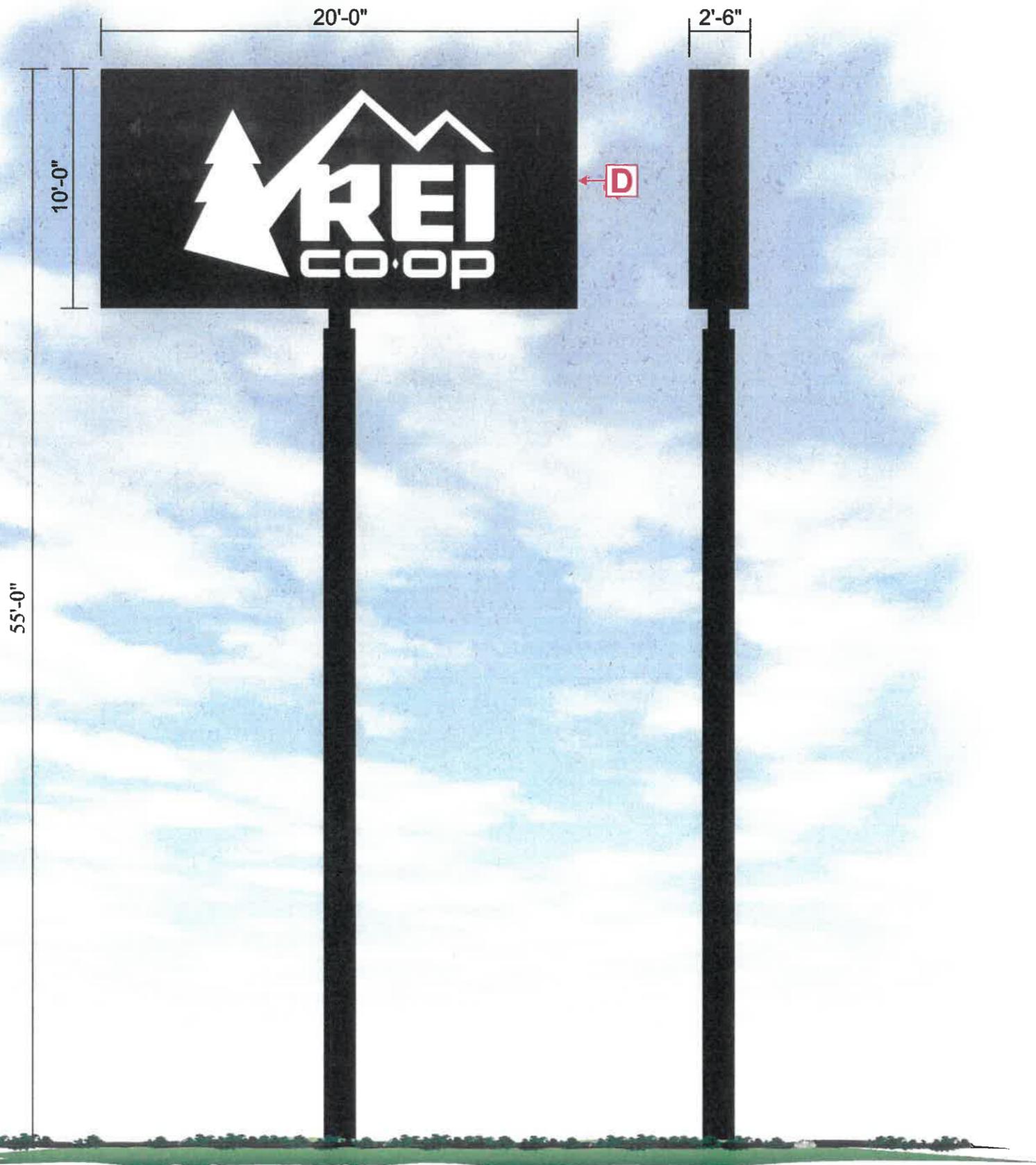


Source: Robert E. Lee & Associates, Inc.  
 ESRI, Outagamie County

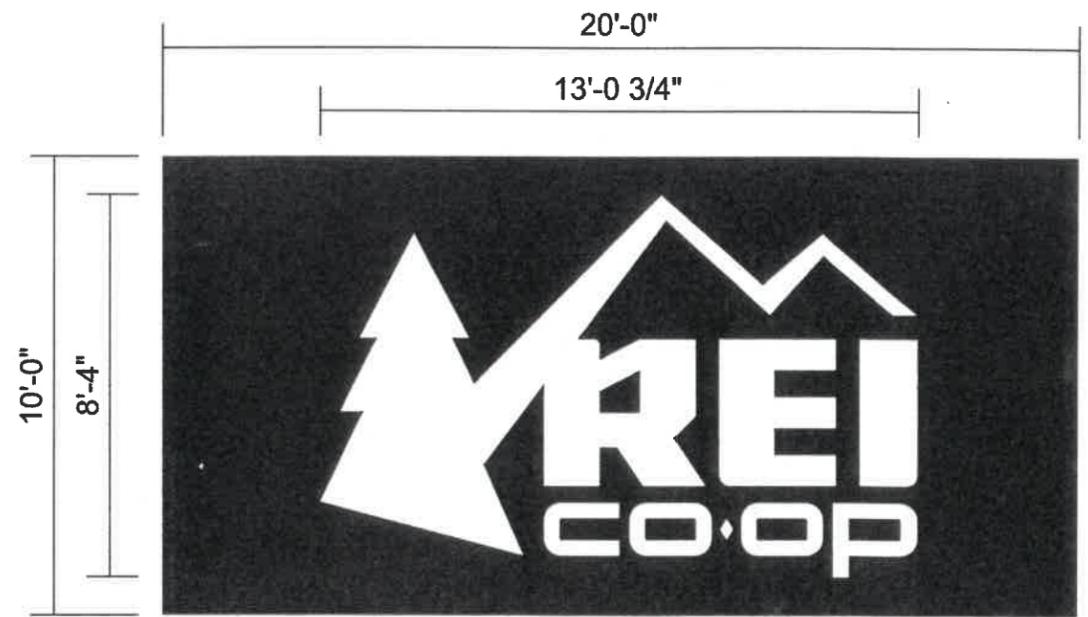
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**Robert E. Lee & Associates, Inc.**  
 Engineering, Surveying and Environmental Services

1250 Centennial Centre Boulevard, Hobart, WI 54155  
 Phone: (920) 682-9841 FAX: (920) 682-9141  
 www.releinc.com



Pylon Elevation - Scale: 3/16" = 1'-0"



**D** Pylon Face Specifications Scale: 1/4" = 1'-0"  
 Manufacture and install two (2) faces for one (1) existing double faced, internally-illuminated pylon sign.

Description	Specification/Material	Finish	Color
Faces	Panaflex	Digitally printed	Background = Black Copy = White

REVISION	DATE	DESCRIPTION
1	5/6/19	Revise all freestanding signs

PROJECT: \_\_\_\_\_  
 CUSTOMER: REI  
 LOCATION: 3800 W. Wisconsin Ave. - Appleton, WI 54914  
 DATE: 3/28/2019  
 SALES: Bob Kienitzky  
 DESIGNER: James Franks  
 SERVER: S:\REI\Appleton W\pdf

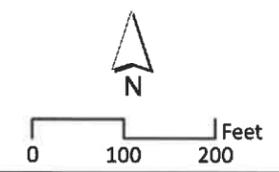
APPROVALS
SALES: _____
CUSTOMER: _____
LANDLORD: _____

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**PUD GREENSPACE PLAN**  
**TOWN OF GRAND CHUTE**  
**OUTAGAMIE COUNTY, WI**

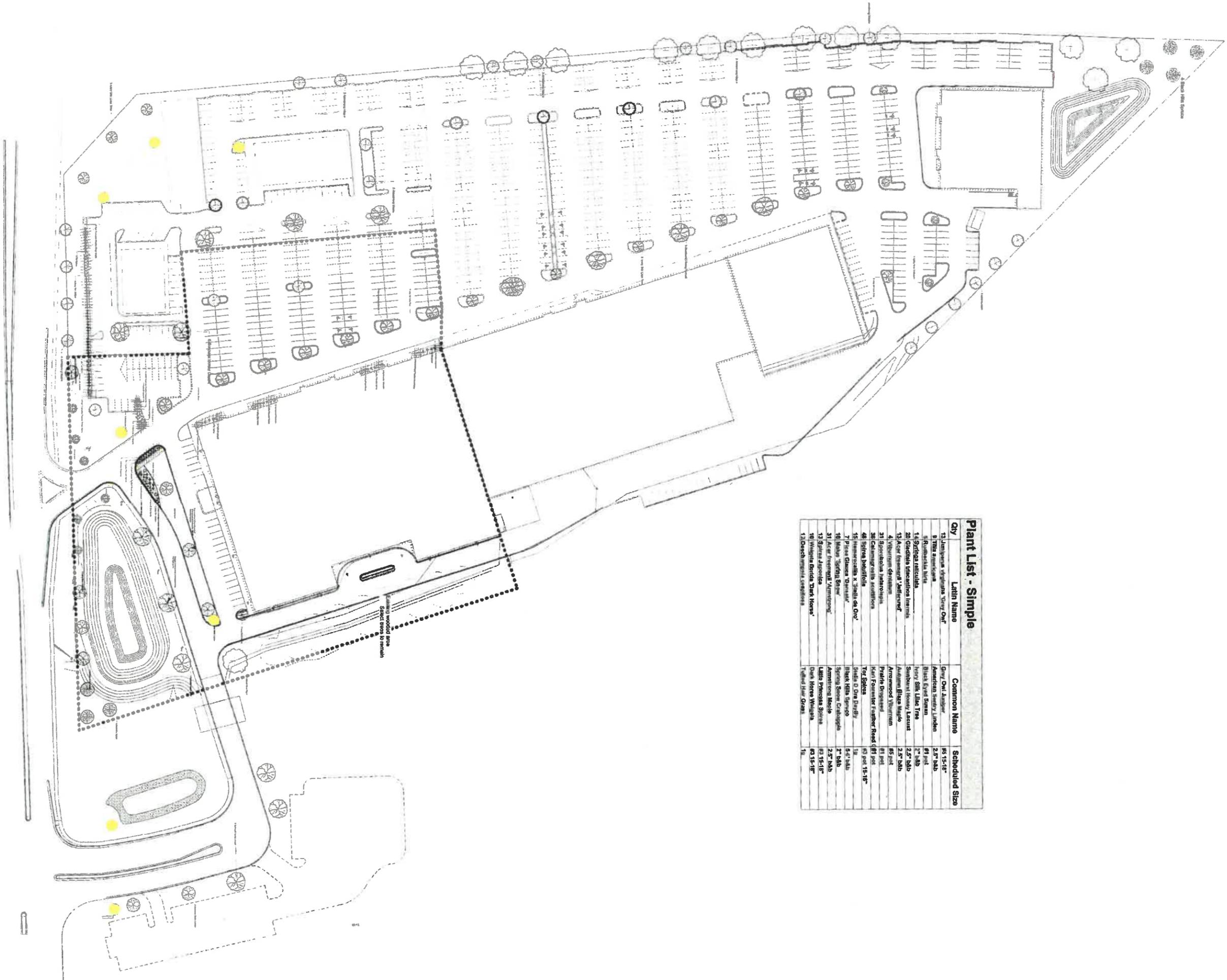
DATE: 8/22/2019  
 JOB: 1360011  
 DRAWN: PFO



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 1250 Centennial Centre Boulevard, Hobart, WI 54155  
 Phone: (920) 662-9641 FAX: (920) 662-9141  
 www.releinc.com



**Plant List - Simple**

Qty	Latin Name	Common Name	Scheduled Size
13	<i>Juncus virginiana</i> 'Very Owl'	Gray Owl Juniper	65 15-18"
9	<i>Tilia americana</i>	American Selder Linden	2.5" b&b
8	<i>Rubuscula hirs</i>	Black Eye Susan	6" pot
14	<i>Syringa reticulata</i>	Very Silk, Lilac Tree	2" b&b
20	<i>Quercus spicata</i> 'Inermis'	Southern Honey Locust	2.5" b&b
13	<i>Acer fraxinifolia</i> 'Jefferson'	American Blue Maple	2.5" b&b
4	<i>Viburnum dentatum</i>	Arrowwood Viburnum	65 pot
31	<i>Spiraea japonica</i>	Prickly Dogwood	65 pot
30	<i>Campanula medium</i>	Per Perennial Flower Road	65 pot 15-18"
46	<i>Syringa latifolia</i>	For Setae	18"
15	<i>Hemerocallis x Stella de Oro</i>	Stella de Oro Daylily	6-8" b&b
7	<i>Picea Canica</i> 'Quasar'	Black Hills Spruce	2" b&b
10	<i>Lehman's Spotted Spruce</i>	Spring Snow Crabapple	2.5" b&b
31	<i>Acer fraxinifolia</i> 'Vernstroem'	American Maple	65 15-18"
13	<i>Spiraea japonica</i>	Dark Flowering Spirea	65 15-18"
10	<i>Valeriana florida</i> 'Dark Home'	Dark Home Valeriana	18"
13	<i>Dactylis glomerata</i> 'capillaris'	Tuffed Hair Grass	18"

FILE NO. JOB # SHEET NO.

PROJECT: **WG&R Project**

ADDRESS: Grand Chute, WI

DATE: 11-11-2017  
 REVISED: 10-23-2018  
 REVISED: 10-24-2018  
 REVISED: 04-04-2019

SCALE: 1/3200

DRAWN BY: BJA

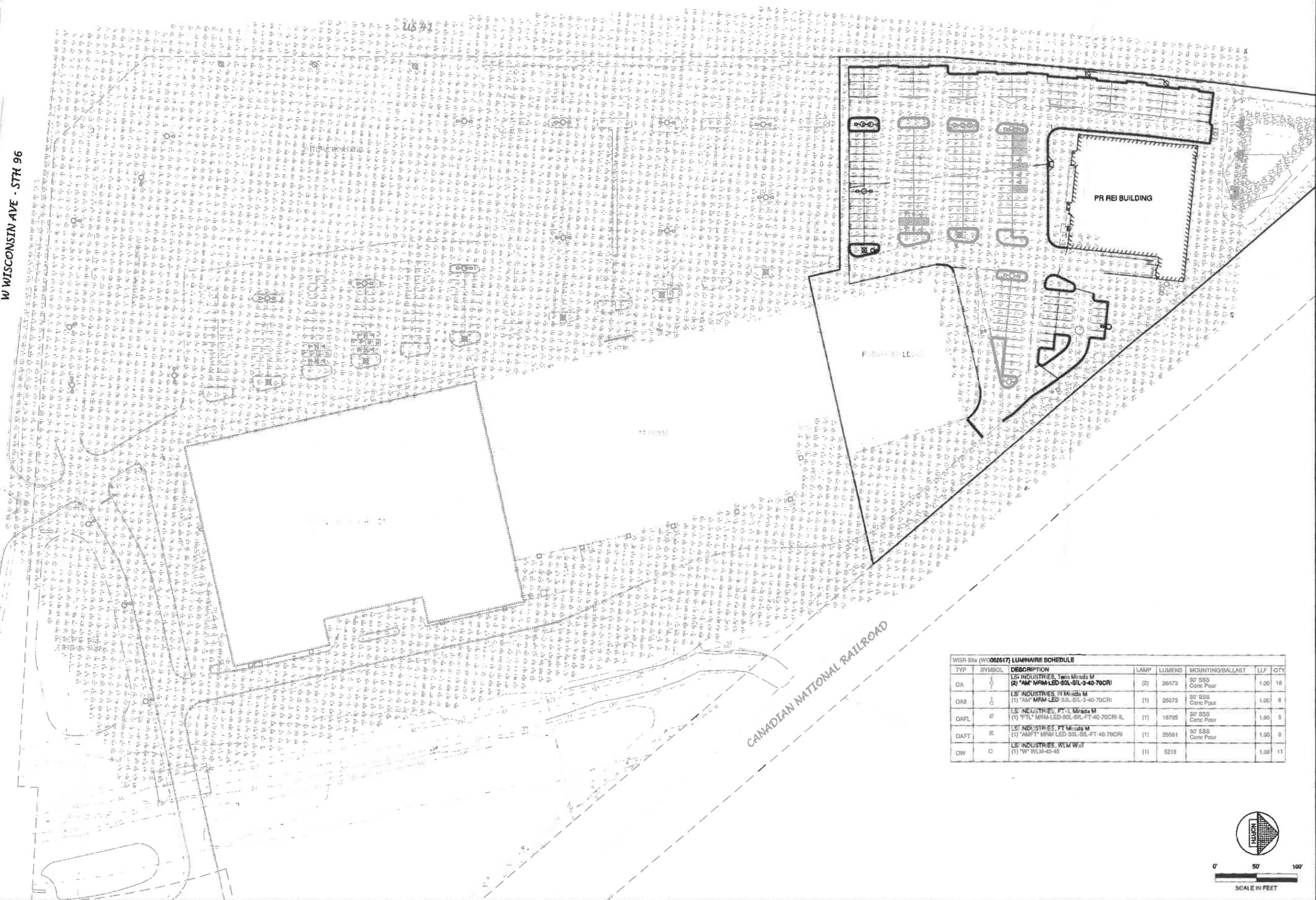
SHEET TITLE

LANDSCAPE ARCHITECTURE DEVELOPMENT AND CONSTRUCTION

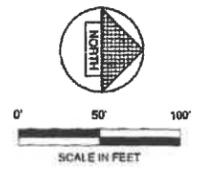
**LIZER**  
LANDSCAPE & NURSERY

2024 BELLEVUE STREET  
 GREEN BAY, WISCONSIN 54301  
 PHONE: 920-466-1830  
 FAX: 920-466-1830  
 WWW.LIZERLANDSCAPE.COM

W WISCONSIN AVE - STR 96



WGR Site (W062617) LUMINAIRE SCHEDULE						
TYP	SYMBOL	DESCRIPTION	LAMP	LUMENS	MOUNTING/BALLAST	LLF QTY
OA	○	LSI INDUSTRIES, Two Mirada M (2) *AMP MRM-LED-30L-SIL-3-40-70CRI	(2)	26073	30' SSS Conc Four	1.00 18
OAB	○	LSI INDUSTRIES, 11 Mirada M (1) *AMP MRM-LED-30L-SIL-3-40-70CRI	(1)	26073	30' SSS Conc Four	1.00 6
OAF1	○	LSI INDUSTRIES, FT Mirada M (1) *FTL MRM-LED-30L-SIL-FT-40-70CRI-IL	(1)	16795	30' SSS Conc Four	1.00 5
OAF2	○	LSI INDUSTRIES, FT Mirada M (1) *AMP FT MRM-LED-30L-SIL-FT-40-70CRI	(1)	25861	30' SSS Conc Four	1.00 8
OW	□	LSI INDUSTRIES, WLM Wall (1) *W WLM-40-40	(1)	5218		1.00 11



NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION
1	04/2/19	AJB	REVISED CALCULATIONS AT REI SITE				

CENTER VALLEY PUD  
TOWN OF GRAND CHUTE  
OUTAGAMIE COUNTY, WISCONSIN

MASTER LIGHTING PLAN

DATE: 01/20/19  
FILE: LIGHTING - MASTER PLAN  
JOB NO.: 136211

**Robert E. Lee & Associates, Inc.**  
ENGINEERING, SURVEYING, ENVIRONMENTAL SERVICES  
1250 CENTENNIAL CENTRE BOULEVARD HOBAK, WI 54155  
920-662-9641 www.releinc.com

SHEET NO. **15**

16/17

# Town of Grand Chute Special Exception Request Greene Development Appleton, LLC

To: Plan Commission  
From: Michael Patza, Town Planner  
Date: September 11, 2019  
Address: 3850 W. Wisconsin Avenue

App. #: SE-15-19

## REQUEST

1. **Proposed Use:** Planned Unit Development (PUD) commercial.
2. **Project Description:** To allow a sign with a size and height bonus as permitted in Chapter 535-59 and Chapter 535-108 of the Town of Grand Chute Municipal Code.
3. **Plat/CSM accurate parcel lines/lot recorded:** Yes.

## ANALYSIS

The proposed sign, to be located on the north side of the development along I-41, will serve as the pylon sign for REI. The sign will be 55'-0" in height and 200 sq. ft. in size. The Sign Code allows a height and size bonus with a Special Exception Permit if a development meets certain criteria. Listed below, the REI site satisfies the minimum requirement of meeting three of the five criteria to be eligible for the bonus:

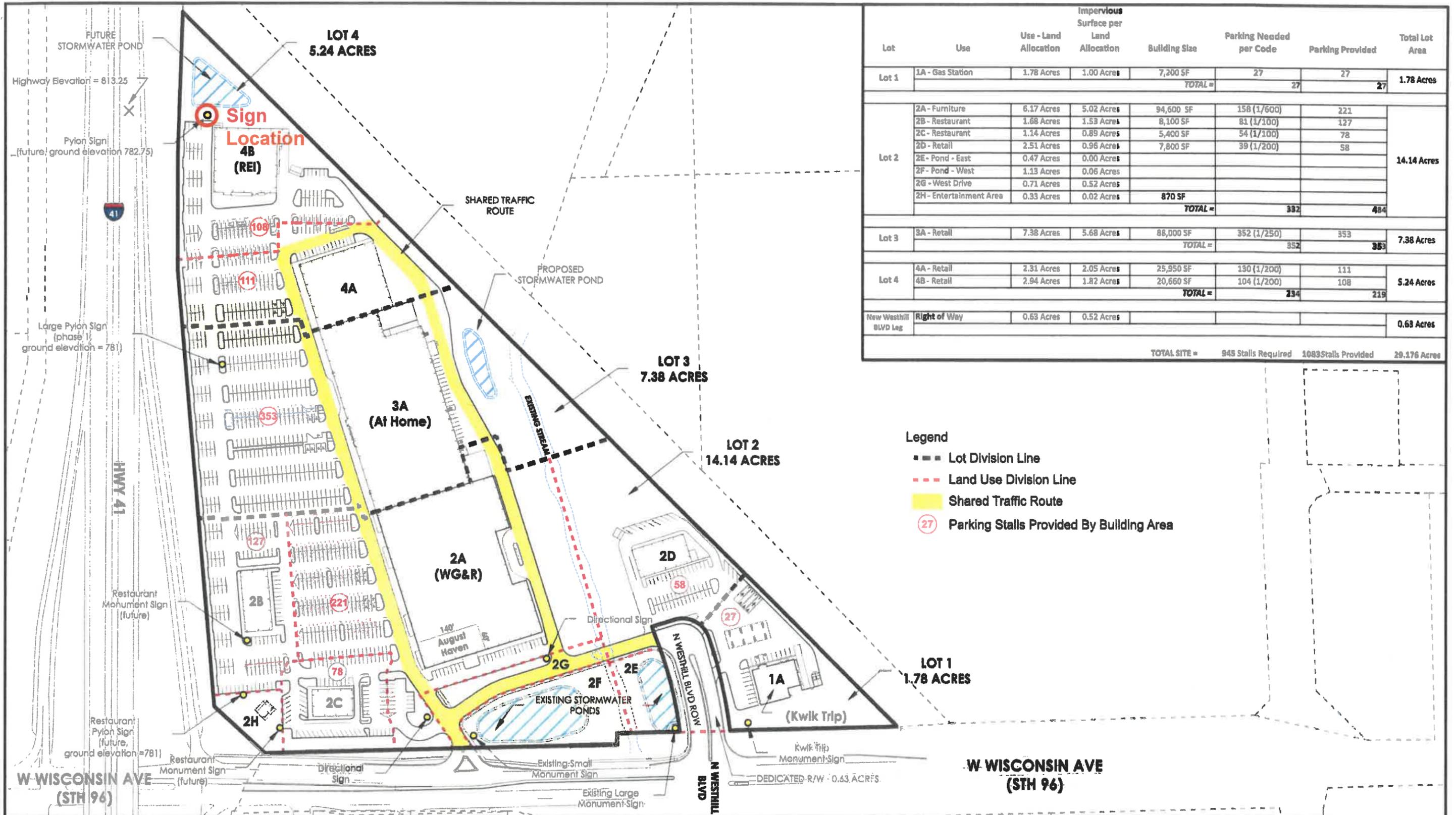
1. Minimum lot size is two acres.
2. Individually, or in combination with other adjoining lots, the lot is characterized as a development area.
3. The lot or development area contains at least 330 linear feet of public road frontage on one or more sides.
4. The lot or development area has frontage on more than one public road.
5. The lot or development area contains more than one principal building.

## FINDINGS OF FACT IN GRANTING OF A SPECIAL EXCEPTION

- a. The establishment, maintenance or operation of the proposed Special Exception use or structure at the proposed location will not be detrimental or injurious to the use and enjoyment of existing uses on adjacent properties or properties in the vicinity. *Found.*
- b. The establishment, maintenance or operation of the proposed Special Exception use or structure, alone or in combination with other existing Special Exception uses and structures in the vicinity will not cause traffic hazards. *Found.*
- c. Adequate provision is made for surface water drainage, ingress and egress to the property, and off-street parking. *Found.*
- d. Adequate public facilities and services are available for the proposed Special Exception use of structure. *Found.*

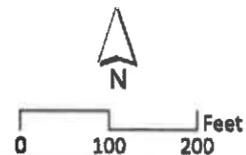
## RECOMMENDATION

Staff has reviewed and supports a Plan Commission recommendation for approval of the Special Exception Permit (SE-15-19) requested by Greene Development Appleton, LLC, 3850 W. Wisconsin Avenue, to allow a multitenant sign with a size and height bonus as permitted in Chapter 535-59 and Chapter 535-108 of the Town of Grand Chute Municipal Code, subject to Town Board approval of Special Exception Amendment SEA2-24-17.



**PUD MASTER PLAN  
TOWN OF GRAND CHUTE  
OUTAGAMIE COUNTY, WI**

DATE: 8/22/2019  
JOB: 1360011  
DRAWN: PFO



Source: Robert E. Lee & Associates, Inc.  
ESRI, Outagamie County

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www.releelnc.com



Night View



DOUBLE FACE INTERNALLY ILLUMINATED PYLON Scale: 1/4" = 1'-0"

Digitally Printed Flex Faces  
Illuminated w/LEDs  
Cabinet/Pole Painted Black



(800) 514-1119 | elevate97.com

DESIGN #: 10213 PAGE: 1

CLIENT: R.E.I.  
ADDRESS: 3800 W. WISCONSIN AVE., APPLETON, WI  
DATE: AUGUST 26, 2019  
SCALE: 1/8"=1'-0"  
A.C.: AL SMITH  
DESIGNER: JM  
REVISED BY: DATE:

DESIGN STAGE

CONCEPTUAL  FINAL JOB #: S000000

ITEMS NEEDED PRIOR TO FABRICATION

- FIELD SURVEY / MEASUREMENTS REQUIRED
- ELECTRONIC FILE OF LOGO REQUIRED
- COLORS TO BE DETERMINED

APPROVALS

WITH APPROVAL OF THIS DESIGN I HEREBY GIVE ELEVATE97 PERMISSION TO BEGIN PRODUCTION ON THE SIGNAGE ILLUSTRATED. I AGREE THAT ALL SPECIFICATIONS, SPELLING, COLORS AND ELEVATIONS LISTED ARE CORRECT AND APPROVED. ANY CHANGES MADE AFTER PRODUCTION HAS STARTED WILL RESULT IN ADDITIONAL CHARGES.

CLIENT SIGNATURE: DATE:

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REVIEWED BY	DATE	REVIEWED BY	DATE

**Town of Grand Chute  
Site Plan Amendment Review  
Greene Development Appleton, LLC**

---

**To: Plan Commission**  
**From: Michael Patza, Town Planner**  
**Date: September 11, 2019**  
**Address: 3850 W. Wisconsin Avenue**

**App. #: SPA1-10-19**

---

**REQUEST**

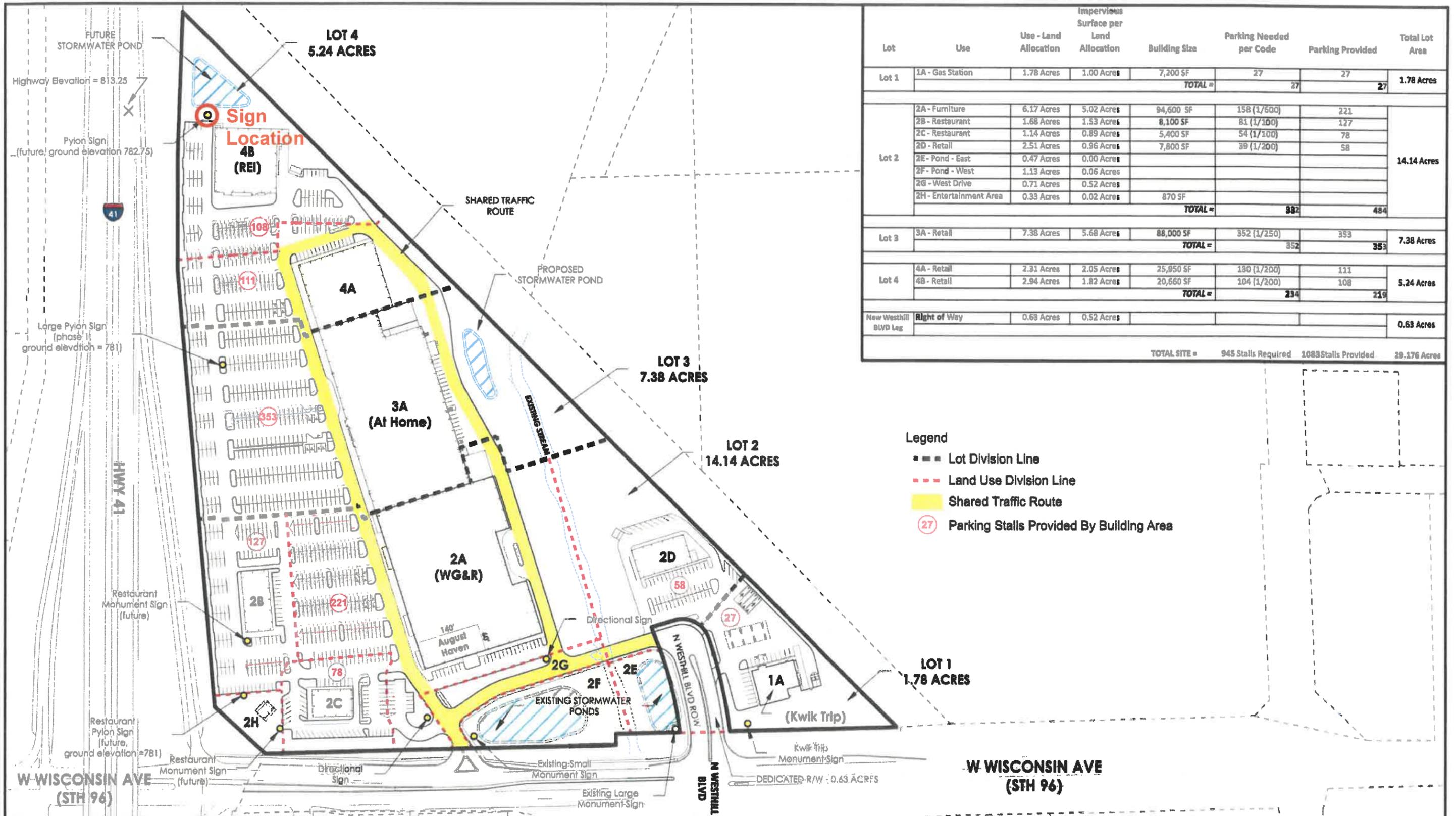
- 1. Proposed Use(s):** Planned Unit Development (PUD) commercial.
- 2. Project Description:** Installation of a pylon sign.
- 3. Plat/CSM Accurate parcel lines/lot recorded:** Yes.

**ANALYSIS**

Applicant seeks approval to install a new pylon sign for the REI site. The sign will be 55' in height and 200 sq. ft. in size. The sign will be located on the north end of the commercial development along the I-41 frontage. All code requirements are met with this request.

**RECOMMENDATION**

**Staff has reviewed and supports Plan Commission approval of the Site Plan Amendment (SPA1-10-19) requested by Greene Development Appleton, LLC, 3850 W. Wisconsin Avenue, for installation of a pylon sign, subject to Town Board approval of Special Exception Permit SE-15-19.**



Lot	Use	Use - Land Allocation	Impervious Surface per Land Allocation	Building Size	Parking Needed per Code	Parking Provided	Total Lot Area
Lot 1	1A - Gas Station	1.78 Acres	1.00 Acres	7,200 SF	27	27	1.78 Acres
	<b>TOTAL =</b>					<b>27</b>	
Lot 2	2A - Furniture	6.17 Acres	5.02 Acres	94,600 SF	158 (1/600)	221	14.14 Acres
	2B - Restaurant	1.68 Acres	1.53 Acres	8,100 SF	81 (1/100)	127	
	2C - Restaurant	1.14 Acres	0.89 Acres	5,400 SF	54 (1/100)	78	
	2D - Retail	2.51 Acres	0.96 Acres	7,800 SF	39 (1/200)	58	
	2E - Pond - East	0.47 Acres	0.00 Acres				
	2F - Pond - West	1.13 Acres	0.06 Acres				
	2G - West Drive	0.71 Acres	0.52 Acres				
	2H - Entertainment Area	0.33 Acres	0.02 Acres	870 SF			
<b>TOTAL =</b>					<b>332</b>	<b>484</b>	
Lot 3	3A - Retail	7.38 Acres	5.68 Acres	88,000 SF	352 (1/250)	353	7.38 Acres
	<b>TOTAL =</b>					<b>352</b>	
Lot 4	4A - Retail	2.31 Acres	2.05 Acres	25,950 SF	130 (1/200)	111	5.24 Acres
	4B - Retail	2.94 Acres	1.82 Acres	20,660 SF	104 (1/200)	108	
<b>TOTAL =</b>					<b>234</b>	<b>219</b>	
New Westhill Blvd Leg	Right of Way	0.63 Acres	0.52 Acres				0.63 Acres
<b>TOTAL SITE =</b>					<b>945 Stalls Required</b>	<b>1083 Stalls Provided</b>	<b>29,176 Acres</b>

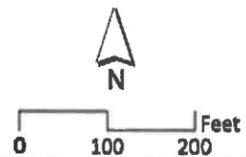
- Legend**
- Lot Division Line
  - Land Use Division Line
  - Shared Traffic Route
  - (27) Parking Stalls Provided By Building Area

**PUD MASTER PLAN  
TOWN OF GRAND CHUTE  
OUTAGAMIE COUNTY, WI**

DATE: 8/22/2019

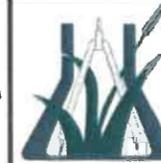
JOB: 1360011

DRAWN: PFO



Source: Robert E. Lee & Associates, Inc.  
ESRI, Outagamie County

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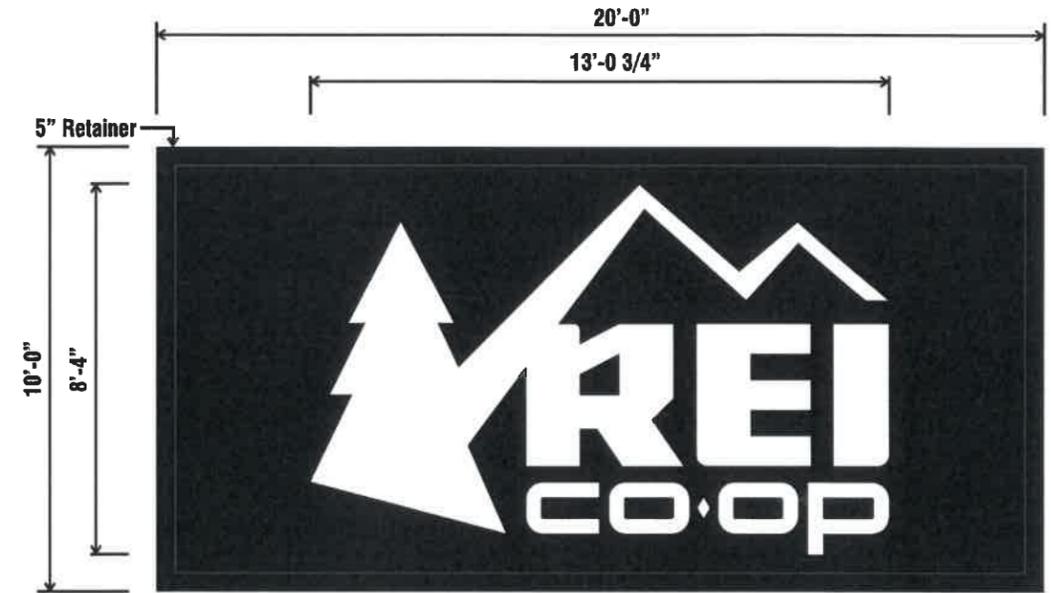


**Robert E. Lee & Associates, Inc.**  
Engineering, Surveying and Environmental Services

1250 Centennial Centre Boulevard, Hobart, WI 54155  
Phone: (920) 882-9641 FAX: (920) 882-9141  
www.releinc.com



Night View



DOUBLE FACE INTERNALLY ILLUMINATED PYLON Scale: 1/4" = 1'-0"

Digitally Printed Flex Faces  
Illuminated w/LEDs  
Cabinet/Pole Painted Black



(800) 514-1119 | elevate97.com

DESIGN #: 10213 PAGE: 1

CLIENT: R.E.I.  
ADDRESS: 3800 W. WISCONSIN AVE., APPLETON, WI  
DATE: AUGUST 26, 2019  
SCALE: 1/8"=1'-0"  
A.C.: AL SMITH  
DESIGNER: JM  
REVISED BY: DATE:

DESIGN STAGE

CONCEPTUAL  FINAL JOB #: S000000

ITEMS NEEDED PRIOR TO FABRICATION

- FIELD SURVEY / MEASUREMENTS REQUIRED
- ELECTRONIC FILE OF LOGO REQUIRED
- COLORS TO BE DETERMINED

APPROVALS

WITH APPROVAL OF THIS DESIGN I HEREBY GIVE ELEVATE97 PERMISSION TO BEGIN PRODUCTION ON THE SIGNAGE ILLUSTRATED. I AGREE THAT ALL SPECIFICATIONS, SPELLING, COLORS AND ELEVATIONS LISTED ARE CORRECT AND APPROVED. ANY CHANGES MADE AFTER PRODUCTION HAS STARTED WILL RESULT IN ADDITIONAL CHARGES.

CLIENT SIGNATURE: DATE:

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THE SUBMITTED DESIGN IS ORIGINAL AND PROTECTED UNDER COPYRIGHT LAWS OF THE UNITED STATES, TITLE 17 UNITED STATES CODE. YOU AGREE NOT TO COPY, PHOTOGRAPH OR MODIFY, DIRECTLY OR INDIRECTLY, ANY OF THE MATERIALS HELD BY YOU, NOR WILL ANY THIRD PARTY DO ANY OF THE FOREGOING WITHOUT WRITTEN CONSENT OF ELEVATE97 UNLESS PURCHASED BY PAYMENT. ANY VIOLATION SHALL CONSTITUTE A CHARGE OF INCURRED CONCEPTUAL/PRODUCTION EXPENSES.

REVIEWED BY	DATE	REVIEWED BY	DATE

19/  
20.

**Town of Grand Chute  
Special Exception Request  
Casey's Marketing Company, dba Casey's General Store**

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**To:** Plan Commission  
**From:** Michael Patza, Town Planner  
**Date:** September 12, 2019  
**Address:** 100 W. Northland Avenue

**App. #: SE-16-19**

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**REQUEST**

1. **Proposed Use:** Operation of an automotive fueling station and convenience store.
2. **Project Description:** Construction of a convenience store, fueling station, and associated site improvements.
3. **Plat/CSM Accurate parcel lines/lot recorded:** Yes, pending lot consolidation CSM.

**ANALYSIS**

The subject property is located on the northwest corner of W. Northland Avenue and N. Oneida Street. The building architecture and site improvements proposed for this project represent a high-quality development that will revitalize this vacant property. The project includes a full redevelopment of the site including a new fueling station, convenience store, and associated site improvements. Site access will be from N. Oneida Street and W. Northland Avenue (CTH OO). The applicant has completed a Traffic Impact Analysis and worked with Outagamie County and the Town to ensure the existing intersection configuration can accommodate anticipated traffic generated by this business. This location is anticipated to be open 24-hours per day, 7 days per week.

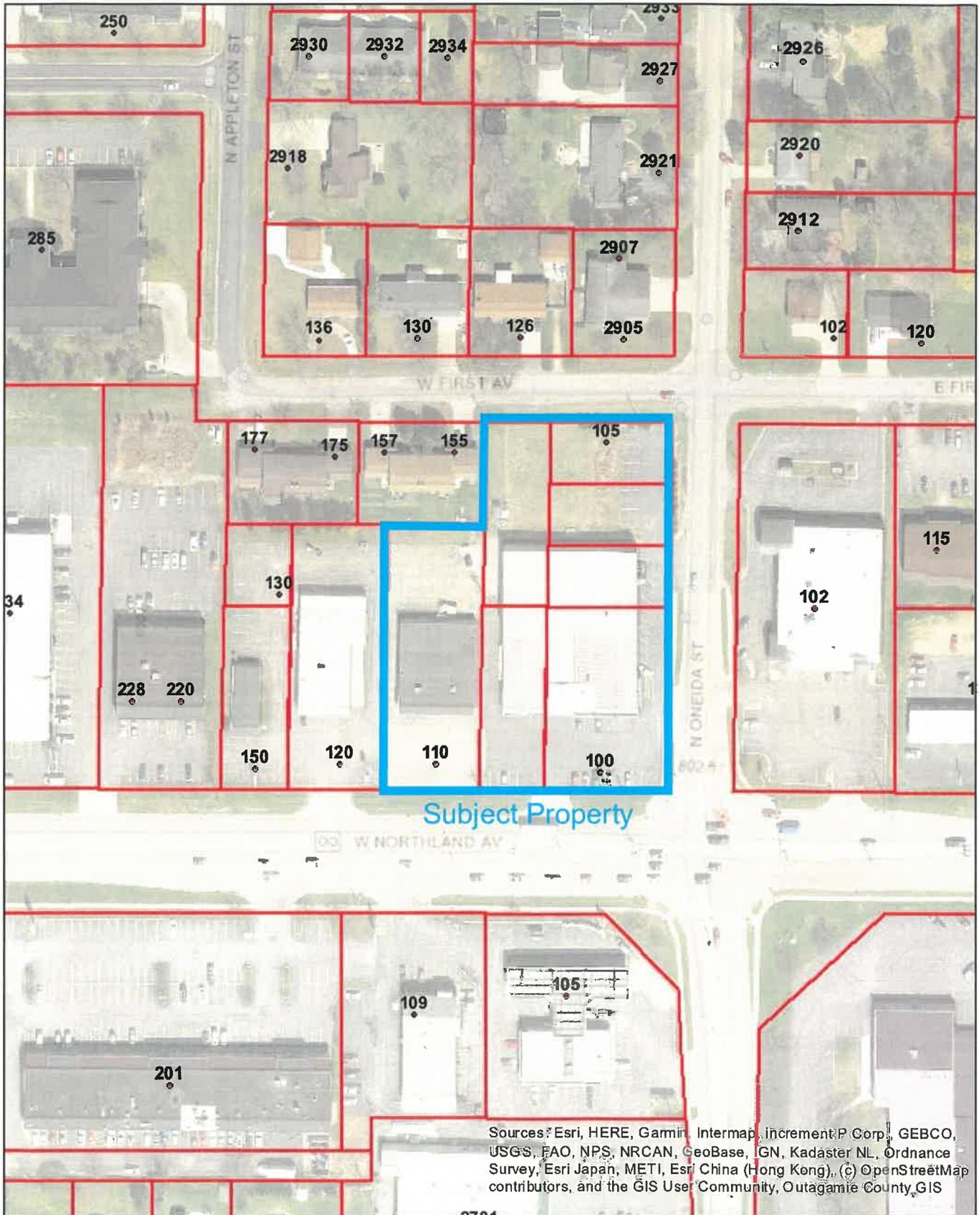
**FINDINGS OF FACT IN GRANTING OF A SPECIAL EXCEPTION**

- a. **The establishment, maintenance or operation of the proposed Special Exception use or structure at the proposed location will not be detrimental or injurious to the use and enjoyment of existing uses on adjacent properties or properties in the vicinity. Found.**
- b. **The establishment, maintenance or operation of the proposed Special Exception use or structure, alone or in combination with other existing Special Exception uses and structures in the vicinity will not cause traffic hazards. Found.**
- c. **Adequate provision is made for surface water drainage, ingress and egress to the property, and off-street parking. Found.**
- d. **Adequate public facilities and services are available for the proposed Special Exception use of structure. Found.**

**RECOMMENDATION**

Staff has reviewed and supports a Plan Commission recommendation for approval of the Special Exception Permit (SE-16-19) requested by Casey's Marketing Company, dba Casey's General Store, 100 W. Northland Avenue, to allow the operation of an automotive fueling station and convenience store.

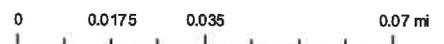
# SE-16-19 -- 100 W. Northland Avenue



Sources: Esri, HERE, Garmin, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), (c) OpenStreetMap contributors, and the GIS User Community, Outagamie County, GIS

**Disclaimer:** The data provided in the Town of Grand Chute Interactive GIS Map was generated from multiple sources and agencies. Every effort has been made to offer the most accurate data. However, the Town provides this information with the understanding that it is not guaranteed to be accurate, correct, or complete. The Town may make improvements to the Interactive GIS Map periodically. Conclusions drawn from this information are the responsibility of the user. The user agrees that the Town of Grand Chute shall not be held responsible for actions, claims, damages, or judgments made from this data.

Author:  
Copyright:



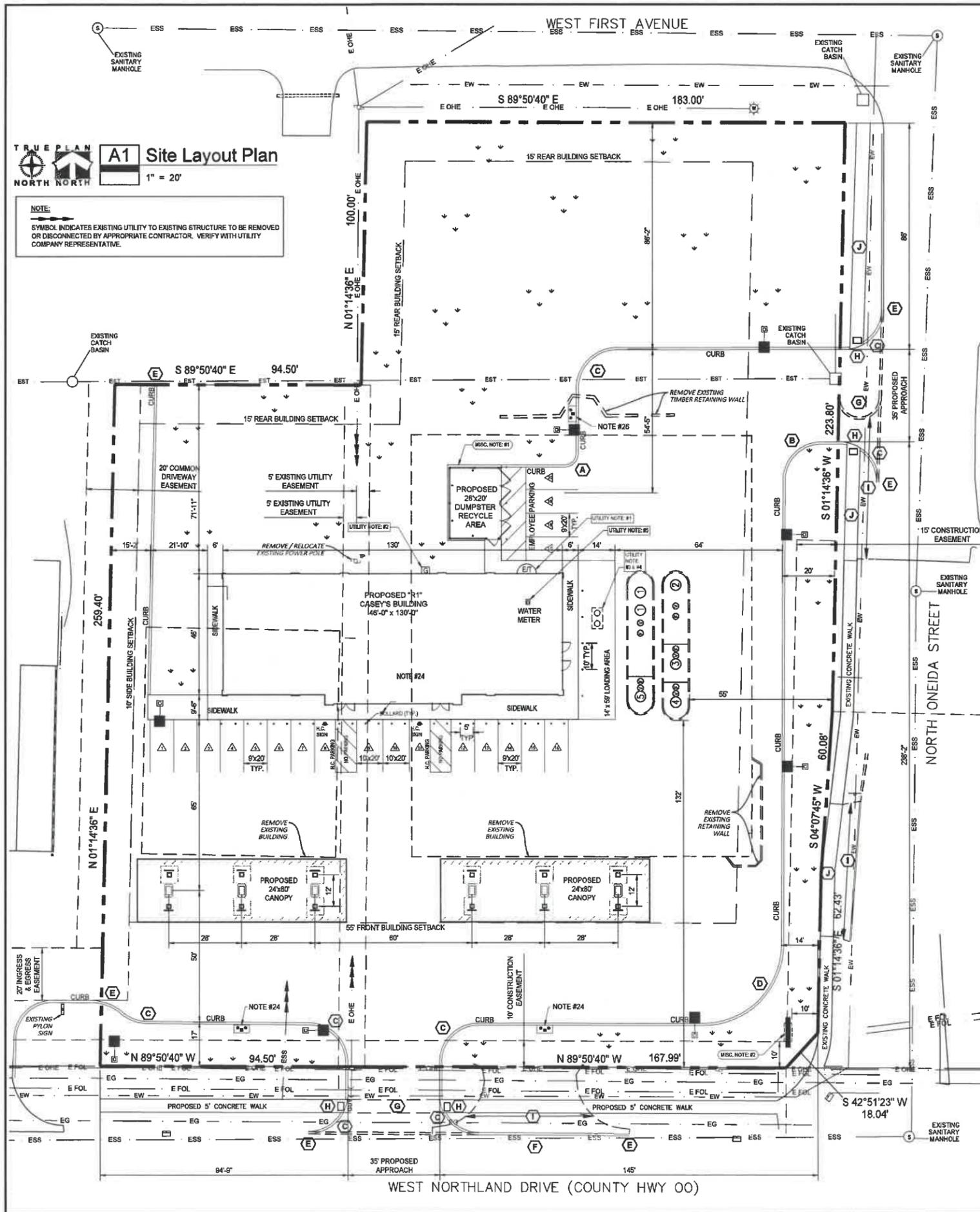
**Casey's Marketing Company**  
**Project Narrative**

Casey's Marketing Company is proposing the construction of a convenience store with gasoline sales in Grand Chute, Wisconsin, located on the Northwest corner of County Road OO & Oneida Street. The proposed development would include a one-story building consisting of 5,980 square feet, 6 double-sided fuel pumps, two 24' x 80' canopies over the fuel pumps, and two underground fuel storage tanks. The subject property is located in a Local Commercial zoning district, where a convenience store use is permitted with the approval of a Special Use Permit.

The proposed Casey's General Store will be a 24-hour store, if permitted. The store will employ 20-25 employees, both part time and full-time, and include management opportunities. There are 20 designated parking spaces, in addition to 12 available spaces at the fuel pump. Included in the parking are two handicap parking spaces.

In addition to fuel and typical convenience store items, the proposed Casey's General Store will also offer a wide range of prepared food offerings to include pizza, made to order subs, hot sandwiches, donuts made daily, and a coffee bar.

The proposed Casey's General Store will not have any outdoor storage.



### Legal Description:

PARCEL I:  
 ALL OF LOT THREE (3), THE EAST 1/4 OF LOT FOUR (4), THE SOUTH 80 FEET OF THE EAST 1/4 OF LOT NINE (9) AND THE SOUTH 80 FEET OF LOT TEN (10), ALL IN BLOCK FOUR (4), NORTHLAND PLAT, TOWN OF GRAND CHUTE, OUTAGAME COUNTY, WISCONSIN.

PARCEL II:  
 LOTS ONE (1), TWO (2), ELEVEN (11), TWELVE (12), THIRTEEN (13) AND FOURTEEN (14), BLOCK FOUR (4), NORTHLAND PLAT, TOWN OF GRAND CHUTE, OUTAGAME COUNTY, WISCONSIN; EXCEPT THAT PORTION CONVEYED FOR HIGHWAY PURPOSES BY INSTRUMENT RECORDED ON NOVEMBER 3, 1992 IN JACKET 13158, IMAGE 43 AS DOCUMENT NO. 1057280.

CONTAINING: 89,869 SQUARE FEET OR 2,063.1 ACRES.

### General Notes

1. RELATED SHEETS: FOR ADDITIONAL INFORMATION NOT DIRECTLY REFERENCED, SEE CIVIL PLANS DONE BY ARC DESIGN ENGINEERING.

### Utility Notes

- UTILITY NOTE #1: ELECTRICAL SERVICE ENTRANCE. ELECTRIC 3 PHASE, 800 AMP. or 1200 AMP., 208 VOLTS, 4 WIRE. TELEPHONE 20 PAIR, 8 LINES.
- UTILITY NOTE #2: 1.5" SCHEDULE 40 IRON PIPE GAS SERVICE CONNECTION. CONNECTION LOAD IS 680 MBH. TOTAL CONNECTED LOAD IS 680,000 BTU 619 CU/FT. HR. HOUSE PRESSURE IS 7" W.C.
- UTILITY NOTE #3: 6" SCHEDULE 40 PVC SANITARY SEWER CONNECTION.
- UTILITY NOTE #4: 1,000 GALLON BELOW GRADE GREASE INTERCEPTOR WITH 2 MANHOLES.
- UTILITY NOTE #5: 2" CTS, HDPE, SDR8, CS-200 PSI WATER SERVICE CONNECTION.

### Keyed Construction Notes

NOTE: ALL WORK IN/ON THE R.O.W. AREA IS SUBJECT TO THE CITY OF GRAND CHUTE & WISCONSIN D.O.T. APPROVAL AND SPECIFICATIONS.

- (A) PROPOSED 5' RADIUS.
- (B) PROPOSED 10' RADIUS.
- (C) PROPOSED 15' RADIUS.
- (D) PROPOSED 30' RADIUS.
- (E) TIE INTO AND MATCH EXISTING CURB & GUTTER.
- (F) NEW CURBING, EXTENDED TO MATCH EXISTING.
- (G) 2% MAX. CROSS-SLOPE IN SIDEWALK AREA.
- (H) DETECTABLE SIDEWALK MAT. VERIFY WITH CITY.
- (I) REMOVE EXISTING APPROACH.
- (J) PROPOSED 5' SIDEWALK.

### Misc. Notes

- Misc. #1: DUMPSTER AREA. 6" HEIGHT CHAIN LINK W/VINYL SLATES 4'-6" GATES AND 4' SERVICE GATE
- Misc. #2: 4 PRODUCT PYLON PRICE SIGN - REFER TO SIGNAGE PACKET

### Zoning: CL

(Local Commercial)

- Setbacks:
- Front: 35 Feet (55 Feet for trash) - 10 Feet for parking.
  - Side: 10 Feet - 10 Feet for parking.
  - Rear: 15 Feet with landscaping requirements. - 15 Feet for parking.
- Max. Building Height: 45 Feet, Accessory Structure: 25 Feet.  
 Required Green Space: 20% plus buffer between residential district. Tree ordinance.  
 Parking Required: Minimum of 5 total, 1 stall per employee & 2 per service stall + 1 ADA required (1 per 25 spaces, 2 at 50 spaces). 6 pumps = 12 service stalls + 4 employee stalls = 24+4+1 ADA space=29 required. 35 Provided (21 shown, 12 at the pumps + 2 ADA).

### Contact Information

Grand Chute Town Hall	920-832-5644
Grand Chute Public Works (Water, Sewer)	920-832-1581
Grand Chute Town Planner (Landscaping & Signage)	920-832-1599
State DOT Permit Office	608-246-5334
AT&T (Phone & Internet)	920-735-3063
WE Energies (Electric)	920-380-3346
WE Energies (Gas)	920-320-3274
WI DNR (Stormwater)	608-284-8971

### Legend

- MARKED PARKING SPACES (PAINT LINES AS INDICATED)
- CONCRETE PAVING OR SIDEWALKS (82,410 SQ. FT.)
- AREA TO BE SOD
- AREA LIGHTS (8 SHOWN) REFER TO LIGHTING PLAN RL-6193-51 DONE BY RED LEONARD

### Vicinity Map:

N.T.S.



### General Construction Notes:

- 1.) 2 - 30,000 GALLON DOUBLE WALL FIBERGLASS TANKS. TANK 1 - 22,000 GALLON (87E) TANK 2 - 14,000 GALLON (DIESEL) TANK 3 - 8,000 GALLON (91E) TANK 4 - 8,000 GALLON (91C) TANK 5 - 8,000 GALLON (88S)
- 2.) TANK SETTING DETAILS PAGE QF-301
- 3.) FILL PIPE AND MANHOLE DETAIL PAGE QF-301
- 4.) CIRCUIT BREAKER PANEL PAGE E-501
- 5.) REFRIGERATION WIRING PAGE QR-602
- 6.) GILBARCO WIRING PAGE QF-601
- 7.) GAS ISLAND SIZE - 3' x 5' W/DUAL GUARD PIPE DIESEL BULLET ISLAND - 3' x 22' W/DUAL GUARD PIPE
- 8.) 6 - GAS GILBARCO 700 S DISPENSERS (BLENDED) 2 = NG14 NOZZLES & 8 METERS EACH 4 = NF8 6 NOZZLES & 8 METERS EACH ISLAND DETAILS PAGE AL-501
- 9.) ISLAND CONDUIT DETAIL PAGE E-602
- 10.) DO NOT PLACE PRODUCT PIPING UNDER ISLAND
- 11.) 18" MIN. FROM TANK PIPING TO FINISH SURFACE
- 12.) SIGN BASE DETAILS PAGE AL-601
- 13.) SIGN DETAILS PAGE AL-601
- 14.) DRIVEWAY JOINTS TO BE PACKED & CAULKED
- 15.) CONCRETE DRIVE TROWELED WITH LIGHT BROOM FINISH
- 16.) CONTROL JOINTS - MIN. 100 sq.ft. - MAX. 125 sq.ft. - 25% DEEP
- 17.) CONSTRUCTION JOINTS - PINNED 4' O.C. 12" EACH WAY WITH 1/2" REBAR #4
- 18.) APPROACHES TO BE 7" NON-REINFORCED OR AS PER STATE/CITY SPEC.
- 19.) SLOPE MAX. 2% FOR BUILDING SIDEWALK, H.C. PARKING 1:50 ALL DIRECTIONS
- 20.) ALL ACCESS ISLE STRIPING AT 45 DEGREE ANGLE BEING MAX. 4' SEPARATION
- 21.) RUN VENT LINES UP SEPARATE CANOPY COLUMN. VERIFY
- 22.) VERIFY ALL UTILITY LOCATIONS AND DIMENSIONS.
- 23.) CANOPY FOOTING: SIZE 6'-3" LENGTH x 6'-3" WIDTH x 3'-0" DEPTH. CONCRETE: MINIMUM COMPRESSIVE STRENGTH OF FC-3000 p.s.i. CONCRETE REINFORCING: ASTM A-615 GRADE 60. REBAR CAGE: (8) #6 HORIZONTAL TIES LENGTH WISE TOP AND BOTTOM 12" MAXIMUM SPACING.
- 24.) ALL FUEL DISPENSERS FALL WITHIN A 100 FOOT RADIUS OF THE EMERGENCY SHUT-OFF SWITCH LOCATED INSIDE AT THE SALES COUNTER FOR THE CONVENIENCE STAFF. A SECONDARY SHUTOFF SHALL BE INSTALLED ON A POST AT THE CURB IF ALL FUEL DISPENSERS DO NOT FALL WITHIN A 100 RADIUS.
- 25.) IRRIGATION REQUIRED WITH RAIN SENSOR MOUNTED ON BACK RAILING OF ROOF. AIR COMPRESSOR BOX, MOUNTED TO STEEL POLE, INSTALLED ON 3' x 6' CONCRETE PAD 16" FROM BACK OF CURB. 110 VOLT-60HZ-5.5 AMP. 8 GAUGE MINIMUM RECOMMENDED.

### U.G.S.T. Notes

- (F) FILL W/SPILL CONTAINMENT & OVERSPILL PROTECTION (TYP.)
  - (1)(2)(3)(4)(5) TURBINE ENCLOSURE TYP. CONTAINS; SUB-PUMP WALINE LEAK DETECTION, TANK PROBE FOR FUEL MONITORING, INTERSTITIAL SENSOR AND TANK SUMP SENSOR
  - (V) VENT W/SPILL CONTAINMENT & EXTRACTOR
- SUMP SENSOR @ EACH DISPENSER.

**BRICK CANOPY COLUMNS  
 BRICK DUMPSTER ENCLOSURE  
 KNOX BOX REQUIRED**

<b>CASEY'S</b>		CITY OF GRAND CHUTE	
CASEY'S CONSTRUCTION DIVISION One Convenience Blvd., P.O. Box 3001, Arkeny, Ia. 50021 515-965-6100			
Grand Chute, WI Intersection of County Road 00 & Oneida St. Rt Store		DATE PREPARED 05/09/19 05/24/19 07/25/19 08/14/19 08/29/19 09/03/19	DATE APPROVED 05/09/19 05/24/19 07/25/19 08/14/19 08/29/19 09/03/19
CONSTRUCTION DIVISION		SITE PLAN	
R.STEVENS		AL-101	

**Town of Grand Chute  
Site Plan Review  
Casey's Marketing Company, dba Casey's General Store**

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**To:** Plan Commission  
**From:** Michael Patza, Town Planner  
**Date:** September 12, 2019  
**Address:** 100 W. Northland Avenue

**App. #: SP-21-19**

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**REQUEST**

- 1. **Proposed Use(s):** Automotive fueling station and convenience store.
- 2. **Project Description:** Construction of a 5,980 sq. ft. convenience store, fueling station, and associated site improvements.
- 3. **Plat/CSM Accurate parcel lines/lot recorded:** Yes, pending lot consolidation CSM.

**ANALYSIS**

The property is located on the northwest corner of W. Northland Avenue and N. Oneida Street. The project includes a full redevelopment of the site including a new convenience store and associated site improvements. The exterior of the convenience store will be constructed of full-course brick with stone accents. Columns on the fuel island canopy will be wrapped in full-course brick to match the building.

Site access will be from driveways on N. Oneida Street and W. Northland Avenue. Additionally, a cross-access easement with the property to the west will provide additional access to the site. The applicant has completed a Traffic Impact Analysis and worked with Outagamie County and the Town to ensure the existing intersection configuration, and proposed driveways on N. Oneida Street and W. Northland Avenue (CTH OO), will function adequately with the anticipated traffic generated by this business.

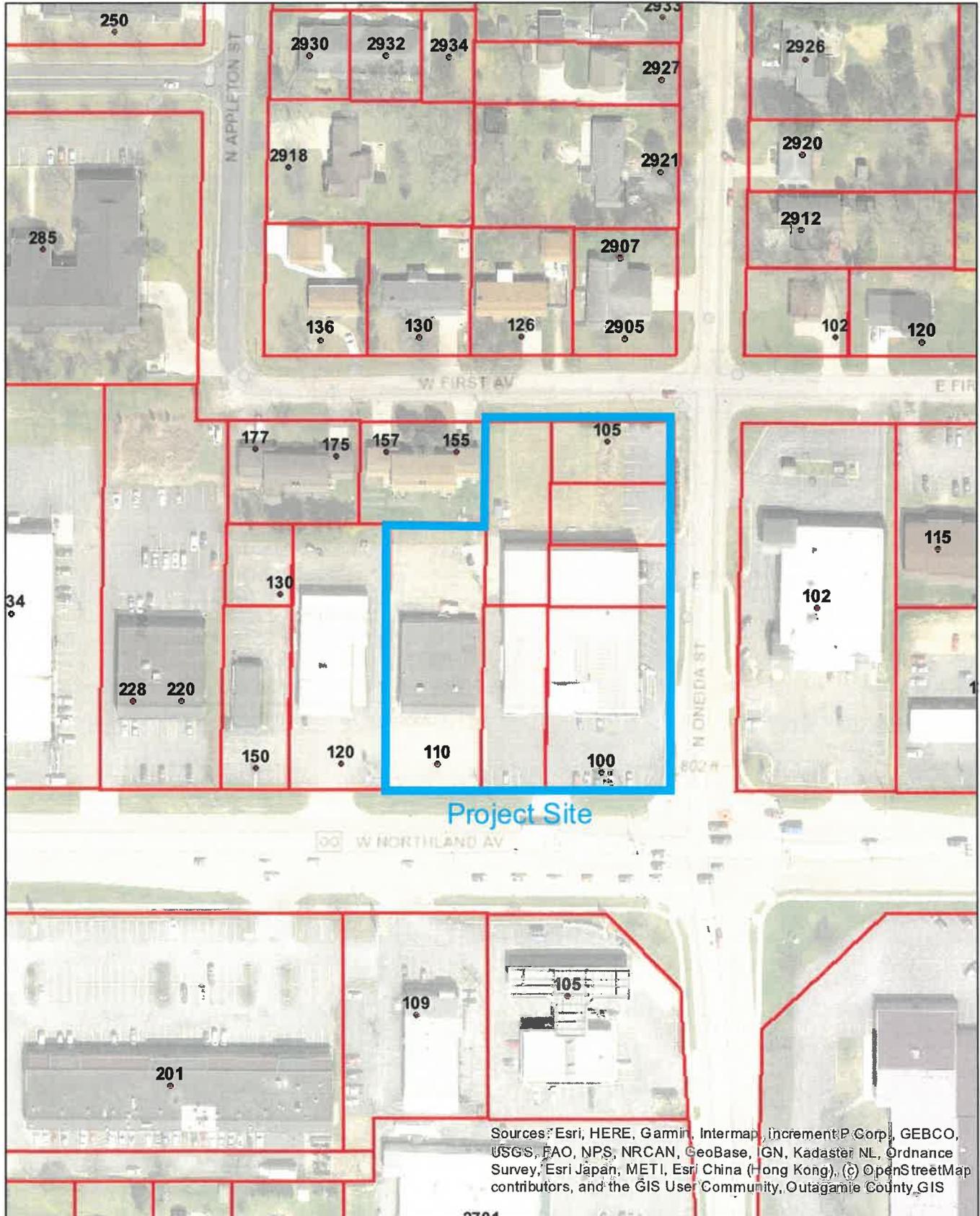
The Stormwater Management Plan for the project includes the installation of an underground stormwater management system to treat runoff. The underground system will outlet to the existing public storm sewer system. The Town Engineer is reviewing the Stormwater Management and Erosion Control Plans and their approval is a condition of Site Plan approval. The Landscaping and Site Lighting Plans have been approved by staff.

The project includes a Certified Survey Map (CSM) to combine the seven existing parcels into one for the proposed development. Staff approval of the CSM is a condition of Site Plan approval. The pylon sign associated with the new development is included in the Site Plan approval. Located on the corner of N. Oneida Street and W. Northland Avenue, the sign will be 24'-8" in height and 113 sq. ft. in size. All other code requirements are met with this request.

**RECOMMENDATION**

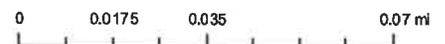
**Staff has reviewed and supports Plan Commission approval of the Site Plan (SP-21-19) requested by Casey's Marketing Company, dba Casey's General Store, 100 W. Northland Avenue, for construction of an automotive fueling station, convenience store, and associated site improvements, subject to: (1) Town Engineer approval of the Stormwater Management and Erosion Control Plans; (2) Staff approval of a lot consolidation Certified Survey Map; and, (3) Town Board approval of Special Exception SE-16-19.**

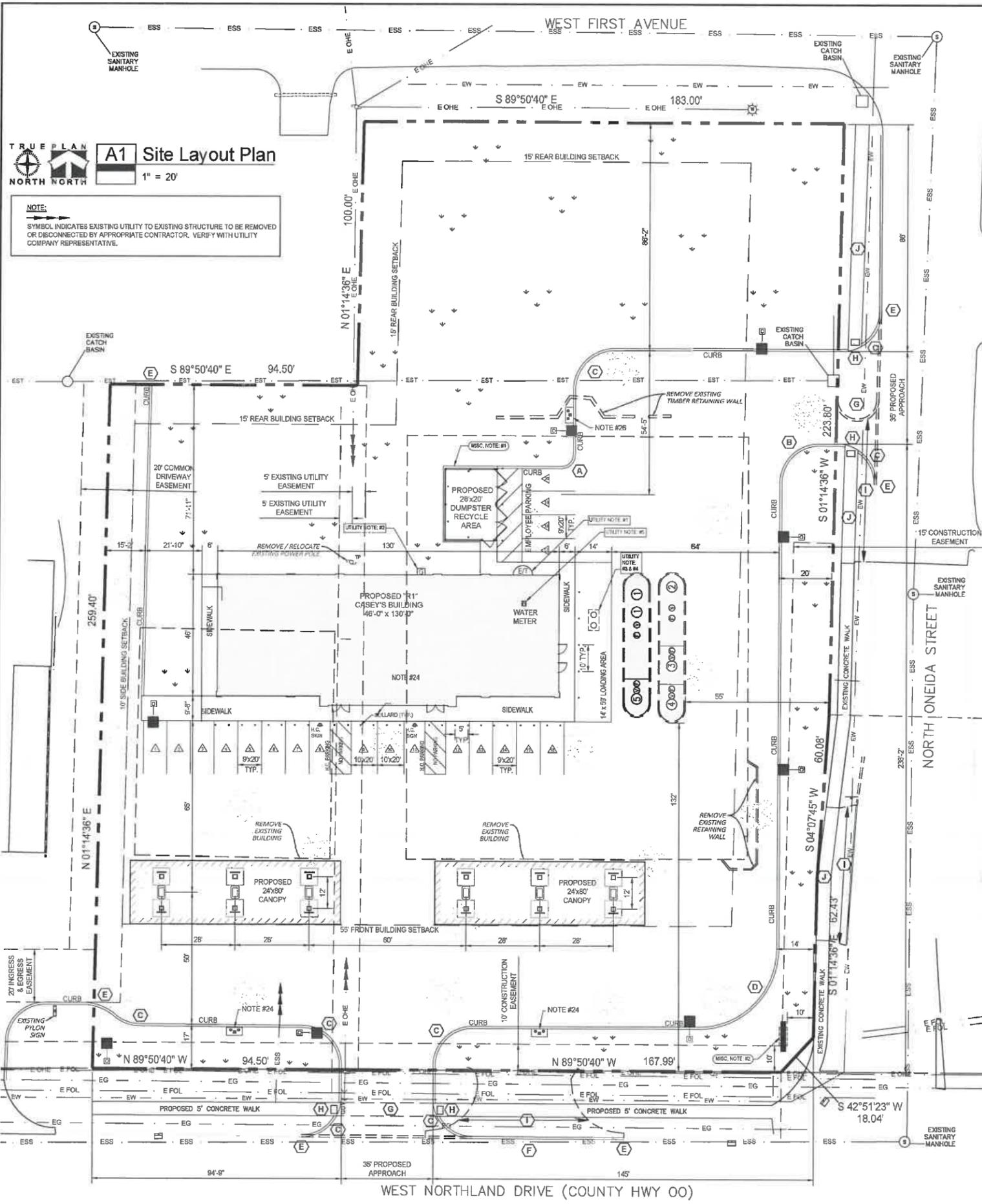
# SP-21-19 -- 100 W. Northland Avenue



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Author:  
Copyright:





**A1 Site Layout Plan**  
1" = 20'

**NOTE:**  
SYMBOL INDICATES EXISTING UTILITY TO EXISTING STRUCTURE TO BE REMOVED OR DISCONNECTED BY APPROPRIATE CONTRACTOR. VERIFY WITH UTILITY COMPANY REPRESENTATIVE.

**Legal Description:**

PARCEL I:  
ALL OF LOT THREE (3), THE EAST 1/2 OF LOT FOUR (4), THE SOUTH 80 FEET OF THE EAST 1/2 OF LOT NINE (9) AND THE SOUTH 80 FEET OF LOT TEN (10), ALL IN BLOCK FOUR (4), NORTHLAND PLAT, TOWN OF GRAND CHUTE, OUTAGAMIE COUNTY, WISCONSIN.

PARCEL II:  
LOTS ONE (1), TWO (2), ELEVEN (11), TWELVE (12), THIRTEEN (13) AND FOURTEEN (14), BLOCK FOUR (4), NORTHLAND PLAT, TOWN OF GRAND CHUTE, OUTAGAMIE COUNTY, WISCONSIN; EXCEPT THAT PORTION CONVEYED FOR HIGHWAY PURPOSES BY INSTRUMENT RECORDED ON NOVEMBER 3, 1992 IN JACKET 13156, IMAGE 43 AS DOCUMENT NO. 1057280.

CONTAINING: 89,869 SQUARE FEET OR 2.0631 ACRES.

**General Notes**

1. RELATED SHEETS: FOR ADDITIONAL INFORMATION NOT DIRECTLY REFERENCED, SEE CIVIL PLANS DONE BY ARC DESIGN ENGINEERING.

**Utility Notes**

- UTILITY NOTE #1:** ELECTRICAL SERVICE ENTRANCE. ELECTRIC 3 PHASE, 800 AMP, or 1200 AMP, 208 VOLTS, 4 WIRE. TELEPHONE 20 PAIR, 8 LINES.
- UTILITY NOTE #2:** 1.5" SCHEDULE 40 IRON PIPE GAS SERVICE CONNECTION. CONNECTION LOAD IS 880 MBH. TOTAL CONNECTED LOAD IS 880,000 BTU @ 618 CU/FT. HR. HOUSE PRESSURE IS 7" W.C.
- UTILITY NOTE #3:** 6" SCHEDULE 40 PVC SANITARY SEWER CONNECTION.
- UTILITY NOTE #4:** 1,000 GALLON BELOW GRADE GREASE INTERCEPTOR WITH 2 MAN-HOLES.
- UTILITY NOTE #5:** 2" CTS, HOPE, SDR9, C5-200 PSI WATER SERVICE CONNECTION.

**Keyed Construction Notes**

**NOTICE:** ALL WORK IN/ON THE R.O.W. AREA IS SUBJECT TO THE CITY OF GRAND CHUTE & WISCONSIN D.O.T. APPROVAL AND SPECIFICATIONS.

- (A) PROPOSED 5' RADIUS.
- (B) PROPOSED 10' RADIUS.
- (C) PROPOSED 15' RADIUS.
- (D) PROPOSED 30' RADIUS.
- (E) TIE INTO AND MATCH EXISTING CURB & GUTTER.
- (F) NEW CURBING, EXTENDED TO MATCH EXISTING.
- (G) 2% MAX. CROSS-SLOPE IN SIDEWALK AREA.
- (H) DETECTABLE SIDEWALK MAT. VERIFY WITH CITY.
- (I) REMOVE EXISTING APPROACH.
- (J) PROPOSED 5' SIDEWALK.

**Misc. Notes**

- Misc. #1:** DUMPSTER AREA, 6" HEIGHT CHAIN LINK W/VINYL SLATES 4-6" GATES AND 4" SERVICE GATE.
- Misc. #2:** 4 PRODUCT PYLON PRICE SIGN - REFER TO SIGNAGE PACKET

**Zoning: CL**

(Local Commercial)

**Setbacks:**  
Front: 35 Feet (55 Feet for trash) - 10 Feet for parking.  
Side: 10 Feet - 10 Feet for parking.  
Rear: 15 Feet with landscaping requirements. - 15 Feet for parking.  
Max. Building Height: 45 Feet, Accessory Structure: 25 Feet.  
Required Green Space: 20% plus buffer between residential district. Tree ordinance.  
**Parking Required:** Minimum of 5 total, 1 stall per employee & 2 per service stall + 1 ADA required (1 per 25 spaces, 2 at 50 spaces). 6 pumps = 12 service stalls + 4 employee stalls = 24+1 ADA space=29 required, 35 Provided (21 shown, 12 at the pumps + 2 ADA).

**Contact Information**

- Grand Chute Town Hall 920-832-5844
- Grand Chute Public Works (Water, Sewer) 920-832-1551
- Grand Chute Town Planner (Landscaping & Signage) 920-832-1599
- State DOT Permit Office 608-246-5334
- AT&T (Phone & Internet) 920-735-3063
- WE Energies (Electric) 920-380-3348
- WE Energies (Gas) 920-320-3274
- WI DNR (Stormwater) 608-264-6971

**Legend**

- ▲ MARKED PARKING SPACES (PAINT LINES AS INDICATED)
- CONCRETE PAVING OR SIDEWALKS (52,410 SQ. FT.)
- AREA TO BE SOD
- AREA LIGHTS (8 SHOWN) REFER TO LIGHTING PLAN RL-6153-31 DONE BY RED LEONARD

**Vicinity Map:**



**General Construction Notes:**

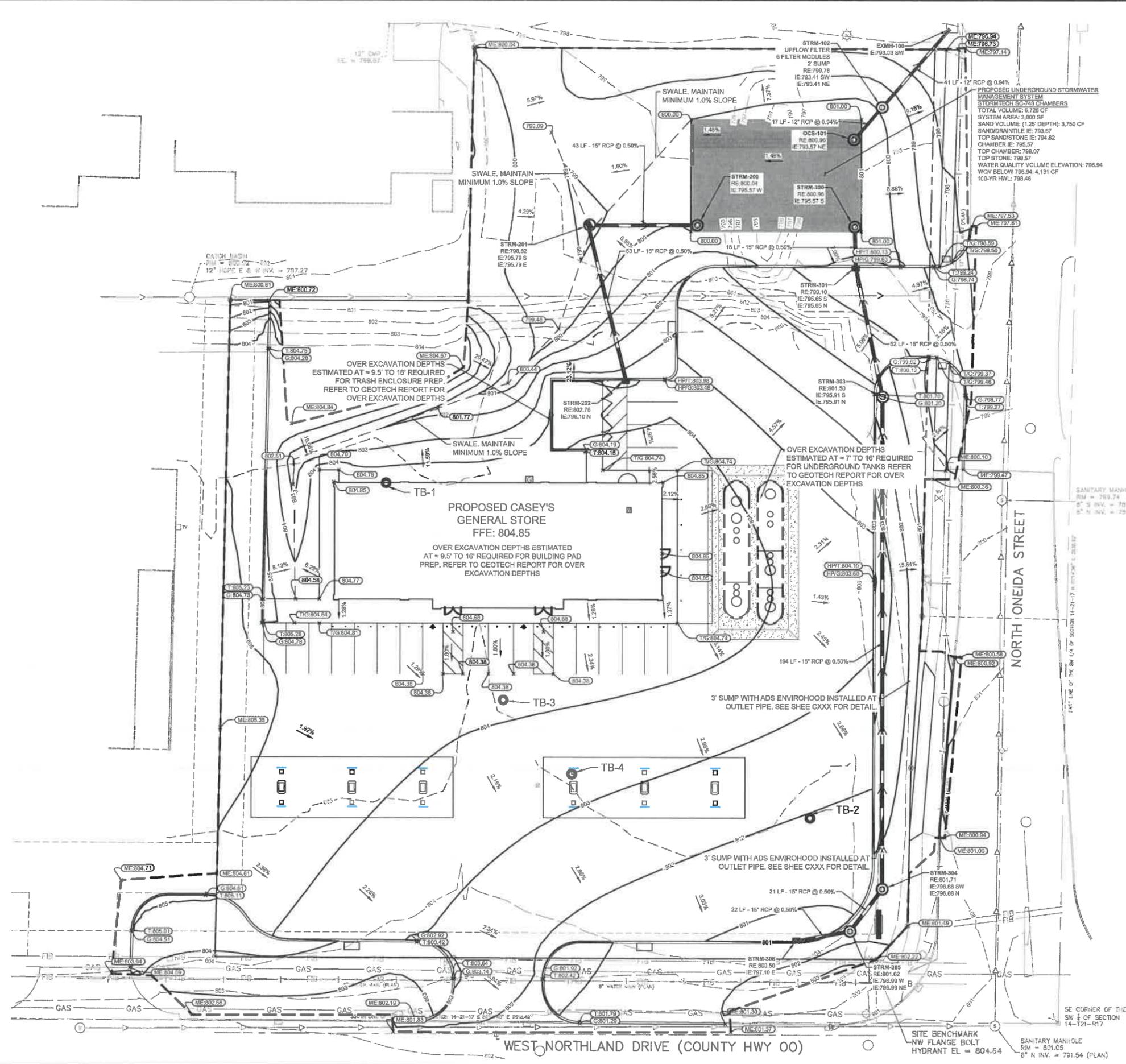
- 1.) 2 - 30,000 GALLON DOUBLE WALL FIBERGLASS TANKS. TANK 1 - 22,000 GALLON (87E) TANK 2 - 14,000 GALLON (DIESEL) TANK 3 - 8,000 GALLON (91E) TANK 4 - 8,000 GALLON (91C) TANK 5 - 8,000 GALLON (E88)
- 2.) TANK SETTING DETAILS PAGE QF-301
- 3.) FILL PIPE AND MANHOLE DETAIL PAGE QF-301
- 4.) CIRCUIT BREAKER PANEL PAGE E-501
- 5.) REFRIGERATION WIRING PAGE CR-802
- 6.) GILBARCO WIRING PAGE QF-601
- 7.) GAS ISLAND SIZE - 3' x 5' W/DUAL GUARD PIPE DIESEL BULLET ISLAND - 3' x 22' W/DUAL GUARD PIPE
- 8.) GAS GILBARCO 700 S DISPENSERS (BLENDED) 2 = NG 1.4 NOZZLES & 8 METERS EACH 4 = NF8 6 NOZZLES & 8 METERS EACH
- 9.) ISLAND DETAILS PAGE AL-501
- 10.) ISLAND CONDUIT DETAIL PAGE E-602
- 11.) DO NOT PLACE PRODUCT PIPING UNDER ISLAND
- 12.) 18" MIN. FROM TANK PIPING TO FINISH SURFACE
- 13.) SIGN BASE DETAILS PAGE AL-601
- 14.) SIGN DETAILS PAGE AL-601
- 15.) DRIVEWAY JOINTS TO BE PACKED & CAULKED
- 16.) CONCRETE DRIVE TROWELED WITH LIGHT BROOM FINISH
- 17.) CONTROL JOINTS - MIN. 100 sq.ft. - MAX. 125 sq.ft. - 25% DEEP
- 18.) CONSTRUCTION JOINTS - PINNED 4" O.C. 12" EACH WAY WITH 1/2" REBAR #4
- 19.) APPROACHES TO BE 7" NON-REINFORCED OR AS PER STATE/CITY SPEC.
- 20.) SLOPE MAX. 2% FOR BUILDING SIDEWALK, H.C. PARKING 1:50 ALL DIRECTIONS ALL ACCESS ISLE STRIPING AT 45 DEGREE ANGLE BEING MAX. 4' SEPARATION
- 21.) RUN VENT LINES UP SEPARATE CANOPY COLUMN, VERIFY
- 22.) VERIFY ALL UTILITY LOCATIONS AND DIMENSIONS.
- 23.) CANOPY FOOTING: SIZE 6'-3" LENGTH x 8'-3" WIDTH x 3'-0" DEPTH. CONCRETE: MINIMUM COMPRESSIVE STRENGTH OF FC-3000 p.s.i. CONCRETE REINFORCING: ASTM A-615 GRADE 60. REBAR CAGE: (6) #6 HORIZONTAL TIES LENGTH WISE TOP AND BOTTOM 12" MAXIMUM SPACING.
- 24.) ALL FUEL DISPENSERS FALL WITHIN A 100 FOOT RADIUS OF THE EMERGENCY SHUT-OFF SWITCH LOCATED INSIDE AT THE SALES COUNTER FOR THE CONVENIENCE STAFF. A SECONDARY SHUTOFF SHALL BE INSTALLED ON A POST AT THE CURB IF ALL FUEL DISPENSERS DO NOT FALL WITHIN A 100 RADIUS.
- 25.) IRRIGATION REQUIRED WITH RAIN SENSOR MOUNTED ON BACK RAILING OF ROOF.
- 26.) AIR COMPRESSOR BOX, MOUNTED TO STEEL POLE, INSTALLED ON 3' x 6' CONCRETE PAD 15" FROM BACK OF CURB. 110 VOLT-60HZ-5.5 AMP. 8 GAUGE MINIMUM RECOMMENDED.

**U.G.S.T. Notes**

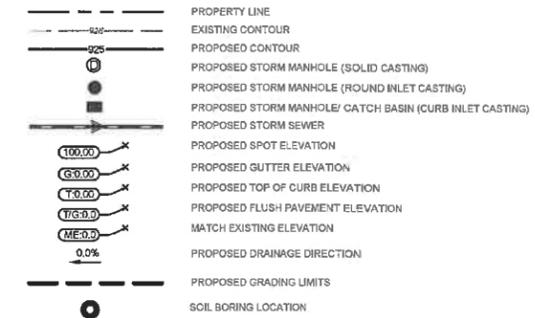
- (F) FILL W/SPILL CONTAINMENT & OVERSPILL PROTECTION (TYP.)
- (1)(2)(3)(4)(5) TURBINE ENCLOSURE TYP. CONTAINS; SUB-PUMP W/LINE LEAK DETECTION. TANK PROBE FOR FUEL MONITORING, INTERSTITIAL SENSOR AND TANK SUMP SENSOR
- (V) VENT W/SPILL CONTAINMENT & EXTRACTOR SUMP SENSOR @ EACH DISPENSER.

**BRICK CANOPY COLUMNS  
BRICK DUMPSTER ENCLOSURE  
KNOX BOX REQUIRED**

<b>CASEY'S</b>	
CASEY'S CONSTRUCTION DIVISION One Convenience Blvd., P.O. Box 3001, Arkary, Ia. 50021 515-965-6100	
<b>Grand Chute, WI</b> Intersection of County Road OO & Oneida St. R1 Store	DATE: 05/09/19 REVISED: 05/24/19 07/23/19 08/14/19 08/22/19 09/03/19
DRAWN BY: R. STEVENS CHECKED BY:	SITE PLAN <b>AL-101</b>

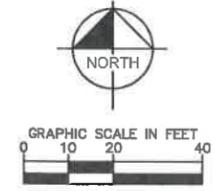


**LEGEND**



**GRADING PLAN NOTES**

- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF GRAND CHUTE, SPECIFICATIONS AND BUILDING PERMIT REQUIREMENTS.
- CONTRACTOR TO CALL GOPHER STATE CALL ONE @ 1-800-252-1198 AT LEAST TWO WORKING DAYS PRIOR TO EXCAVATION/CONSTRUCTION FOR UTILITY LOCATIONS.
- STORM SEWER PIPE SHALL BE AS FOLLOWS:  
RCP PER ASTM C-76  
HDPE: 0' - 10' PER AASHTO M-252  
HDPE: 12' OR GREATER PER ASTM F-2306  
PVC SCH. 40 PER ASTM D-3034  
STORM SEWER FITTINGS SHALL BE AS FOLLOWS:  
RCP PER ASTM C-76, JOINTS PER ASTM C-381, C-590, AND C-443  
HDPE PER ASTM D-3212  
PVC PER ASTM D-3034, JOINTS PER ASTM D-3212
- CONTRACTOR TO FIELD VERIFY THE LOCATIONS AND ELEVATIONS OR EXISTING UTILITIES AND TOPOGRAPHIC FEATURES PRIOR TO THE START OF SITE GRADING. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE PROJECT ENGINEER OF ANY DISCREPANCIES OR VARIATIONS.
- SUBGRADE EXCAVATION SHALL BE BACKFILLED IMMEDIATELY AFTER EXCAVATION TO HELP OFFSET ANY STABILITY PROBLEMS DUE TO WATER SEEPAGE OR STEEP SLOPES. WHEN PLACING NEW SURFACE MATERIAL ADJACENT TO EXISTING PAVEMENT, THE EXCAVATION SHALL BE BACKFILLED PROMPTLY TO AVOID UNDERMINING OF EXISTING PAVEMENT.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL HORIZONTAL AND VERTICAL CONTROL.
- CONTRACTOR SHALL EXCAVATE DRAINAGE TRENCHES TO FOLLOW PROPOSED STORM SEWER ALIGNMENTS.
- GRADES SHOWN ARE FINISHED GRADES. CONTRACTOR SHALL ROUGH GRADE TO SUBGRADE ELEVATION AND LEAVE STREET READY FOR SUBBASE.
- ALL EXCESS MATERIAL, BITUMINOUS SURFACING, CONCRETE ITEMS, ANY ABANDONED UTILITY ITEMS, AND OTHER UNSTABLE MATERIALS SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OF OFF THE CONSTRUCTION SITE.
- REFER TO THE UTILITY PLAN FOR SANITARY SEWER MAIN, WATER MAIN SERVICE LAYOUT AND ELEVATIONS AND CASTINGS / STRUCTURE NOTATION.
- CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION OF PAVEMENTS AND CURB AND GUTTER WITH SMOOTH UNIFORM SLOPES TO PROVIDE POSITIVE DRAINAGE.
- INSTALL A MINIMUM OF 4" CLASS 5+ AGGREGATE BASE UNDER CURB AND GUTTER AND CONCRETE SIDEWALKS.
- UPON COMPLETION OF EXCAVATION AND FILLING, CONTRACTOR SHALL RESTORE ALL STREETS AND DISTURBED AREAS ON SITE. ALL DISTURBED AREAS SHALL BE RE-VEGETATED WITH A MINIMUM OF 4" OF TOPSOIL.
- ALL SPOT ELEVATIONS/CONTOURS ARE TO GUTTER / FLOW LINE UNLESS OTHERWISE NOTED.
- GRADING FOR ALL SIDEWALKS AND ACCESSIBLE ROUTES INCLUDING CROSSING DRIVEWAYS SHALL CONFORM TO CURRENT ADA STATE/NATIONAL STANDARDS. IN NO CASE SHALL ACCESSIBLE RAMP SLOPES EXCEED 1 VERTICAL TO 12 HORIZONTAL. IN NO CASE SHALL SIDEWALK CROSS SLOPES EXCEED 2% . IN NO CASE SHALL LONGITUDINAL SIDEWALK SLOPES EXCEED 5%. IN NO CASE SHALL ACCESSIBLE PARKING STALLS OR AISLES EXCEED 2% (1.5% TARGET) IN ALL DIRECTIONS. SIDEWALK ACCESS TO EXTERNAL BUILDING DOORS AND GATES SHALL BE ADA COMPLIANT. CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY IF ADA CRITERIA CANNOT BE MET IN ANY LOCATION PRIOR TO PAVING. NO CONTRACTOR CHANGE ORDERS WILL BE ACCEPTED FOR ADA COMPLIANCE ISSUES.
- MAINTAIN A MINIMUM OF 0.5% GUTTER SLOPE TOWARDS LOW POINTS.
- CONTRACTOR TO PROVIDE 3" INSULATION BY 5" WIDE CENTERED ON STORM PIPE IF LESS THAN 4" OF COVER IN PAVEMENT AREAS AND LESS THAN 3" OF COVER IN LANDSCAPE AREAS.
- ROOF DRAIN INVERT CONNECTIONS AT THE BUILDING SHALL BE AT ELEVATION <XXX'XX' OR LOWER UNLESS NOTED OTHERWISE. REFERENCE MEP PLANS FOR ROOF DRAIN CONNECTION.
- ALL STORM SEWER CONNECTIONS SHALL BE GASKETED AND WATER TIGHT INCLUDING MANHOLE CONNECTIONS.
- ALL STORM SEWER PIPE SHALL BE AIR TESTED IN ACCORDANCE WITH THE CURRENT PLUMBING CODE.
- MAINTAIN A MINIMUM OF 1.25% SLOPE IN BITUMINOUS PAVEMENT AREAS, 0.5% SLOPE IN CONCRETE PAVEMENT AREAS.
- CONTRACTOR SHALL REVIEW PAVEMENT GRADIENT AND CONSTRUCT "INFALL CURB" WHERE PAVEMENT DRAINS TOWARD GUTTER, AND "OUTFALL" CURB WHERE PAVEMENT DRAINS AWAY FROM GUTTER.



**PRELIMINARY - NOT FOR CONSTRUCTION**

**GRAND CHUTE CASEY'S**  
PREPARED FOR  
**CASEY'S MARKETING COMPANY**  
GRAND CHUTE

**Kimley Horn**  
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787 EUSTIS STREET, SUITE 100, ST. PAUL, MN 55114  
PHONE: 651-845-4197  
WWW.KIMLEY-HORN.COM

NO.	REVISIONS	DATE	BY

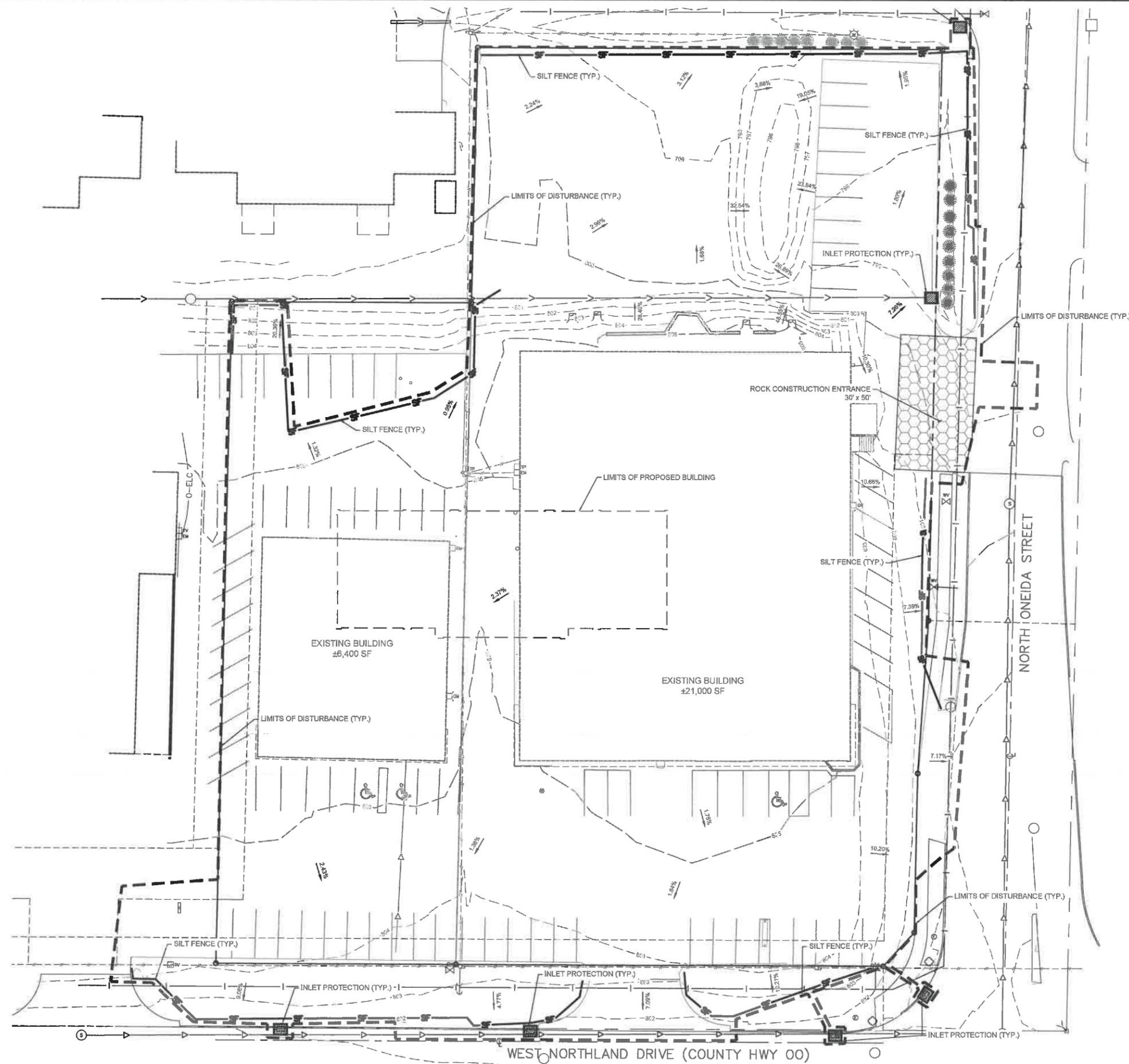
ALAN L. CATCHPOOL, P.E.  
DATE: 09/03/19  
DATE: 09/03/2019  
SCALE: AS SHOWN  
DESIGNED BY: ACL  
DRAWN BY: ACL  
CHECKED BY: ATB

**GRADING PLAN**

**GRAND CHUTE CASEY'S**  
PREPARED FOR  
**CASEY'S MARKETING COMPANY**  
GRAND CHUTE

SHEET NUMBER  
**C500**

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**LEGEND**

	ROCK ENTRANCE
	INLET PROTECTION
	SILT FENCE
	LIMITS OF DISTURBANCE

- EROSION CONTROL PLAN NOTES**
1. ALL PERIMETER SILT FENCE AND ROCK CONSTRUCTION ENTRANCES SHALL BE INSTALLED PRIOR TO CONSTRUCTION.
  2. THE CONTRACTOR SHALL CONSTRUCT DRAINAGE BASINS PRIOR TO SITE GRADING.
  3. THE CONTRACTOR SHALL INSTALL CATCH BASIN EROSION CONTROL MEASURES.
  4. WITHIN TWO WEEKS (14 DAYS) OF SITE GRADING, ALL DISTURBED AREAS SHALL BE STABILIZED WITH SEED, SOD, OR ROCK BASE. REFER TO LANDSCAPE PLANS FOR MATERIALS.
  5. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH CITY, STATE, AND WATERSHED DISTRICT PERMITS.
  6. THE CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL MEASURES, INCLUDING THE REMOVAL OF SILT IN FRONT OF SILT FENCES DURING THE DURATION OF THE CONSTRUCTION.
  7. ANY EXCESS SEDIMENT IN PROPOSED BASINS SHALL BE REMOVED BY THE CONTRACTOR.
  8. REMOVAL ALL EROSION CONTROL MEASURES AFTER VEGETATION IS ESTABLISHED.
  9. THE CONTRACTOR SHALL REMOVE ALL SOILS AND SEDIMENT TRACKED ONTO EXISTING STREETS AND PAVED AREAS AND SHALL SWEEP ADJACENT STREETS AS NECESSARY IN ACCORDANCE WITH CITY REQUIREMENTS.
  10. IF BLOWING DUST BECOMES A NUISANCE, THE CONTRACTOR SHALL APPLY WATER FROM A TANK TRUCK TO ALL CONSTRUCTION AREAS.

- SEQUENCE OF CONSTRUCTION:**
- UPON IMPLEMENTATION AND INSTALLATION OF THE FOLLOWING AREAS: TRAILER, PARKING, LAYDOWN, PORTA-POTTY, WHEEL WASH, CONCRETE WASHOUT, FUEL AND MATERIAL STORAGE CONTAINERS, SOLID WASTE CONTAINERS, ETC. IMMEDIATELY DENOTE THEM ON THE SITE MAPS AND NOTE ANY CHANGES IN LOCATION AS THEY OCCUR THROUGHOUT THE CONSTRUCTION PROCESS.
- BMP AND EROSION CONTROL INSTALLATION SEQUENCE SHALL BE AS FOLLOWS:
1. INSTALL INLET PROTECTION AT EXISTING STORMWATER CULVERTS.
  2. CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE (1), CONCRETE WASHOUT PIT (1) AND INSTALL SILT FENCE.
  3. PREPARE TEMPORARY PARKING AND STORAGE AREA.
  4. CONSTRUCT AND STABILIZE DIVERSIONS AND TEMPORARY SEDIMENT TRAPS.
  5. PERFORM CLEARING AND GRUBBING OF THE SITE. PERFORM MASS GRADING, ROUGH GRADE TO ESTABLISH PROPOSED DRAINAGE PATTERNS.
  6. START CONSTRUCTION OF THE BUILDING PAD AND STRUCTURES.
  7. TEMPORARILY SEED WITH PURE LIVE SEED, THROUGHOUT CONSTRUCTION. DISTURBED AREAS THAT WILL BE INACTIVE FOR 14 DAYS OR MORE OR AS REQUIRED BY NPDES AND/OR CITY OF GRAND CHUTE GRADING PERMIT.

No.	REVISIONS	DATE	BY

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ALAN L. CATCHPOOL, P.E.	
DATE: 09/03/19	LIC. NO. 44940-6
KHA PROJECT: 160822008	DATE: 08/03/2019
SCALE: AS SHOWN	DESIGNED BY: ACL
DRAWN BY: ACL	CHECKED BY: ATE

**EROSION AND SEDIMENT CONTROL PLAN - PHASE 1**

**GRAND CHUTE CASEY'S COMPANY**  
 PREPARED FOR  
 CASEY'S MARKETING COMPANY  
 GRAND CHUTE, WI

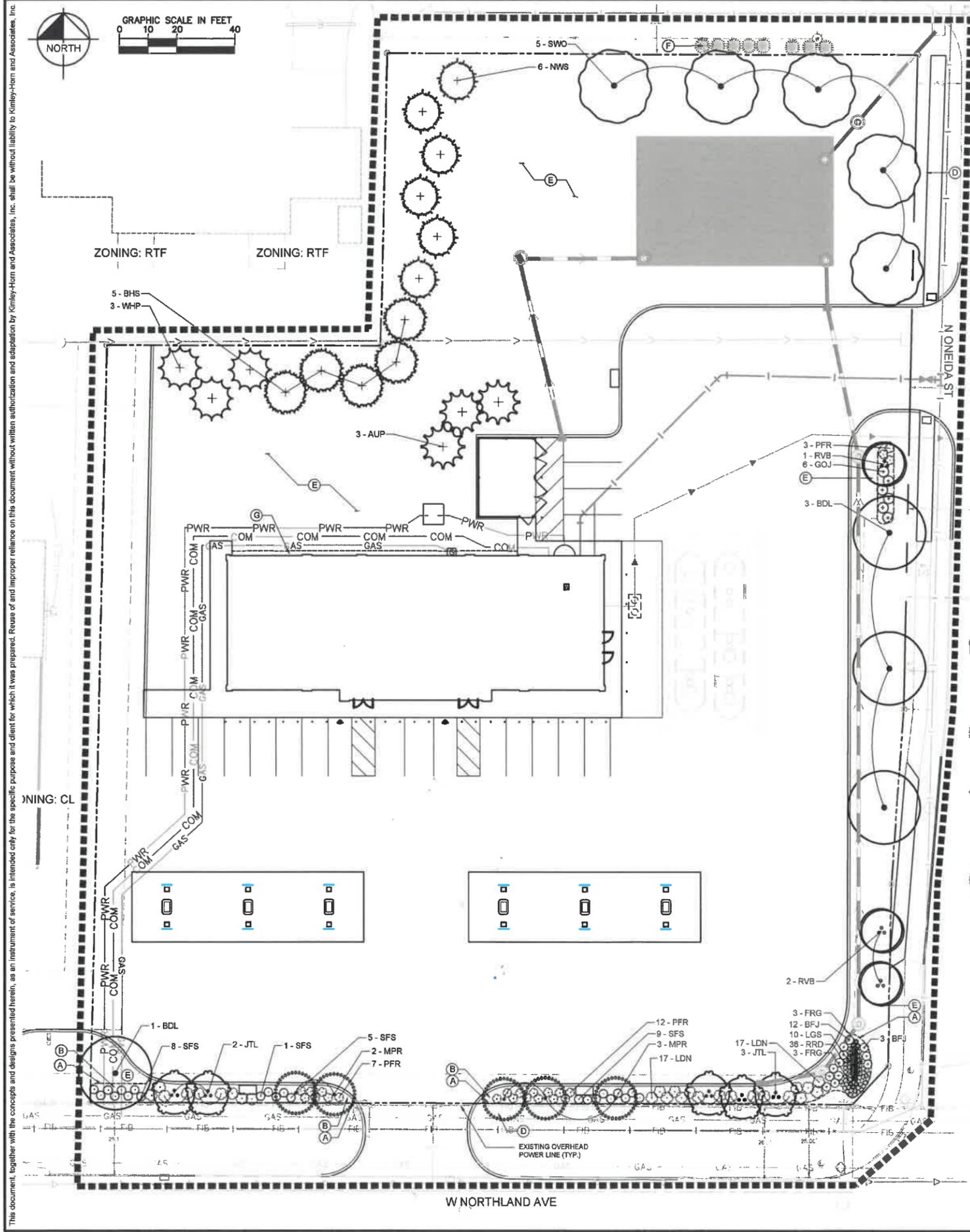
SHEET NUMBER  
**C300**

PRELIMINARY - NOT FOR CONSTRUCTION





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**LANDSCAPE KEYNOTES**

- (A) EDGER (TYP.)
- (B) MULCH (TYP.)
- (C) NOT USED
- (D) APPROXIMATE LIMITS OF SOD / IRRIGATION, SOD ALL DISTURBED AREAS (TYP.)
- (E) SOD (TYP.)
- (F) REMOVE EXISTING CONIFEROUS SHRUBS
- (G) 18" MAINTENANCE STRIP

**LANDSCAPE SUMMARY**

**FRONTAGE & PERIMETER LANDSCAPING REQUIREMENTS**

**ZONING: CL - LOCAL COMMERCIAL**

**W NORTHLAND AVE**  
 TREES REQUIRED: 6 TREES = 1 TREE / 40' PROPERTY LINE (252 LF = 42 LF / 40 LF = 5.5)  
 TREES PROVIDED: 8 TREES\* (1 SHADE TREE + 10 ORNAMENTAL\*\* TREES SUBBED FOR 5 SHADE TREES)

**SHRUBS REQUIRED:** 80% OF STREET FRONTAGE (EXCLUDING DRIVEWAYS)  
 SHRUBS PROVIDED: 188 LF (235 LF FRONTAGE x 0.8 = 188 LF)

**WIDTH REQUIRED:** 10' MINIMUM  
**WIDTH PROVIDED:** 5' \*\*\*

**N ONEIDA ST**  
 TREES REQUIRED: 8 TREES = 1 TREE / 40' PROPERTY LINE  
 TREES PROVIDED: 10 TREES (3 ORNAMENTAL TREES FOR 1 SHADE TREE)

**WIDTH REQUIRED:** 10' MINIMUM  
**WIDTH PROVIDED:** 30'

**SCREENING LANDSCAPING REQUIREMENTS**

**TRASH ENCLOSURE**  
 SCREENING REQUIRED: SCREEN MIN. 30% OF PERIMETER WITH 5'-MIN. EVERGREEN TREES  
 SCREENING PROVIDED: +30% SCREEN WITH 5' EVERGREEN TREES

**SCREENING BETWEEN CL AND RTF LOTS**  
 SCREENING REQUIRED: 15'-WIDE MIN. BUFFER WITH 5'-MIN. EVERGREEN TREES  
 SCREENING PROVIDED: 15'-WIDE MIN. BUFFER WITH 5' EVERGREEN TREES

\*TWO ORNAMENTAL TREES MAY REPLACE ONE SHADE TREE  
 \*\*ORNAMENTAL TREES USED TO AVOID OVERHEAD POWERLINES  
 \*\*\*CONSTRAINED BY PROPERTY LINE

**PLANT SCHEDULE**

CANOPY TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE
	BDL	4	TILIA AMERICANA 'BOULEVARD'	BOULEVARD LINDEN	B & B	2.5" CAL.	
	SWO	5	QUERCUS BICOLOR	SWAMP WHITE OAK	B & B	2.5" CAL.	
CONIFEROUS TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE
	AUP	3	PINUS NIGRA	AUSTRIAN PINE	B & B		5' HT.
	BHS	5	PICEA GLAUCA 'DENSATA'	BLACK HILLS SPRUCE	B & B		5' HT.
	NWS	6	PICEA ABIES	NORWAY SPRUCE	B & B		5' HT.
	WHP	3	PINUS STROBUS	WHITE PINE	B & B		5' HT.
ORNAMENTAL TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE
	JTL	5	SYRINGA RETICULATA	JAPANESE TREE LILAC	B & B, CLUMP		6' HT.
	MPR	5	MALUS X 'PRAIRIE ROSE'	PRAIRIE ROSE CRABAPPLE	B & B	1.5" CAL	
	RVB	3	BETULA NIGRA	RIVER BIRCH MULTI-TRUNK	B & B		6' HT.
CONIFEROUS SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPACING	SIZE
	BFJ	12	JUNIPERUS SABINA 'BLUE FOREST'	BLUE FOREST JUNIPER	#5 CONT.		
	GOJ	6	JUNIPERUS VIRGINIANA 'GREY OWL'	GREY OWL JUNIPER	#5 CONT.		
DECIDUOUS SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPACING	SIZE
	LDN	28	PHYSOCARPUS OPULIFOLIUS 'DONNA MAY'™	LITTLE DEVIL NINEBARK	#2 CONT.	4' O.C.	
	PFR	22	ROSA X 'UHLATER'	PAVEMENT FOXI ROSE	#5 CONT.		
	SFS	22	SORBARIA SORBIFOLIA 'SEM'	SEM FALSESPIREA	#5 CONT.		
PERENNIALS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPACING	SIZE
	FRG	6	CALAMAGROSTIS ARUNDINACEA VAR. BARCHYTRICHA	FOXTAIL FEATHER REED GRASS	#1 CONT.		
	LGS	10	RUDBECKIA X 'LITTLE GOLD STAR'	LITTLE GOLD STAR BLACK-EYED SUSAN	#1 CONT.		
	RRD	36	HEMEROCALLIS X 'ROSY RETURNS'	ROSY RETURNS DAYLILY	#1 CONT.		

**LANDSCAPE LEGEND**

- EXISTING CONIFEROUS TREE (TYP.)
- EDGER (TYP.)
- APPROXIMATE LIMITS OF SOD / IRRIGATION, SOD ALL DISTURBED AREAS (TYP.)

**LANDSCAPE NOTES**

- VERIFY ALL LANDSCAPE IMPROVEMENTS WITH REMOVALS AND SITE WORK.
- ALL DISTURBED LANDSCAPED AREAS, NOT INDICATED AS PLANTING BEDS, ARE TO BE SEEDED, UNLESS NOTED OTHERWISE. SEEDING TO BE PER MINNESOTA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION, 2000 EDITION AND PER 2007 SEEDING MANUAL. SOD IS TO BE PRIMARILY KENTUCKY BLUEGRASS, FREE OF LAWN GRASS WEEDS. MATCH INTO EXISTING, AS APPLICABLE. ANCHOR SOD ON SLOPED OR POTENTIAL EROSION AREAS, OR AS REQUIRED.
- CONTRACTOR TO VERIFY PLANTS REQUIRED AS REFLECTED ON PLAN, NOTIFY LANDSCAPE ARCHITECT IF PLAN AND SCHEDULE DO NOT MATCH. ALL PLANT MATERIAL TO ADHERE TO THE AMERICAN STANDARD FOR NURSERY STOCK, LATEST VERSION. ADD FERTILIZER, HERBACIDE, AND PESTICIDE AS NECESSARY FOR OPTIMUM GROWTH.
- PROVIDE A MINIMUM OF 4" TOPSOIL IN LAWN AREAS AND 12" TOPSOIL IN LANDSCAPE BEDS. ADD SOIL AMENDMENTS FOR OPTIMUM PLANT GROWTH. ALL PARKING ISLAND GRADES SHALL HAVE A SIGNIFICANT CROWN.
- ALL PLANTING BEDS TO BE EDGED WITH COMMERCIAL GRADE VINYL EDGING, "EDG-KING" BY OLY-OLA, OR APPROVED EQUAL, ANCHORED 4" O.C. WITH METAL SPIKES.
- MULCH TO BE AT ALL TREE, SHRUB, PERENNIAL, AND MAINTENANCE AREAS. TREE AND SHRUB PLANTING BEDS SHALL HAVE 3" DEPTH OF WASHED BRICK CHIP MULCH. WASHED BRICK CHIP MULCH TO BE USED AROUND ALL PLANTS WITHIN TURF AREAS. PERENNIAL AND ORNAMENTAL GRASS BEDS SHALL HAVE 3" DEPTH WASHED BRICK CHIP MULCH. MULCH TO BE WASHED BRICK CHIP MULCH, 3/4" TO 1 1/2" DIAMETER, AT MINIMUM 3" DEPTH, OR APPROVED EQUAL. WASHED BRICK CHIP TO BE ON HEAVY WEED MAT, 6MIL MINIMUM PLASTIC WITH NO EXPOSURE. MULCH AND WEED MAT TO BE APPROVED BY OWNER PRIOR TO INSTALLATION.
- SINGLE TREE AND SHRUB PLANTINGS SHALL HAVE A 4" DEPTH SHREDDED HARDWOOD MULCH RING AROUND EACH BASE. DECIDUOUS PLANT MATERIAL SHALL HAVE A MINIMUM 3" DIAMETER RING, EVERGREEN PLANT MATERIAL SHALL HAVE A RING TO THE DRIP LINE.
- EXISTING TREES AND SHRUBS, THROUGHOUT THE PROPERTY, SHALL BE PRUNED TO REMOVE DEAD OR UNDESIRABLE LIMBS AND TO SHAPE PLANT FOR DESIRABLE APPEARANCE AND COMPLETED BY A QUALIFIED INDIVIDUAL. CONTRACTOR TO CLEAR AND GRUB EXISTING VEGETATION AND DISPOSE OF ALL REMOVALS OFF-SITE PER PROJECT IMPROVEMENTS.
- CONTRACTOR TO WATER PLANT MATERIAL DURING INSTALLATION AND DURING ESTABLISHMENT PERIOD. VOLUME OF WATER TO BE PER PLANT REQUIREMENT FOR ESTABLISHMENT AND NORMAL GROWTH.
- CONTRACTOR TO WARRANTY NEW PLANT MATERIAL FOR TWO-YEAR UPON PROJECT COMPLETION AND OWNER'S ACCEPTANCE.
- PROPERTY SHALL HAVE AUTOMATIC UNDERGROUND IRRIGATION SYSTEM. ALL LANDSCAPE AREAS TO BE IRRIGATED. CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR LANDSCAPE ARCHITECT APPROVAL. SYSTEM SHALL BE WINTERIZED (BLOWN-OUT) AFTER THE FIRST OPERATIONAL SEASON AND SHALL PROVIDE STARTUP THE FOLLOWING SPRING. IRRIGATION SHALL HAVE TWO-YEAR WARRANTY ON PARTS AND LABOR FOLLOWING INSTALLATION APPROVAL BY OWNER. PROVIDE BACKFLOW DEVICE, WATER METER, BOOSTER PUMP, CONTROLLER, RAIN SENSOR, WIRES, VALVE BOXES, SLEEVING, VALVES, ROTORS, SPRAYS, AND OTHER ACCESSORIES FOR A COMPLETE SYSTEM.
- LANDSCAPE REQUIREMENTS FOR INDIVIDUAL LOTS TO BE ADDRESSED AT BUILDING DEVELOPMENT.

PRELIMINARY - NOT FOR CONSTRUCTION

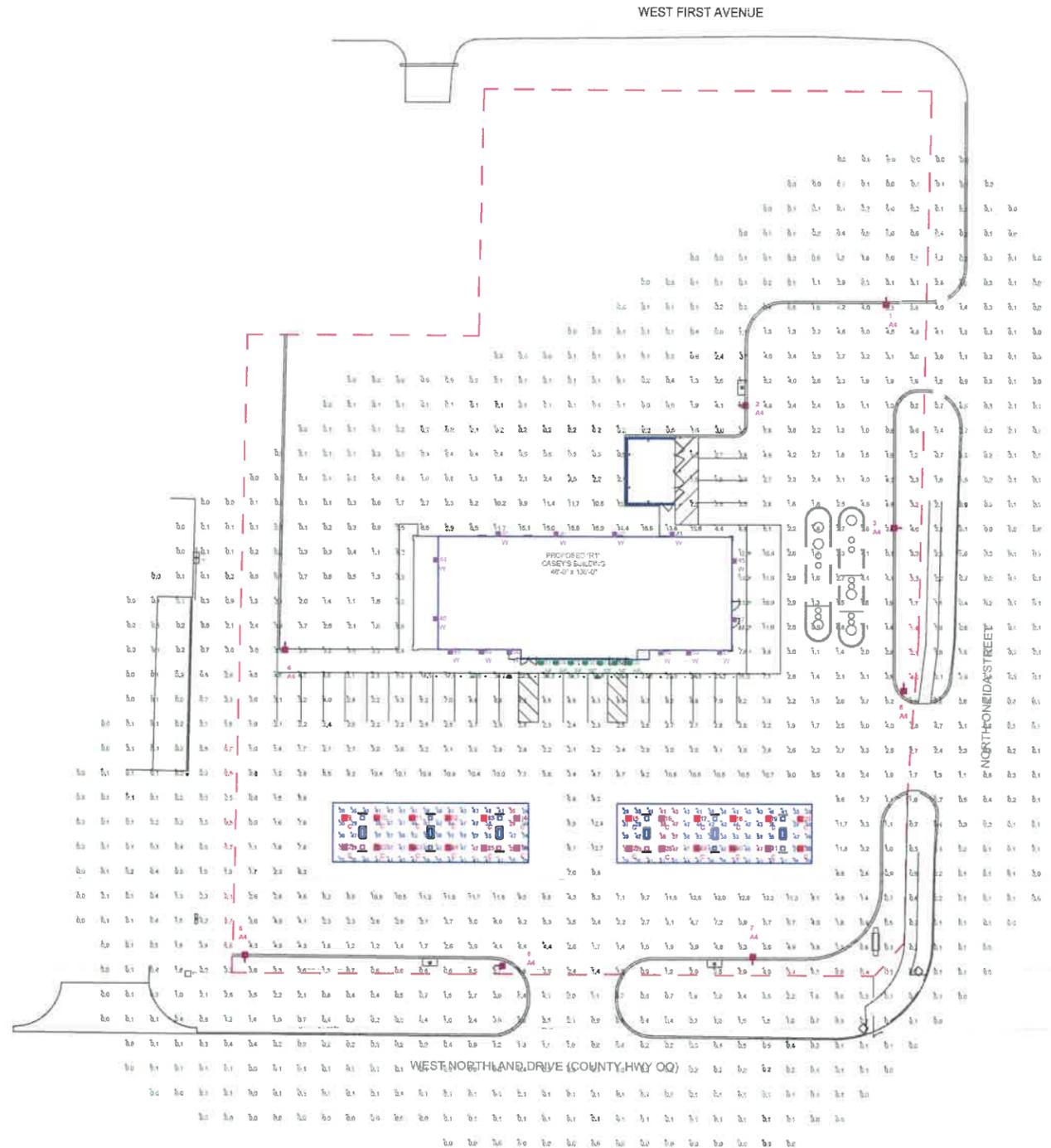
No.	REVISIONS	DATE	BY

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KHA PROJECT	DATE	SCALE	AS SHOWN	DESIGNED BY	GNC	DRAWN BY	GNC	CHECKED BY	RAH
160902008	09/03/2019								

**LANDSCAPE PLAN**

GRAND CHUTE  
 CASEY'S  
 PREPARED FOR  
 CASEY'S MARKETING  
 COMPANY  
 GRAND CHUTE



LUM. NO.	LABEL	MTG. HT.
1	A4	17
2	A4	17
3	A4	17
4	A4	17
5	A4	17
6	A4	17
7	A4	17
8	A4	17
9	C	16.5
10	C	16.5
11	C	16.5
12	C	16.5
13	C	16.5
14	C	16.5
15	C	16.5
16	C	16.5
17	C	16.5
18	C	16.5
19	C	16.5
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21	C	16.5
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27	C	16.5
28	C	16.5
29	C	16.5
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32	C	16.5
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35	SE	10
36	SE	10
37	SE	10
38	SE	10
39	SE	10
40	W	10
41	W	10
42	W	10
43	W	10
44	W	10
45	W	10
46	W	10
47	W	10
48	W	10
49	W	10
50	W	10
51	W	10
52	W	10
53	W	10

LABEL	AVG	MAX	MIN	AVG/MIN	MAX/MIN
PAVED AREA	4.38	13.2	0.8	5.48	16.50
UNDEFINED AREA	1.54	38.4	0.0	N.A.	N.A.
UNDER LEFT CANOPY	41.11	58	28	1.47	2.07
UNDER RIGHT CANOPY	41.27	58	29	1.42	2.00

NOTE: ALL AREA LIGHTS ON NEW 15 FT. POLES MOUNTED ON 2 FT. CONCRETE BASES

SYMBOL	QTY	LABEL	ARRANGEMENT	LUMENS	LLF	BUG RATING	WATTS/LUMINAIRE	TOTAL WATTS	MANUFACTURER	DESCRIPTION
[Symbol]	8	A4	SINGLE	11259	1.050	B2-U0-G2	134	1072	Cree Inc.	ARE-EDG-4M-DA-05-E-UL-BZ-700
[Symbol]	24	C	SINGLE	13251	1.050	B3-U0-G1	134	3216	CREE, INC.	CAN-304-SL-RS-06-E-UL-WH-700
[Symbol]	7	SE	SINGLE	3902	1.050	B2-U0-G0	34	238	CREE, INC.	SFT-228-PS-RM-03-E-UL-BZ-350-IC
[Symbol]	14	W	SINGLE	8739	1.050	B2-U0-G2	100	1400	CREE, INC.	SEC-EDG-3M-WM-06-E-UL-BZ-525

PERSONS USING THIS PROGRAM ARE ADVISED THAT THIS PROGRAM MAY CONTAIN ERRORS WHICH RED LEONARD ASSOCIATES, INC. OR ITS SOFTWARE PROVIDER HAVE NOT OBSERVED. IN ADDITION, THE USE OF THIS PROGRAM TO ASSESS LAYOUT OF LIGHTING AND ESTIMATING INITIAL QUANTITIES IS NOT INTENDED TO REPLACE THE RESPONSIBILITY OF THE USER TO VERIFY THE COMPLETENESS OF ANY BILL OF MATERIALS AND THAT THE LAYOUT OR USE OF LUMINAIRES IS IN FULL ACCORDANCE WITH ALL LOCAL, STATE, OR FEDERAL STATUTES, REGULATIONS OR OTHER REQUIREMENTS, OR THE REQUIREMENTS OF ANY REGULATORY GROUP, ORGANIZATION OR AGENCY REGARDING LUMINAIRES AND THEIR APPLICATION.

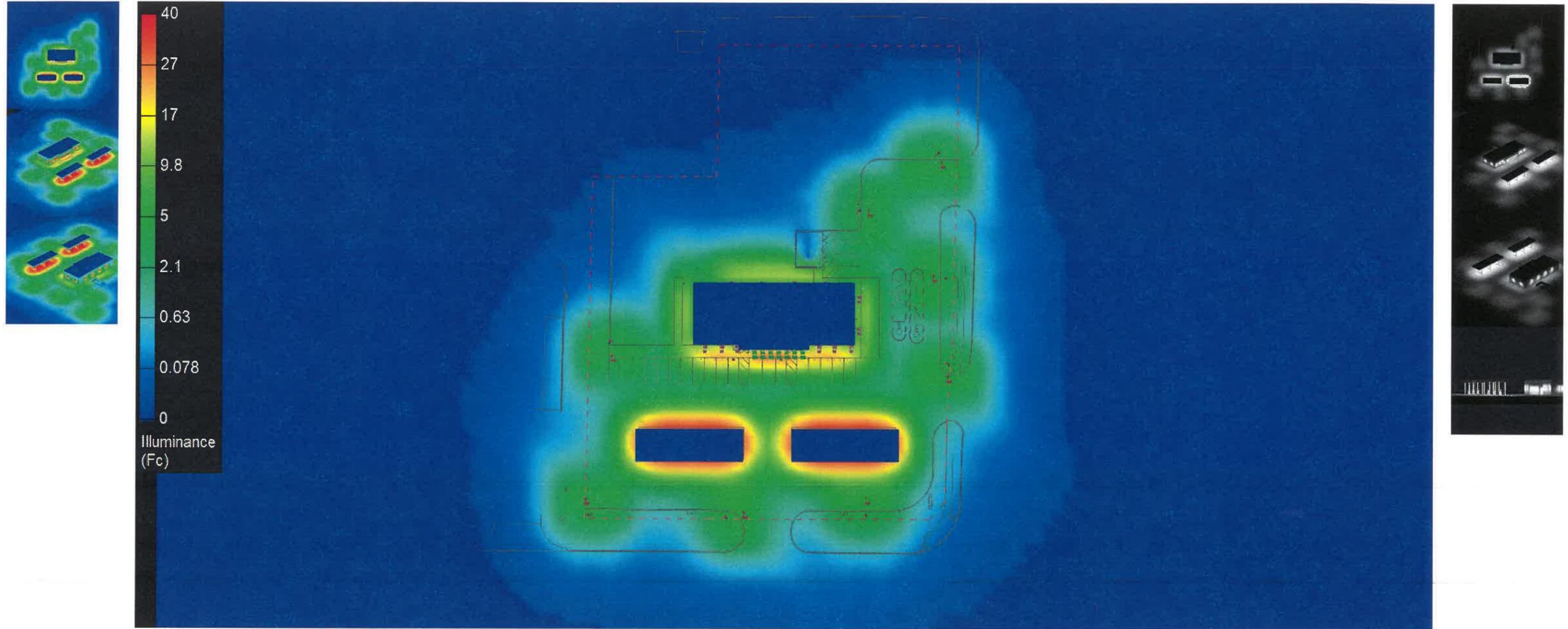
FOR INFORMATIONAL AND ILLUSTRATION PURPOSES ONLY. ALL PROJECT SERVICES AND EQUIPMENT ARE THE PROPERTY OF THEIR RESPECTIVE OWNERS. PRODUCT SPECIFICATIONS AND QUANTITIES SHOWN IN THESE DOCUMENTS ARE THE PROPERTY OF RED LEONARD ASSOCIATES, INC. AND USE OF THESE DOCUMENTS WITHOUT THE WRITTEN CONSENT OF RED LEONARD ASSOCIATES, INC. IS EXPRESSLY PROHIBITED.

LUMINAIRE RESULTS SHOWN ON THIS LAYOUT APPLICATION ARE BASED ON PROJECT PARAMETERS PROVIDED BY THE MANUFACTURER LISTED IN CONNECTION WITH LUMINAIRE TEST PROCEDURES CONDUCTED UNDER LABORATORY CONDITIONS. ACTUAL PROJECT CONDITIONS DIFFER FROM THESE PARAMETERS MAY AFFECT FIELD RESULTS. THE CUSTOMER IS RESPONSIBLE FOR VERIFYING COMPLIANCE WITH ANY APPLICABLE ELECTRICAL, LIGHTING, OR ENERGY CODES.

SCALE: 1" = 30'  
 LAYOUT BY: BJM  
 DATE: 5/24/19

PROJECT NAME: CASEY'S GRAND CHUTE, WI  
 DRAWING NUMBER: RL-6153-S1





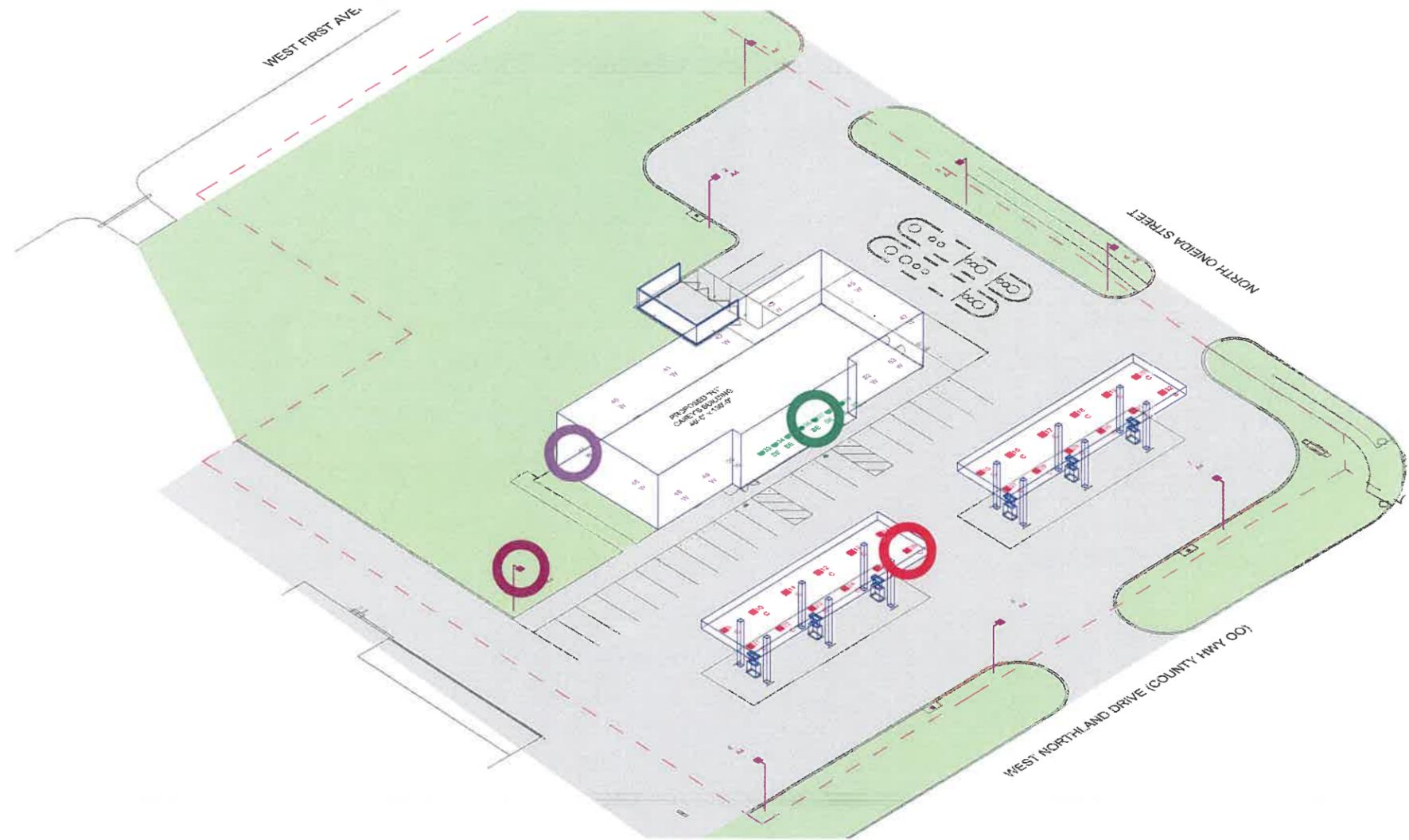
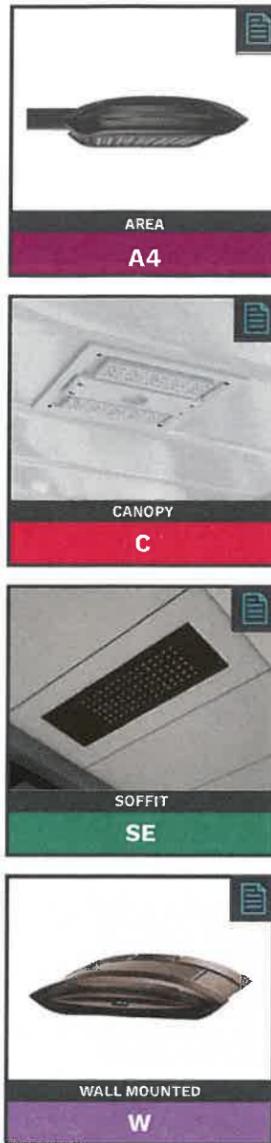
**UNDERSTAND YOUR LIGHTING SOLUTION**  
CLICK TO VIEW AN INTERACTIVE PHOTOMETRY COMPARISON

PHOTOMETRIC COMPARISON TOOL  
LIGHTING DISTRIBUTION TOOL  
IP RATINGS EXPLAINED



# PRODUCT DETAIL & PLACEMENT

COLOR CODED LABELS, PRODUCT INFORMATION, 3D INTERACTIVE MODEL



LUMINAIRE SCHEDULE										
SYMBOL	QTY	LABEL	ARRANGEMENT	LUMENS	LLF	BUG RATING	WATTS/LUMINAIRE	TOTAL WATTS	MANUFACTURER	DESCRIPTION
	6	A4	SINGLE	11259	1.050	B2-U0-G2	134	1072	Cree Inc.	ARE-EDG-4M-DA-06-E-UL-BZ-700
	24	C	SINGLE	13251	1.050	B3-U0-G1	134	3216	CREE, INC.	CAN-304-SL-RS-06-E-UL-WH-700
	7	SE	SINGLE	3902	1.050	B2-U0-G0	34	238	CREE, INC.	SFT-228-PS-RM-03-E-UL-BZ-350-IC
	14	W	SINGLE	8739	1.050	B2-U0-G2	100	1400	CREE, INC.	SEC-EDG-3M-WM-06-E-UL-BZ-525



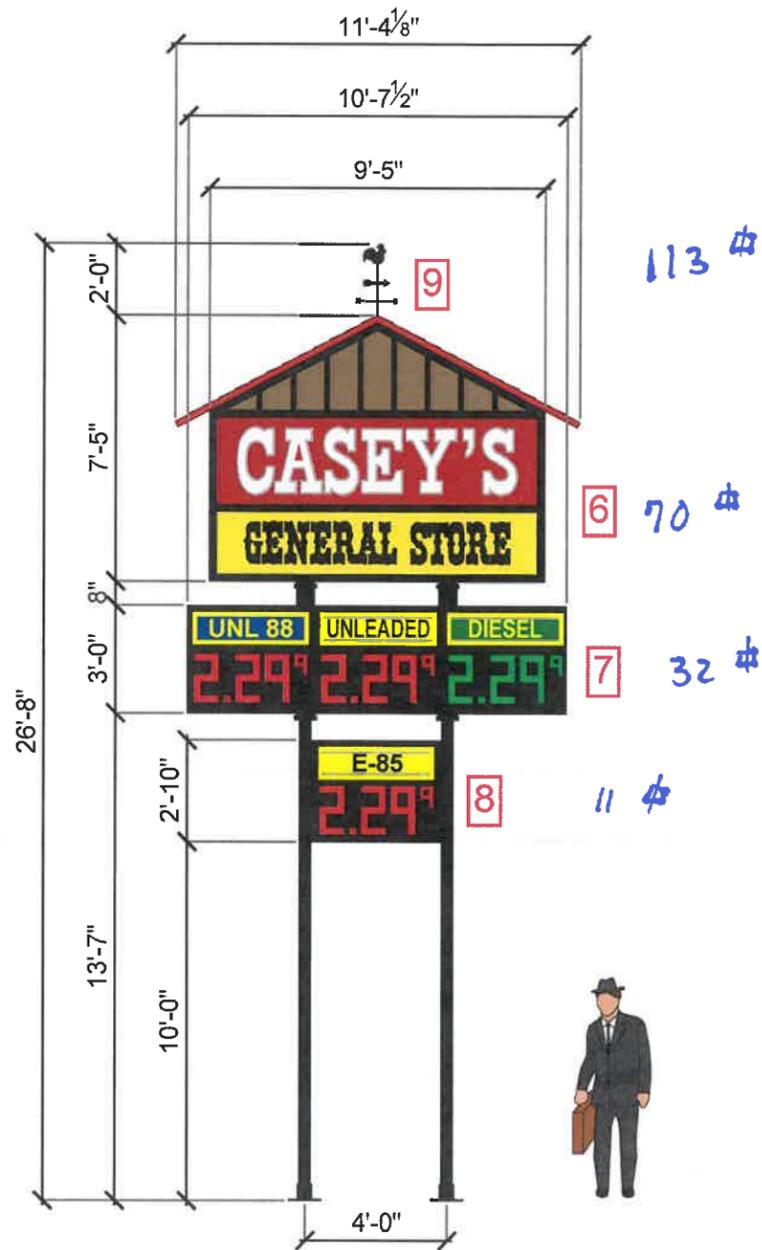
**CREE TRUEWHITE® TECHNOLOGY**  
LEARN MORE ABOUT THE POWER OF TRUEWHITE®



**Pylon Sign (4 Product)**

**SIGNS 6, 7, 8, 9**

Sign #	Sign	Type	Location	Illumination	Dimensions				
					Bottom	Top	Width	Height	Area Ft <sup>2</sup>
6	House Logo	Freestanding	Street	Internal	17' 3"	24' 8"	11' 4-1/8"	7' 6-3/8"	59.87
7	Price Sign	Freestanding	Street	Internal	13' 7"	16' 7"	10' 7-1/2"	3' 0"	31.86
8	Price Sign	Freestanding	Street	Internal	10' 0"	12' 10"	3' 7-1/2"	2'-10"	10.27
9	Weathervane	Freestanding	Street	N/A	24' 8"	26' 8"	1' 5"	2' 0"	1.5
								<b>Total</b>	<b>103.5</b>



**PRICER NOTES:**

- 16" RED AND GREEN LED
- ZIP TRACK DIESEL, GREEN LABEL - CLEAR COPY, LABEL INTERCHANGEABLE
- DIESEL ON THE RIGHT, BOTH SIDES
- ZIP TRACK UNL E-15, BLUE LABEL - CLEAR COPY, LABEL INTERCHANGEABLE
- ZIP TRACK OTHER, YELLOW LABEL - BLACK COPY, LABEL INTERCHANGEABLE

**OTHER NOTES**

- CABINET IS BLACK IN COLOR
- 300' WIRELESS KEYPAD RANGE



**PYLON PRICE SIGN  
4 PRODUCT**

DRAWN BY:  
J. CLARK

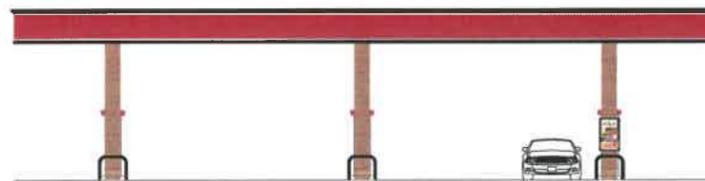
DATE:  
10-01-18



SOUTH ELEVATION



NORTH ELEVATION



EAST ELEVATION



WEST ELEVATION



**GRAND CHUTE, WI**  
W NORTHLAND & N ONEIDA

DRAWN BY:  
J. CLARK

DATE:  
09-06-19



FRONT



BACK



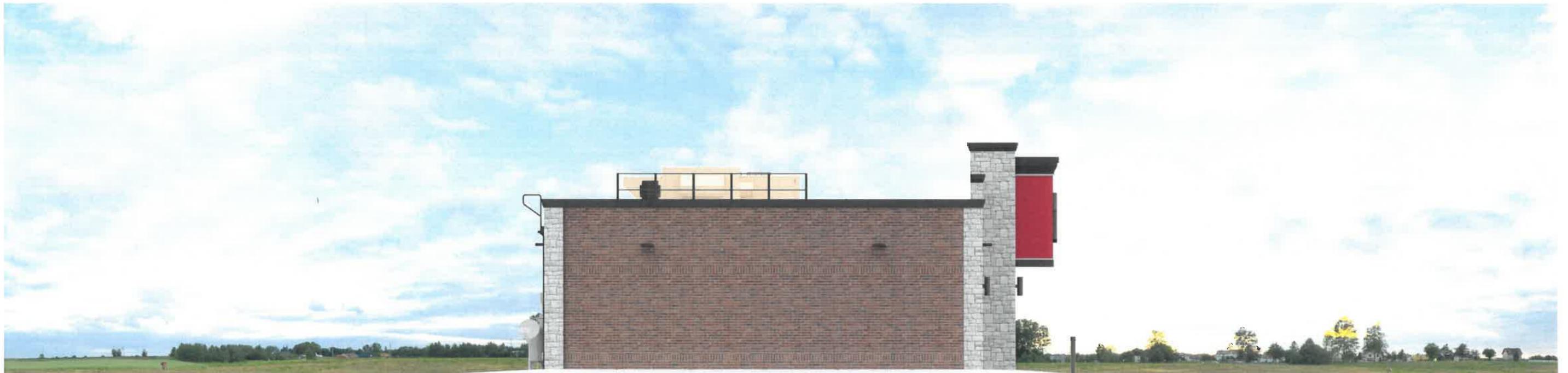
FRONT ELEVATION



RIGHT ELEVATION



BACK ELEVATION



LEFT ELEVATION

**Town of Grand Chute  
Site Plan Review  
Griffin Builders, Inc.**

---

**To:** Plan Commission  
**From:** Michael Patza, Town Planner  
**Date:** September 12, 2019  
**Address:** 704 N. Perkins Street

**App. #: SP-20-19**

---

**REQUEST**

- 1. Proposed Use(s):** Continued commercial contractor use.
- 2. Project Description:** Construction of a commercial storage building and associated site improvements.
- 3. Plat/CSM Accurate parcel lines/lot recorded:** Yes.

**ANALYSIS**

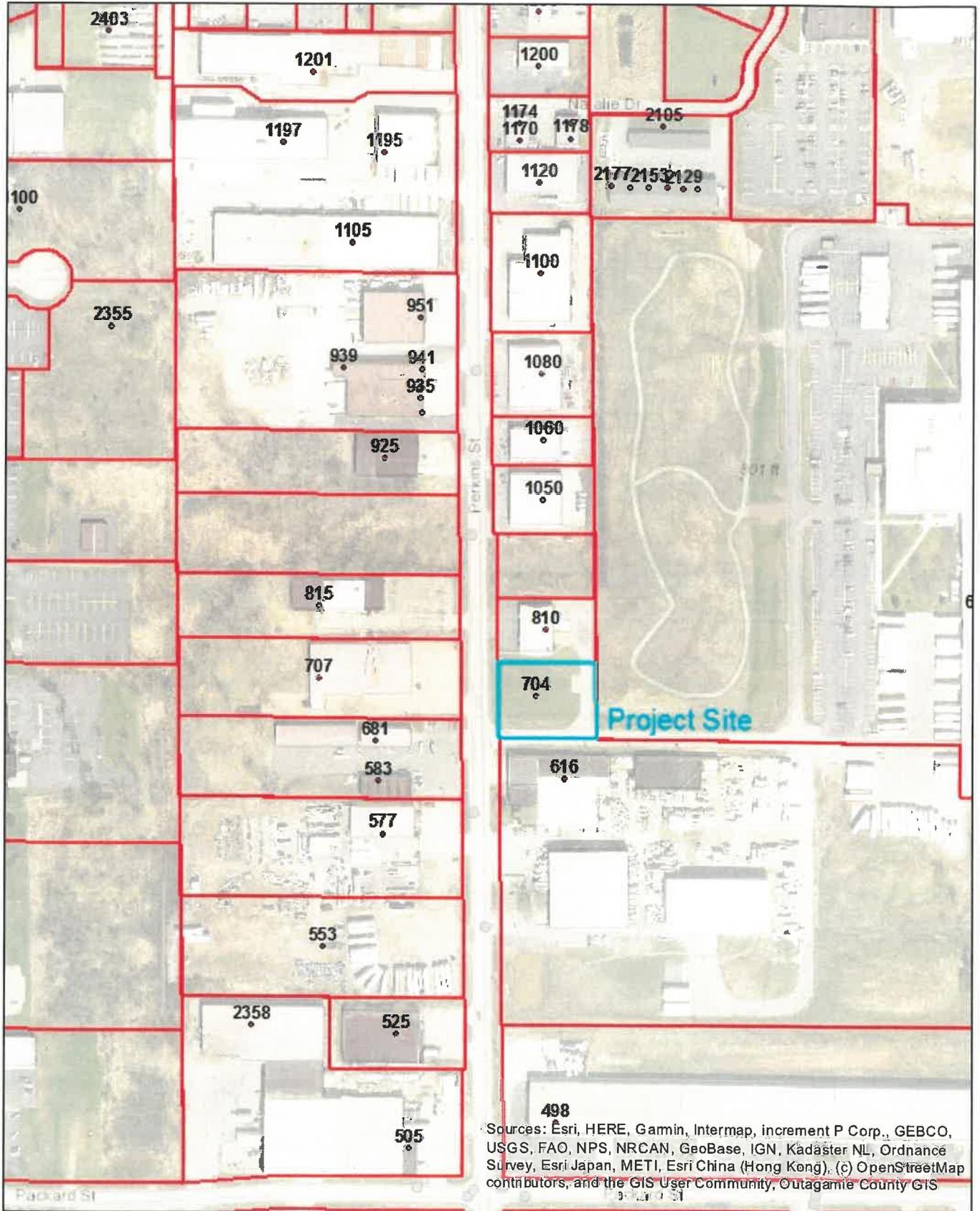
Applicant proposes the construction of a 9,000 sq. ft. commercial building and associated site improvements. The building will be used for storage for the existing business, which occupies the adjacent property to the north. Access for the new building will be from the existing driveway which comes from the private drive on the south side of the property. The driveway and areas to the east of the proposed building will be paved as part of this project.

The Stormwater Management Plan for the project includes modifications to the existing pond to the north of the proposed building. This stormwater facility is shared with the property to the north and the existing Drainage Easement will be modified to reflect these modifications. The Town Engineer has approved the Stormwater Management and Erosion Control Plans. Landscaping and Site Lighting Plans have been approved by staff. All other code requirements are met with this request.

**RECOMMENDATION**

Staff has reviewed and supports Plan Commission approval of the Site Plan (SP-20-19) requested by Griffin Builders, Inc., 810 N. Perkins Street, for construction of a commercial storage building and associated site improvements.

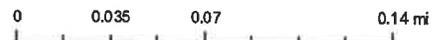
# SP-20-19 -- 704 N. Perkins Street



Sources: Esri, HERE, Gamin, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), (c) OpenStreetMap contributors, and the GIS User Community, Outagamie County GIS

**Disclaimer:** The data provided in the Town of Grand Chute Interactive GIS Map was generated from multiple sources and agencies. Every effort has been made to offer the most accurate data. However, the Town provides this information with the understanding that it is not guaranteed to be accurate, correct, or complete. The Town may make improvements to the Interactive GIS Map periodically. Conclusions drawn from this information are the responsibility of the user. The user agrees that the Town of Grand Chute shall not be held responsible for actions, claims, damages, or judgments made from this data.

Author:  
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# SITE PLAN

PAVEMENT KEY	
	HEAVY DUTY CONCRETE — 5 C5.1
	ASPHALT PAVEMENT — 1 C5.1
	WISDOT MEDIUM RIPRAP

SITE PLAN NOTES	
1.	ALL WORK AND MATERIALS SHALL COMPLY WITH ALL TOWN OF GRAND CHUTE REGULATIONS AND CODES.
2.	ALL DISTURBED AREAS ARE TO RECEIVE FOUR INCHES OF TOPSOIL, SEED, MULCH AND WATER UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED.
3.	ALL DIMENSIONS ARE TO THE EDGE OF BUILDING OR FACE OF CURB.
4.	CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
5.	NO HAZARDOUS MATERIALS WILL BE STORED ON SITE.
6.	ALL STOP SIGNS SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE FEDERAL HIGHWAY ADMINISTRATION M.U.T.C.D., LATEST VERSION.
7.	THE CONTRACTOR AND/OR OWNER SHALL NOT PROCEED WITH LAND DISTURBING ACTIVITIES PRIOR TO RECEIVING WRITTEN NOTICE TO PROCEED FROM THE ENGINEER.
8.	NO OUTDOOR STORAGE OR DISPLAY IS PROPOSED.

### BUILDING SIZE

PROPOSED BUILDING 4,587 SF

### ALLOWABLE AREA

TABULAR FLOOR AREA: 9,000 SF  
 FRONTAGE INCREASE: 6,750 SF  
 SPRINKLER INCREASE: UNSPRINKLERED  
 TOTAL ALLOWABLE AREA: 15,750 SF  
 ALLOWABLE FIRE AREA: LIMITED BY TOTAL ALLOWABLE AREA

### APPLICABLE BUILDING CODE

2015 IBC

### CONSTRUCTION CLASSIFICATION

TYPE VB COMBUSTIBLE UNPROTECTED.

### SITE DATA

AREA = 29,022 SF (0.666 AC)

### PROJECT AREA

EXISTING OPEN SPACE = 21,909 SF (75.49%)  
 EXISTING IMPERVIOUS AREA = 7,113 SF (24.51%)  
 PROPOSED OPEN SPACE = 14,006 SF (48.26%)  
 PROPOSED IMPERVIOUS AREA = 15,016 SF (51.74%)

### ZONING DATA

CURRENT ZONING DISTRICT:  
 INDUSTRIAL DISTRICT (IND)

### PARKING CALCULATIONS

REQUIREMENTS OF CODE 535-49

### LANDSCAPING REQUIREMENTS

REQUIREMENTS OF CODE 535-52

### SITE/PROJECT INFORMATION

PROPERTY ADDRESS:  
 810 N. PERKINS STREET  
 APPLETON, WI 54914  
 PARCEL NUMBER: 102240602

### OWNER/APPLICANT:

GRIFFIN BUILDERS  
 ATTN: BRETT GRIFFIN  
 810 N. PERKINS STREET  
 APPLETON, WI 54914  
 info@griffinbuildersinc.com  
 PHONE: 920-707-6142

### PROJECT ARCHITECT:

MARTENSON & EISELE, INC.  
 ATTN: TIM CARLSON  
 1377 MIDWAY ROAD  
 MENASHA, WI 54952  
 timc@martenson-eisele.com  
 PHONE: 920-731-0381

### ENGINEER:

MARTENSON & EISELE, INC.  
 ATTN: JACK RICHESON, P.E.  
 1377 MIDWAY ROAD  
 MENASHA, WI 54952  
 jackr@martenson-eisele.com  
 PHONE: 920-731-0381

### NRCS SOILS

WnA—Winneconne silty clay loam  
 Hydrologic Soil Type D.

### LEGAL DESCRIPTION

PART OF THE NORTHEAST 1/4 OF SECTION 28, TOWN 21 NORTH, RANGE 17 EAST, TOWN OF GRAND CHUTE, OUTAGAMIE COUNTY, WISCONSIN

**Martenson & Eisele, Inc.**  
 Planning  
 1377 Midway Road  
 Menasha, WI 54952  
 Environmental  
 www.martenson-eisele.com  
 info@martenson-eisele.com  
 Surveying  
 Engineering  
 Architecture  
 920.731.0381 1.800.236.0381

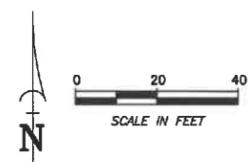
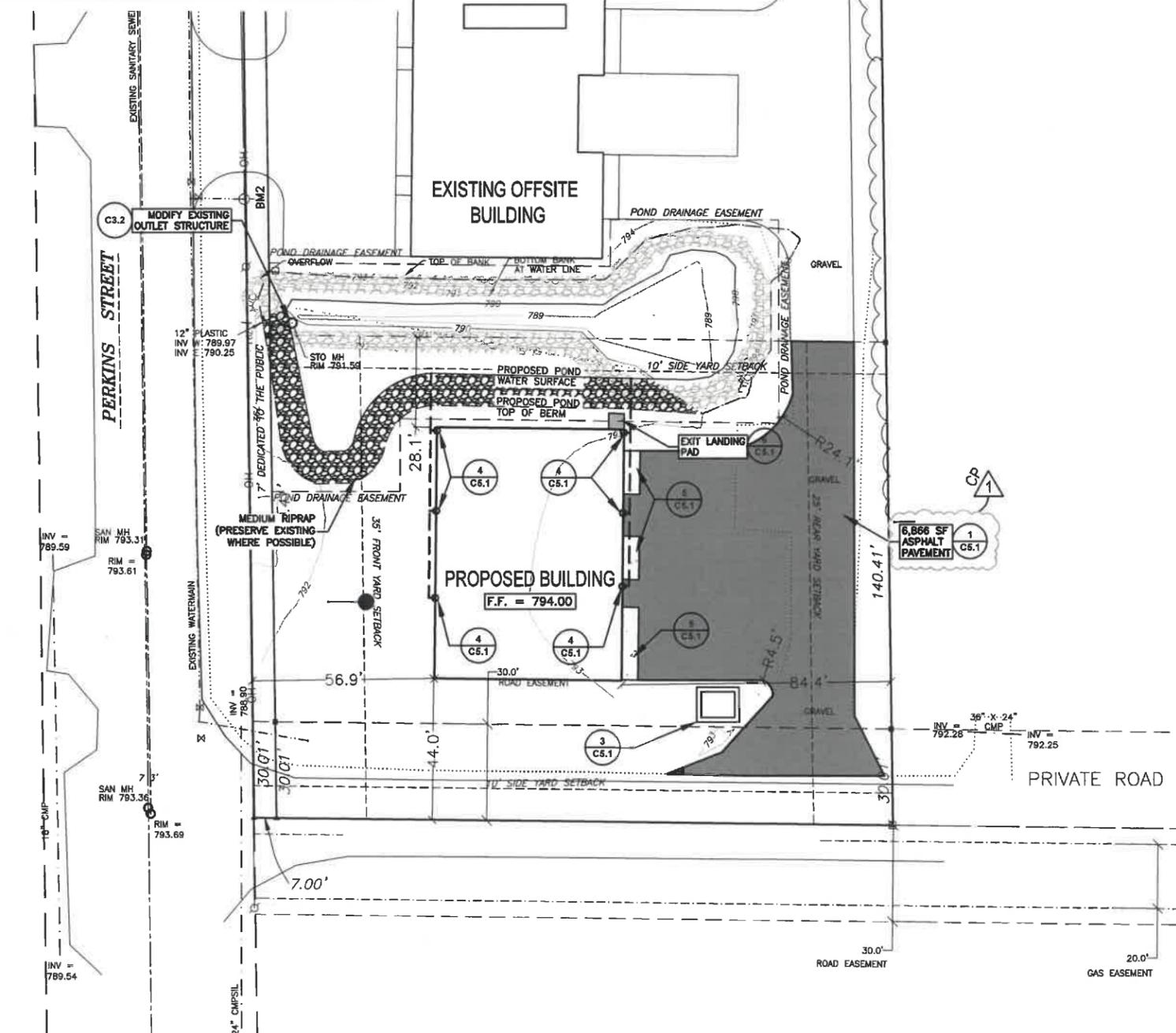
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1	8-28-2019				

**SITE PLAN**  
**GRIFFIN BUILDERS**

TOWN OF GRAND CHUTE, OUTAGAMIE COUNTY, WISCONSIN

SCALE	DATE
BAR SCALE	08-28-2019
COMPUTER FILE	
1-0023-031de.dwg	

DRAWING NO.  
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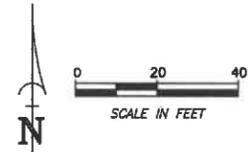
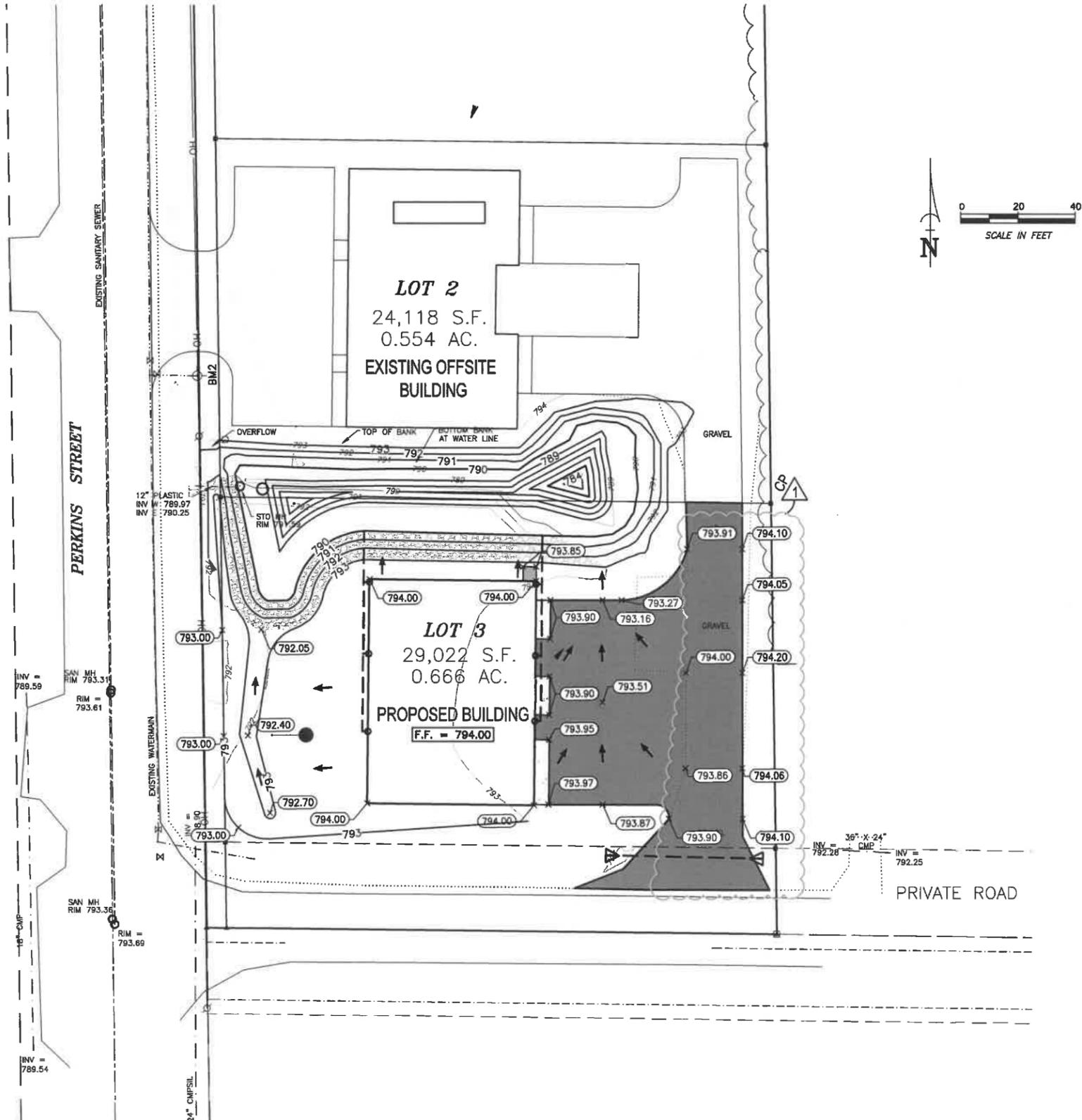


TOPOGRAPHIC LEGEND	
	OVERHEAD POWER LINES
	UNDERGROUND ELECTRIC
	UNDERGROUND TELEPHONE
	UNDERGROUND FIBEROPTIC
	UNDERGROUND GAS
	UNDERGROUND CABLE TV
	EXIST. FENCE LINE
	EXIST. ST. SEWER
	EXIST. WATER MAIN
	EXIST. SPOT ELEVATION
	EXIST. TOP OF CURB ELEV.
	EXIST. FLOW LINE ELEV.
	EXIST. FLOOR = 000.00
	TOPSOIL DEPTH
	INFILTRATION SOIL BORING

NOT FOR CONSTRUCTION



# DRAINAGE PLAN



- ### DRAINAGE PLAN NOTES
- THE LOCATION OF EXISTING UTILITY FACILITIES AS SHOWN ON THE PLAN ARE APPROXIMATE. THERE MAY BE OTHER UTILITIES WITHIN THE PROJECT AREA THAT ARE NOT SHOWN. THE CONTRACTOR SHALL HAVE ALL FACILITIES LOCATED PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF A CONFLICT WITHIN THE WORK IS DISCOVERED.
  - ALL WORK UNDER THIS CONTRACT SHALL BE DONE IN ACCORDANCE WITH THE TOWN OF GRAND CHUTE'S STANDARD SPECIFICATIONS (TITLE 6/PUBLIC WORKS), ALONG WITH THE LATEST EDITION OF THE STATE OF WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR ROAD & BRIDGE CONSTRUCTION.
  - THIS FINAL DRAINAGE PLAN INDICATES DRAINAGE ALONG LOT LINES, MAJOR DRAINAGE SWALES AND CONCEPTUAL DRAINAGE FOR EACH LOT. THE SITE PLANNER FOR EACH INDIVIDUAL HOME SITE SHOULD DESIGN DETAILED DRAINAGE FOR THE INTERIOR OF THE LOT BASED ON THIS INFORMATION. GRADE AT FOUNDATION ELEVATIONS MAY VARY SIGNIFICANTLY DEPENDING UPON ARCHITECTURE. THE SITE PLANNER SHOULD CONSULT AN ENGINEER TO DETERMINE GRADE AT FOUNDATION ELEVATION.
  - THE PROPOSED ELEVATIONS SHOWN ON THE DRAINAGE PLANS THAT ARE ADJACENT TO ABUTTING PROPERTIES MAY VARY FROM 5' TO 10' FROM THE PROPERTY CORNERS.
  - PER WI. ADMIN. CODE, COMM 21.12: THE FINISHED GRADE OF THE SOIL SHALL SLOPE AWAY FROM THE DWELLING AT A RATE OF AT LEAST 1/4" PER FOOT FOR A MINIMUM DISTANCE OF 10 FEET, OR TO THE LOT LINE, WHICHEVER IS LESS.
  - THE LANDSCAPER SHALL UTILIZE THE PROPOSED ELEVATIONS. THE LANDSCAPER SHALL NOT GRADE UP TO ANY PEDESTAL OR ANY OTHER STRUCTURE TO DETERMINE ELEVATION.
  - THE CONTRACTOR AND/OR OWNER SHALL NOT PROCEED WITH CONSTRUCTION ACTIVITIES UNTIL APPROPRIATE PERMITS/APPROVALS ARE OBTAINED.
  - THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL NECESSARY PERMITS FOR CONSTRUCTION.
  - THE CONTRACTOR SHALL CLEAN UP ALL EXCESS MATERIAL AND DEBRIS CAUSED AS A RESULT OF WORK UNDER THIS CONTRACT.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL DAMAGE RESULTING FROM THE PERFORMANCE OF THE WORK UNDER THIS CONTRACT.
  - CONTRACTOR SHALL DISPOSE OF NON-SUITABLE MATERIAL OFF-SITE.
  - LOTS WITH AN EXCESS FILL HEIGHT OF 3' SHALL BE STRIPPED OF TOPSOIL AND COMPACT EACH LAYER TO 95 PERCENT OF MAXIMUM DENSITY, OR MORE, BEFORE PLACING SUBSEQUENT LAYER.

### DRAINAGE PLAN LEGEND

EXISTING CONTOUR	X 000.00	PROPOSED ELEVATION
PROPOSED CONTOUR	X (000.00)	PERTINENT DITCH OR SWALE ELEVATION
STORM SEWER MAIN	1.000.00	EXISTING ELEVATION
STORM MANHOLE	000.0	PROPOSED GROUND AT FOUNDATION
2' x 3' PRECAST STORM INLET	←	DIRECTION OF DRAINAGE

### TOPOGRAPHIC LEGEND

1" x 18" IRON PIPE SET	OVERHEAD POWER LINES	00	GAS VALVE
1-1/4" x 30" REBAR SET	UNDERGROUND ELECTRIC	0	EXIST STORM MANHOLE
CHISELED "X" SET	UNDERGROUND TELEPHONE	0	STORM INLET
3/4" REBAR FOUND	UNDERGROUND FIBEROPTIC	0	YARD DRAIN
1" IRON PIPE FOUND	UNDERGROUND GAS	0	EXIST SANITARY MANHOLE
1-1/4" REBAR FOUND	UNDERGROUND CABLE TV	0	EXIST SANITARY MANHOLE
2" IRON PIPE FOUND	EXIST. FENCE LINE	0	EXIST. SAN. SEWER
CHISELED "X" FOUND	EXIST. FENCE LINE	0	EXIST. STD. SEWER
CONCRETE CORNER	EXIST. FENCE LINE	0	EXIST. WATER MAIN
RECORDED AC	EXIST. FENCE LINE	0	EXIST. SPOT ELEVATION
CONTIGUOUS TREE	EXIST. FENCE LINE	0	CONTOUR W/ ELEVATION
DISCONTIGUOUS TREE	EXIST. FENCE LINE	0	EXIST. TOP OF CURB ELEV.
EXIST. WOODS LINE	EXIST. FENCE LINE	0	EXIST. FLOW LINE ELEV.
METLANDS	EXIST. FENCE LINE	0	FF = 0000
STD. BOUND	EXIST. FENCE LINE	0	TOPSOIL DEPTH
	EXIST. FENCE LINE	0	HEALTHY/DIRT SOIL BOUND

NOT FOR CONSTRUCTION

**Martenson & Eisele, Inc.**  
 Planning  
 Environmental  
 Surveying  
 Engineering  
 Architecture  
 13777 Mickey Road  
 Menasha, WI 54952  
 www.martenson-eisele.com  
 info@martenson-eisele.com  
 920.731.0381 1.800.236.0381

APPROVED	CHECKED	FIELDWORK
JMS	JJR	
DATE	DATE	DATE
NO.	NO.	NO.
1	1	1

**DRAINAGE PLAN**  
**GRIFFIN BUILDERS**

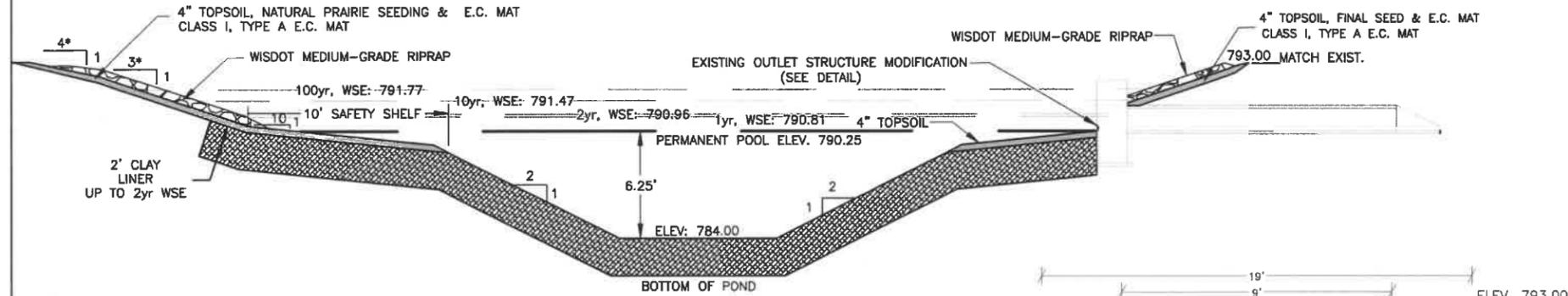
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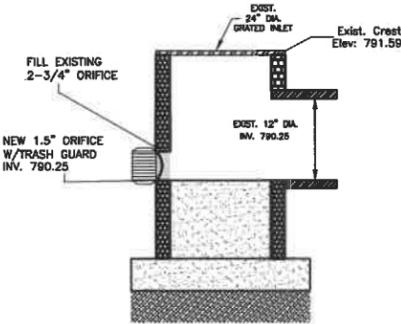
TOWN OF GRAND CHUTE, OUTAGAMIE COUNTY, WISCONSIN

# POND MODIFICATIONS DETAIL

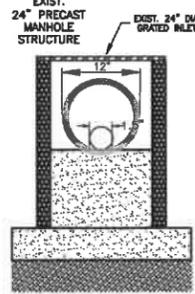
\*DETENTION AREA GRADING: TOP VERTICAL 1 FT (ELEV. 792'-793') SHALL BE GRADED AT AN APPROXIMATELY 4:1 SIDE SLOPE. REMAINING VERTICAL 2 FT (ELEV. 790'-792') SHALL BE GRADED AT A 3:1 SIDE SLOPE.



**STORMWATER POND DETAILS (NTS)**



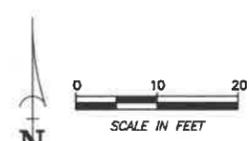
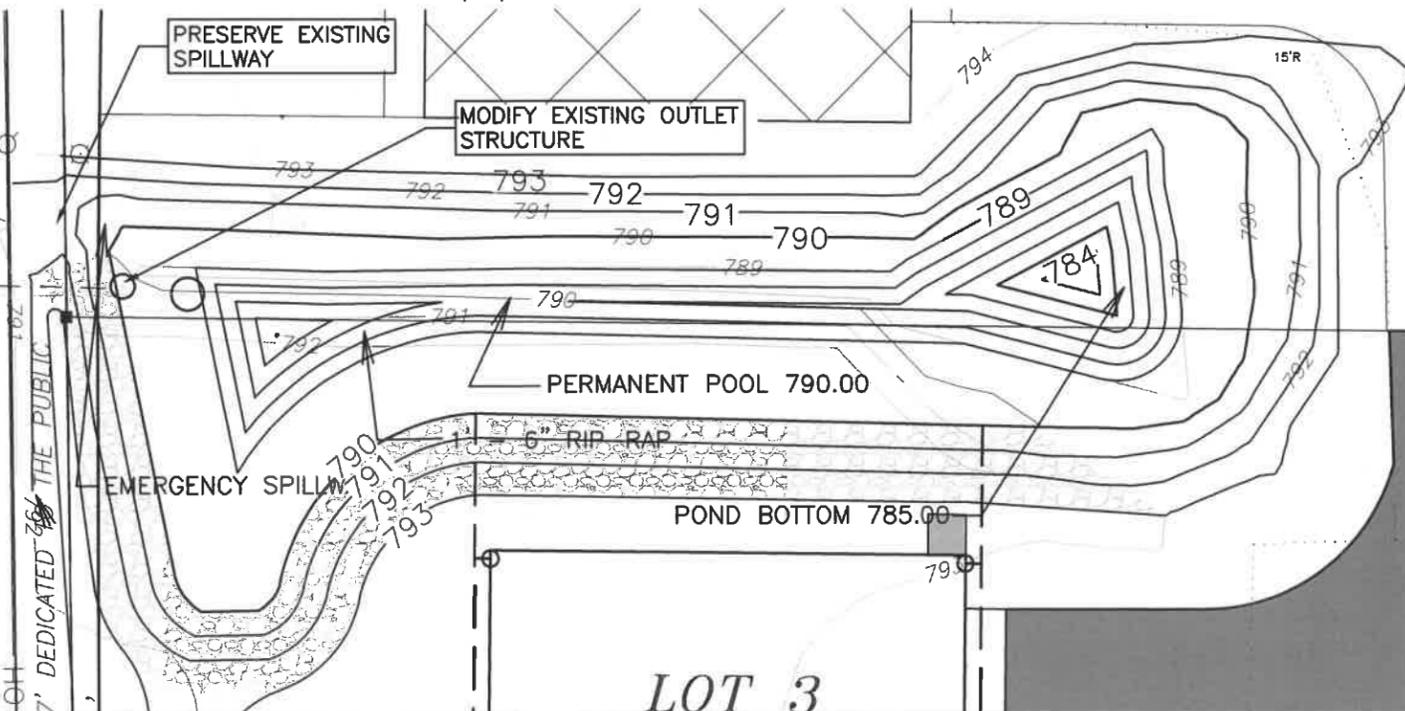
**MODIFY EXISTING OUTLET STRUCTURE (NTS)**



**EXISTING SPILLWAY OUTLET STRUCTURE (NTS)**

	Post (Prop. Control)	Post-Develop. W.S. Elev.
$Q_{peak}$ (1yr Storm Event)	0.04 cfs	
$Q_{peak}$ (2yr Storm Event)	0.05 cfs	
$Q_{peak}$ (10yr Storm Event)	0.06 cfs	
$Q_{peak}$ (100yr Storm Event)	1.66 cfs	
Detention (1yr Storm Event)	0.085 ac-ft	790.81
Detention (2yr Storm Event)	0.103 ac-ft	790.96
Detention (10yr Storm Event)	0.167 ac-ft	791.47
Detention (100yr Storm Event)	0.207 ac-ft	791.77

**DEWATERING:** THE EXISTING POND SHALL BE DEWATERED PER WDNR TECHNICAL STANDARD 1061. GEOTEXTILE BAGS SHALL BE SECURELY ATTACHED TO DISCHARGE PIPE(S). WATER MAY NOT BE DISCHARGED IN A MANNER THAT CAUSES EROSION OF THE SITE OR RECEIVING CHANNELS. EXISTING SOILS WITHIN THE POND AREA LIKELY HAVE A SILTY CLAY LOAM TEXTURE ACCORDING TO THE NRCS NATIONAL COOPERATIVE SOIL SURVEY.



**POND CONSTRUCTION**

**Topsoil Stripping**  
The contractor shall strip the pond area free of topsoil and stockpile at locations as indicated on the Erosion Control Plan.

**Unclassified Excavation**  
Unclassified excavation shall include the removal and disposal of all materials encountered in the excavation for the ponds other than specific materials which have been classified and bid upon as a separate bid item for this project. When excavating for the ponds, the excavation limits shall be the limits per the pond construction plans. Any unsuitable reclaimable material removed from the area shall be disposed of at a certified landfill.

**Fine Grading**  
Fine grading shall consist of shaping and compacting the total cross section and limits of the ponds according to the typical cross section illustrated on the plans. Fine Grading shall include the grading of the spillway. All costs associated shall be included in the unit price bid.

**Clay Liner and Pond Berm**  
The W.D.N.R. requires that storm water ponds be entirely clay lined. The following items are the criteria for the construction of the clay liner and pond berm.

- Properties:**
- > Permeability:  $1 \times 10^{-7}$  cm/sec or less.
  - > Grain Size: P200 content 5% by weight or greater. Larger than 2 in. in longest dimension shall be removed.
  - > Clay Content: 25% by weight or greater (0.02mm).
  - > Liquid Limit: 25% or greater.
  - > Plasticity Index: 10 or greater.
  - > Free of stones and inclusions of other soil types larger than 2 in. in largest dimension.
  - > Non-organic soil classified as CL or CH by United Soil Classification System.
- Clay Placement**
- Do not place clay until sub-grade elevation is documented and approved by Engineer.
  - Shape sub-grade to provide specified clay thickness smooth and free from loose stones.
  - Placement:
    - Place in 8" loose lifts perpendicular to slope, in designated thickness shown on the Drawings.
    - Maximum Compacted Lift Thickness: 6" but not greater than depth of sheepfoot.
    - Tolerance: Maximum acceptable variation for each lift thickness is 1".
    - Place clay as backfill material for outlet structure and associated piping within pond berm.
  - Compaction:
    - Minimum Compaction: 90% of dry density, ASTM D1557 Modified Proctor.
    - Maximum Permeability:  $1 \times 10^{-7}$  cm/sec, laboratory falling head permeability test.
    - Material distribution and gradation throughout clay material shall be free from lenses, pockets, streaks or layers of material differing substantially in texture or gradation from surrounding material. Blend clay prior to compaction. Prevent sand or other soil types from mixing into clay or forming seams.
    - Uniformly distribute moisture and disc each lift of clay material prior to compaction. Dry clay material too wet to obtain desired density, proper moisture content. Do not place clay at moisture content less than optimum as obtained by ASTM D1557. No additional payment will be made for drying clay materials.
    - Place layers of clay to form continuous monolithic material. Condition excessively dry or wet soil before placement of additional lifts. Knead each lift into previously placed lift with sheepfoot roller, or similar kneading type compactor.
    - Construct sidewall liners in lifts parallel to side slope.
    - Protect buried pipes, and similar installations when constructing overlying portions of liner system or pond berm.
    - Do not place clay when air temperature is below of 32°F, unless CONTRACTOR can demonstrate fill material temp. is above freezing.
    - Install clay liner in accordance with Drawings.

- Field Quality Control**
- General Testing Requirements
    - Construction quality control testing will be performed throughout project by the Contractor's geotechnical soil engineer.
    - Test locations shall be selected at random by the Contractor's geotechnical soil engineer. CONTRACTOR shall assist in testing.
    - Testing frequency for construction quality control shall be as indicated below by OWNER or ENGINEER
  - Initial Sampling
    - Contractor shall assist geotechnical soil engineer in collecting two representative bulk samples within 7 days of receiving the Notice to Proceed, or as weather permits after that week, of import clay borrow location and onsite clay material.
    - Test to be performed on each bulk sample collected and tested by geotechnical soil engineer shall include:
      - Grain Size Analysis (ASTM D422).
      - Atterberg Limits (ASTM D422).
      - Constant Head Permeability Test (ASTM D5084).
      - Modified Proctor Compaction Test (ASTM D1557, Method D).
  - Compaction:
    - Contractor's geotechnical soil engineer will perform one compaction test per each 200CY in-place material.
    - Degree of Compaction: 90% Modified Proctor, ASTM D1557, Method D
  - Thickness Verification:
    - Thickness of clay liner shall be verified by surveying sub-grade elevation and surveying elevation of clay surface, after completion of testing of in-place clay. Survey will be performed by OWNER's retained ENGINEER.
  - Final Acceptance of Surface:
    - Thickness of clay liner and surface elevations shall conform to Drawings.
    - Finish surface with smooth-drum roller.
    - Assist geotechnical soil engineer in collecting minimum of four in-place clay liner samples (Shelby Tube Method) per pond. Test to be performed by Contractor's geotechnical soil engineer on each tube.
  - Dry Density:
    - Atterberg Limits (ASTM D4318).
    - Grain Size Analysis (ASTM D422).
    - Constant Head Permeability (ASTM D5084).
  - Rework areas that fail testing as follows:
    - Define rework area.
    - Disc.
    - Condition soil for moisture content.
    - Compact.
    - Retest. Notify OWNER and ENGINEER when areas are ready for retest. Areas that fail testing shall have material removed and replaced at no cost to OWNER.

**Excess Material**  
Clay material not suitable for backfilling and excess material shall be hauled offsite, to location specified by OWNER.

**Geo-textile Fabric**  
The geo-textile fabric for under the riprap shall consist of Type "R" porous non-woven fabric with multiple layers of randomly arranged fibers. The Engineer shall inspect fabric prior to placement of riprap and during placement of riprap. Damaged filter fabric shall be replaced at Contractor's expense.

- Manufacturers**
- > Miraf 140N by Miraf, Inc.
  - > Typer 3401 by Dupont
  - > Bigac 9P by Philips Fibers Corporation
  - > Prepac 4545 by Aneco Fabrics Company

**Riprap**  
The Contractor shall trim and shape the bed for the fabric prior to the placement of the riprap as indicated on the plan. The riprap shall be clean washed riprap measuring 12" thick measured perpendicular to the slope.

All equipment, labor, and materials used to install and maintain the riprap shall be included in the unit price bid for Medium Rip-Rap & Type R Filter Fabric, square yards.

**Outlet Structure/Piping Etc.**  
Construction of the Outlet Structures with trash guards, pipe, concrete apron endwalls with trash guard, and spillways shall be in accordance with the details on the plans. All costs associated with the supply, installation and construction of all items involved with the outlet structures, pipe, concrete apron endwalls, and spillways shall be included in the price bid.

**Restoration**  
The Contractor shall seed, fertilize and mulch the pond only above the normal water surface. Seeding shall be with natural prairie grasses.

**Erosion Control Vegetative Mat**  
The area above the normal water surface shall be matted with Class I, Type A Curlex, or equal, erosion control vegetative mats as listed in the Product Acceptability List (PAL) for Multi-Use Applications published by the Wisconsin Department of Transportation, current edition.

**Topsoil**  
Topsoil shall conform to the requirements of the Wisconsin Department of Transportation Standard Specifications for Highway and Structure Construction, 2003 Edition, Section 825.

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920.731.0381 1.800.236.0381

DRAWN BY	CHECKED	APPROVED	FIELDWORK
EAE	JUR	JMS	

\*\*\*REFER TO COVER SHEET FOR REVISION DESCRIPTIONS\*\*\*

NO.	DATE	NO.	DATE
1	8-26-2019		

**POND MODIFICATIONS DETAIL**  
**GRIFFIN BUILDERS**  
TOWN OF GRAND CHUTE, OUTAGAMIE COUNTY, WISCONSIN

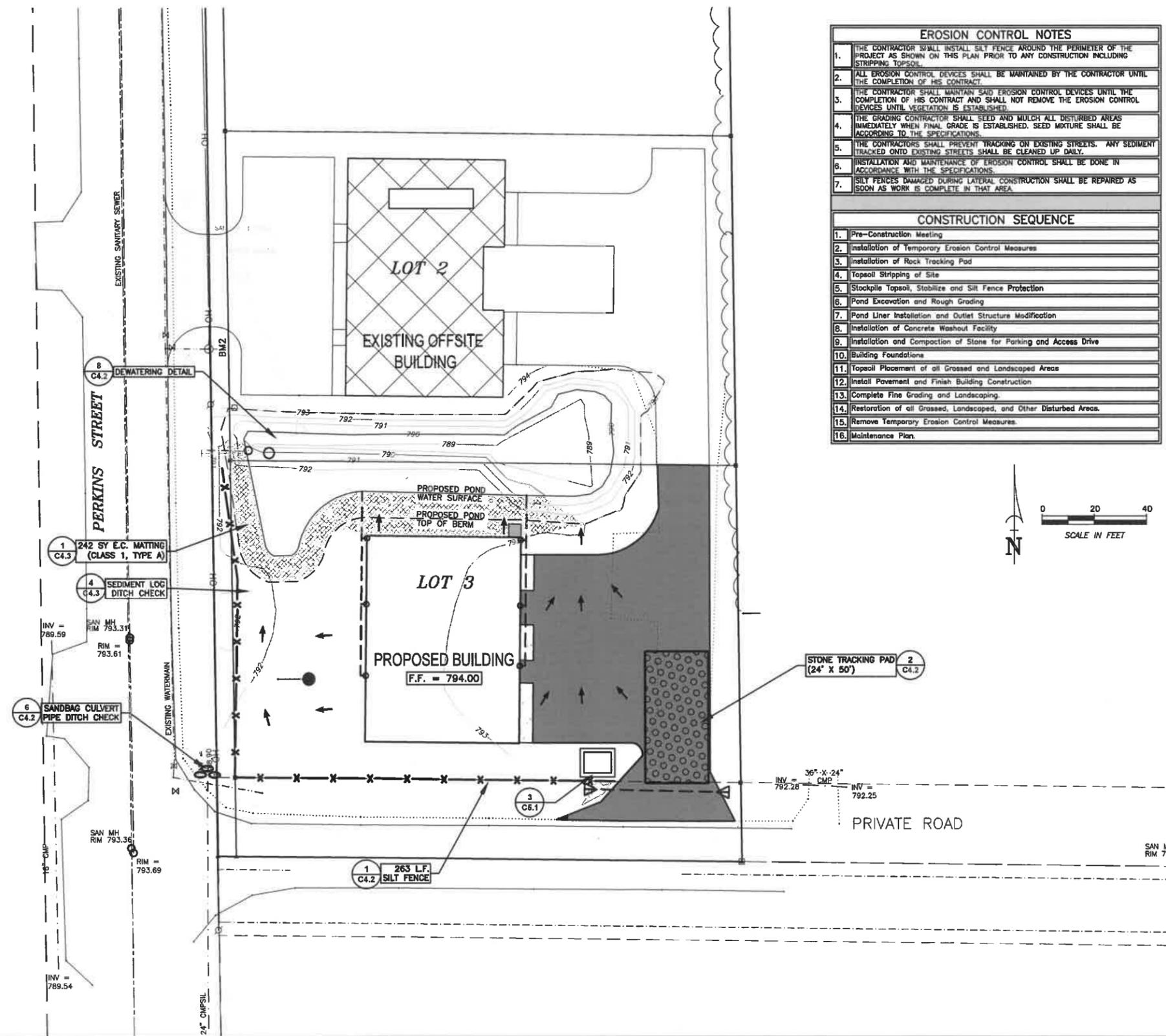
SCALE	DATE
BAR SCALE	08-26-2019

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1-0023-031de.dwg

**NOT FOR CONSTRUCTION**

DRAWING NO.  
C3.2

# EROSION CONTROL PLAN



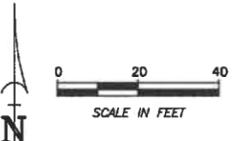
EROSION CONTROL NOTES	
1.	THE CONTRACTOR SHALL INSTALL SILT FENCE AROUND THE PERIMETER OF THE PROJECT AS SHOWN ON THIS PLAN PRIOR TO ANY CONSTRUCTION INCLUDING STRIPPING TOPSOIL.
2.	ALL EROSION CONTROL DEVICES SHALL BE MAINTAINED BY THE CONTRACTOR UNTIL THE COMPLETION OF HIS CONTRACT.
3.	THE CONTRACTOR SHALL MAINTAIN SAID EROSION CONTROL DEVICES UNTIL THE COMPLETION OF HIS CONTRACT AND SHALL NOT REMOVE THE EROSION CONTROL DEVICES UNTIL VEGETATION IS ESTABLISHED.
4.	THE GRADING CONTRACTOR SHALL SEED AND MULCH ALL DISTURBED AREAS IMMEDIATELY WHEN FINAL GRADE IS ESTABLISHED. SEED MIXTURE SHALL BE ACCORDING TO THE SPECIFICATIONS.
5.	THE CONTRACTORS SHALL PREVENT TRACKING ON EXISTING STREETS. ANY SEDIMENT TRACKED ONTO EXISTING STREETS SHALL BE CLEANED UP DAILY.
6.	INSTALLATION AND MAINTENANCE OF EROSION CONTROL SHALL BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS.
7.	SILT FENCES DAMAGED DURING LATERAL CONSTRUCTION SHALL BE REPAIRED AS SOON AS WORK IS COMPLETE IN THAT AREA.

CONSTRUCTION SEQUENCE	
1.	Pre-Construction Meeting
2.	Installation of Temporary Erosion Control Measures
3.	Installation of Rock Tracking Pad
4.	Topsoil Stripping of Site
5.	Stockpile Topsoil, Stabilize and Silt Fence Protection
6.	Pond Excavation and Rough Grading
7.	Pond Liner Installation and Outlet Structure Modification
8.	Installation of Concrete Washout Facility
9.	Installation and Compaction of Stone for Parking and Access Drive
10.	Building Foundations
11.	Topsoil Placement of all Grassed and Landscaped Areas
12.	Install Pavement and Finish Building Construction
13.	Complete Fine Grading and Landscaping
14.	Restoration of all Grassed, Landscaped, and Other Disturbed Areas.
15.	Remove Temporary Erosion Control Measures.
16.	Maintenance Plan.

GENERAL NOTES	
1.	SITE DEWATERING. WATER PUMPED FROM THE SITE SHALL BE TREATED BY TEMPORARY SEDIMENTATION BASINS OR OTHER APPROPRIATE CONTROLS DESIGNED FOR THE HIGHEST DEWATERING PUMPING RATE. WATER MAY NOT BE DISCHARGED IN A MANNER THAT CAUSES EROSION OF THE SITE OR RECEIVING CHANNELS. (NOT ANTICIPATED)
2.	WASTE AND MATERIAL DISPOSAL. ALL WASTE AND UNUSED BUILDING MATERIALS (INCLUDING GARBAGE, DEBRIS, CLEANING WASTES, WASTEWATER, TOXIC MATERIALS OR HAZARDOUS MATERIALS) SHALL BE PROPERLY DISPOSED OF AND NOT ALLOWED TO BE CARRIED BY RUNOFF INTO A RECEIVING CHANNEL OR STORM SEWER SYSTEM.
3.	TRACKING. THIS SITE SHALL STABILIZE THE EXISTING DRIVE WITH 3" TO 6" (12" THICK) CLEAR AGGREGATE SUFFICIENT TO PREVENT SEDIMENT FROM BEING TRACKED ONTO PUBLIC OR PRIVATE ROADWAYS AS APPROVED BY THE DIRECTOR. ANY SEDIMENT REACHING A PUBLIC OR PRIVATE ROAD SHALL BE REMOVED BEFORE THE END OF EACH WORK DAY. FLUSHING MAY NOT BE USED UNLESS THE SEDIMENT WILL BE CONTROLLED BY A FILTER FABRIC BARRIER, SEDIMENT TRAP, SEDIMENT BASIN OR EQUIVALENT. TRACKING PAD DIMENSIONS ARE SHOWN ON THE EROSION CONTROL PLAN (24'x50' MIN).
4.	EROSION MATTING. EROSION MATTING SHALL BE INSTALLED AFTER TOPSOIL IS PLACED AND SEEDING IS COMPLETE. MATERIAL LABELS AND MANUFACTURER INSTALLATION INSTRUCTIONS SHALL BE RETAINED UNTIL THE SITE HAS BEEN STABILIZED. IF THERE ARE SIGNS OF RILLING OR FAILURE, MORE STAPLES AND/OR ANCHORING TRENCHES SHALL BE INSTALLED. IF RILLING OR FAILURE PERSISTS, IMPACTED AREAS SHALL BE FILLED, RE-SEEDING AND MULCHED. CLASS I OR CLASS II - TYPE B PRODUCTS THAT INCORPORATE PHOTO- OR BIO-DEGRADABLE NETTING SHALL NOT BE INSTALLED AFTER SEPTEMBER 1ST OF ANY GIVEN YEAR.
5.	SEDIMENT CLEANUP. ALL OFF-SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF A STORM EVENT SHALL BE CLEANED UP BY THE END OF THE NEXT WORK DAY. ALL OTHER OFF-SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF LAND DISTURBING ACTIVITIES SHALL BE CLEANED UP BY THE END OF THE WORK DAY.
6.	DISTURBANCE TIMING. ALL ACTIVITIES ON THE SITE SHALL BE CONDUCTED IN A LOGICAL SEQUENCE TO MINIMIZE THE AREA OF BARE SOIL EXPOSED AT ANY ONE TIME. EXISTING VEGETATION SHALL BE MAINTAINED AS LONG AS POSSIBLE.

EROSION CONTROL PLAN KEY LEGEND	
	1 SILT FENCE (C4.2)
	2 TRACKING PROTECTION (C4.2)
	3 INLET PROTECTION TYPES A, B, C, & D (C4.2)
	4 INLET PROTECTION TYPE D-M (C4.2)
	5 INLET PROTECTION TYPE D-HR (C4.2)
	6 SANDBAG CULVERT PIPE DITCH CHECK (C4.2)
	7 DEWATERING DETAIL (C4.2)
	8 EROSION CONTROL MAT DETAIL (CLASS 1, TYPE A) (C4.3)
	9 EROSION CONTROL MAT DETAIL (CLASS 1, TYPE B) (C4.3)
	10 SEDIMENT LOG INLET PROTECTION (C4.3)
	11 SEDIMENT LOG CHANNEL DITCH CHECK (C4.3)

CONTRACTOR RESPONSIBILITIES	
1.	NOTIFY THE ENGINEER WITHIN 48 HOURS OF COMMENCING ANY LAND DISTURBING OR LAND DEVELOPMENT ACTIVITY;
2.	NOTIFY THE ENGINEER OF COMPLETION OF ANY EROSION CONTROL MEASURES WITHIN 3 DAYS AFTER COMPLETION;
3.	OBTAIN PERMISSION IN WRITING FROM THE ENGINEER PRIOR TO MODIFYING THE EROSION CONTROL PLAN;
4.	INSTALL ALL EROSION CONTROL MEASURES AS IDENTIFIED IN THE APPROVED EROSION CONTROL PLAN;
5.	REPAIR ANY SILTATION OR EROSION DAMAGE TO ADJOINING SURFACES AND DRAINAGE WAYS RESULTING FROM LAND DEVELOPING OR DISTURBING ACTIVITIES;
6.	MAINTAIN ALL ON- AND OFF-SITE STORM WATER DRAINAGE SYSTEMS AS IDENTIFIED ON THE EROSION CONTROL PLAN;
7.	REPAIR ANY EROSION CONTROL SYSTEM INSTALLED IN ACCORDANCE TO THE EROSION CONTROL PLAN;
8.	INSPECT THE CONSTRUCTED EROSION CONTROL MEASURES AFTER EACH RAIN OF 0.5 INCHES OR MORE AND AT LEAST ONCE EACH WEEK AND MAKE NEEDED REPAIRS.
9.	ALLOW THE ENGINEER TO ENTER THE SITE FOR THE PURPOSE OF INSPECTING COMPLIANCE WITH THE EROSION CONTROL PLAN OR FOR PERFORMING ANY WORK NECESSARY TO BRING THE SITE INTO COMPLIANCE WITH THE EROSION CONTROL PLAN.
10.	KEEP A COPY OF THE APPROVED EROSION CONTROL PLAN ON THE SITE.
11.	ALL AREAS BEING SEEDING SHOULD HAVE A MINIMUM OF 4 INCHES OF SUITABLE TOPSOIL.
12.	GRADING CONTRACTOR SHALL MAINTAIN EROSION CONTROL UNTIL TERMINATION NOTICE IS ISSUED.
13.	ALL DISTURBED AREAS SHALL BE RESTORED WITHIN 7 DAYS OF COMPLETION OF WORK WITHIN THESE AREAS. THIS INCLUDES SOIL STOCKPILES, WHICH SHALL BE STABILIZED BY MULCHING, TEMPORARY SEEDING, SODDING OR COVERING W/ TARPS.
14.	GRADE & GRAVEL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEVICES AFTER SITE STABILIZATION.



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			DATE	NO.
EAE	JWS		8-28-2019	1

**EROSION CONTROL PLAN**  
**GRIFFIN BUILDERS**  
 TOWN OF GRAND CHUTE, OUTAGAMIE COUNTY, WISCONSIN

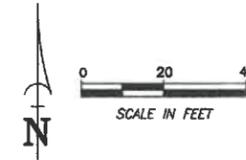
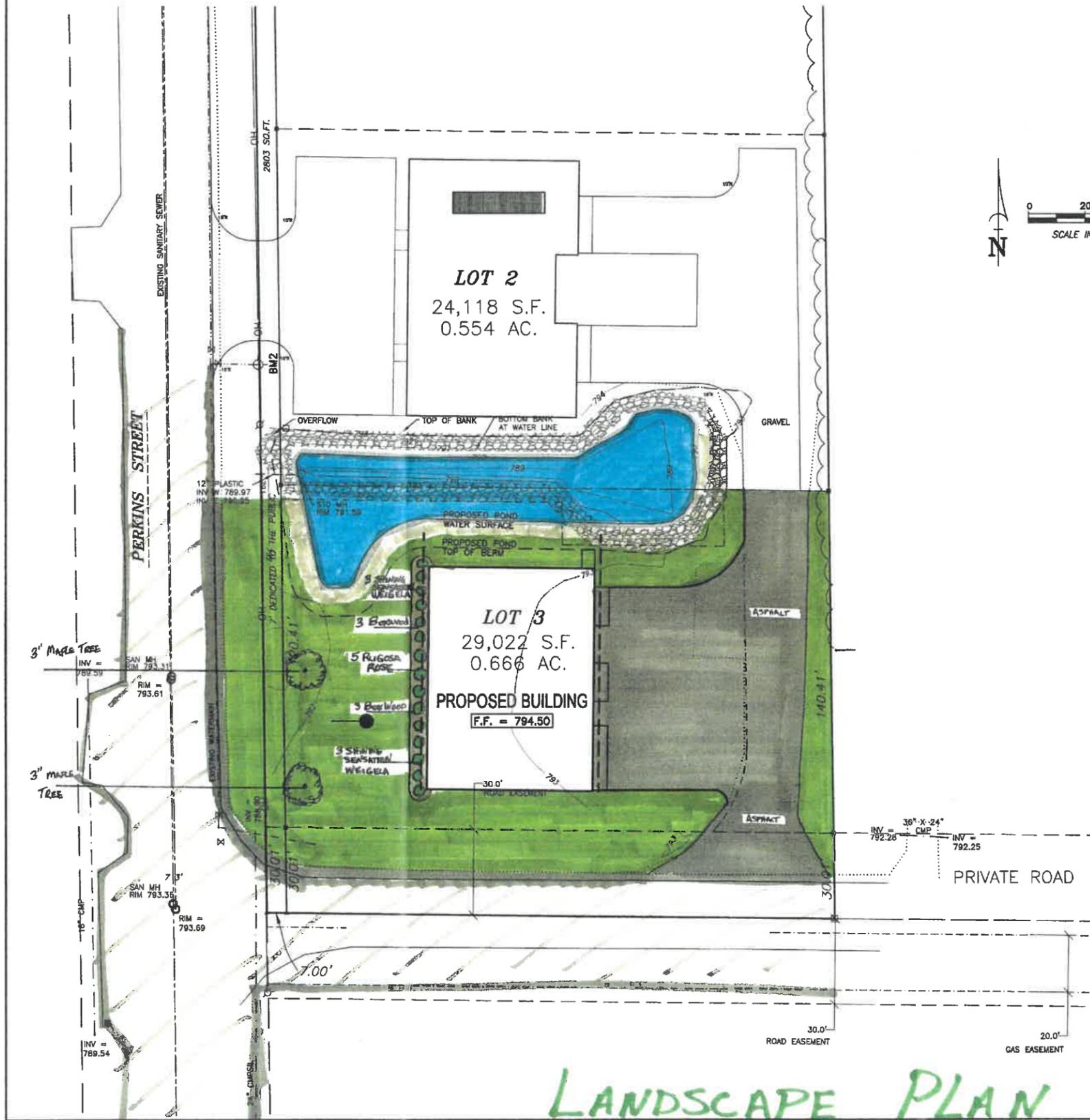
SCALE	DATE
BAR SCALE	08-26-2019

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C4.1

# SITE PLAN



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Planning  
Environmental  
Surveying  
Engineering  
Architecture

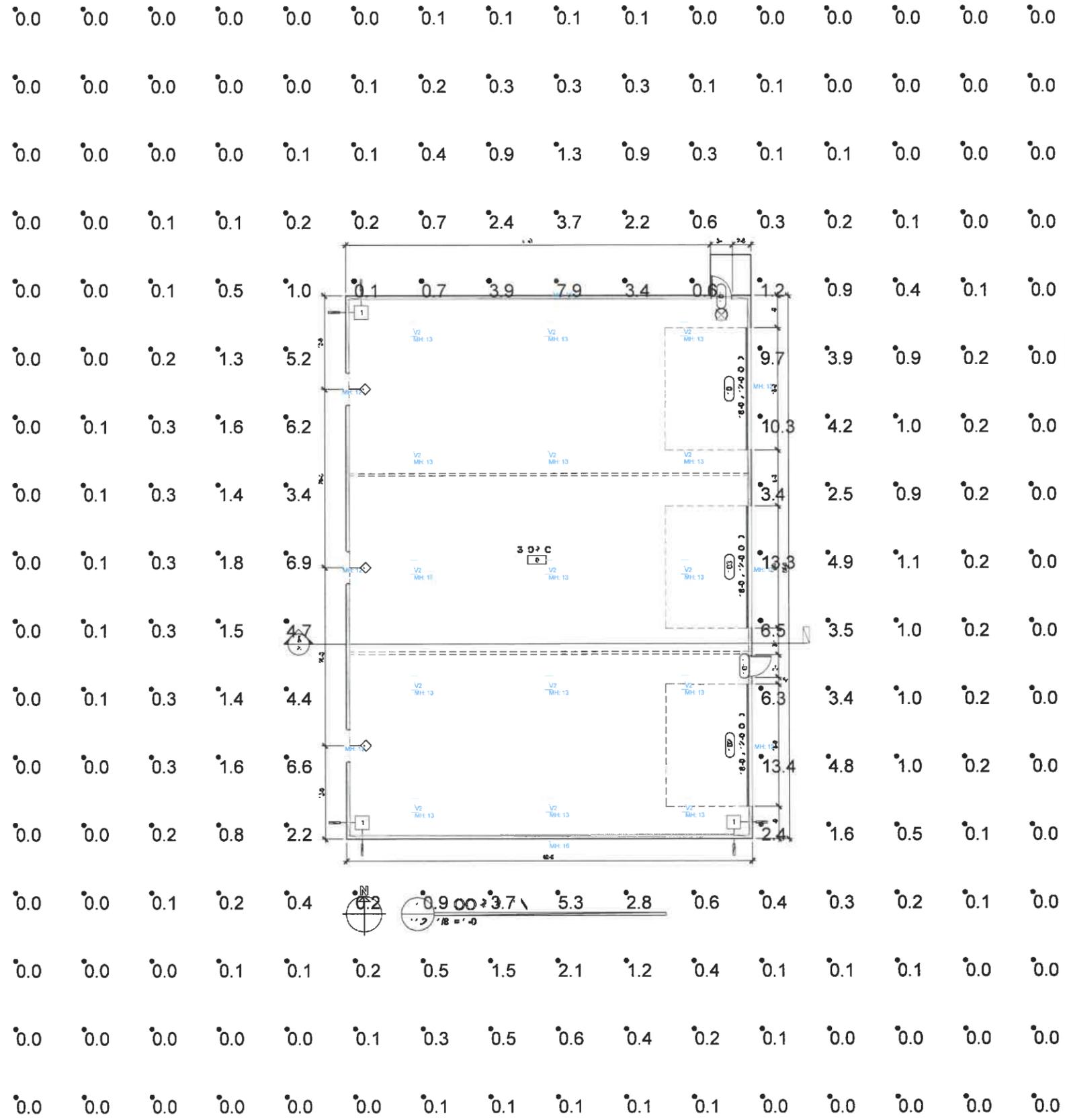
DRAWN BY	CHECKED	APPROVED	FIELDWORK
EAE	JUR	JWS	
** REFER TO COVER SHEET FOR REVISION DESCRIPTIONS **			
NO.	NO.	NO.	NO.
DATE	DATE	DATE	DATE

**GRIFFIN BUILDERS**  
TOWN OF GRAND CHUTE, OUTAGAMIE COUNTY, WISCONSIN

SCALE	DATE
BAR SCALE	08-15-2019
COMPUTER FILE	
1-0023-031de.dwg	

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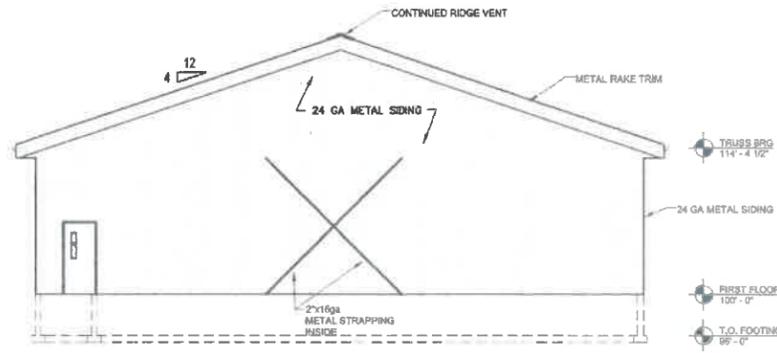
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C1.1



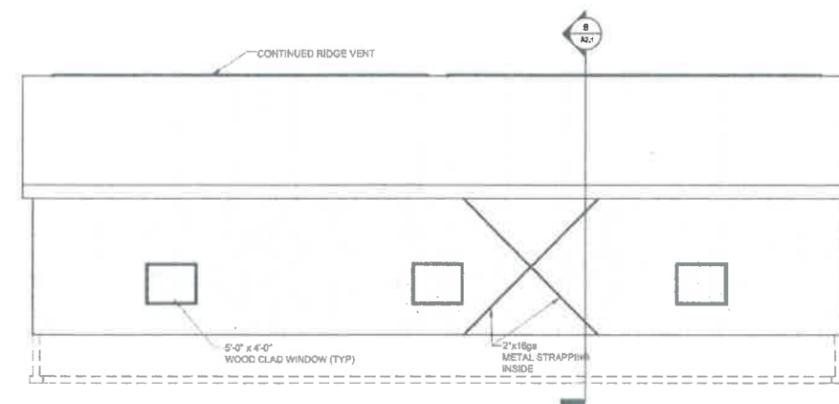
Luminaire Schedule			
Symbol	Qty	Tag	Description
V2	13		LED WARM WHITE
B			XTOR4B

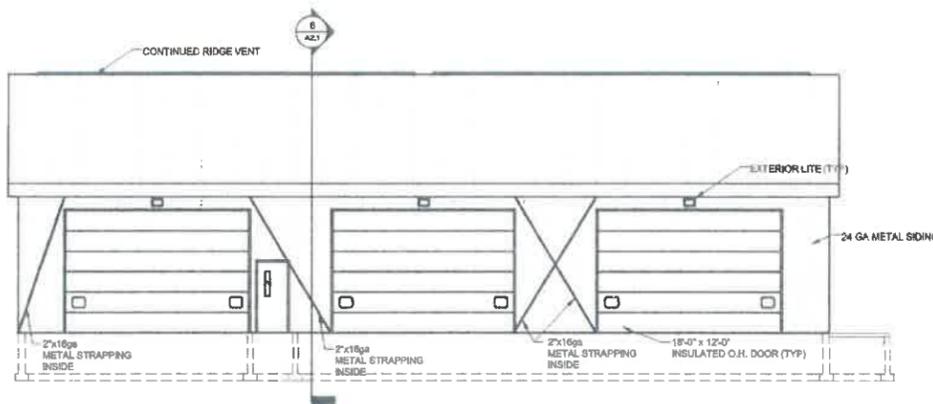
Calculation Summary					
Label	Units	Avg	Max	Min	Avg/Min
COLD STORAGE, Worktime	Fc	36.19	55.5	20.8	1.76
EXTERIOR	Fc	0.96	13.4	0.0	N/A



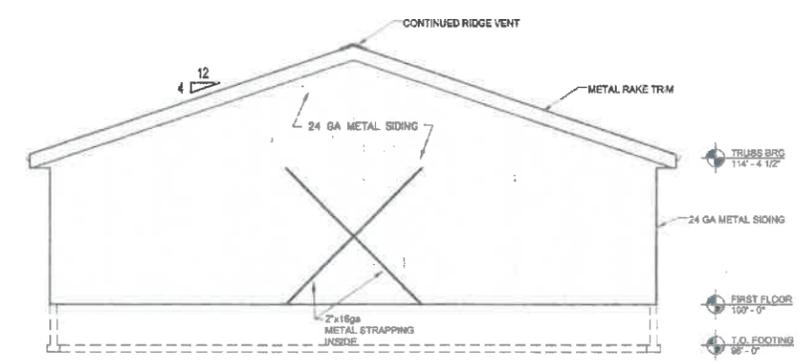
1 NORTH ELEVATION  
A2.1 1/8" = 1'



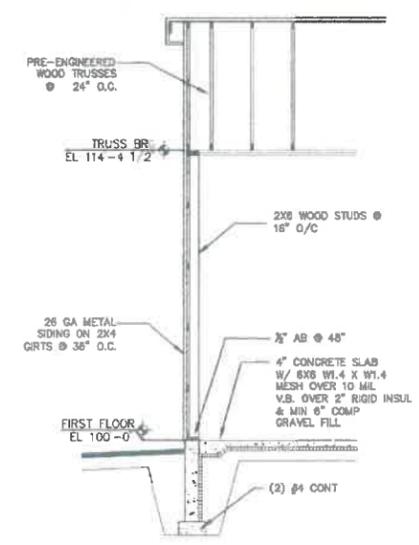
2 WEST ELEVATION  
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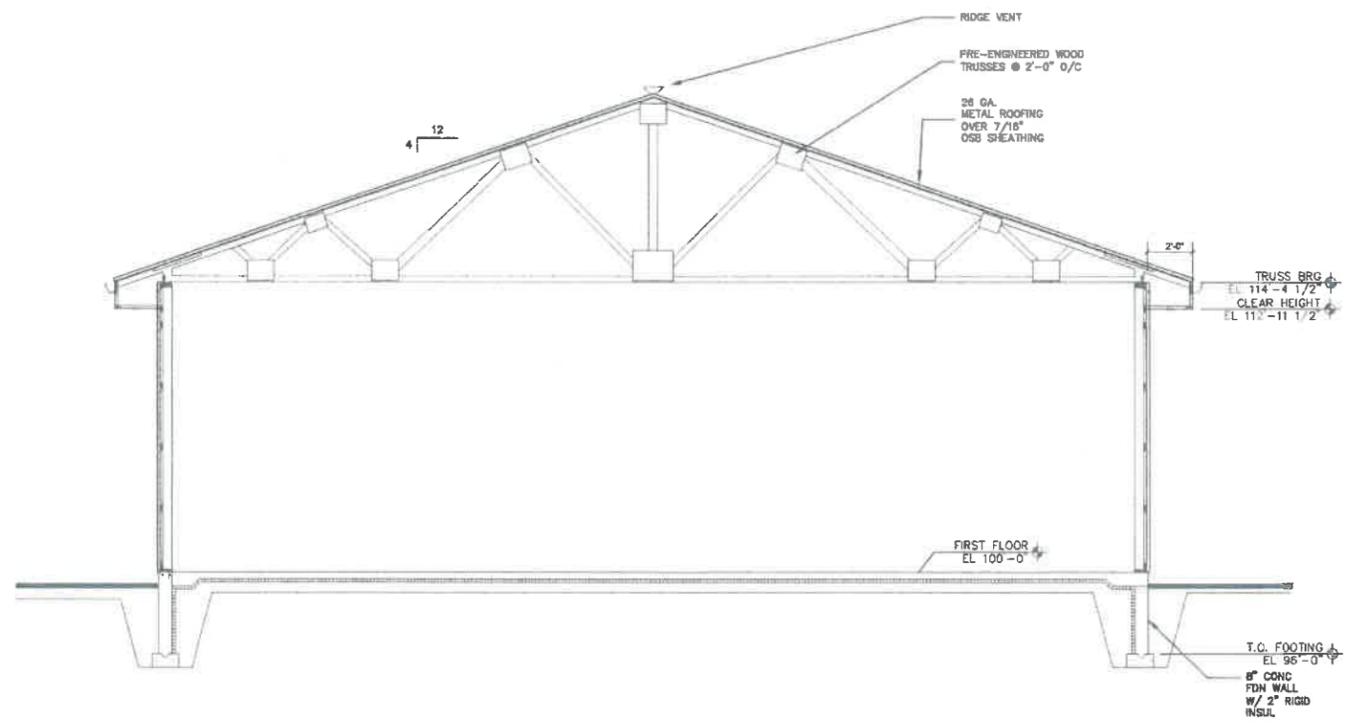
3 EAST ELEVATION  
A2.1 1/8" = 1'



4 SOUTH ELEVATION  
A2.1 1/8" = 1'



5 WALL SECTION  
A2.1 1/4" = 1'



6 SECTION VIEW  
A2.1 1/4" = 1'

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 Surveying  
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NO.	REV.	DATE	DRAWN BY	CHECKED	APPROVED	
					LOG	REVISION

STORAGE BUILDING  
**GRIFFIN BUILDERS**  
 810 N. PERKINS STREET, GRAND CHUTE, WI

SCALE	DATE
-	08/05/2019
PROJECT NUMBER	
1-0023-031	

ELEVATIONS &  
SECTION VIEW

DRAWING NO.  
A2.1

**Town of Grand Chute  
Site Plan Amendment Review  
Community Blood Center, Inc., dba The Community Blood Center**

---

**To: Plan Commission**

**From: Michael Patza, Town Planner**

**Date: September 12, 2019**

**Address: 4406 W. Spencer Street**

**App. #: SPA1-03-08**

---

**REQUEST**

- 1. Proposed Use(s):** Continued medical facility use.
- 2. Project Description:** Construction of a cooler/freezer building addition and associated site improvements.
- 3. Plat/CSM accurate parcel lines/lot recorded:** Yes.

**ANALYSIS**

Applicant proposes construction of an 850 sq. ft. addition to the north side of the existing building. The addition will function as cooler/freezer space for the existing facility. The exterior of the building addition will be brick to match the existing building.

At its September 12, 2019 meeting, the Zoning Board of Appeals granted a variance to allow a 20' rear yard setback from the north property line to accommodate a portion of the building addition.

Since the project will result in less than 4,000 sq. ft. of new impervious surface, on-site stormwater management is not required. The Drainage and Erosion Control Plans have been approved by staff. All other code requirements are met with this request.

**RECOMMENDATION**

**Staff has reviewed and supports Plan Commission approval of the Site Plan Amendment (SPA1-03-08) requested by Community Blood Center, Inc., dba The Community Blood Center, 4406 W. Spencer Street, for construction of a cooler/freezer building addition and associated site improvements.**



# PROPOSED FOR -- COMMUNITY BLOOD CENTER

## GRAND CHUTE, WISCONSIN



**Keller**

PLANNERS | ARCHITECTS | BUILDERS

**FOX CITIES**  
 2116 State Road 55  
 P.O. Box 620  
 Kaukauna, WI 54130  
 Phone (920)766-5795  
 1-800-336-2334  
 Fax (920)766-2004

**MILWAUKEE**  
 2724 N11500  
 Colburne Rd  
 Carmel, WI 53022  
 Phone (262)550-0710  
 1-800-236-2334  
 Fax (262)250-9740

[www.kellerbuilds.com](http://www.kellerbuilds.com)

**COMMUNITY BLOOD CENTER**

WISCONSIN  
GRAND CHUTE

**PRELIMINARY - NOT FOR CONSTRUCTION**

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REVISIONS	
▲	01.14.2011 REL
▲	06.01.2018 REL
▲	06.07.2018 REL
▲	06.12.2018 REL
▲	06.15.2018 REL
▲	07.05.2018 KRH

PROJECT MANAGER: WZULEBER

DESIGNER: R. LINDSTROM

DRAWN BY: REL

EXPEDITOR: \_\_\_\_\_

SUPERVISOR: \_\_\_\_\_

PRELIMINARY NO: \_\_\_\_\_

CONTRACT NO: \_\_\_\_\_

DATE: 13 SEPTEMBER 2017

SHEET: **C1.0**



### SHEET INDEX

SHEET	SHEET TITLE
G10	<b>SITE DEVELOPMENT</b> SITE PLAN, INDEX, TITLE
A12	<b>ARCHITECTURAL</b> OVERALL FLOOR PLAN & WALL SECTION
A13	FLOOR PLAN SOUTH
A14	FLOOR PLAN NORTH

### PROJECT INFORMATION

#### APPLICABLE BUILDING CODE

2015 INTERNATIONAL BUILDING CODE (W/WI AMENDMENTS)

#### BUILDING SIZE

EXISTING BUILDING	18,862 S.F.
PROPOSED ADDITION	850 S.F.
TOTAL BUILDING AREA	19,712 SF

#### OCCUPANCY

B - BUSINESS  
NON SEPARATED

#### CONSTRUCTION CLASSIFICATION

TYPE 5B CONSTRUCTION  
SPRINKLED  
FIREWALL

#### ALLOWABLE AREA

TABULAR FLOOR AREA:	9,000 SF
FRONTAGE INCREASE:	5,062 SF
SPRINKLER INCREASE:	27,000 SF
TOTAL ALLOWABLE AREA:	41,062 SF
ALLOWABLE FIRE AREA:	LIMITED BY ALLOWABLE

#### SITE DATA

BUILDING SIZE:	XXXXX SF	XXX
HARD SURFACE:	XXXXXX SF	XXX
GREEN SPACE:	XXXXXX SF	XXX
PARCEL SIZE (APPR.):	XXXXXX SF	XX ACRES
PARKING PROVIDED:	XX STALLS	RATIO

NORTH



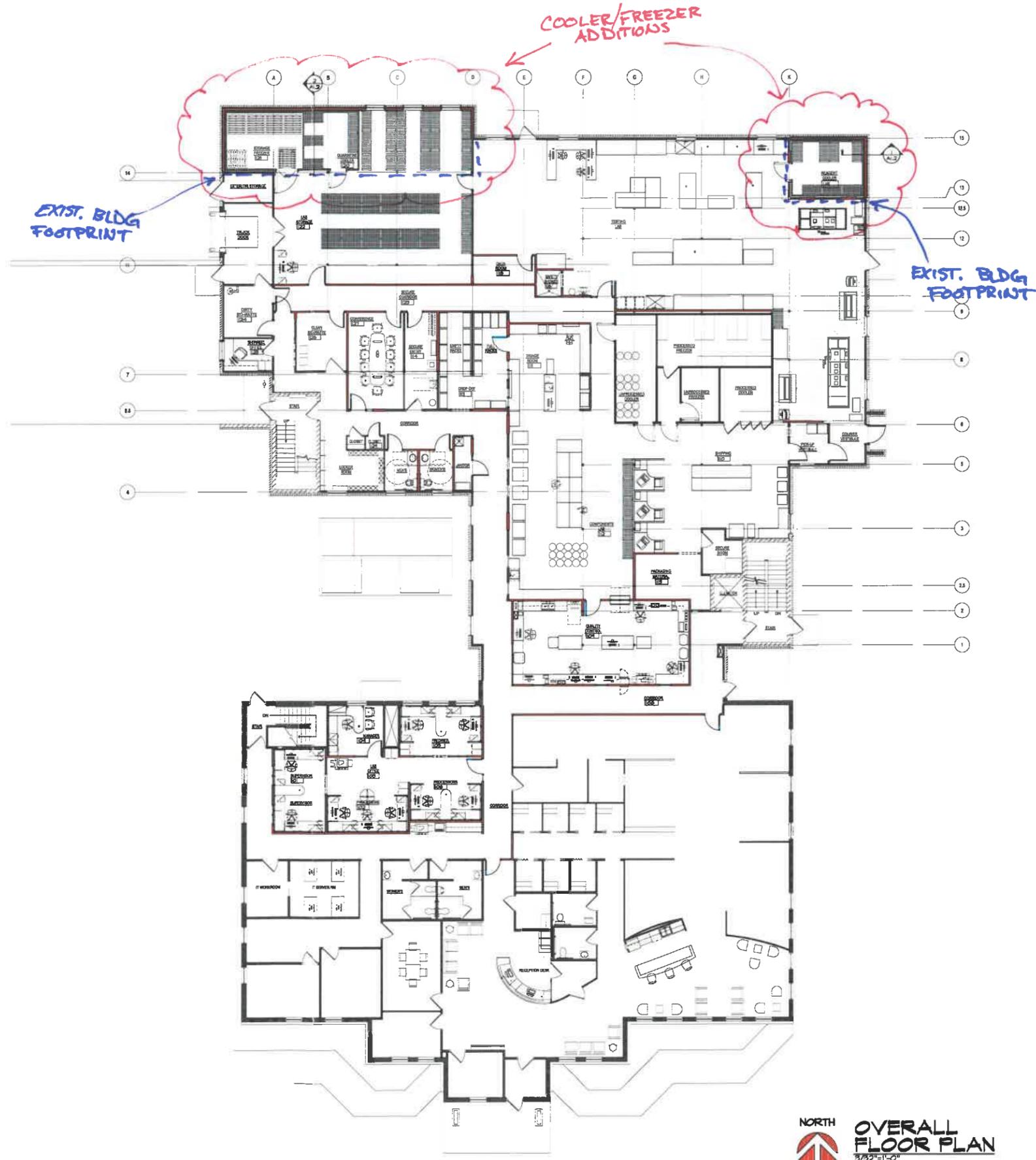
**SITE PLAN**

1"=30'-0"

**CONCEPT SITE PLAN**

THE LOT DIMENSIONS AND BEARINGS SHOWN ON THIS PLAN ARE INTERPRETED VALUES. FOLLOWUP INVESTIGATION WITH STATE AND LOCAL AUTHORITIES AND/OR WITH CERTIFIED SURVEY MAP DATA WHEN AVAILABLE IS REQUIRED.  
DT-MON-TR

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**NORTH**  
**OVERALL FLOOR PLAN**  
 3/32"=1'-0"



**Keller**

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 P.O. Box 630  
 Kaukauna, WI 54130  
 Phone (920)766-5795  
 1-800-236-2534  
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**MILWAUKEE**  
 W204 N11859  
 Oaklands Rd  
 Germantown, WI 53022  
 Phone (262)250-8710  
 1-800-236-2534  
 Fax (262)250-8740

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**COMMUNITY BLOOD CENTER**  
 WISCONSIN  
 GRAND CHUTE

**PRELIMINARY - NOT FOR CONSTRUCTION** PROPOSED REMODEL FOR:

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REVISIONS
02.15.2019 KRS
05.14.2019 REL

PROJECT MANAGER: HZULESER

DESIGNER: R. LINDSTROM

DRAWN BY: REL

EXPEDITOR:

SUPERVISOR:

PRELIMINARY NO.:

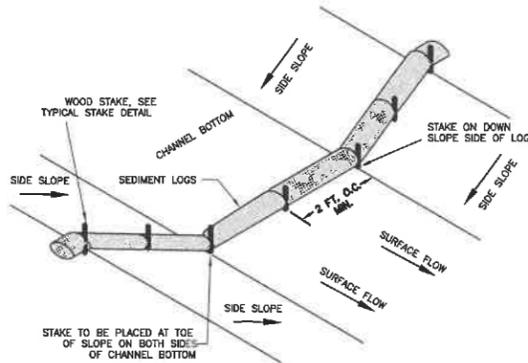
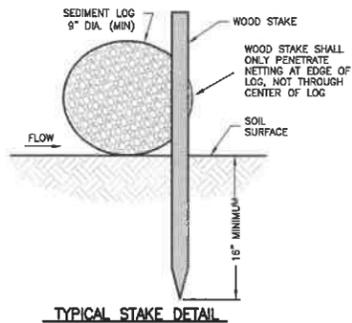
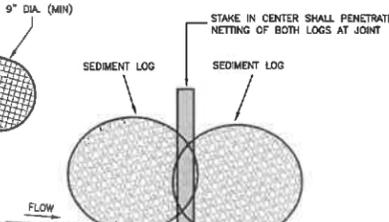
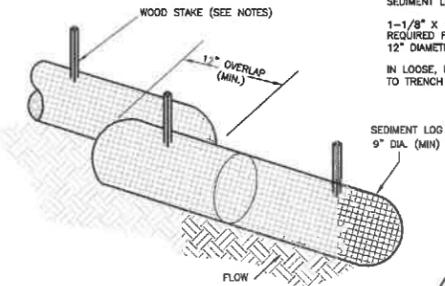
CONTRACT NO.:

DATE: 13 SEPTEMBER 2017

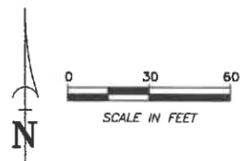
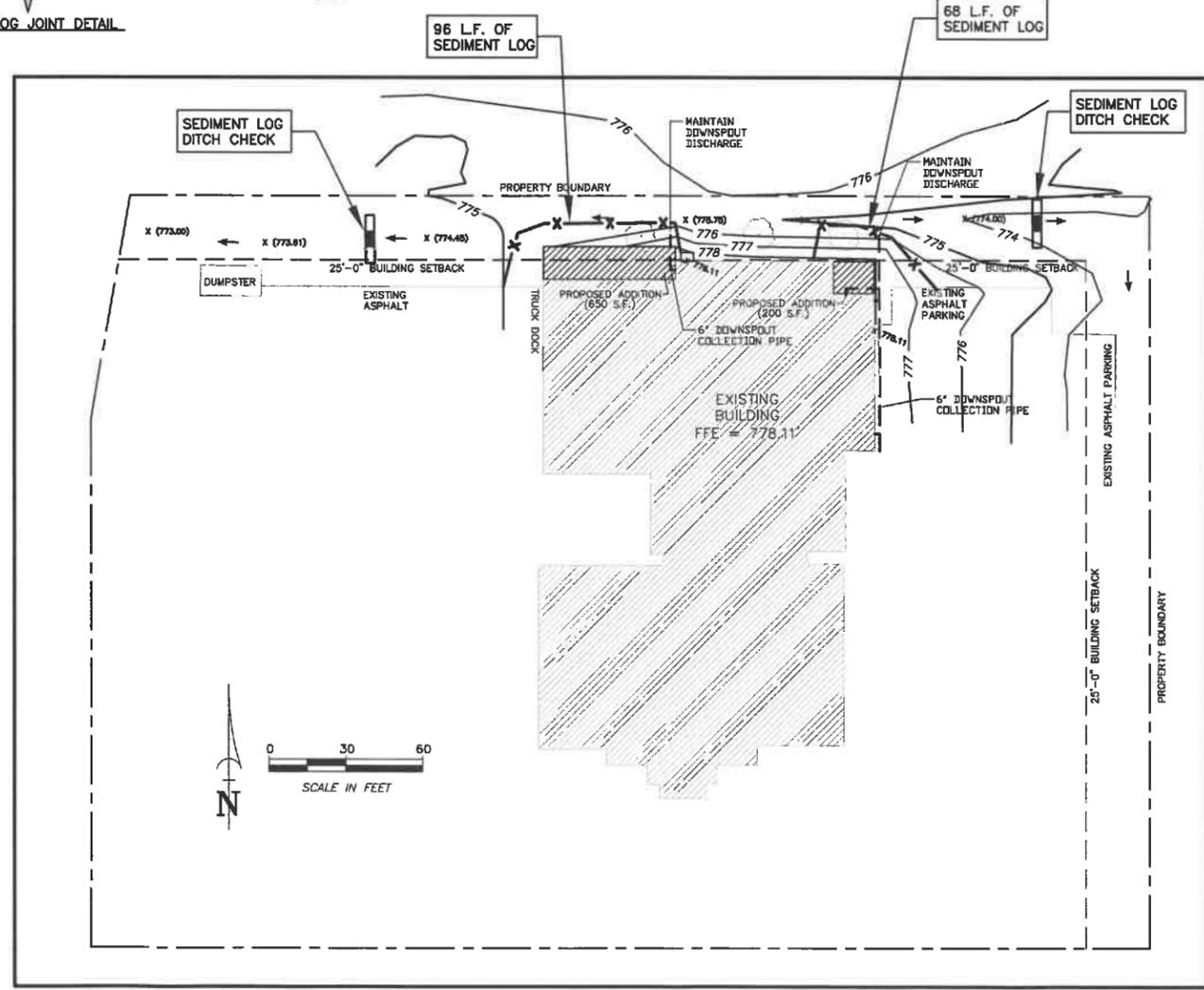
SHEET: **A1.2**

# DRAINAGE / EROSION CONTROL PLAN

NOTES: 1-1/8" X 1-1/8" X 30" HARD WOOD STAKES ARE REQUIRED FOR 12" AND SMALLER DIAMETER SEDIMENT LOGS.  
 1-1/8" X 1-1/8" X 48" HARD WOOD STAKES ARE REQUIRED FOR SEDIMENT LOGS GREATER THAN 12" DIAMETER.  
 IN LOOSE, UNCONSOLIDATED SOILS, IT IS RECOMMENDED TO TRENCH IN THE BOTTOM OF THE SEDIMENT LOG 2".



SEDIMENT LOG DITCH CHECK



GENERAL PLAN NOTES	
1.	THE LOCATION OF EXISTING UTILITY FACILITIES AS SHOWN ON THE PLAN ARE APPROXIMATE BASED ON PAST ENGINEERING PLANS. THERE MAY BE OTHER UTILITIES WITHIN THE PROJECT AREA THAT ARE NOT SHOWN. THE CONTRACTOR SHALL HAVE ALL FACILITIES LOCATED PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF A CONFLICT WITHIN THE WORK IS DISCOVERED.
2.	ALL WORK UNDER THIS CONTRACT SHALL BE DONE IN ACCORDANCE WITH THE TOWN OF GRAND CHUTE STANDARD SPECIFICATIONS.
3.	THE LANDSCAPER SHALL UTILIZE THE PROPOSED ELEVATIONS. THE LANDSCAPER SHALL NOT GRADE UP TO ANY PEDESTAL OR ANY OTHER STRUCTURE TO DETERMINE ELEVATION.
4.	THE CONTRACTOR AND/OR OWNER SHALL NOT PROCEED WITH CONSTRUCTION ACTIVITIES UNTIL APPROPRIATE PERMITS/APPROVALS ARE OBTAINED.
5.	THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL NECESSARY PERMITS FOR CONSTRUCTION.
6.	THE CONTRACTOR SHALL CLEAN UP ALL EXCESS MATERIAL AND DEBRIS CAUSED AS A RESULT OF WORK UNDER THIS CONTRACT.
7.	CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL DAMAGE RESULTING FROM THE PERFORMANCE OF THE WORK UNDER THIS CONTRACT.
8.	CONTRACTOR SHALL DISPOSE OF NON-SUITABLE MATERIAL OFF-SITE.
9.	SITE DEWATERING. WATER PUMPED FROM THE SITE SHALL BE TREATED BY TEMPORARY SEDIMENTATION BASINS OR OTHER APPROPRIATE CONTROLS DESIGNED FOR THE HIGHEST DEWATERING PUMPING RATE. WATER MAY NOT BE DISCHARGED IN A MANNER THAT CAUSES EROSION OF THE SITE OR RECEIVING CHANNELS. (NOT ANTICIPATED)
10.	WASTE AND MATERIAL DISPOSAL. ALL WASTE AND UNUSED BUILDING MATERIALS (INCLUDING GARBAGE, DEBRIS, CLEANING WASTES, WASTEWATER, TOXIC MATERIALS OR HAZARDOUS MATERIALS) SHALL BE PROPERLY DISPOSED OF AND NOT ALLOWED TO BE CARRIED BY RUNOFF INTO A RECEIVING CHANNEL OR STORM SEWER SYSTEM.
11.	DRAIN INLET PROTECTION. ALL ON-SITE STORM DRAIN INLETS AND THE IMPACTED DOWNSTREAM INLETS SHALL BE PROTECTED WITH THE CATCH-ALL CONFIGURATION. OFF-SITE CULVERTS SHALL BE PROTECTED WITH SAND BAG CULVERT CHECKS.
12.	EROSION MATTING. EROSION MATTING SHALL BE INSTALLED ON ALL SLOPES STEEPER THAN 4:1 OR WHERE SIGNIFICANT EROSION IS IDENTIFIED AFTER TOPSOIL IS PLACED AND SEEDING IS COMPLETE. MATERIAL LABELS AND MANUFACTURER INSTALLATION INSTRUCTIONS SHALL BE RETAINED UNTIL THE SITE HAS BEEN STABILIZED. IF THERE ARE SIGNS OF RILLING OR FAILURE, MORE STAPLES AND/OR ANCHORING TRENCHES SHALL BE INSTALLED. IF RILLING OR FAILURE PERSISTS, IMPACTED AREAS SHALL BE FILLED, RE-SEDED AND MULCHED. CLASS I OR CLASS II - TYPE B PRODUCTS THAT INCORPORATE PHOTO- OR BIO-DEGRADABLE NETTING SHALL NOT BE INSTALLED AFTER SEPTEMBER 1ST OF ANY GIVEN YEAR.
	SEDIMENT CLEANUP. ALL OFF-SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF A STORM EVENT SHALL BE CLEANED UP BY THE END OF THE NEXT WORK DAY. ALL OTHER OFF-SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF LAND DISTURBING ACTIVITIES SHALL BE CLEANED UP BY THE END OF THE WORK DAY.
	DISTURBANCE TIMING. ALL ACTIVITIES ON THE SITE SHALL BE CONDUCTED IN A LOGICAL SEQUENCE TO MINIMIZE THE AREA OF BARE SOIL EXPOSED AT ANY ONE TIME. EXISTING VEGETATION SHALL BE MAINTAINED AS LONG AS POSSIBLE.

EROSION CONTROL PLAN KEY LEGEND	
	1 PERIMETER SEDIMENT LOG
	2 EROSION CONTROL MAT DETAIL (CLASS 1, TYPE A)
	3 EROSION CONTROL MAT DETAIL (CLASS 1, TYPE B)
	4 SEDIMENT LOG CHANNEL DITCH CHECK

DRAINAGE PLAN LEGEND			
	EXISTING CONTOUR		X 000.00 PROPOSED ELEVATION
	PROPOSED CONTOUR		X (000.00) PERTINENT DITCH OR SWALE ELEVATION
	STORM SEWER MAIN		+ 000.75 EXISTING ELEVATION
	STORM MANHOLE		000.0 PROPOSED GROUND AT FOUNDATION
	2' x 3' PRECAST STORM INLET		← DIRECTION OF DRAINAGE

NOT FOR CONSTRUCTION

**Martenson & Eisele, Inc.**  
 Planning  
 Environmental  
 Surveying  
 Engineering  
 Architecture  
 1377 Midway Road  
 Menasha, WI 54952  
 www.martenson-eisele.com  
 info@martenson-eisele.com  
 920.731.0381 1.800.236.0381

DRAWN BY	CHECKED	APPROVED	FIELDWORK	
			NO.	DATE
JLR				
*** REFER TO COVER SHEET FOR REVISION DESCRIPTIONS ***				

**DRAINAGE/EROSION PLAN**  
**COMMUNITY BLOOD ADDITION**  
 TOWN OF GRAND CHUTE, OUTAGAMIE COUNTY, WISCONSIN

SCALE	DATE
BAR SCALE	9/3/2019
COMPUTER FILE	
1-0394-023	

DRAWING NO.  
C1.1

**Town of Grand Chute  
Site Plan Amendment Review  
Waldoch Properties, LLC, dba Waldoch Properties**

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**To: Plan Commission**

**From: Michael Patza, Town Planner**

**Date: September 12, 2019**

**Address: 600 N. Mayflower Drive**

**App. #: SPA3-04-17**

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**REQUEST**

- 1. Proposed Use(s):** Continued multi-family residential use.
- 2. Project Description:** Installation of a monument sign.
- 3. Plat/CSM Accurate parcel lines/lot recorded:** Yes.

**ANALYSIS**

Applicant seeks approval to install a monument sign for this multi-family residential development. The sign will be 7' in height and 32 sq. ft. in size. The sign will be located on the south side of the driveway entrance on N. Casaloma Drive. All code requirements are met with this request.

**RECOMMENDATION**

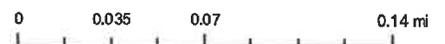
**Staff has reviewed and supports Plan Commission approval of the Site Plan Amendment (SPA3-04-17) requested by Waldoch Properties, LLC, dba Waldoch Properties, 600 N. Mayflower Drive, for installation of a monument sign.**

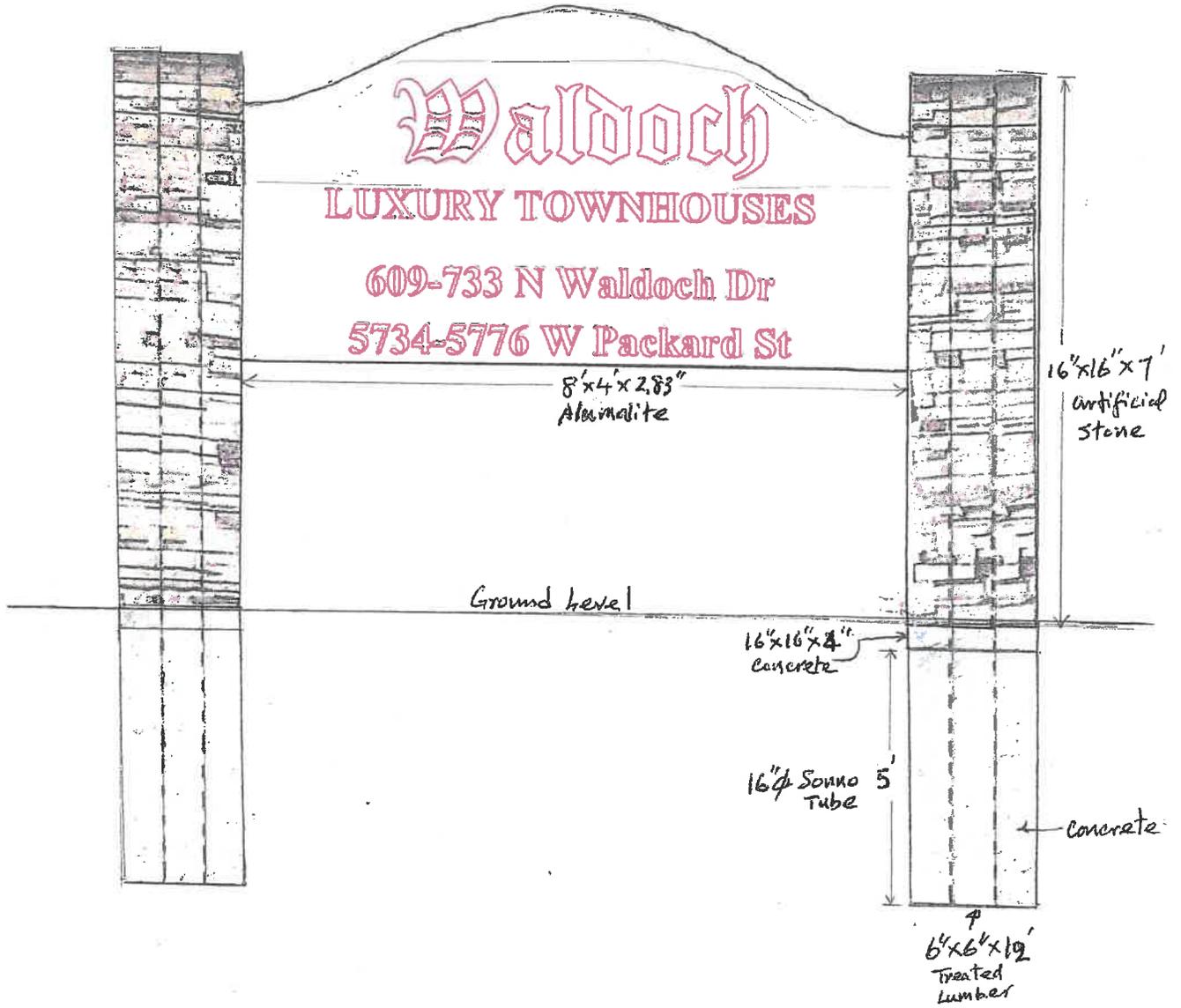
# SPA3-04-17 -- 600 N. Mayflower Drive



**Disclaimer:** The data provided in the Town of Grand Chute Interactive GIS Map was generated from multiple sources and agencies. Every effort has been made to offer the most accurate data. However, the Town provides this information with the understanding that it is not guaranteed to be accurate, correct, or complete. The Town may make improvements to the Interactive GIS Map periodically. Conclusions drawn from this information are the responsibility of the user. The user agrees that the Town of Grand Chute shall not be held responsible for actions, claims, damages, or judgments made from this data.

Author:  
Copyright:







**Town of Grand Chute  
Certified Survey Map Review  
Outagamie County**

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**To: Plan Commission**

**From: Michael Patza, Town Planner**

**Date: September 12, 2019**

**Address: 2200 & 2300 Block of N. Lynndale Drive**

**App. #: CSM-17-19**

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**REQUEST**

The CSM will officially split the property into two lots of 0.477 acres and 1.887 acres respectively. The CSM provides dedication of 41.25' of road right-of-way along N. Lynndale Drive. Because of the RW dedication, this CSM needs Plan Commission and Town Board approval.

**ANALYSIS**

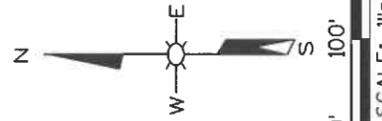
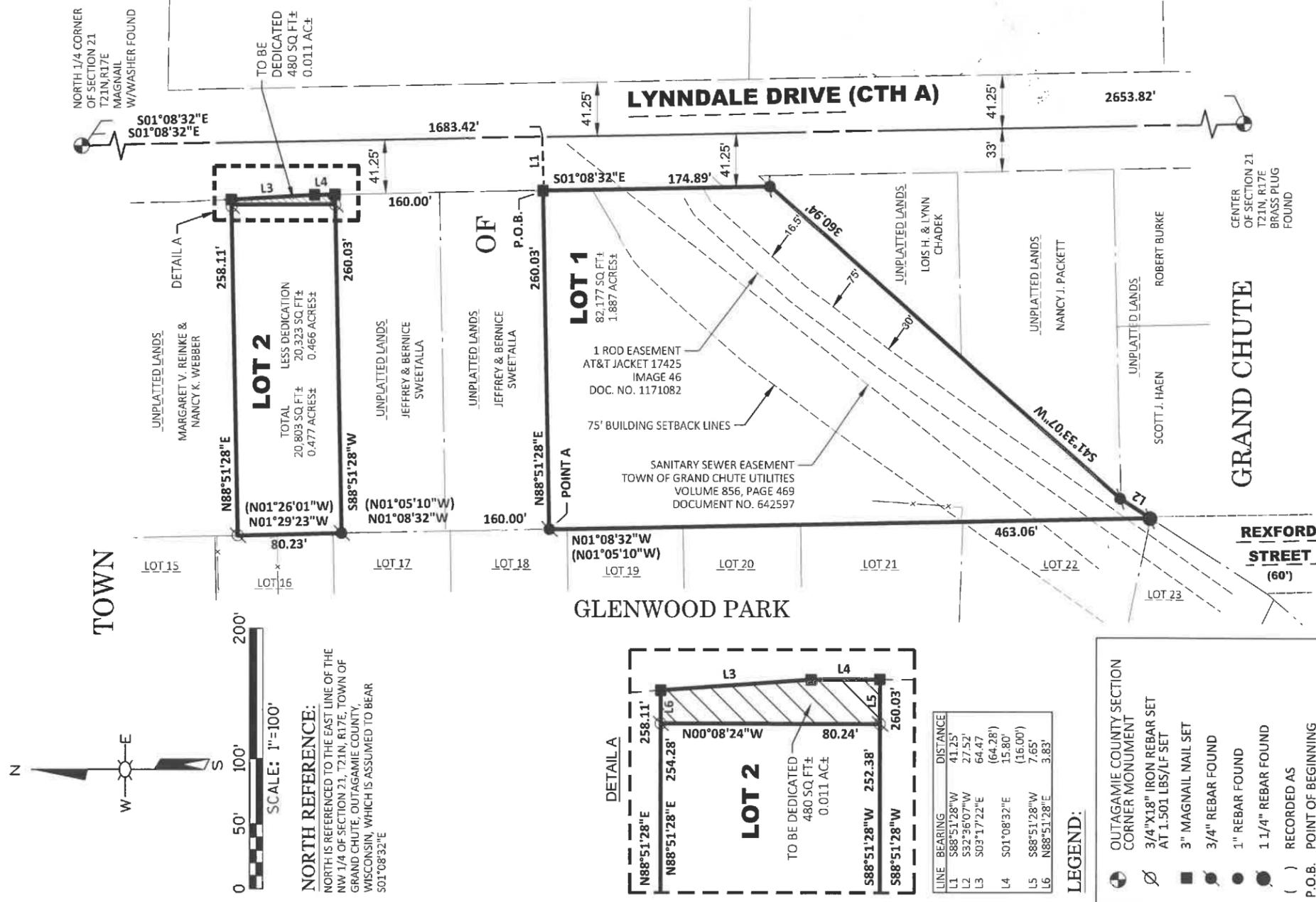
Currently, both of these lots are described under one legal description even though they are separated. This CSM will officially separate the two lots, providing their own unique legal description and parcel numbers. Both lots are currently undeveloped. The CSM meets all Town requirements for division of land.

**RECOMMENDATION**

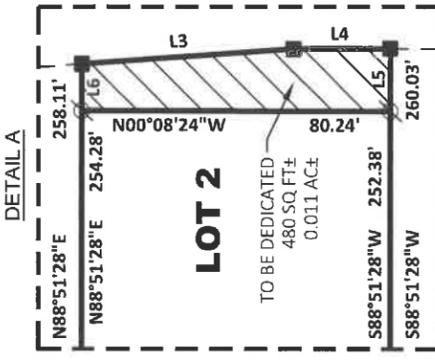
Staff has reviewed and supports a Plan Commission recommendation for approval of the Certified Survey Map (CSM-17-19) requested by Outagamie County, for property in the 2200 & 2300 Block of N. Lynndale Drive.

# CERTIFIED SURVEY MAP NUMBER

LOCATED IN THE SE 1/4 - NW 1/4, SECTION 21, T21N, R17E, TOWN OF GRAND CHUTE, OUTAGAMIE COUNTY, WISCONSIN



**NORTH REFERENCE:**  
 NORTH IS REFERENCED TO THE EAST LINE OF THE NW 1/4 OF SECTION 21, T21N, R17E, TOWN OF GRAND CHUTE, OUTAGAMIE COUNTY, WISCONSIN, WHICH IS ASSUMED TO BEAR S01°08'32"E



LINE	BEARING	DISTANCE
L1	S88°51'28"W	41.25'
L2	S32°36'07"W	27.52'
L3	S03°17'22"E	64.47'
L4	S01°08'32"E	15.80'
L5	S88°51'28"W	7.65'
L6	N88°51'28"E	3.83'

**LEGEND:**

- OUTAGAMIE COUNTY SECTION CORNER MONUMENT
- ⊗ 3/4"x18" IRON REBAR SET AT 1.501 LBS/LF SET
- 3" MAGNAIL NAIL SET
- 3/4" REBAR FOUND
- 1" REBAR FOUND
- 1.1/4" REBAR FOUND
- ( ) RECORDED AS
- P.O.B. POINT OF BEGINNING

DATE	DIRECTORY NO.
08-06-19	*****
PROJECT NO.	DRAFTED BY
S3398A19	JBM
SHEET	DRAWING NAME
1 OF 3	CSM

SURVEY FOR: OUTAGAMIE COUNTY HIGHWAY DEPARTMENT  
 1313 HOLLAND ROAD  
 APPLETON, WI 54911

GRANN ASSOCIATES  
 ONE SYSTEMS DRIVE  
 APPLETON, WI 54914  
 PHONE (920) 735-6800  
 FAX (920) 830-6100