



MEETING	DATE	TIME	LOCATION
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Town Board	Tuesday, March 5, 2019	Immediately Follows Sanitary District Meeting	Grand Chute Town Hall 1900 Grand Chute Blvd Board Room
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A. CALL TO ORDER/ROLL CALL

B. APPROVAL OF AGENDA/ORDER OF THE DAY

C. PUBLIC INPUT

Members of the public are welcome to address the Commission and Town Board. **Individuals are allowed to speak only about agenda items and must fill out a "Request to Speak" form and submit to the Town Clerk prior to the start of the meeting in order to speak during the Public Input segment of the meeting.** This segment is placed early in the agenda so that the public may make their comments prior to any discussion or action by the Commission or Town Board. Individual comments are limited to no more than three minutes each. The Public Input section is limited to a total of 15 minutes. The Commission/Town Board may suspend this rule if deemed necessary. Once the public input segment ends there will be no additional discussion from the audience.

D. CONSENT AGENDA

(Items on the Consent Agenda are routine in nature and require one motion to approve all items listed. Prior to voting on the Consent Agenda, items on the Consent Agenda may be removed at the request of any Supervisor and addressed immediately following the motion to approve the other items on the Consent Agenda.)

1. Approval of regular meeting minutes from February 19, 2019 and public hearing minutes from February 20, 2019.
2. Licensing: (*applications on file in the clerk's office*)(*License Committee recommends approval*)
 - a. Operator Licenses:
 - 1) Approval of Applications to expire: 2020 dated 2/15/19 and 2/22/19
 - b. Liquor Licenses:
 - 1) CEC Entertainment, Inc dba Chuck E Cheese appoints Jeremy Johnson as agent.
 - c. Special Event Permits:
 - 1) Appleton Baseball Club, Inc to hold a concert (Bush and Live) on Friday, July 26, 2019 at the Fox Cities Stadium. Event will begin to form at 4:00 p.m. and start at 6:00 p.m. until 11:00 p.m. Conditions: 1) Operational plan must be submitted 30 days prior to event; 2) Must adhere to all requirements set by Police and Fire Departments; and 3) Payment in advance for Town services.

E. FINANCIAL REPORTS

1. Approval of Voucher List – March 5, 2019
2. Accept Budget Statement – November 2018

F. UNFINISHED BUSINESS

1. Motion to review prior motion from December 18, 2018 regarding the special assessment methodology for the 2019 Elsner Road urbanization project, for possible amendment.

G. NEW BUSINESS

1. Plan Commission Recommendations:
 - a. CUP-01-19 Conditional Use Permit requested by the Town of Grand Chute to allow grading and stream alteration associated with the replacement of a culvert under N. French Road. Director Buckingham to reports results from 3/5/19 PC meeting.
 - b. CUP-02-19 Conditional Use Permit requested by the Town of Grand Chute to allow grading and stream alteration associated with the replacement of a culvert under E. Apple Creek Road. PC recommends approval.

c. CUP-03-19 Conditional Use Permit requested by the Town of Grand Chute to allow grading, filling and a culvert crossing associated with the extension of W. Evergreen Drive, between N. Gillett Street and N. Orion Lane. PC recommends approval.

2. Approve the purchase of a 2019 Chevrolet Colorado truck for the Building Inspection staff.
3. Approve the intergovernmental agreement between the City of Appleton and Town of Grand Chute for street lighting on Evergreen Drive between Richmond Street (STH 47) and Alvin Street at a cost of \$18,000.
4. Approve the intergovernmental agreement between the City of Appleton and Town of Grand Chute for the street light maintenance on Evergreen Drive between Richmond Street (STH 47) and Alvin Street.
5. Approve amendment 1 to the Municipal Agreement with Outagamie County for an engineering study of the CTH CA (College Ave) & N. Mall Drive/S. Nicolet Road and the surrounding roadway network, increasing the amount by \$4,000.

H. RESOLUTIONS

1. Preliminary Resolution TBR-03-2019, declaring intent to exercise special assessment powers under Chapter 66, Police Powers, Wis. Stats., 2017-18 as amended for W. Evergreen Drive urbanization – RR to N. Gillett Street.

I. ADJOURNMENT

Public Notice: Agendas are posted in the following locations: Town Hall bulletin boards & Town website www.grandchute.net 2015 Wisconsin Act 79 allows the publication of certain legal notices on an Internet site maintained by a municipality. This law allows these types of legal notices to be posted in one physical location in the jurisdiction (instead of three) if also placed on an Internet site maintained by the local government.

Special Accommodations: Requests from persons with disabilities who need assistance to participate in this meeting should be made to the Clerk's Office at (920-832-5644) with at least 24-hour notice.

Notice of Possible Quorum: A quorum of the Sanitary Districts, Plan Commission, Board of Review, Licensing Committee, Parks Commission, Community Development Authority, Joint Review Board, Zoning Board of Appeals and/or Police and Fire Commission may be present at this meeting for the purpose of gathering information and possible discussion on items listed on this agenda. However, unless otherwise noted in this agenda, no official action by the Sanitary Districts, Plan Commission, Board of Review, Licensing Committee, Parks Commission, Joint Review Board, Zoning Board of Appeals and/or Police and Fire Commission will be taken at this meeting.

PUBLIC HEARING – TOWN BOARD – TOWN OF GRAND CHUTE – 1900 GRAND CHUTE BLVD., GRAND CHUTE, WI – W. ELSNER ROAD URBANIZATION (N. GILLETT STREET TO RICHMOND STREET) FEBRUARY 20, 2019

CALL PUBLIC HEARING TO ORDER/ROLL CALL

Public Hearing called to order at 6:00 p.m. by Dave Schowalter, presiding officer.

PRESENT: Dave Schowalter, Jeff Nooyen, Travis Thyssen, Bruce Sherman, and Angie Cain, Town Clerk

EXCUSED: Eric Davidson

STAFF: Jim March, Town Administrator; Katie Schwartz, Public Works Director; Karen Heyrman, Deputy Director of Public Works; Brent Braun, IT Director; Carl Sutter, McMahon Associates

OTHERS: 129 signed attendance

Proposed imposition of special assessments for the Town of Grand Chute's cost allocable for street urbanization and storm sewer installation for W. Elsner Road (N. Gillett Street to Richmond Street), as located in the Town of Grand Chute, Outagamie County, Wisconsin.

Chairman Schowalter opened the Public Hearing for discussion.

Ron Wolff, 4615/4623 N. Richmond Street, spoke in opposition to the project and the assessments. He would like respect from staff. He feels that he is now enemies with the Town. He pays about \$65,000 per year in property taxes, which does not include his employees. He questioned why 10 of the property owners are being punished, when it should be two subdivisions. He said that 227 cars traveled down Elsner that day and the 10 residents do not cause the traffic of 227 vehicles. He has DOT coming out to do a traffic study the following week, which will take about 10 days to complete. He believes the traffic study will say it is not his road and that it is the Town's road. He believes this should be taken into effect on how the assessments are formulated. He does not believe it is fair that Starview does not have to pay for the road. He doesn't see anywhere in the Starview Heights roadway agreement that states that they do not have to pay for the road. He would like to know where it states that they are exempt from paying for the road. He stated the road costs for Culvers and the Veterinary Clinic and said he didn't know what the Town was contributing to that project and asked that the Town contribute to their end of the project. He feels it is wrong what they are doing to Mrs. Bartel's property as she is 94 years old with a fixed income and an assessment of \$158,000. It is zoned commercial and should not be because it is a house. He thinks it would be fair to give her 67 percent. He read several Facebook posts and copies were also delivered to the Board. He feels his assessment is not right. He said he has brought over 100 employees and Culvers will also bring employees. They already take out about \$20,000-30,000 in payroll every two weeks. The Town should be able to find some general money to pay for it somewhere. He is here to be respected and to pay something. He is asking the Town to help them.

Jim Reider, 1324 W. Elsner Road, explained that he has been a member of the community since 1980 when he became part of the Fire Department. He specifically asked the Town Board that when Elsner Road needed to be reconstructed after the Starview subdivision. He said the Town Board at the time assured them that the new subdivision would also have to pay. He has not been able to find that conversation in any minutes. They never stopped the Starview development. He spoke on behalf of the Town to his neighbors that they should not stop the development. He said they were assured by the Town Board that they would be taken care of and that they would not be flooded out. He was assured that none of the properties would be over road grade. He said properties were over road grade that have hindered all the drainage on the north side of the road. He said that Mr. Rohloff told him that paying for the stormwater sewer tax would take care of the stormwater. He has not seen any difference since he started paying stormwater charges. He is asking the Town to take care of the original property owners. He questioned why Starview is not being assessed. The walkway on the south side of Elsner Road should not be part of the Elsner Road project. He stated that 3/4 of a mile should not cost \$3.2 million. When the people on Starview bought their properties, they knew that it abutted Elsner Road and that was their choice, so they should also be assessed because they use Elsner Road. He begged the Town Board to take care of them as they were previously promised. He questioned why he is being charged as he doesn't have any road frontage as he shares an easement for a driveway. Heavy truck traffic has been run down Elsner Road for projects and was used as a truck route which wrecked the pavement. They were never asked

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if they wanted curb, gutter, and a trail. They don't want any bells and whistles or street lights. They only want their road fixed and for it to drain. Most of them are still zoned agricultural.

Chad Bartel spoke on behalf of his grandmother who resides at 4501 N. Richmond Street. He questioned why her property was zoned commercial as she lives there. She doesn't sell anything from her home or off of the property. She received a letter that states her assessment will be \$156,715. She is in her 90s on a fixed income. If this was split up on the 10-year plan, it would cost about \$1,600 a month. He doesn't know where she is expected to get the money. Her son is retired and it should not be taken out of his social security. He questioned why there is a 12-inch water main going down the street, which must be for future business. This pipe is not for residential use. His grandmother should not have to carry the burden of future development. The frontage listed is 458.93 total frontage while the sanitary sewer assessable frontage and water main is 854.61. He questioned why this is double and asked if they are double-dipping. Everyone should have to cover the costs of future development and not just his grandma. He questioned the timing of the project when construction costs are extremely high. There is so much work out there that it is difficult to keep up. He feels the prices are double what they were three years ago. He said there is a future road going in on the backside of her property and asked if the same thing will happen. He said she does not have a driveway on Elsner Road. If she wanted to use the sewer and water, it is about 500 feet away from it being stubbed in. He said a future developer can pay the costs and not his grandma. He wanted to know who requested sewer and water to be run down the road. He thought others could attach from other subdivisions that have sewer and water if they wanted it instead of it being run down the road. He asked if there is any expected development along Elsner Road as there are properties that do not have homes. He thought these properties should be bearing the majority of the costs because they will want to hook on as soon as it is in. He questioned what formula was used to determine the benefit to the property. He said her property has to be worth more after the project is complete, which he does not think it would be worth an extra \$156,000. The figures at 10 years with 5 percent interest comes to \$196,000. He wants the Board to think if they have an extra \$1632 per month.

Pat Kaster, Representative of the Developer of Edgewood Acres, questioned how the assessment was established. She questioned why one side of the street was responsible for the cost and not the other side. When they bought the land for Edgewood Acres in 2003, Elsner road was in bad shape. When they went to Public Hearings, the people had questioned the road and the drainage. They did a lot of testing in 2003. They were on the same agendas for the same approvals as was Starview Heights and Butterfly Fields and yet the other two are not part of these assessments. In 2011, they received Plat approval as long as they signed a document that they would benefit from Elsner Road being fixed and that their subdivision would be a part of the assessment. They wanted to move forward after waiting 8 years so they signed the document. They questioned the Town at the time of signing the document and were told that it would be fair and equitable. Their subdivision has two entrances and was not only relying on Elsner Road. They only have 5 lots left and have created a large tax base for the Town. She asked how an assessment policy is in place that only one side of Elsner is assessed. She explained that only two corner lots front Elsner Road. She feels this is the same as the subdivision across the street. They do not feel this is fair and equitable. She feels this project is a benefit to the entire Town. She would like to know what added benefit the people on the north side are receiving that the south side is not.

Rex Kessler, 343 W. Capitol Drive, explained that this seems the same as five years prior when he was assessed for their road project. The same discussions were brought up previously. There are several hundred cars that travel on Capitol Drive every day. They had to pay their share of that road and he feels it was the right thing to do. He is on the other side of the fence and one of the discussions that came up previously was if they would be talking about wheel tax in two-four years from now. All the people that have already paid for their road would not be fair for them. He feels the Town is doing a good job and they should keep it the way it is. They should take a look at the hardship situation and make special arrangements.

Byron Bartel, mother lives at 4501 N. Richmond Street, said he went to a meeting in December and was told that the curb was in the wrong place and has to be torn out and replaced. He questioned the overbuild on the road and doesn't believe the pavement needs to be 5 ½ inches thick. Dump trucks have been going up and

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down that street for the past two years. He previously talked to a lady from the church and her bill was going to be \$200,000 and the Town settled with her for \$33,000. He wants to know where she got the savings from. He questioned why his mother should have to pay \$200,000 and will probably be in a nursing home in a couple of years, which will cost about \$80,000 per year and soon there will be nothing left.

Lisa Reider, 1324 W. Elsner Road, stated she has lived on this property for 56 years. She bought her house from her parents for the same amount as the assessment. She is wondering what value she can put on a house that will have a \$25,000 assessment. Her home is 100 yards from the road. She only uses the road to go out of her driveway and turn onto an artery road. It isn't fair to take what she has been through for 56 years. She doesn't need curbs. She said you aren't fixing the road, it is being reconstructed. This is being reconstructed for Calnin and Goss who has a 16-acre parcel that will be subdivided in the future. She asked that this project be done in stages. She thinks she will need to take her lawn tractor, hook it to a trailer, and put a dog bed in it to get her mother somewhere because she doesn't know what assessable information she will have to get her mother out of her property. She doesn't want the road to be reconstructed, she wants it to be fixed. Fixed means that she can drive 35 miles per hour instead of going 25 miles per hour. This will be such a mess in spring with all of the potholes. Town workers have driven dump trucks on this street. There have been dump trucks, diggers, and semis on their street. She had to once wait for a semi to unload which made her wait for 15 minutes. She never stops progress and understands that there is always a pain for progress. She misses the fireflies and the cornfields. She doesn't think the twelve properties should have to pay for the whole project. Many of these people are retired and have fixed income. If she sold her house, she believes all of the profits will go towards paying for the assessment. She said the people that cannot pay for their assessment will be levied and it will be taken from them so that their property can be developed to something that is financially stable and good for the Town. She said this is wrong and not a way to do business.

Tim Rose, 5000 N. Gillett St., has had the property for 38 years. The problems they have today started 38 years ago. He has letters from the Town and Town Administrator, saying the problems would be solved and they have never been solved. Storm sewers on N. Gillett Street won't be effective. They have had long discussions with the engineers, the DOR, East Central Planning, and there is no elevation drop there. They have standing water in the middle of the property. The Town has let a property owner elevate the land which causes problems. The land elevation there is 702 feet, while the land that has been elevated is 744 feet. The water only flows one way and it is flowing west. Putting storm sewers on N. Gillett Street will not take care of the water problem, it will continue to stay in the center of that land. Most of that land is considered Wetlands by the DOR. The other issue is establishing the assessment under the Police powers. The police power assessment must confer some special benefit, it can't be arbitrary and allocated unfairly. Property special assessments under the Police power must benefit to some extent and the method of assessment must be reasonable, not burdening any group of property owners. A mere plan on the part of the government that unit of property is benefited is insufficient to support the assessment letter. That came from the WI Supreme Court. Another issue is the whole process started in 2015 and all the property owners received letters and there was a meeting. The process was stopped and the owners were not notified that the process was stopped. When the South end of Gillett Street was started a year and half ago, he questioned why they were not redoing all of Gillett Street. His response was "Well, you don't expect us to do more than a mile of property at one time." Yes, he does expect the Town to do more than one mile of property at a time if it has to be done. They are going to pay the mobilization cost on three separate occasions, it has been paid by the people on S. Gillett Street so far, and it will be paid next by the people on Elsner and next by the people of N. Gillett Street. If it would have been done all at once, there would have only been one mobilization cost. It might have been more expensive, but not as expensive as for what they are paying for three separate mobilizations. He thinks what needs to be done is that the Board needs to sit down with some of the residents of that area. There are only seven residential properties north of Elsner Road on N. Gillett Street. The Town needs to sit down and talk about problems that are there, other than the road. He questioned how are they going to get the water out of there, how are they going to deal with the DNR and the Wetlands issue, how are they going to cross the road, and where are they going to put the path. He previously sat down and talked with Town employees, but did not receive any substantial answers for the problem. There should be some sort of public consensus as to where we are going

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and how we are going to get there. It doesn't work well with just sending a letter about using Police powers to special assess.

Tim Dorn, 5105 N. Gillett Street, wants to know if there is a water plan for Elsner or Gillett. The engineer, Tom, and Katie looked at his property. They did the dredging down to the end of his property and then stopped. Since then, they never made any indications on what they are planning on doing with the water down there. He has an assessment that they want him to pay. He wants to know what the plan is for the water. He has spoken to Travis and to Katie.

Dennis Layden, developer for Edgewood Acres, stated that when they sought to develop Edgewood Acres, one of the requirements was that they would not fight assessments, which they questioned. They got answers that any assessment would be fair. They are concerned about the two subdivisions on the south side and that their subdivision would be taking care of the entire Edgewood Acres. They are not paying for Elsner Road, but the people on the south side are not being assessed at all. They have the same benefit of Elsner Road as Edgewood Estates, which is not fair. He believes there should be more consideration to include everyone that is benefitting.

John Magas, 4772 N. Indigo Lane. Previously he was a resident on Capitol Drive and he paid for roadway improvements there. He sold his house and it was at cost after making house payments for over ten years. He stated that the Board wants Grand Chute to be a vibrant community that attracts people into the community. It will be hard if you are charging people every time they move into a new community to develop a new roadway. It is frustrating and should be looked into to help retain people and bring new people into the community.

Evan Nichols, works for Ron Wolff, and said Ron is a really great guy. He would like the people behind the desk to do the same job that Ron has done for the community in the last thirty years. All the people are working men and women and all pay their taxes. It is the job of the government to hold everyone accountable.

CLOSE PUBLIC HEARING/ADJOURN

Motion (Thyssen/Sherman) to close the Public Hearing and adjourn. Motion carried.

Public Hearing closed at 6:46 p.m.

These minutes were taken and recorded in this record book May 2, 2018 by:

Angie Cain, Town Clerk
Town of Grand Chute
INITIAL DRAFT

CALL TO ORDER/ROLL CALL

Meeting called to order at 6:33 p.m. by Dave Schowalter, presiding officer.

PRESENT: Dave Schowalter, Jeff Nooyen, Travis Thyssen, Bruce Sherman, and Angie Cain, Town Clerk

EXCUSED: Eric Davidson

STAFF: Jim March, Town Administrator; Bob Buckingham, Community Development Director; Greg Peterson, Police Chief; Tim Bantes, Fire Chief; Julie Wahlen, Finance Director; Brent Braun, IT Director; Katie Schwartz, Director of Public Works; Karen Heyrman; Deputy Public Works Director; Mike Patza, Town Planner; Carl Sutter, McMahon Associates; Attorney Rossmeissl, Herrling Clark Law Offices

OTHERS: 1 signed attendance

APPROVAL OF AGENDA/ORDER OF THE DAY

Motion (Nooyen/Sherman) to approve the agenda. Motion carried.

SPECIAL PRESENTATION – Fire Department Service Award for Mark Heling

Presentation was cancelled and rescheduled to the next meeting.

PUBLIC INPUT

Beth Menzel, physician, discussed the following about e-cigarettes:

- There is limited data
- Safer than cigarettes, but doesn't mean it's safe
- E-cigarettes expose people to cancer causing agents
- Health impacts are cough and asthma
- Causes chronic bronchitis in teenagers
- Limited data due to only being around 10 years
- Flavoring can cause additional lung diseases
- Similar to secondhand exposure from regular cigarettes
- Concerned about brain development in teenagers
- 31% of young adults who have use e-cigarettes will go onto using other tobacco products, compared to 8% of kids who have never used e-cigarettes

Mary Dorn, Public Health Officer for Outagamie County, discussed the following about e-cigarettes:

- E-cigarettes are the new and upcoming trend in the youth in our communities
- If not addressed in the local level, it may be years before it is addressed at the state level

Hannah Wilz, health educator, discussed the following about e-cigarettes:

- E-cigarettes impact learning, memory, and attention
- Newest e-cigarette craze is Juul. It looks like a flash drive.
- Fruity flavors attract kids
- One Juul pod contains as much nicotine as 20 cigarettes
- Youth have reported using as much as two Juul pods per week
- 154% increase in e-cigarette use
- 89% stated they would not use them if not for the fruity flavors

Maggie Van Heuklon, community advocate for healthy living, discussed the following about e-cigarettes:

- E-cigarettes compromises clean air quality in public spaces

TOWN BOARD MEETING – TOWN OF GRAND CHUTE – 1900 W. GRAND CHUTE BLVD., GRAND CHUTE, WI – FEBRUARY 19, 2019

- Components in e-cigarettes are toxic, harmful, and addicting
- 97% contain nicotine
- Not regulated by FDA
- Curb e-cigarette ads and marketing directed towards youth
- Update definitions in local Smoke Free Workplace Ordinances to include e-cigarettes and other smoking devices

CONSENT AGENDA

Approval of Regular Meeting minutes – February 5, 2019

Licensing: (applications on file in the clerk's office)(License Committee recommends approval)

Operator's License Applications to expire: 2020 dated 2/18/18

Denial of operator license applications for Sheaffer and Zepeda

Original Hotel/Motel application for Samp, LLC dba AmericInn Appleton Airport, 132 N. Mall Drive

Change of Agent for Appleton Operating, LLC dba Texas Roadhouse, appoints Daniel John Kerlin.

Accept Monthly Reports: Community Development, Fire Department, Police Department, Public Works, and Parks Commission

Motion (Nooyen/Sherman) to approve the consent agenda. Motion carried.

FINANCIAL REPORTS

Approval of Voucher List – February 19, 2019

\$165,572.16 (93684-93735); Payroll \$305,315.80; ACH \$106,333.60

Motion (Thyssen/Sherman) to approve the voucher list. Motion carried.

NEW BUSINESS

Plan Commission Recommendations:

SE-04-19 Special Exception requested by CrossPoint Church to allow temporary church use of the property at 1866 N. Casaloma Drive. Director Buckingham to report results from the 2/19/2019 PC meeting.

Dir. Buckingham reported that Plan Commission recommends approval.

Motion (Thyssen/Sherman) to approve SE-04-19. Motion carried.

Reappointment of Director Buckingham to the ARA Exhibition Center Advisory Committee for the 2-year term expiring January 2021.

Motion (Nooyen/Sherman) to approve. Motion carried.

Approve the special assessment methodology for the 2019 urbanization project for W. Evergreen Drive from Richmond Street to Haymeadow Avenue.

Motion (Sherman/Thyssen) to approve proceeding with attachment #6.

Dir. Schwartz presented multiple schedules, some using concrete and others using hot asphalt.

Supv. Sherman said they usually use asphalt in Grand Chute, while Appleton usually uses concrete. He suggested assessing it like it is an asphalt road.

Chairman Schowalter explained that concrete has double the lifespan.

Motion carried.

Approve Amendment 1 to the Professional Services Agreement with Mach IV for Civil Engineering Services for the Fox Cities Champion Center – Public Roads in the amount of \$7,182.

Motion (Thyssen/Sherman) to approve. Motion carried.

Discussion/action on E-cigarettes in the Town of Grand Chute.

Chief Peterson explained he was researching the use of e-cigarettes and what other communities were proposing.

Chairman Schowalter stated he enjoyed the smoking ban when it first went into effect and avoided going to restaurants in other communities that had not yet passed smoking bans.

Supv. Nooyen would like to see Grand Chute put in rules for minors and include the same wording that is used for cigarettes in the smoking ban. It is banned in the County offices and on County property.

Supv. Thyssen agrees and explained that he doesn't enjoy the e-cigarettes. One of his employees had vaped and had a seizure.

Supv. Sherman is in favor of mirroring what has been done with cigarettes.

Supv. Nooyen would like it to be brought back at the next meeting.

Motion (Thyssen/Sherman) to direct the Police Department to compile an ordinance and bring it before the Board to approve at the next meeting or the meeting after.

Chief Peterson explained that he has samples of other ordinances from Atty. Koehler.

Motion carried.

ORDINANCES

Ordinance O-3-2019 approving direct distribution of the school levy tax credit, lottery and gaming credit and first dollar credit.

Motion (Sherman/Thyssen) to approve. Motion carried.

ADJOURNMENT

Motion (Nooyen/Sherman) to adjourn meeting.

Meeting adjourned at 6:58 p.m.

These minutes were taken at a regular meeting held on February 19, 2019 and entered in this record book, February 20, 2019 by:

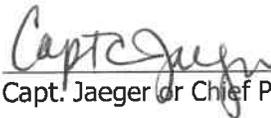
Angie Cain

Angie Cain, Town Clerk
Town of Grand Chute
Initial Draft

Please Provide Operator's Licenses checks on the following applicants for New and Renewal Operator License, (the license will expire in 2020). Amended applications where background check already complete and now resubmitted

NEW

	Approve	Deny
Barth, Michelle L	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Billington, Renee A	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Erickson, Lindy M	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Moebius, Matthew A	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Retzlaff, Gabe T	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Schrader, Lillian B	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Young, Rebecca L	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Zimmerman, Jennifer E	<input checked="" type="checkbox"/>	<input type="checkbox"/>



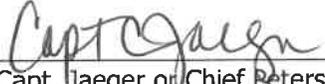
Capt. Jaeger or Chief Peterson

Date: 2/19/19

Please Provide Operator's Licenses checks on the following applicants for New and Renewal Operator License, (the license will expire in 2020). Amended applications where background check already complete and now resubmitted

NEW

	Approve	Deny
Jopling, Jennifer C	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Miller, Sheri M	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Stoeger, Jonathon A	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Taves, Tyler R	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Wurm, Lynnea M	<input checked="" type="checkbox"/>	<input type="checkbox"/>



Capt. Jaeger or Chief Peterson

Date: 2/25/19_____

Check Number	Check Issue Date	Payee	Invoice Number	Description	Invoice GL Account	Check Amount
93781	03/05/2019	U.S. PETROLEUM EQUIPMEN	114717	REPLACE MOBILE COLUMN REELS	10-14-53313-350	1,260.24
93781	03/05/2019	U.S. PETROLEUM EQUIPMEN	116663	PROKEE, GREEN	10-14-53313-340	60.05
Total 93781:						1,320.29
93782	03/05/2019	VERSATILE DEVELOPMENTS	021819	OVERPAYMENT OF FINAL WATER BILL	64-00-23201	110.14
Total 93782:						110.14
93783	03/05/2019	WE ENERGIES ESSENTIAL SE	021819-WR42	BALANCE OF LIGHTING AT W. SPENCER ST WR42	55-14-57331-000	14,817.40
Total 93783:						14,817.40
93784	03/05/2019	WI MUNICIPAL JUDGES ASSO	021919	WI MUN JUDGES ASSOC 2019	10-15-51200-321	100.00
Total 93784:						100.00
93785	03/05/2019	WITTHUHN PRINTING CO. INC	9039	PCR FORMS	10-13-52200-320	141.70
Total 93785:						141.70
Grand Totals:						298,315.76

Dave Schowalter, Chairman: _____

Jeff Nooyen, Supervisor: _____

Travis Thyssen, Supervisor: _____

Bruce Sherman, Supervisor: _____

Eric Davidson, Supervisor: _____

Angie Cain, Clerk: _____

Julie M. Wahlen, Treasurer: _____

Check Number	Check Issue Date	Payee	Invoice Number	Description	Invoice GL Account	Check Amount
10030	02/26/2019	GOODNESS GRACE LLC	101156900 RE	2018 TAX REFUND	10-00-21101	55.06- V
Total 10030:						55.06-
10035	02/26/2019	APPLE TREE, LLC	101 156900 R	2018 TAX REFUND	10-00-21101	55.06
Total 10035:						55.06
93739	02/27/2019	WE ENERGIES	020819-FEB1	GAS/ELEC FIRE DEPTS	10-13-52200-220	7,083.69
93739	02/27/2019	WE ENERGIES	020819-FEB1	GAS/ELEC TOWN HALL MAINT BLDG	10-14-53311-220	1,659.91
93739	02/27/2019	WE ENERGIES	020819-FEB1	GAS/ELEC TRAFFIC LIGHTS	10-14-53311-348	1,047.64
93739	02/27/2019	WE ENERGIES	020819-FEB1	GAS/ELEC STREET LIGHTS	10-14-53420-220	27,838.71
93739	02/27/2019	WE ENERGIES	020819-FEB1	GAS/ELEC PARKS	10-16-55200-220	2,986.97
93739	02/27/2019	WE ENERGIES	020819-FEB1	GAS/ELEC PED CROSSING	10-16-55400-220	72.08
93739	02/27/2019	WE ENERGIES	020819-FEB1	GAS/ELEC TOWN HALL BLDGS	10-18-51600-220	11,845.56
Total 93739:						52,534.56
93740	03/05/2019	ACC AUTOMATED COMFORT	23336	SERVICE TOWN HALL HVAC SYSTEM	10-18-51600-290	1,576.00
93740	03/05/2019	ACC AUTOMATED COMFORT	23337	HVAC SERVICE ST.2	10-13-52200-290	507.58
Total 93740:						2,083.58
93741	03/05/2019	ALADDIN FIRE PROTECTION L	149435	QUARTERLY BREATHING AIR	10-13-52200-290	125.00
Total 93741:						125.00
93742	03/05/2019	APPLETON AREA SCHOOL DI	022519	CHARGEBACK 2015	10-00-21907	513.65
Total 93742:						513.65
93743	03/05/2019	AXON ENTERPRISE, INC	1575190	TASERS	10-17-52100-346	8,244.00
Total 93743:						8,244.00
93744	03/05/2019	AYRES ASSOCIATES	179102	NORTH MCCARTHY ROAD DESIGN	55-14-57331-000	16,989.95
93744	03/05/2019	AYRES ASSOCIATES	179102	NORTH MCCARTHY ROAD DESIGN	48-09-56900-210	20,472.35
Total 93744:						37,462.30
93745	03/05/2019	BERGSTROM INFINITY	02222019	MAILBOX REIMBURSEMENT	10-14-53311-340	75.00
Total 93745:						75.00
93746	03/05/2019	CARPETLAND USA	021919-MBR	MAILBOX REIMBURSEMENT-SNOW PLOW DAMAG	10-14-53312-340	75.00
Total 93746:						75.00
93747	03/05/2019	CHIROPRACTIC ADVANTAGE	021419	OVERPAYMENT OF FINAL WATER BILL	64-00-23201	86.32
Total 93747:						86.32
93748	03/05/2019	CITY OF APPLETON	1617	2018 TRAFFIC SIGNAL MNT-GUARANTEED MINIMU	10-14-53311-348	12,287.87
93748	03/05/2019	CITY OF APPLETON	1618	OCT-DEC 2018 SIGNAL MAINT PROGRAM	10-14-53311-348	314.60

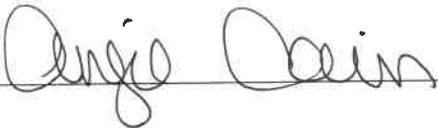
Check Number	Check Issue Date	Payee	Invoice Number	Description	Invoice GL Account	Check Amount
Total 93748:						12,602.47
93749	03/05/2019	CLERK OF CIRCUIT COURT	011818	LIQUOR AGENT BACKGROUND INVESTIGATION	10-17-52120-390	12.50
Total 93749:						12.50
93750	03/05/2019	CRESCENT ELECTRIC SUPPL	S505926744.0	LIGHT FIXTURES FOR TOWN HALL BLDG	10-18-51600-360	492.00
93750	03/05/2019	CRESCENT ELECTRIC SUPPL	S506163903.0	LIGHT FIXTURES FOR TOWN HALL BLDG	10-18-51600-360	222.70
Total 93750:						714.70
93751	03/05/2019	D & D 24 HOUR TOWING INC	000408	TOW FIRE UNIT 2602	10-14-53313-350	100.00
Total 93751:						100.00
93752	03/05/2019	DAVID TENOR CORPORATION	0214191	OVERPAYMENT INVOICE 7216	10-18-48900	339.15
Total 93752:						339.15
93753	03/05/2019	ENGEN, BRENT	02222019	MAILBOX REIMBURSEMENT	10-14-53311-340	75.00
Total 93753:						75.00
93754	03/05/2019	EXTENDED STAY	020419	RESTITUTION 5G80BNZM1H MAGLIO	10-15-45100	57.49
Total 93754:						57.49
93755	03/05/2019	FIRE APPARATUS & EQUIPME	19178	E2622 SERVICE	10-13-52200-350	1,896.57
Total 93755:						1,896.57
93756	03/05/2019	FOX VALLEY TECH COLLEGE	022519	CHARGEBACK 2015	10-00-21907	59.79
Total 93756:						59.79
93757	03/05/2019	FPSOLUTION	11866	QUARTERLY SPRINKLER INSP	10-13-52200-290	195.00
Total 93757:						195.00
93759	03/05/2019	GRAY'S INC	35172	NEW BLADES FOR SNOW PLOWING	10-14-53313-350	1,413.00
Total 93759:						1,413.00
93760	03/05/2019	JOHNSON CONTROLS FIRE P	20759852	FIRE PROTECTION SVCS 3/1/19-2/29/20	10-18-51600-290	750.19
Total 93760:						750.19
93761	03/05/2019	KE TRANS CHEM INC	1747	TC CLEANER, STAGE 1	10-14-53313-350	229.45
Total 93761:						229.45
93762	03/05/2019	KRUCZEK CONSTRUCTION IN	G0006-9-16-0	PAY REQ #6	55-14-57331-000	14,722.37
Total 93762:						14,722.37

Check Number	Check Issue Date	Payee	Invoice Number	Description	Invoice GL Account	Check Amount
93763	03/05/2019	KWIK TRIP	020519	RESTITUTION 164126533	10-15-45100	90.01
93763	03/05/2019	KWIK TRIP	0205191	RESTITUTION 5G8096J986	10-15-45100	45.40
Total 93763:						135.41
93764	03/05/2019	LUND, SARAH	021519	OVERPAYMENT OF FINAL WATER BILL	64-00-23201	63.99
Total 93764:						63.99
93765	03/05/2019	MACH IV	6393	CHAMPION CTR ROADS CIVIL DESIGN	48-09-56900-290	7,500.00
93765	03/05/2019	MACH IV	6394	EVERGREEN BUS. PARK	48-09-56900-290	650.00
Total 93765:						8,150.00
93766	03/05/2019	MARCO INC NW7128	6022748	MONTHLY PLOTTER MAINT. BILL	10-09-56900-290	22.00
93766	03/05/2019	MARCO INC NW7128	6022748	MONTHLY PLOTTER MAINT. BILL	10-13-52200-290	7.33
93766	03/05/2019	MARCO INC NW7128	6022748	MONTHLY PLOTTER MAINT. BILL	10-14-53311-290	7.33
93766	03/05/2019	MARCO INC NW7128	6022748	MONTHLY PLOTTER MAINT. BILL	10-16-55200-290	7.34
93766	03/05/2019	MARCO INC NW7128	6064035	MONTHLY PLOTTER MAINTENANCE BILL	10-09-56900-290	22.00
93766	03/05/2019	MARCO INC NW7128	6064035	MONTHLY PLOTTER MAINTENANCE BILL	10-13-52200-290	7.33
93766	03/05/2019	MARCO INC NW7128	6064035	MONTHLY PLOTTER MAINTENANCE BILL	10-14-53311-290	7.33
93766	03/05/2019	MARCO INC NW7128	6064035	MONTHLY PLOTTER MAINTENANCE BILL	10-16-55200-290	7.34
Total 93766:						88.00
93767	03/05/2019	MARCO, INC	24277921	MONTHLY COPIER BILL	10-20-51460-290	2,256.62
Total 93767:						2,256.62
93768	03/05/2019	MATTHEWS TIRE & AUTO CE	69077	NEW TIRE ON #228	10-14-53313-350	530.94
93768	03/05/2019	MATTHEWS TIRE & AUTO CE	69081	2 NEW TIRES ON TOWN EQUIPMENT	10-14-53313-350	1,472.94
Total 93768:						2,003.88
93769	03/05/2019	MCPMAHON	0601071	BUILDING PLAN REVIEWS	10-11-52400-210	5,430.00
93769	03/05/2019	MCPMAHON	0912998	EVERGREEN BUSINESS PARK	48-09-57300-290	67.92
93769	03/05/2019	MCPMAHON	0913193	EROSION CONTROL INSPECTION	10-11-52400-210	8.35
93769	03/05/2019	MCPMAHON	0913195	DRAINAGE PLAN REVIEW	10-11-52400-210	.63
93769	03/05/2019	MCPMAHON	0913196	DRAINAGE PLAN REVIEW	10-11-52400-210	.42
93769	03/05/2019	MCPMAHON	0913198	DRAINAGE PLAN REVIEW	10-11-52400-210	34.06
93769	03/05/2019	MCPMAHON	0913199	EROSION CONTROL INSPECTION	10-11-52400-210	102.80
93769	03/05/2019	MCPMAHON	0913200	MCCARTHY RD ASSESSMENTS LEGAL DESCRIPTI	55-14-57331-000	455.51
93769	03/05/2019	MCPMAHON	0913200	MCCARTHY RD ASSESSMENTS LEGAL DESCRIPTI	48-09-56900-210	548.89
93769	03/05/2019	MCPMAHON	0913201	DRAINAGE FACILITIES CHECK	10-11-52400-210	631.50
93769	03/05/2019	MCPMAHON	0913203	DRAINAGE PLAN REVIEW	10-11-52400-210	686.88
93769	03/05/2019	MCPMAHON	0913205	SCHED OF ASSESSMENTS-ELSNER DR	55-14-57331-000	1,538.60
93769	03/05/2019	MCPMAHON	0913206	CONSTR ADMIN N GILLET ST URBANIZATION	55-14-57331-000	1,950.00
93769	03/05/2019	MCPMAHON	0913207	CONSTR ADMIN CASALOMA DR URBANIZATION	55-14-57331-000	1,976.35
93769	03/05/2019	MCPMAHON	0913207	CONSTR ADMIN/ONSITE REP VICTORY LN ROUND	55-14-57331-000	684.85
93769	03/05/2019	MCPMAHON	0913208	RECONSTRUCTION-MORRISON STREET	55-14-57331-000	302.40
93769	03/05/2019	MCPMAHON	0913209	STREET DESIGN EVERGREEN DRIVE	46-09-57331-000	10,821.00
93769	03/05/2019	MCPMAHON	0913211	DRAINAGE PLAN REVIEW	10-00-23008	468.12
93769	03/05/2019	MCPMAHON	0913212	DRAINAGE FACILITIES CHECK	10-11-52400-210	497.75
93769	03/05/2019	MCPMAHON	0913214	EROSION CONTROL INSPECTION	10-11-52400-210	1,683.45
93769	03/05/2019	MCPMAHON	0913267	TRAIL ADDITION REDESIGN-ELSNER ROAD	55-14-57331-000	9,966.76
93769	03/05/2019	MCPMAHON	0913268	DRAINAGE FACILITIES CHECK	10-11-52400-210	8,415.39

Check Number	Check Issue Date	Payee	Invoice Number	Description	Invoice GL Account	Check Amount
Total 93769:						46,271.63
93770	03/05/2019	MIRON CONSTRUCTION CO I	172430-005	CHAMPION CTR TID 4 WATERMAIN & STORM SEW	48-09-57761-000	48,245.75
Total 93770:						48,245.75
93771	03/05/2019	OLDENBURG, CHADWICK	021819-MBR	MAILBOX REPLACEMENT HIT BY SNOW PLOW	10-14-53312-340	75.00
Total 93771:						75.00
93772	03/05/2019	OUTAGAMIE COUNTY	119585	HMONG TRANSLATION	10-17-52110-210	8.69
Total 93772:						8.69
93773	03/05/2019	OUTAGAMIE COUNTY TREAS	021919	JANUARY COURT FINES	10-15-45100	4,640.44
93773	03/05/2019	OUTAGAMIE COUNTY TREAS	022519	STATE CHARGEBACK 2015	10-00-21907	9.07
93773	03/05/2019	OUTAGAMIE COUNTY TREAS	022519	COUNTY CHARGEBACK 2015	10-00-21907	271.80
93773	03/05/2019	OUTAGAMIE COUNTY TREAS	119526	INCARECERATION EXPENSE SEPT-NOV	10-15-51200-215	455.00
93773	03/05/2019	OUTAGAMIE COUNTY TREAS	119599	GRAND CHUTE TAX BILLS	10-18-51100-320	3,880.45
Total 93773:						9,256.76
93774	03/05/2019	REGISTER OF DEEDS	201900000002	PURPLE LION INVESTMENTS LLC	55-14-57331-000	30.00
93774	03/05/2019	REGISTER OF DEEDS	201900000048	RECORDING DOCS	55-14-57331-000	120.00
93774	03/05/2019	REGISTER OF DEEDS	201900000048	RECORDING DOCS	46-09-57725-000	30.00
93774	03/05/2019	REGISTER OF DEEDS	201900000048	RECORDING DOCS	55-14-57331-000	30.00
Total 93774:						210.00
93775	03/05/2019	SHAWANO CTY SHERIFF	021519	WARRANT ROHN 16OCT182	10-15-45100	416.00
Total 93775:						416.00
93776	03/05/2019	SHERWIN INDUSTRIES INC	SS078328	DETACK	10-14-53311-340	402.00
Total 93776:						402.00
93777	03/05/2019	SOUND OFF SIGNAL	5733	NEW SQUAD -EMERGENCY LIGHTS	10-17-52100-811	8,581.20
93777	03/05/2019	SOUND OFF SIGNAL	5733	NEW SQUAD -EMERGENCY LIGHTS	10-17-52120-811	918.00
Total 93777:						9,499.20
93778	03/05/2019	STATE OF WISCONSIN COUR	021919	JANUARY COURT FINES	10-15-45100	13,257.21
Total 93778:						13,257.21
93779	03/05/2019	TAPCO	1627985	2 RADAR/VARIABLE SIGNS W/POLES	55-14-57331-000	950.00
Total 93779:						950.00
93780	03/05/2019	TRAFFIC ANALYSIS & DESIGN	12160	TRAFFIC ANALYSIS CASALOMA&GRANDE MARKE	10-14-53311-210	3,030.00
93780	03/05/2019	TRAFFIC ANALYSIS & DESIGN	12160	TRAFFIC ANALYSIS	10-14-53311-210	3,139.00
Total 93780:						6,169.00

Check Issue Date	Payee	Invoice Number	Description	Invoice GL Acct	Check Amount
02/13/2019	DELTA DENTAL	251475	GROUP1 DENTAL CLAIMS	11-18-59200-513	1,544.60
Total 190213001:					1,544.60
02/13/2019	THE HARTFORD GROUP	324377971302	LIFE INSURANCE	11-18-59200-511	3,211.40
02/13/2019	THE HARTFORD GROUP	510140227793	GCMW LIFE INSURANCE	10-00-13001	187.54
Total 190213002:					3,398.94
02/15/2019	SERVICE CHARGE	021519	SERVICE CHARGE JANUARY 2019	10-19-48110	775.15
Total 190218001:					775.15
02/20/2019	BENEFIT ADVANTAGE	413155	GCMW MED	10-00-13001	236.00
Total 190220001:					236.00
02/20/2019	DELTA DENTAL	255034	GROUP1 DENTAL CLAIMS	11-18-59200-513	1,830.00
Total 190220003:					1,830.00
02/20/2019	GROUP INSURANCE ETFPAY	022019	MARCH HEALTH INSURANCE	10-00-21531	143,652.36
Total 190220004:					143,652.36
02/22/2019	GC POLICE BENEVOLENT AS	022219	GCPBA DEPOSIT	10-00-21590	33.00
Total 190222001:					33.00
02/22/2019	PITNEY BOWES GLOBAL FINA	022219	POSTAGE	10-18-51400-311	500.00
Total 190222002:					500.00
Grand Totals:					151,970.05

Angie Cain, Clerk:



Dated:

2/27/19

Check Issue Date	Check Number	Payee ID	Payee	Amount
02/22/2019	93737	3	GRAND CHUTE PROFESSIONA	1,007.00-
02/22/2019	93738	5	WISCONSIN SCTF	1,036.61-
02/22/2019	190222001	1003	VELIE, DUANE A	2,673.66-
02/22/2019	190222002	1005	PRAHL, TODD W	2,166.22-
02/22/2019	190222003	1007	ERTL, MICHAEL T	2,198.49-
02/22/2019	190222004	1008	GRODE, ROBERT W	1,807.95-
02/22/2019	190222005	1011	URBAN, JOHN J	1,671.52-
02/22/2019	190222006	1015	HARTFIEL, BRIAN M	1,378.55-
02/22/2019	190222007	1024	ARFT, MICHAEL J	2,185.11-
02/22/2019	190222008	1025	STINGLE, GREGORY A	2,054.39-
02/22/2019	190222009	1027	COENEN, RANDY N	3,006.91-
02/22/2019	190222010	1030	FULCER, SAMUEL R	1,325.08-
02/22/2019	190222011	1043	BUCKINGHAM, ROBERT L	2,038.00-
02/22/2019	190222012	1049	BUTTERIS, JERROD B.	1,757.64-
02/22/2019	190222013	1052	WALL, BRIAN P	2,060.11-
02/22/2019	190222014	1053	KIPPENHAN, JEFF C	1,136.88-
02/22/2019	190222015	1055	VELIE, ADAM P	1,611.31-
02/22/2019	190222016	1056	MALSZYCKI, TYLER L	1,117.48-
02/22/2019	190222017	1057	HEYRMAN, KAREN M	1,597.51-
02/22/2019	190222018	1061	EASTMAN, BRIAN J	748.92-
02/22/2019	190222019	1062	GAFFNEY, PATRICK P	443.23-
02/22/2019	190222020	1063	SCHWARTZ, KATHRYN A	2,590.17-
02/22/2019	190222021	1064	JOST, SCOTT A	295.81-
02/22/2019	190222022	2022	SCHOWALTER, DAVID A	450.84-
02/22/2019	190222023	2024	NOOYEN, JEFFREY T	380.21-
02/22/2019	190222024	2026	THYSSEN, TRAVIS J	379.36-
02/22/2019	190222025	2031	KLASEN, CHARLES W	530.60-
02/22/2019	190222026	3003	MAUTHE, ANGELA M	1,219.76-
02/22/2019	190222027	3007	MARCH, JAMES V	3,321.34-
02/22/2019	190222028	3008	NATE, CARY J	2,381.73-
02/22/2019	190222029	3009	KOPECKY, JEFFRY D	1,815.25-
02/22/2019	190222030	3012	ST JULIANA, LENO J	2,102.02-
02/22/2019	190222031	3014	OLEJNICZAK, TRACY L	1,208.12-
02/22/2019	190222032	3016	BAXTER, MARY J	1,510.72-
02/22/2019	190222033	3017	TIMM, BARBARA M	592.19-
02/22/2019	190222034	3020	RIEMER, NANCY L	1,059.84-
02/22/2019	190222035	3022	PEETERS, CARRIE L	933.54-
02/22/2019	190222036	3027	SCHUH, LISA J	1,153.58-
02/22/2019	190222037	3033	THIEL, ERIC J	1,615.19-
02/22/2019	190222038	3034	CAIN, ANGIE M	1,568.47-
02/22/2019	190222039	3045	WAHLEN, JULIE M	2,030.96-
02/22/2019	190222040	3046	MILLER, ELIZABETH A.	1,255.83-
02/22/2019	190222041	3048	BERKERS, SANDRA J	203.78-
02/22/2019	190222042	3050	WALLENFANG, DAVID J	1,234.71-
02/22/2019	190222043	3053	SOK, SAM A	1,304.59-
02/22/2019	190222044	3054	PATZA, MICHAEL D	1,710.20-
02/22/2019	190222045	3055	VAN EPEREN, ALISSA R	1,505.35-
02/22/2019	190222046	3056	BRAUN, BRENT J	2,466.92-
02/22/2019	190222047	3060	VANDEN WYNGAARD, BROOKE	763.16-
02/22/2019	190222048	3061	GRETZINGER, CARRIE L	1,292.57-
02/22/2019	190222049	3062	WELK, DEBRA A	594.88-
02/22/2019	190222050	4015	SHERMAN, BRUCE D	230.04-
02/22/2019	190222051	4035	SCHMIDT, MICHAEL J	32.32-
02/22/2019	190222052	4054	JONES, JOHN E	32.32-
02/22/2019	190222053	4056	PRUSINSKI, TREVOR W	1,071.02-
02/22/2019	190222054	4063	CAREY, LARRY P	41.56-
02/22/2019	190222055	4064	SCOTT, NATHAN A	32.32-

Check Issue Date	Check Number	Payee ID	Payee	Amount
02/22/2019	190222056	4065	FISCHER, JENNIFER B	32.32-
02/22/2019	190222057	5033	DAVIDSON, ERIC E	381.21-
02/22/2019	190222058	6001	KASRIEL, MATTHEW E	2,188.56-
02/22/2019	190222059	6006	WOODFORD, ALEXANDER J	1,261.23-
02/22/2019	190222060	6018	DEBRULER, MICHAEL L	2,176.76-
02/22/2019	190222061	6020	DANIELS, MICHAEL S	242.46-
02/22/2019	190222062	6021	GEISSLER, MICHAEL L	1,848.54-
02/22/2019	190222063	6026	OLSON, ROBERT C	1,597.31-
02/22/2019	190222064	6027	BERGLUND, ERIC S	1,709.68-
02/22/2019	190222065	6028	THORSON, WADE J	2,163.30-
02/22/2019	190222066	6031	CZECHANSKI, ANDREW P	2,520.31-
02/22/2019	190222067	6037	CLARK, JOHN B	421.80-
02/22/2019	190222068	6039	JAPE, CHRISTOPHER E	1,926.18-
02/22/2019	190222069	6040	SIEGMANN, CHAD E	1,602.58-
02/22/2019	190222070	6043	SCHIPPER, ROBERT J	1,520.04-
02/22/2019	190222071	6048	NELSEN, MARK J	495.54-
02/22/2019	190222072	6050	PAVASARIS, RAIMONDS P	1,599.00-
02/22/2019	190222073	6051	LAZCANO, RAUL M	2,433.22-
02/22/2019	190222074	6054	MARTIN, CHAD R	1,951.89-
02/22/2019	190222075	6066	PALTZER, BRAD L	1,877.35-
02/22/2019	190222076	6068	RISTAU, JEREMY L	1,195.03-
02/22/2019	190222077	6069	PAULSON, DAVID J	453.70-
02/22/2019	190222078	6074	STARK, AARON W	2,015.26-
02/22/2019	190222079	6080	BIESE, JASON D	152.04-
02/22/2019	190222080	6081	HAGENOW, BONNIE K	125.68-
02/22/2019	190222081	6082	CAHAK, JACOB D	1,834.92-
02/22/2019	190222082	6084	GRETZINGER, WILLIAM J	221.94-
02/22/2019	190222083	6085	SCHOMMER, BRIAN P	2,196.72-
02/22/2019	190222084	6092	BANTES, TIMOTHY A	2,606.58-
02/22/2019	190222085	6094	HACKETT, WILLIAM O	260.27-
02/22/2019	190222086	6095	HANSON, JEREMY B	204.94-
02/22/2019	190222087	6122	SCHOMMER, NICHOLAS P	661.27-
02/22/2019	190222088	6123	FELAUER, SAMUEL A	319.77-
02/22/2019	190222089	6124	GONZALEZ, ANTHONY C III	121.08-
02/22/2019	190222090	6128	TORRES, MITCHELL R	418.72-
02/22/2019	190222091	6133	KLEMENTZ, JOHN V	372.13-
02/22/2019	190222092	6135	PORTER, KODY L	1,371.45-
02/22/2019	190222093	6136	SWEDBERG, KURT I	287.80-
02/22/2019	190222094	6137	TEWS, ISAAC E	465.99-
02/22/2019	190222095	6138	GRUNWALD, DREW W	1,293.96-
02/22/2019	190222096	6139	ALGUIRE, JOSEPH P	134.28-
02/22/2019	190222097	6140	GREEN, DERRICK T	1,298.15-
02/22/2019	190222098	6141	HOAGLIN, TAYLOR J	14.93-
02/22/2019	190222099	6142	REHRAUER, SETH L	14.93-
02/22/2019	190222100	6144	VAN BEEK, COLE A	14.93-
02/22/2019	190222101	7001	PETERSON, GREG I	2,996.79-
02/22/2019	190222102	7003	STEINKE, SCOTT M	3,188.50-
02/22/2019	190222103	7008	REIFSTECK, RANDY W	2,345.29-
02/22/2019	190222104	7018	KONS, BENJAMIN J	1,778.27-
02/22/2019	190222105	7024	GOLLNER, AMANDA M	1,664.77-
02/22/2019	190222106	7025	PROFANT, KATIE J	2,135.33-
02/22/2019	190222107	7027	VELIE, MICHAEL G	2,170.25-
02/22/2019	190222108	7030	CALLAWAY, SCOTT M	2,056.00-
02/22/2019	190222109	7035	CLEMENT, JENNIFER L	2,086.33-
02/22/2019	190222110	7040	BLAHNIK, RUSSELL D	2,700.28-
02/22/2019	190222111	7041	ENNEPER, SHAWN R	1,980.49-
02/22/2019	190222112	7047	BOHLEN, JOSHUA D	1,716.01-

Check Issue Date	Check Number	Payee ID	Payee	Amount
02/22/2019	190222113	7053	JAEGER, COLETTE R	2,331.80-
02/22/2019	190222114	7055	VANDEN BERG, TED M	1,469.77-
02/22/2019	190222115	7056	MAAS, MARK H	2,181.83-
02/22/2019	190222116	7061	DIEDRICK, AMANDA M	1,195.39-
02/22/2019	190222117	7068	RENKAS, MICHAEL A	2,136.04-
02/22/2019	190222118	7073	TEIGEN, JOSEPH D	2,261.03-
02/22/2019	190222119	7076	GRIESBACH, PATRICK E	1,977.43-
02/22/2019	190222120	7084	FEUCHT, DANIEL A	165.94-
02/22/2019	190222121	7086	KEEN, SUSAN M	39.66-
02/22/2019	190222122	7088	PETERS, PHYLLIS J	1,386.62-
02/22/2019	190222123	7093	PERZ, KARI L	1,233.50-
02/22/2019	190222124	7098	LATZA, CHERYL A	347.99-
02/22/2019	190222125	7101	VUE, LIA	1,747.31-
02/22/2019	190222126	7108	GRIER-WELCH, DYLAN F	1,739.89-
02/22/2019	190222127	7109	WAAS, TRAVIS J	1,567.11-
02/22/2019	190222128	7110	POUPORE, LOGAN T	1,842.94-
02/22/2019	190222129	7114	MCFAUL, WENDY S	1,060.28-
02/22/2019	190222130	7115	DOWNEY, DANIELLE	1,419.63-
02/22/2019	190222131	7118	MENKE, CALEB D	1,641.31-
02/22/2019	190222132	7119	SHEPHERD, JAMES M	1,711.58-
02/22/2019	190222133	7125	NOTHEM II, STEVEN R	1,694.94-
02/22/2019	190222134	7127	FREVILLE, ERIC M	2,542.02-
02/22/2019	190222135	7131	MORTON, PETER R	407.44-
02/22/2019	190222136	7132	SPENCER, JAKE M	508.20-
02/22/2019	190222137	7135	KISLEWSKI, JOSHUA A	1,894.96-
02/22/2019	190222138	7136	LA LUZERNE, BRYCE A	1,686.69-
02/22/2019	190222139	7137	KRAMER, LEAH R	830.44-
02/22/2019	190222140	7138	LATZA, GEORGE K	347.99-
02/22/2019	190222141	7139	WEISNIGHT, AUSTIN C	1,602.88-
02/22/2019	190222142	7140	MILLER, ADAM	2,133.97-
02/22/2019	190222143	7141	DAVIS, DYLAN J	451.44-
02/22/2019	190222144	7142	JOHNSON, LEAH M	1,885.98-
02/22/2019	190222145	7143	LANTAGNE, DYLAN J	437.71-
02/22/2019	190222146	7144	PATINO VERA, EDUARDO	1,725.04-
02/22/2019	190222147	7145	DRAEGER, KALI A	1,259.47-
02/22/2019	190222148	7146	GRUENSTERN, LUCAS D	449.63-
02/22/2019	190222149	7147	WALLACE, ANTHONY C	452.44-
02/22/2019	190222150	8035	PETERSEN, KAREN A	32.32-
02/22/2019	190222151	7	DEFERRED COMP	8,628.26-
02/22/2019	190222151	7	DEFERRED COMP	3,494.24-
02/22/2019	190222152	1	EFTPS	18,398.42-
02/22/2019	190222152	1	EFTPS	18,398.42-
02/22/2019	190222152	1	EFTPS	4,302.85-
02/22/2019	190222152	1	EFTPS	4,302.85-
02/22/2019	190222152	1	EFTPS	27,586.01-
02/22/2019	190222153	8	FLEX SPENDING	2,477.63-
02/22/2019	190222153	8	FLEX SPENDING	944.20-
02/22/2019	190222154	2	WISCONSIN DEPT OF REVENU	14,731.54-
Grand Totals:				
	162			303,822.93-

**CASH ON HAND
NOVEMBER 2018**

GENERAL FUND	
\$	8,089,320
CAPITAL PROJECTS FUND	
\$	(1,081,983)
DEBT SERVICE FUND	
\$	243,902
SPECIAL ASSESSMENT FUND	
\$	4,174,062
SPECIAL REVENUE FUNDS	
\$	545,267
TAX INCREMENT DISTRICT #1	
\$	(106,055)
TAX INCREMENT DISTRICT #2	
\$	7,579
TAX INCREMENT DISTRICT #3	
\$	(1,296,273)
TAX INCREMENT DISTRICT #4	
\$	(398,109)
SANITARY DISTRICT #1	
\$	(1,147,813)
SANITARY DISTRICT #2	
\$	13,739,102
SANITARY DISTRICT #3	
\$	11,032,738
EASTSIDE UTILITY DISTRICT	
\$	416,902
34,218,639.63	TOTAL CASH ON HAND

CASH INVESTMENTS

CHECKING, MONEY MARKET (MM), AND CERTIFICATE OF DEPOSIT (CD)

NICOLET BANK		ABBY BANK CD		HOMETOWN BANK CD	
\$	1,921,973	\$	500,000	\$	1,000,000
Interest Rate 1.98%		Interest Rate 2.75% -24 month (June 2020)		Interest Rate 2.56% - 12 Month CD (May 2019)	
FOX COMMUNITIES CREDIT UNION		ASSOCIATED BANK CD		INVESTORS COMMUNITY BANK CD	
\$	5	\$	250,000	\$	506,500
Interest Rate 0%		Interest Rate 2.25% -12 month (June 2019)		Interest Rate 2.25% - 12 Month CD (May 2019)	
INVESTORS COMMUNITY BANK MM		BANK FIRST NATIONAL CD		INVESTORS COMMUNITY BANK CD	
\$	1,083,851	\$	525,000	\$	-
Interest Rate 2.29%		Interest Rate 2.25% -12 month (June 2019)		Interest Rate 1.45% - 18 Month CD (November 2018)	
HOMETOWN BANK MM		BMO HARRIS CD		INVESTORS COMMUNITY BANK CD	
\$	1,047,016	\$	1,037,093	\$	2,540,000
Interest Rate 2.28%		Interest Rate 2.25% -18 month (December 2019)		Interest Rate 1.60% - 24 Month CD (May 2019)	
STATE POOL		CAPITAL CREDIT UNION CD		US BANK CD	
\$	459,003	\$	521,110	\$	500,000
Interest Rate 2.27%		Interest Rate 2.25% - 15 Month CD (August 2019)		Interest Rate 2.38% - 12 Month CD (June 2019)	
AMERICAN NATIONAL BANK MM		COMMUNITY FIRST CREDIT UNION CD		US BANK CD	
\$	605,612	\$	1,002,642	\$	250,000
Interest Rate 1.92%		Interest Rate 3.15% - 15 Month CD (January 2020)		Interest Rate 2.30% - 12 Month CD (May 2019)	
ASSOCIATED BANK MM		COMMUNITY FIRST CREDIT UNION CD		US BANK CD	
\$	504,663	\$	403,010	\$	250,000
Interest Rate 2.07%		Interest Rate 1.40% - 12 Month CD (May 2019)		Interest Rate 2.48% - 18 Month CD (December 2019)	
FIRST BUSINESS BANK MM		FIRST BUSINESS BANK CDARS		INVESTMENTS	
\$	25,822	\$	3,500,000	Yield Rate Maturity Date	
Interest Rate 1.13%		Interest Rate 2.21-2.86% - Various Lengths (Feb 2019, Aug 2019, Aug 2020)		RBC	
ABBY BANK CD		FIRST BUSINESS BANK CD		\$	246,408
\$	500,000	\$	1,500,000	\$	488,631
Interest Rate 2.25% -12 month (June 2019)		Interest Rate 2.78% - 18 Month CD (February 2020)		RBC Wealth	1.70%
ABBY BANK CD		FOX COMMUNITIES CREDIT UNION CD		RBC Wealth	2.30%
\$	500,000	\$	1,000,000		11/29/2019
Interest Rate 2.55% -18 month (December 2019)		Interest Rate 3.04% - 15 Month CD (February 2020)			01/26/2022
				CHARLES SCHWAB	
				Market Value	
				\$	9,677,621
				JP MORGAN	
				Market Value	
				\$	1,872,680
\$	6,647,945	\$	10,238,855	\$	17,331,839
				SUBTOTALS	
				34,218,639.63	

**GENERAL FUND REVENUES
2018 BUDGET STATEMENT
NOVEMBER 2018**

REVENUE TYPES	2018 BUDGET	CURRENT MONTH	2018 YTD	% BUDGET	(UNDER) OVER
General Operations Tax Levy	10,693,306	-	10,693,319	100%	13
41110 General Property Tax Levy	10,693,306	-	10,693,319	100%	13
Other Taxes					
Rescinded Taxes	150,000	-	169,059	113%	19,059
Hold Harmless-Computer Exempt	103,650	-	103,660	100%	10
Omitted Taxes	-	(4,524)	1,882	0%	1,882
Woodland/Managed Forest	400	-	321	80%	(79)
Hotel/Motel Tax	364,400	111,092	259,789	71%	(104,611)
Lieu of Taxes	9,000	-	888	10%	(8,112)
Use Value Penalty	-	-	693	0%	693
Interest on Delinq P.P. Taxes	1,200	-	1,464	122%	264
Subtotal - Taxes	628,650	106,568	537,755	86%	(90,895)
Special Assessments					
Special Assessments - Street Lighting	62,675	-	62,152	99%	(523)
Subtotal - Special Assessments	62,675	-	62,152	99%	(523)
Intergovernmental Revenues					
Shared Revenue from State	269,910	230,312	270,799	100%	889
State Aid - Clerk	-	68	121	0%	121
Gen Govt State Grant	-	907	13,664	0%	13,664
State Aid - Police	4,640	-	4,960	107%	320
Grants - State/Federal	20,000	415	7,674	38%	(12,326)
State Transportation Aids	811,950	-	811,306	100%	(644)
Highway State Grants	-	-	68,930	0%	68,930
State Grant Park and Recreation	10,000	-	-	0%	(10,000)
School Liaison Reimbursement	22,903	-	22,903	100%	-
Mass Transit	456,411	-	177,126	39%	(279,285)
Subtotal - Intergovernmental Revenues	1,595,814	231,839	1,377,992	86%	(217,822)
Licenses and Permits					
Business or Occupation License	35,000	3,605	49,602	142%	14,602
Business License-Liquor	35,000	50	83,771	239%	48,771
Business License-Cable TV	295,000	56,691	218,579	74%	(76,421)
Business License-Pawn/2nd Hand	250	-	1,788	715%	1,538
Hotel License	525	-	550	105%	25
Non-business License	2,250	3,696	8,369	372%	6,119
Burning Permits	550	25	854	155%	304
Occupancy Inspections	1,500	150	1,725	115%	225
Building Permits	315,000	20,797	379,446	120%	64,446
Building Permits - Lot Access	5,000	420	5,880	118%	880
Utility/Open Cut Permits	22,500	3,948	47,511	211%	25,011
Revocable Occupancy Permit	-	-	50	0%	50
Zoning Permits	48,000	1,835	36,937	77%	(11,063)
Site Erosion Control Plan Review Fee	8,000	850	11,200	140%	3,200
Drainage Inspection Fee	50,000	2,450	58,050	116%	8,050
Wetland Delineations	40,000	1,150	18,850	47%	(21,150)
Building Plan Review Fee	50,000	10,800	58,025	116%	8,025
Erosion Control Inspection Fee	25,000	2,600	29,500	118%	4,500
Drainage Plan Review Fee	2,000	-	3,100	155%	1,100
Maps and Plans	300	-	23	8%	(277)
Subtotal - Licenses and Permits	935,875	109,066	1,013,811	108%	77,936
Fines, Forfeitures and Penalties					
Court Penalties and Costs	425,000	36,124	451,717	106%	26,717
Parking Tickets	19,000	1,700	18,196	96%	(804)
Judgment and Damages	2,500	526	4,595	184%	2,095
Seizures and Forfeitures	1,000	-	-	0%	(1,000)
Subtotal - Fines, Forfeitures and Penalties	447,500	38,350	474,509	106%	27,009

REVENUE TYPES	2018 BUDGET	CURRENT MONTH	2018 YTD	% BUDGET	(UNDER) OVER
Public Charges for Services					
General Government	21,000	1,532	24,878	118%	3,878
Police Department Fees / Fingerprinting	4,500	318	4,852	108%	352
Police Department Contracted Services	15,000	397	9,274	62%	(5,726)
False Alarms	30,000	3,525	26,250	88%	(3,750)
Fire Department Fees	19,545	3,020	20,914	107%	1,369
Fire Protection Systems Fee	2,500	75	1,850	74%	(650)
Tent Inspection Permit	1,000	50	825	83%	(175)
Firework Permits	350	-	250	71%	(100)
Highway Material/Maintenance	25,000	-	4,275	17%	(20,725)
Sidewalk Snow Removal	500	-	-	0%	(500)
Sp Charge-Refuse Collection	466,260	276	650,835	140%	184,575
Sp Charge-Recycling Collection	5,000	1	9,427	189%	4,427
Weed Control	1,000	-	3,139	314%	2,139
Cemetery	176	-	150	85%	(26)
Park Rentals	15,000	1,271	20,503	137%	5,503
Recreation Fees	7,000	(66)	4,580	65%	(2,420)
Property Record Mgmt Fees	32,000	2,137	30,037	94%	(1,963)
Subtotal - Public Charges for Services	645,831	12,536	811,918	126%	166,087
Miscellaneous Revenue					
Police Department Abandon Vehicle	5,000	-	10,693	214%	5,693
Interest Earnings /Change in Market Value	100,000	17,354	181,338	181%	81,338
Interest Income - TIF District #1	15,000	1,125	15,500	103%	500
Interest Income - TIF District #2	25,000	2,083	29,442	118%	4,442
General Admin Fees	4,500	1,016	10,818	240%	6,318
Rent-Town Hall	1,300	-	152	12%	(1,148)
Rent - San Districts	134,280	11,190	123,090	92%	(11,190)
Sale Police Equip	34,000	13,050	24,476	72%	(9,524)
Sale of Seized Vehicles	1,500	-	-	0%	(1,500)
Sale Hwy Equip	43,500	-	34,037	78%	(9,463)
Sale Fire Equipment	2,000	-	300	15%	(1,700)
Police Insurance Recoveries	30,000	-	-	0%	(30,000)
Insurance Dividends	10,500	-	-	0%	(10,500)
Donations-Parks	10,000	-	-	0%	(10,000)
Donations-Park Recreation	2,000	-	1,760	88%	(240)
Donations-Police	5,000	-	-	0%	(5,000)
Police Unclaimed Property	500	-	661	132%	161
Police Reimbursement	150	10	532	355%	382
Finance Reimbursement	-	-	100	0%	100
Donations-Fire Dept	200	-	-	0%	(200)
Fire Copies - Non Taxable	-	-	42	0%	42
Misc Revenues	3,000	-	2,410	80%	(590)
Fire Misc Revenue	-	-	450	0%	450
Credit Card Rebate	36,000	3,230	39,312	109%	3,312
Summer Ticket Program	5,000	-	-	0%	(5,000)
Subtotal - Miscellaneous Revenue	468,430	49,059	481,413	103%	12,983
Other Financing Sources					
Allocated Hwy Labor and Maint	222,500	16,830	147,932	66%	(74,568)
Transfer from San Dist #3	-	-	-	0%	-
Transfer from Other Funds	110,900	-	3,450,000	3111%	3,339,100
Fund Balance-Applied to Budget	125,000	-	-	0%	(125,000)
Subtotal - Other Financing Sources	458,400	16,830	3,597,932	785%	3,139,532
Total Revenues w/o Property Tax	5,243,175	564,249	8,357,480	159%	3,114,305
Total Revenues	15,936,481	564,249	19,050,799	120%	3,114,318

**TOWN OF GRAND CHUTE
GENERAL FUNDED DEPARTMENTS
2018 BUDGET STATEMENT
NOVEMBER 2018**

DEPARTMENT	2018 BUDGET	CURRENT MONTH	2018 YTD	% BUDGET	REMAINING BUDGET
General Government					
51100 Town Board	94,443	9,197	78,996	84%	15,447
51200 Municipal Court	190,148	19,344	126,933	67%	63,215
51300 Legal	45,000	11,993	60,883	135%	(15,883)
51400 General Administration	1,274,659	101,444	809,017	63%	465,642
51420 Town Clerk	166,126	13,102	151,210	91%	14,916
51440 Elections	157,480	28,116	145,399	92%	12,081
51501 Treasurer	294,418	31,778	262,165	89%	32,253
51600 Municipal Complex	301,295	19,894	250,129	83%	51,166
51910 Erroneous Taxes, Tax Refunds	180,000	477,915	492,389	274%	(312,389)
51938 Property and Liability Insurance	240,571	-	258,359	107%	(17,788)
Subtotal - General Government	2,944,140	712,783	2,635,481	90%	308,659
Public Safety					
52100 Police - Patrol	3,411,241	354,249	2,908,517	85%	502,724
52110 Police - Administration	629,109	55,808	499,856	79%	129,253
52120 Police - Investigations	845,718	97,383	673,625	80%	172,093
54100 Animal Control	4,800	29	2,591	54%	2,209
52200 Fire Department	3,304,617	323,461	2,670,313	81%	634,304
Subtotal - Public Safety	8,195,485	830,930	6,754,903	82%	1,440,582
Public Works					
53311 Highway	1,001,224	76,259	779,550	78%	221,674
53312 Winter Maintenance	221,100	12,386	222,585	101%	(1,485)
53313 Hwy Shop	297,500	36,490	256,610	86%	40,890
53420 Street Lights	325,000	25,904	270,237	83%	54,763
53520 Bus Service	652,176	54,348	543,480	83%	108,696
53620 Refuse and Landfill	476,900	54,882	366,531	77%	110,369
53635 Recycling Charges	56,200	-	36,359	65%	19,841
53640 Weed and Nuisance Control	3,160	-	1,406	45%	1,754
54910 Cemetery	2,120	-	761	36%	1,359
Subtotal - Public Works	3,035,380	260,268	2,477,519	82%	557,861
Parks and Recreation					
55200 Parks Maintenance	535,359	95,795	408,183	76%	127,176
55300 Recreation	25,930	1,047	18,160	70%	7,770
55400 Trails Maintenance	110,910	1,368	40,960	37%	69,950
56910 Forestry	69,050	2,453	36,803	53%	32,247
Subtotal - Parks and Recreation	741,249	100,662	504,106	68%	237,143

**TOWN OF GRAND CHUTE
GENERAL FUNDED DEPARTMENTS
2018 BUDGET STATEMENT
NOVEMBER 2018**

DEPARTMENT	2018 BUDGET	CURRENT MONTH	2018 YTD	%	REMAINING BUDGET
Community Development					
51502 Assessment of Property	144,396	13,194	107,559	74%	36,837
52400 Building Inspection/Code Enforcement	343,357	39,979	317,592	92%	25,765
56900 Planning and Zoning	280,074	25,232	214,508	77%	65,566
Subtotal - Community Development	767,827	78,405	639,658	83%	128,169
Other Financing Uses					
59900 Contingency	101,400	-	-	0%	101,400
Total - General Fund Operating	15,785,481	1,983,048	13,011,667	82%	2,773,814
Transfers					
59200 GF Contribution to Capital Projects	-	-	3,000,000	0%	(3,000,000)
59200 GF Contribution to Tax Increment District	-	-	-	0%	-
TOTAL - GEN'L FUND OPERATING, CAPITAL and DE	15,785,481	1,983,048	16,011,667	101%	(226,186)

**TOWN OF GRAND CHUTE
SPECIAL REVENUE FUNDS
2018 BUDGET STATEMENT
NOVEMBER 2018**

ROOM TAX	2018 BUDGET	CURRENT MONTH	2018 YTD	% BUDGET	REMAINING BUDGET
BEGINNING FUND BALANCE	75,486		75,486		
REVENUES					
Public Accomodation-Town Gen	47,500	-	9,276	20%	38,224
Public Accomodation-Town Dev	316,900	111,092	250,513	79%	66,387
Public Accomodation-Econ Dev	2,170,600	-	398,793	18%	1,771,807
TOTAL REVENUES	2,535,000	111,092	658,581	26%	1,876,419
TOTAL RESOURCES	2,610,486	111,092	734,067	28%	1,876,419
EXPENDITURES					
Economic Dev-Convention Bureau	2,170,600	-	398,793	18%	1,771,807
TOTAL EXPENDITURES	2,170,600	-	398,793	18%	1,771,807
Transfer to General Fund	364,400	111,092	259,789	71%	104,611
ENDING FUND BALANCE	75,486		75,486		
FIRE STATION DEVELOPMENT					
BEGINNING FUND BALANCE	141,978		165,741		
REVENUES					
Impact Fee	75,000	2,009	105,118	140%	(30,118)
Interest	325	432	2,587	796%	(2,262)
TOTAL REVENUES	75,325	2,441	107,705	143%	(32,380)
TOTAL RESOURCES	217,303	2,441	273,446	126%	(32,380)
EXPENDITURES					
FD Construction	-	-	-	0%	-
Transfer to Capital Projects	-	-	-	0%	-
TOTAL EXPENDITURES	-	-	-	0%	-
ENDING FUND BALANCE	217,303		273,446		

**TOWN OF GRAND CHUTE
SPECIAL REVENUE FUNDS
2018 BUDGET STATEMENT
NOVEMBER 2018**

PARK DEVELOPMENT	2018 BUDGET	CURRENT MONTH	2018 YTD	% BUDGET	REMAINING BUDGET
BEGINNING FUND BALANCE	91,333	-	108,795		
REVENUES					
Park Development Fees	55,000	2,800	48,400	88%	6,600
Interest	150	253	1,618	1079%	(1,468)
Donations	-	250	3,700	0%	(3,700)
TOTAL REVENUES	55,150	3,303	53,718	97%	1,432
Park Fund Expense	100,000	-	1,447	1%	98,553
ENDING FUND BALANCE	46,483		161,066		
FIRE PREVENTION					
FIRE PREVENTION	2018 BUDGET	CURRENT MONTH	2018 YTD	% BUDGET	REMAINING BUDGET
BEGINNING FUND BALANCE	3,737	-	3,737		
REVENUES					
Fire Safety Day Revenue	-	-	3,719	0%	(3,719)
Donations	-	-	-	0%	-
TOTAL REVENUES	-	-	3,719	0%	(3,719)
EXPENDITURES	-	-	4,604	0%	(4,604)
ENDING FUND BALANCE	3,737	-	2,852		
POLICE K-9					
POLICE K-9	2018 BUDGET	CURRENT MONTH	2018 YTD	% BUDGET	REMAINING BUDGET
BEGINNING FUND BALANCE	3,053	-	3,053		
REVENUES					
Donations	250	-	1,116	446%	(866)
TOTAL REVENUES	250	-	1,116	446%	(866)
EXPENDITURES	200	163	1,424	712%	(1,224)
ENDING FUND BALANCE	3,103		2,745		

**TOWN OF GRAND CHUTE
CAPITAL PROJECTS FUND
2018 BUDGET STATEMENT
NOVEMBER 2018**

	2018 BUDGET	CURRENT MONTH	2018 YTD	% BUDGET	REMAINING BUDGET
BEGINNING FUND BALANCE	(4,027,044)		(2,375,246)		
REVENUES					
Borrowing-Long Term	7,000,000	-	5,210,000	74%	1,790,000
General Fund/Mill Tax	-	-	-	0%	-
Developer Contributions	-	-	108,275	0%	(108,275)
Interest	-	-	-	0%	-
Transfer From Other Funds	-	-	-	0%	-
TOTAL REVENUES	7,000,000	-	5,318,275	76%	1,681,725
TOTAL RESOURCES	2,972,956	-	2,943,029	99%	1,681,725
EXPENDITURES					
Recreation-Park/Trails	533,200	-	486,003	91%	47,197
Fire Capital Outlay	-	-	-	0%	-
Street Construction	3,682,200	1,430,815	3,366,093	91%	316,107
Highway Building Outlay	700,000	-	-	0%	700,000
Accounting Software	-	-	-	0%	-
Public Facilities	150,000	-	29,948	20%	120,052
Other General Government	65,800	142	73,614	112%	(7,814)
Signage & Communication Equipment	-	-	-	0%	-
Issuance Fee	100,000	-	69,354	69%	30,646
TOTAL EXPENDITURES	5,231,200	1,430,957	4,025,013	77%	1,206,187
ENDING FUND BALANCE	(2,258,244)		(1,081,983)		

**TOWN OF GRAND CHUTE
DEBT SERVICE FUND
2018 BUDGET STATEMENT
NOVEMBER 2018**

	2018 BUDGET	CURRENT MONTH	2018 YTD	% BUDGET	REMAINING BUDGET
BEGINNING FUND BALANCE	589,911		498,665		
REVENUES					
Mil Tax	1,000,000	-	1,000,000	100%	-
Borrowing L/T - Refunding Bonds	-	-	-	0%	-
Premium on Debt Issue	-	-	234,480	0%	(234,480)
From Special Assessments	1,727,300	-	1,727,300	100%	-
From Park Development	-	-	-	0%	-
From Fire Impact Fee Fund	-	-	-	0%	-
TOTAL REVENUES	2,727,300	-	2,961,780	109%	(234,480)
EXPENDITURES					
Debt Principal-'08	585,000	-	585,000	100%	-
Debt Principal-'09	385,000	-	385,000	100%	-
Debt Principal-'10	600,000	-	600,000	100%	-
Debt Principal-'12	735,000	-	735,000	100%	-
Debt Principal-'16	675,000	675,000	675,000	100%	-
Debt Interest-'08	23,400	-	23,400	100%	-
Debt Interest-'09	26,163	-	26,163	100%	1
Debt Interest-'10	49,651	24,825	49,650	100%	1
Debt Interest-'12	49,581	-	49,581	100%	(0)
Debt Interest-'16	167,897	-	83,948	50%	83,949
Contractual Services	4,000	-	3,800	95%	200
TOTAL EXPENDITURES	3,300,692	699,825	3,216,542	97%	84,150
ENDING FUND BALANCE	16,519		243,902		

**TOWN OF GRAND CHUTE
SPECIAL ASSESSMENT FUNDS
2018 BUDGET STATEMENT
NOVEMBER 2018**

SPECIAL ASSESSMENTS	2018 BUDGET	CURRENT MONTH	2018 YTD	% BUDGET	REMAINING BUDGET
BEGINNING FUND BALANCE	4,290,370		4,679,742		
REVENUES					
Special Assessments	1,000,000	2,953	1,094,938	109%	(94,938)
Interest on Special Assessments	87,000	(30)	78,497	90%	8,503
TOTAL REVENUES	1,087,000	2,923	1,173,435	108%	(86,435)
TOTAL RESOURCES	5,377,370	2,923	5,853,177	109%	(86,435)
EXPENDITURES					
Uncollectible Special Assessment	-	-	-	0%	-
Transfer to Debt Service	1,727,300	-	1,727,300	100%	-
Transfer to General Fund	-	-	-	0%	-
TOTAL EXPENDITURES	1,727,300	-	1,727,300	100%	-
ENDING FUND BALANCE	3,650,070	2,923	4,125,877		

**TOWN OF GRAND CHUTE
TAX INCREMENT DISTRICT NO. 1
2018 BUDGET STATEMENT
NOVEMBER 2018**

	2018 BUDGET	CURRENT MONTH	2018 YTD	% BUDGET	REMAINING BUDGET
BEGINNING FUND BALANCE	(162,702)		58,157		
REVENUES					
Borrowing-Long Term	-	-	-	0%	-
General Fund/Mill Tax	175,000	-	467,747	267%	(292,747)
Miscellaneous Income	-	-	-	0%	-
Interest	500	(52)	3,085	617%	(2,585)
Sale of Land	-	-	-	0%	-
Transfer from General Fund	-	-	-	0%	-
TOTAL REVENUES	175,500	(52)	470,832	0%	(295,332)
TOTAL RESOURCES	12,798	(52)	528,989	0%	(295,332)
EXPENDITURES					
Land Acquisition	-	-	-	0%	-
Site Development	-	-	-	0%	-
Landscape/Tree Enhancement	-	-	-	0%	-
Contracted Services	1,000	-	-	0%	1,000
Street Outlay	-	-	-	0%	-
Traffic Signals	-	-	-	0%	-
Streetlights	-	-	-	0%	-
Water Outlay	-	-	-	0%	-
Sewer Outlay	-	-	-	0%	-
Storm Outlay	-	-	-	0%	-
Administrative Expenses	8,360	692	6,063	73%	2,297
Debt Expense	181,961	145,000	163,481	90%	18,480
Interest to General Fund	15,000	1,125	15,500	103%	(500)
Transfer to General Fund	-	-	450,000	0%	(450,000)
TOTAL EXPENDITURES	206,321	146,817	635,044	0%	(428,723)
ENDING FUND BALANCE	(193,523)		(106,055)		

**TOWN OF GRAND CHUTE
TAX INCREMENT DISTRICT NO. 2
2018 BUDGET STATEMENT
NOVEMBER 2018**

	2018 BUDGET	CURRENT MONTH	2018 YTD	% BUDGET	REMAINING BUDGET
BEGINNING FUND BALANCE	(326,120)		(191,923)		
REVENUES					
Borrowing-Long Term	2,200,000	-	3,143,666	143%	(943,666)
General Fund/Mill Tax	150,000	-	323,301	216%	(173,301)
Miscellaneous Income	-	-	-	0%	-
Interest	-	26	45	0%	(45)
Sale of Land	500,000	-	-	0%	500,000
Transfer from General Fund	-	-	3,000,000	0%	(3,000,000)
TOTAL REVENUES	2,850,000	26	6,467,012	0%	(3,617,012)
TOTAL RESOURCES	2,523,880	26	6,275,089	0%	(3,617,012)
EXPENDITURES					
Land Acquisition	-	-	3,124,416	0%	(3,124,416)
Site Development	-	3,336	4,636	0%	(4,636)
Landscape/Tree Enhancement	-	-	-	0%	-
Contracted Services	10,000	9,732	40,786	408%	(30,786)
Street Outlay	1,043,500	-	-	0%	1,043,500
Traffic Signals	-	-	-	0%	-
Streetlights	-	-	-	0%	-
Water Outlay	96,525	-	-	0%	96,525
Sewer Outlay	96,525	-	-	0%	96,525
Storm Outlay	764,400	-	1,645	0%	762,755
Administrative Expenses	144,350	2,010	20,144	14%	124,206
Debt Expense	20,000	-	46,442	232%	(26,442)
Interest to General Fund	25,000	2,083	29,442	118%	(4,442)
Transfer to General Fund	-	-	3,000,000	0%	(3,000,000)
TOTAL EXPENDITURES	2,200,300	17,160	6,267,510	0%	(4,067,210)
ENDING FUND BALANCE	323,580		7,579		

**TOWN OF GRAND CHUTE
TAX INCREMENT DISTRICT NO. 3
2018 BUDGET STATEMENT
NOVEMBER 2018**

	2018 BUDGET	CURRENT MONTH	2018 YTD	% BUDGET	REMAINING BUDGET
BEGINNING FUND BALANCE	(17,510)		(19,888)		
REVENUES					
Borrowing-Long Term	1,500,000	-	-	0%	1,500,000
General Fund/Mill Tax	-	-	-	0%	-
WEDC Idle Sites Grant	-	-	500,000	0%	(500,000)
Miscellaneous Income	-	-	-	0%	-
Interest	-	(1,953)	(4,281)	0%	4,281
Sale of Land	-	-	-	0%	-
Transfer from General Fund	-	-	-	0%	-
TOTAL REVENUES	1,500,000	(1,953)	495,719	0%	1,004,281
TOTAL RESOURCES	1,482,490	(1,953)	475,831	0%	1,004,281
EXPENDITURES					
Land Acquisition	120,000	-	-	0%	120,000
Site Development	-	-	-	0%	-
Landscape/Tree Enhancement	-	-	-	0%	-
Contracted Services	10,000	-	-	0%	10,000
Street Outlay	1,000,000	-	-	0%	1,000,000
Traffic Signals	-	124,440	1,268,747	0%	(1,268,747)
Streetlights	-	-	-	0%	-
Water Outlay	-	-	-	0%	-
Sewer Outlay	-	-	-	0%	-
Storm Outlay	-	-	-	0%	-
Building Demolition	-	-	490,000	0%	(490,000)
Administrative Expenses	39,250	3,133	13,357	34%	25,893
Debt Expense	20,000	-	-	0%	20,000
Interest to General Fund	-	-	-	0%	-
Transfer to General Fund	-	-	-	0%	-
TOTAL EXPENDITURES	1,189,250	127,573	1,772,105	0%	(582,855)
ENDING FUND BALANCE	293,240		(1,296,273)		



AGENDA REQUEST
3/5/2019

TOPIC: Special assessment methodology for the 2019 Elsner Road urbanization project.

<input type="checkbox"/> New Business <input checked="" type="checkbox"/> Unfinished Business <input type="checkbox"/> Reports <input type="checkbox"/> Closed Session <input type="checkbox"/> Ordinance/Resolution	Meeting: Town Board
Department Reporting: Public Works	Submitted By: Katie Schwartz, Director PW

ISSUE: Shall the Town Board amend the approved methodology for special assessments for street, storm sewer, sanitary and water improvements proposed for the 2019 Elsner Road urbanization project.

BACKGROUND/ANALYSIS: At the December 18, 2018 Town Board meeting the Board approved the special assessment methodology for the Elsner Road urbanization project to include street urbanization, storm sewer, sanitary sewer and water. The approved method included the storm sewer assessment capping out at the \$20/LF for residential frontage and \$40/LF for commercial. In addition, the assessment methodology approved for sanitary sewer and watermain is based on frontage per the assessment policy. The schedule of assessments approved was for a 67% residential street assessment. A 50% residential street schedule was provided for discussion purposes. The assessment schedule mailed to the property owners for the public hearing held on February 20, 2019 was the 67% residential schedule with actual bid prices received by the Town. That schedule is provided here as Attachment No. 1. Attachments No. 2-4 are the preliminary resolution mapping, zoning map, and map with parcel numbers, respectively. A 50% residential schedule has also been provided, with the actual bid prices, as Attachment No. 5.

Some additional information is provided below to address some questions and concerns that have been raised.

DEFERRALS IN CASES OF FINANCIAL HARDSHIP:

Section IX.B of the Town's Policy for Special Assessments does allow for deferrals in cases of financial hardship, including properties held in a revocable trust. Properties owned by a corporation, partnership, or trust are ineligible for a special assessment deferral based on financial hardship.

CONNECTION DEFERMENT TO WATER AND SANITARY SEWER:

Chapter 523-37 of the Town's Municipal Code states that "All premises to which water service is made available by the placement and/or extension of water main shall connect to the water system no later than 90 days from the date that service is first made available." It goes on to allow for deferment based on financial hardship but "In no event may the time for connection to the water system be extended beyond five years from the date that service is first made available." Chapter 440-3 of the Town's Municipal Code has the same provision for sanitary sewer. In addition, the Town's Policy for Special Assessments has a section regarding amortization of existing private facilities which states that "In the event that a property has installed a new or replacement private

sanitary sewer system (or private water system) within ten (10) years of installation of a public system, the property owner in question may defer hook-up and payment of the principal amount of the special assessments on the public system for up to ten (10) years following completion of the public system." Payment of annual interest is required and immediate hook-up required if the system fails or needs replacement.

SANITARY/WATER ASSESSMENTS ON COMMERCIAL LOTS WITH MULTIPLE FRONTAGES:

According to Section IV.B.1.a commercial corner lots, such as 101037300/4501 N. Richmond Street & 101034101/850 W. Elsner Road, are calculated by subtracting the long side or 120 feet, whichever is less, from the sum of the frontages. Section IV.B.1.b commercial parcels with frontages on three streets, 101034100/4615 & 4623, are calculated by subtracting 240 feet or the sum of the shortest frontage plus 120 feet (whichever is less) from the sum of the three frontages. As a result, if the sewer is extended later no further assessment would be made except if an additional street would be added such as N. Galaxy. For both parcel 101037300 and 101034100, with frontage on STH 47/N. Richmond Street, it is not reasonable in this instance to assess for the frontage on STH 47 as the schedule indicates because neither Town sanitary sewer nor watermain will likely every be placed along this frontage. An exception to the policy could be considered for this circumstance.

UNIQUE CIRCUMSTANCES:

As you know, parcel 101037300/4501 N. Richmond Street is zoned CL but is currently residential use which is a unique circumstance. When asked if the difference between the commercial and residential assessment amount could be deferred until the property is put into commercial use, the Town Attorney stated the following in a 2-26-2019 email: "In my opinion this was a reasonable method of deferral, but you need to be careful to find the trigger point when the deferred assessment becomes due." The residential portion would be approximately 40% of the commercial assessment.

RECOMMENDATION: Staff continues to recommend that the special assessment methodology for this project be on a "per foot of frontage" basis in accordance with the current Special Assessment Policy with a 2/3 - 1/3 ratio for residential properties for the street portion of the assessment. Storm, sanitary, and water will be on a "per foot of frontage" basis. All over-build and ped/bike facilities have been removed from the residential portion of the project costs prior to the calculation of the residential special assessments. The Edgewood Acres Subdivision will be included in the schedule of special assessments for the street work based on frontage of the subdivision on Elsner. This methodology correlates to Attachment No. 1 - Elsner schedule of special assessments (67% residential street) and is what was presented at the Public Hearing on February 20, 2019.

FISCAL IMPACT: CIP

This project has been included in the 2019 CIP. The estimated total project cost is \$3,234,321.69 with the Town portion being 75% and with the assessed portion being 25% under the 67% residential street schedule. All properties are able to finance the assessments with the Town for up to 10 years at the current bond rate of 2.48% plus 2% or 4.58%.

ATTACHMENTS:

- Attachment No. 1 - Elsner schedule of special assessments (67% residential street) - based on bid prices
- Attachment No. 2 - Resolution mapping for urbanization, storm, sanitary/water
- Attachment No. 3 - Zoning map
- Attachment No. 4 - Map with parcel numbers
- Attachment No. 5 - Elsner schedule of special assessments (50% residential street) - based on bid prices
- Attachment No. 6 - Agenda request memo from 12-18-19

Town of Grand Chute
Elsner Road
North Gillett Street to STH 47
G0006-930325

Project Costs:

Sanitary Sewer Costs (based on low bid):

Description	Unit	Estimated Quantity	Unit Price	Amount	Assessable Amount
8" Sanitary Sewer	LF	2065	\$82.85	\$171,085.25	\$85,542.63
6" Sanitary Lateral	LF	33	\$114.22	\$3,769.26	\$1,884.63
4" Sanitary Lateral	LF	375	\$67.47	\$25,301.25	\$12,650.63
Sanitary Manholes	VF	109.95	\$381.08	\$41,899.75	\$20,949.87
Connect to Existing Sanitary Manhole	Each	1	\$1,783.00	\$1,783.00	\$891.50
Adjust Sanitary Manhole Rim	Each	4	\$588.25	\$2,353.00	\$1,176.50
Subtotal:				\$246,191.51	\$123,095.75
Engineering:				\$36,928.73	\$18,464.36
Contingencies (15%):				\$36,928.73	\$18,464.36
Subtotal:				\$320,048.96	\$160,024.48
Administration (5%):				\$16,002.45	\$8,001.22
Total project cost:				\$336,051.41	\$168,025.70

Storm Sewer Costs (based on low bid):

Description	Unit	Estimated Quantity	Unit Price	Amount	R-1,R-2 & AGD Zoning Assessable Amount	Other Zoning Assessable Amount
Remove Headwall for 54"x66" Corrugated Metal Culvert	Each	2	\$420.00	\$840.00	\$0.00	\$0.00
48"x76" RCP Class IV Horizontal Elliptical	LF	136	\$258.88	\$35,207.68	\$0.00	\$0.00
North Headwall	LS	1	\$16,649.00	\$16,649.00	\$0.00	\$0.00
South Headwall	LS	1	\$26,359.00	\$26,359.00	\$0.00	\$0.00
19"x30" RCP CI IV Storm Sewer	LF	652	\$82.21	\$53,600.92	\$12,372.35	\$18,761.30
24" RCP Storm Sewer	LF	288	\$57.55	\$16,574.40	\$4,822.27	\$8,287.20
24" Storm Sewer	LF	37	\$51.92	\$1,921.04	\$702.11	\$1,064.68
15" RCP Storm Sewer	LF	235	\$47.44	\$11,148.40	\$4,459.36	\$6,762.13
15" Storm Sewer	LF	1805	\$41.86	\$75,557.30	\$34,251.68	\$51,938.88
12" Storm Sewer	LF	555	\$34.92	\$19,380.60	\$10,531.68	\$15,970.13
12" Storm Lead	LF	580	\$34.67	\$20,108.60	\$11,006.08	\$16,689.50
12" RCP Class IV Storm Lead	LF	122	\$43.88	\$5,353.36	\$2,315.07	\$3,510.55
8" Storm Lead	LF	284	\$31.32	\$8,894.88	\$5,389.18	\$8,172.10
6" Storm Lead	LF	30	\$34.37	\$1,031.10	\$502.32	\$863.25
6" Storm Lateral	LF	108	\$42.04	\$4,540.32	\$2,049.41	\$3,107.70
4" Storm Lateral	LF	490	\$42.29	\$20,722.10	\$9,298.24	\$14,099.75
6' Diameter Storm Manhole	VF	23.9	\$734.30	\$17,549.77	\$3,710.62	\$5,749.74
5' Diameter Storm Manhole	VF	6.21	\$481.15	\$2,987.94	\$964.14	\$1,493.97
4' Diameter Storm Manhole	VF	83.74	\$388.14	\$32,502.84	\$13,001.14	\$20,145.75
Catch Basin	Each	14	\$1,930.28	\$27,023.92	\$10,809.57	\$13,511.96
Inlet	Each	8	\$1,396.43	\$11,171.44	\$4,468.58	\$5,585.72
Yard Drain	Each	12	\$1,232.71	\$14,792.52	\$5,917.01	\$7,396.26
Ditch Inlet	Each	1	\$1,231.66	\$1,231.66	\$492.66	\$615.83
Adjust Storm Manhole Rim	Each	1	\$588.25	\$588.25	\$235.30	\$294.13
Adjust Ditch Inlet Rim	Each	2	\$588.25	\$1,176.50	\$470.60	\$588.25
24" Metal Endwall With Trash Guard	Each	1	\$606.75	\$606.75	\$242.70	\$303.38
12" Metal Endwall With Trash Guard	Each	3	\$297.00	\$891.00	\$356.40	\$445.50
8" Endwall	Each	1	\$289.20	\$289.20	\$115.68	\$144.60
6" Cleanout	Each	3	\$190.41	\$571.23	\$228.49	\$285.62
4" Cleanout	Each	21	\$136.76	\$2,871.96	\$1,148.78	\$1,435.98
Connect to Existing Lateral	Each	16	\$82.53	\$1,320.48	\$528.19	\$660.24
Inlet Protection	Each	42	\$75.00	\$3,150.00	\$1,260.00	\$1,575.00
Biofilter 1	LS	1	\$5,300.00	\$5,300.00	\$0.00	\$0.00
Biofilter 2	LS	1	\$11,900.00	\$11,900.00	\$0.00	\$0.00
Biofilter 3	LS	1	\$9,150.00	\$9,150.00	\$0.00	\$0.00
Biofilter 4	LS	1	\$11,050.00	\$11,050.00	\$0.00	\$0.00
Biofilter 5	LS	1	\$10,700.00	\$10,700.00	\$0.00	\$0.00
Biofilter 6	LS	1	\$11,500.00	\$11,500.00	\$0.00	\$0.00
6 Inch Perforated Drain Pipe for Biofilter	LF	370	\$10.00	\$3,700.00	\$0.00	\$0.00
6" Storm Lead for Biofilters	LF	110	\$20.00	\$2,200.00	\$0.00	\$0.00
10" Stand Pipe for Biofilter	VF	2.71	\$450.00	\$1,219.50	\$0.00	\$0.00
12" Stand Pipe for Biofilter	VF	2.94	\$500.00	\$1,470.00	\$0.00	\$0.00

Biofilter Cleanouts	Each	12	\$550.00	\$6,600.00	\$0.00	\$0.00
Construct Flood Storage Area, W. Starview Drive	LS	1	\$1,773.50	\$1,773.50	\$0.00	\$0.00
			Subtotal:	\$513,177.17	\$141,649.62	\$209,459.07
			Engineering:	\$76,976.57	\$21,247.44	\$31,418.86
			Contingencies (15%):	\$76,976.57	\$21,247.44	\$31,418.86
			Subtotal:	\$667,130.31	\$184,144.51	\$272,296.79
			Administration (5%):	\$33,356.52	\$9,207.23	\$13,614.84
			Total project cost:	\$700,486.83	\$193,351.73	\$285,911.63

Street Costs (based on low bid):

Description	Unit	Estimated Quantity	Unit Price	Amount	R-1,R-2 & AGD	Other
					Zoning Assessable Amount	Zoning Assessable Amount
Remove Concrete Flume	Each	2	\$500.00	\$1,000.00	\$666.67	\$1,000.00
Remove culvert	Each	24	\$500.00	\$12,000.00	\$8,000.00	\$12,000.00
24" Corrugated Metal Culvert	LF	50	\$47.49	\$2,374.50	\$1,583.00	\$2,374.50
24" Metal End Section	Each	4	\$227.25	\$909.00	\$606.00	\$909.00
Sawcut bituminous pavement and driveways	LF	270	\$3.22	\$869.40	\$579.60	\$869.40
Sawcut curb & gutter	LF	35	\$3.22	\$112.70	\$75.13	\$112.70
Sawcut Concrete Driveway	LF	60	\$3.22	\$193.20	\$128.80	\$193.20
Remove asphalt driveway	SY	185	\$4.00	\$740.00	\$493.33	\$740.00
Mill asphalt pavement	SY	11700	\$0.01	\$117.00	\$78.00	\$117.00
Remove curb and gutter	LF	737	\$2.00	\$1,474.00	\$982.67	\$1,474.00
Remove Concrete Driveway	SY	124	\$4.00	\$496.00	\$330.67	\$496.00
Excavation	CY	15925	\$7.74	\$123,259.50	\$46,229.98	\$123,259.50
Embankment	CY	7185	\$0.01	\$71.85	\$26.95	\$71.85
Geotextile Fabric Type SAS	SY	19200	\$1.34	\$25,728.00	\$13,805.27	\$25,728.00
Place Salvaged Milled Asphalt	Tons	1600	\$0.01	\$16.00	\$8.59	\$16.00
Base aggregate dense, 3 inch	Tons	13500	\$11.14	\$150,390.00	\$40,348.54	\$150,390.00
Base aggregate dense, 1-1/4 inch	Tons	9800	\$11.52	\$112,896.00	\$60,578.34	\$112,896.00
Asphalt driveway, 3"	SY	600	\$23.30	\$13,980.00	\$9,320.00	\$13,980.00
Hot mix asphalt, 3MT 58-28 S (lower layer)	Tons	3400	\$57.50	\$195,500.00	\$76,666.67	\$195,500.00
Hot mix asphalt, 4MT 58-28 S (upper layer)	Tons	2000	\$64.10	\$128,200.00	\$70,384.31	\$128,200.00
Asphalt Trail (3 Inch)	Tons	750	\$78.00	\$58,500.00	\$0.00	\$0.00
Concrete curb and gutter, 30"	LF	7950	\$11.65	\$92,617.50	\$61,745.00	\$92,617.50
Concrete Driveway	SY	125	\$57.50	\$7,187.50	\$4,791.67	\$7,187.50
Concrete Curb Ramp (6")	SY	260	\$54.50	\$14,170.00	\$0.00	\$0.00
Drill Tie Bars	Each	34	\$15.00	\$510.00	\$0.00	\$0.00
Detectable Warning Field	SF	184	\$30.00	\$5,520.00	\$0.00	\$0.00
Restoration	SY	17650	\$3.96	\$69,894.00	\$46,596.00	\$69,894.00
Tree Removal	In-Dia	150	\$45.00	\$6,750.00	\$4,500.00	\$6,750.00
Clearing and Grubbing	Sta.	7	\$900.00	\$6,300.00	\$4,200.00	\$6,300.00
Remove Sign	Each	6	\$50.00	\$300.00	\$200.00	\$300.00
Pavement Marking Epoxy 4 Inch	LF	9500	\$0.75	\$7,125.00	\$4,750.00	\$7,125.00
Pavement Marking, 6 Inch, Crosswalk, Epoxy	LF	410	\$5.25	\$2,152.50	\$1,435.00	\$2,152.50
Pavement Marking, 8-inch, Channelizing, Epoxy	LF	130	\$1.40	\$182.00	\$121.33	\$182.00
Pavement Marking, 12-inch, Stop Bar, Epoxy	LF	95	\$7.75	\$736.25	\$490.83	\$736.25
Pavement Marking, Arrows, Type 2, Epoxy	Each	4	\$215.00	\$860.00	\$573.33	\$860.00
Post Tubular Steel, 2-3/8 Inch Diameter x 10 Foot	Each	16	\$180.00	\$2,880.00	\$1,920.00	\$2,880.00
Signs, Reflective	SF	124.75	\$25.00	\$3,118.75	\$2,079.17	\$3,118.75
Erosion Control Mat, Urban Class I, Type A	SY	500	\$2.20	\$1,100.00	\$733.33	\$1,100.00
Silt Fence	LF	1330	\$2.00	\$2,660.00	\$1,773.33	\$2,660.00
Traffic control	LS	1	\$105,500.00	\$105,500.00	\$70,333.33	\$105,500.00
Remove and reset mailboxes	Each	9	\$113.00	\$1,017.00	\$678.00	\$1,017.00
Landmark Reference Monuments	Each	5	\$300.00	\$1,500.00	\$1,000.00	\$1,500.00
Tracking Pad	Each	3	\$1,928.34	\$5,785.02	\$3,856.68	\$5,785.02
Street Lights	LS	1	\$80,000.00	\$80,000.00	\$53,333.33	\$80,000.00
			Subtotal:	\$1,246,692.67	\$596,002.86	\$1,167,992.67
			Engineering:	\$187,003.90	\$89,400.43	\$175,198.90
			Contingencies (15%):	\$187,003.90	\$89,400.43	\$175,198.90
			Subtotal:	\$1,620,700.47	\$774,803.71	\$1,518,390.47
			Administration (5%):	\$81,035.02	\$38,740.19	\$75,919.52
			Total project cost:	\$1,701,735.49	\$813,543.90	\$1,594,309.99

Water Main Costs (based on low bid):

Description	Unit	Estimated Quantity	Unit Price	Amount	Assessable Amount
12" Water Main	LF	2860	\$74.58	\$213,298.80	\$46,925.74
6" Hydrant Lead	LF	38	\$113.22	\$4,302.36	\$2,151.18
6" Water Service	LF	5	\$85.64	\$428.20	\$214.10
1" Water Service	LF	277	\$88.67	\$24,561.59	\$12,280.80

12" Valve	Each	11	\$3,215.70	\$35,372.70	\$17,686.35
6" Valve or Auxiliary Valve	Each	2	\$2,267.55	\$4,535.10	\$2,267.55
Hydrant with Auxiliary Valve	Each	6	\$5,249.55	\$31,497.30	\$15,748.65
1" Corporation Stop, Curb Stop & Stop Box	Each	12	\$650.90	\$7,810.80	\$3,905.40
Replace Hydrant Bolts	Each	2	\$1,586.40	\$3,172.80	\$1,586.40
Replace Tee Bolts	Each	3	\$1,502.40	\$4,507.20	\$2,253.60
Replace Valve Bolts	Each	6	\$1,502.40	\$9,014.40	\$4,507.20
Remove Reducer & Temporary Hydrant	Each	1	\$933.00	\$933.00	\$466.50
Relay 12" Water Main	LF	60	\$250.87	\$15,052.20	\$0.00
Relocate Hydrant	Each	1	\$1,107.30	\$1,107.30	\$0.00
Remove Hydrant & Auxiliary Valve	Each	1	\$1,101.00	\$1,101.00	\$0.00
12"x8" Cross	Each	1	\$6,710.35	\$6,710.35	\$0.00
			Subtotal:	\$363,405.10	\$109,993.46
			Engineering:	\$54,510.77	\$16,499.02
			Contingencies (15%):	\$54,510.77	\$16,499.02
			Subtotal:	\$472,426.63	\$142,991.50
			Administration (5%):	\$23,621.33	\$7,149.57
			Total project cost:	\$496,047.96	\$150,141.07

Setting Assessment Rates

Sanitary Sewer Assessment:

Assessable cost:	\$168,025.70
Assessable frontage:	4129.66 feet
Assessment rate:	\$40.69 per LF

Storm Sewer Assessment:

R1, R-2, & AGD maximum rate:	\$20.00 per LF
Assessable cost:	\$193,351.73
Allocated assessable cost:	\$109,982.14
Assessable frontage:	1575.64 feet
Assessment rate:	\$69.80 per LF

Other zoning maximum rate:	\$40.00 per LF
Assessable cost:	\$285,911.63
Allocated assessable cost:	\$123,279.66
Assessable frontage:	1194.38 feet
Assessment rate:	\$103.22 per LF

Street Assessment:

R-1, R-2, & AGD Assessments:

R-1, R-2, & AGD assessable cost:	\$813,543.90
Allocated assessable cost:	\$162,362.55
Street length x 2:	7895.00 feet
Assessable frontage:	1575.64 feet
Assessment rate:	\$103.05 per LF

Other Zoning Assessments:

Other Zoning assessable cost:	\$1,594,309.99
Allocated assessable cost:	\$241,192.14
Street length x 2:	7895.00 feet
Assessable frontage:	1194.38 feet
Assessment rate:	\$201.94 per LF

Area Assessments:

Edgewood Acres frontage along Elsner Road:	1285.91 feet
Area assessable cost at residential rate:	\$132,507.19
Assessable parcels:	145 parcels
Assessment rate:	\$913.84 per parcel

Water Main Assessment:

Assessable cost:	\$150,141.07
Assessable frontage:	4129.66 feet
Assessment rate:	\$36.36 per LF

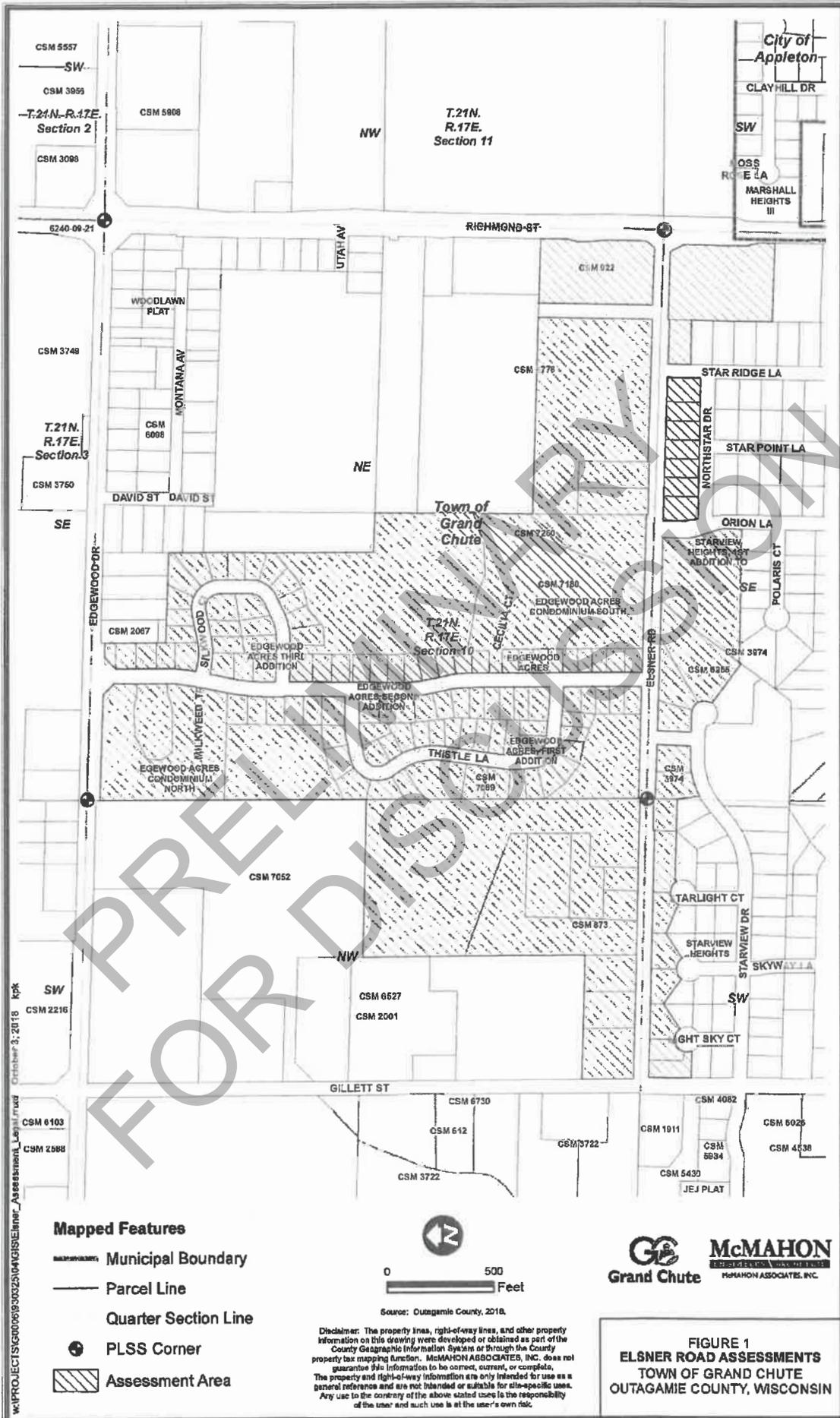
Schedule of Assessments

Property Owner	Address	Parcel Number	Zoning	Total Elsner Road Frontage	Sanitary Sewer Assessable Frontage	Sanitary Sewer Assessment	R-1,R-2 & AGD		Other		R-1,R-2 & AGD		Other		Street Assessment	Street Area Assessment	Water Main Frontage	Water Main Assessment	Total Assessment
							Storm Sewer Assessable Frontage	Storm Sewer Assessment	Storm Sewer Assessable Frontage	Storm Sewer Assessment	Storm Sewer Assessable Frontage	Storm Sewer Assessment							
WOLFF, RONALD G	4615/4623 N RICHMOND ST	101034100	CL	307.43	1148.46	\$46,728.01	0.00	224.10	\$8,964.00	0.00	224.10	\$45,254.58	\$0.00	1148.46	\$0.00	\$0.00	\$41,754.29	\$142,700.88	
BIG DREAMERS LLC	850 W ELSNER RD	101034101	R-4	678.01	0.00	\$0.00	0.00	594.68	\$23,787.20	0.00	594.68	\$120,089.20	\$0.00	0.00	\$0.00	\$0.00	\$0.00	\$143,876.40	
ZITZELSBERGER, MARK J	942 W ELSNER RD	101034400	AGD	116.50	116.50	\$4,740.10	116.50	0.00	\$2,330.00	116.50	0.00	\$12,004.80	\$0.00	116.50	\$0.00	116.50	\$4,235.56	\$23,310.46	
ZITZELSBERGER, MARK J	944 W ELSNER RD	101034500	AGD	116.50	116.50	\$4,740.10	116.50	0.00	\$2,330.00	116.50	0.00	\$12,004.80	\$0.00	116.50	\$0.00	116.50	\$4,235.56	\$23,310.46	
NIEMI, WENDY R	1320 W ELSNER RD	101035200	AGD	0.00	164.00	\$6,672.76	75.00	0.00	\$1,500.00	75.00	0.00	\$7,728.41	\$0.00	164.00	\$0.00	164.00	\$5,962.51	\$21,863.68	
MARTIN, ANTHONY J	1540 W ELSNER RD	101035202	AGD	174.32	174.32	\$7,092.65	174.32	0.00	\$3,486.40	174.32	0.00	\$17,962.88	\$0.00	174.32	\$0.00	174.32	\$6,337.71	\$34,879.65	
MARTIN, DAVID J	1680 W ELSNER RD	101035205	AGD	275.44	279.23	\$11,361.18	137.72	0.00	\$2,754.40	137.72	0.00	\$14,191.42	\$0.00	279.23	\$0.00	279.23	\$10,151.90	\$38,458.90	
LEMKE, MARK H	1650 W ELSNER RD	101035206	AGD	175.00	175.00	\$7,120.32	175.00	0.00	\$3,500.00	175.00	0.00	\$18,032.96	\$0.00	175.00	\$0.00	175.00	\$6,362.43	\$35,015.71	
CALNIN & GOSS INC	W ELSNER RD	101035207	AGD	329.60	329.60	\$13,410.61	149.80	0.00	\$2,996.00	149.80	0.00	\$15,436.21	\$0.00	329.60	\$0.00	329.60	\$11,983.19	\$43,826.01	
BENZSCHAWEL, JAMES	1314 W ELSNER RD	101035300	AGD	110.00	110.00	\$4,475.63	110.00	0.00	\$2,200.00	110.00	0.00	\$11,335.00	\$0.00	110.00	\$0.00	110.00	\$3,999.24	\$22,009.87	
NIEMI, WENDY R	1500 W ELSNER RD	101035400	AGD	146.00	146.00	\$5,940.38	146.00	0.00	\$2,920.00	146.00	0.00	\$15,044.64	\$0.00	146.00	\$0.00	146.00	\$5,308.09	\$29,213.11	
KESTING IRREV TRUST, MICHAEL/LOUISE	1330 W ELSNER RD	101035500	AGD	157.43	157.43	\$6,405.44	149.80	0.00	\$2,996.00	149.80	0.00	\$15,436.21	\$0.00	157.43	\$0.00	157.43	\$5,723.65	\$30,561.29	
REIDER, JAMES E	1324 W ELSNER RD	101035501	AGD	0.00	208.01	\$8,463.42	75.00	0.00	\$1,500.00	75.00	0.00	\$7,728.41	\$0.00	208.01	\$0.00	208.01	\$7,562.57	\$25,254.39	
DANELON, ANGELO	1301 W ELSNER RD	101035700	AGD	150.00	150.00	\$6,103.13	150.00	0.00	\$3,000.00	150.00	0.00	\$15,456.82	\$0.00	150.00	\$0.00	150.00	\$5,453.51	\$30,013.46	
BARTEL REVOCABLE TRUST	4501 N RICHMOND ST	101037300	CL	458.93	854.61	\$34,771.98	0.00	375.60	\$15,024.00	0.00	375.60	\$75,848.36	\$0.00	854.61	\$0.00	854.61	\$31,070.85	\$156,715.20	
SANTIAGO, LETICIA	4513 NIGHT SKY CT	102449100	RSF	100.01	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$0.00	0.00	\$0.00	0.00	\$0.00	\$0.00	
FLAKER, PRESTON K	4514 NIGHT SKY CT	102449200	RSF	167.94	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$0.00	0.00	\$0.00	0.00	\$0.00	\$0.00	
BEYER, BRIAN J	4511 SKYWAY CT	102449900	RSF	168.19	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$0.00	0.00	\$0.00	0.00	\$0.00	\$0.00	
HUTH (LE), VIVIAN R	4512 SKYWAY CT	102450000	RSF	167.83	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$0.00	0.00	\$0.00	0.00	\$0.00	\$0.00	
RAKUN, JAMES L	4511 STARLIGHT CT	102450700	RSF	195.31	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$0.00	0.00	\$0.00	0.00	\$0.00	\$0.00	
KOESTER, MICHAEL J	4510 STARLIGHT CT	102450800	RSF	294.75	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$0.00	0.00	\$0.00	0.00	\$0.00	\$0.00	
BRANDENBURG, TIM B	1188 W STARVIEW DR	102512300	RSF	129.44	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$0.00	0.00	\$0.00	0.00	\$0.00	\$0.00	
LEDERHAUS, JASON H	1166 W STARVIEW DR	102512400	RSF	129.43	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$0.00	0.00	\$0.00	0.00	\$0.00	\$0.00	
ROMENESKO, CARL D	1140 W STARVIEW CT	102512500	RSF	146.34	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$0.00	0.00	\$0.00	0.00	\$0.00	\$0.00	
BELL, JEFFREY A	1122 W STARVIEW CT	102512600	RSF	301.42	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$0.00	0.00	\$0.00	0.00	\$0.00	\$0.00	
IHDE, STEVEN A	1100 W STARVIEW CT	102512700	RSF	174.05	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$0.00	0.00	\$0.00	0.00	\$0.00	\$0.00	
PETERSON FAMILY TRUST	938 W NORTHSTAR DR	102515800	RSF	115.01	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$0.00	0.00	\$0.00	0.00	\$0.00	\$0.00	
RANKIN, TIMOTHY J	924 W NORTHSTAR DR	102515900	RSF	90.01	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$0.00	0.00	\$0.00	0.00	\$0.00	\$0.00	
PETERSON, MARK J	906 W NORTHSTAR DR	102516000	RSF	90.00	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$0.00	0.00	\$0.00	0.00	\$0.00	\$0.00	
TOM BERCEAU CONSTRUCTION	890 W NORTHSTAR DR	102516100	RSF	90.01	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$0.00	0.00	\$0.00	0.00	\$0.00	\$0.00	
HERMUS, JEFFREY W	868 W NORTHSTAR DR	102516200	RSF	90.00	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$0.00	0.00	\$0.00	0.00	\$0.00	\$0.00	
LUKE J TREMBLE REV LIV TRUST	854 W NORTHSTAR DR	102516300	RSF	90.01	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$0.00	0.00	\$0.00	0.00	\$0.00	\$0.00	
CRISWELL, JEREMY M	840 W NORTHSTAR DR	102516400	RSF	115.01	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$0.00	0.00	\$0.00	0.00	\$0.00	\$0.00	
PRICE, BRIAN J	4600 N STAR RIDGE LA	102518100	RSF	210.02	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$0.00	0.00	\$0.00	0.00	\$0.00	\$0.00	
GCW INVESTMENTS LLC	4700 N INDIGO LA	102532700	RSF	84.95	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$913.84	0.00	\$0.00	0.00	\$0.00	\$913.84	
NELSON, YVONNE T	4712 N INDIGO LA	102532800	RSF	87.00	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$913.84	0.00	\$0.00	0.00	\$0.00	\$913.84	
KASSNER, KATHLEEN A	4724 N INDIGO LA	102532900	RSF	70.00	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$913.84	0.00	\$0.00	0.00	\$0.00	\$913.84	
VANEPEREN, BARBARA J	4736 N INDIGO LA	102533000	RSF	70.00	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$913.84	0.00	\$0.00	0.00	\$0.00	\$913.84	
MINTEN, ALEX C	4748 N INDIGO LA	102533100	RSF	70.00	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$913.84	0.00	\$0.00	0.00	\$0.00	\$913.84	
SCHROEDER, BRADLEY J	4760 N INDIGO LA	102533200	RSF	70.00	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$913.84	0.00	\$0.00	0.00	\$0.00	\$913.84	
ATKINSON, CLIFFORD M	4772 N INDIGO LA	102533300	RSF	70.00	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$913.84	0.00	\$0.00	0.00	\$0.00	\$913.84	
VOSTERS, JOHN S	4784 N INDIGO LA	102533400	RSF	70.00	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$913.84	0.00	\$0.00	0.00	\$0.00	\$913.84	
TREIBER, PATRICIA J	4800 N INDIGO LA	102533500	RSF	80.00	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$913.84	0.00	\$0.00	0.00	\$0.00	\$913.84	
ZHRINGER, STEVEN J	4824 N INDIGO LA	102533600	RSF	80.00	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$913.84	0.00	\$0.00	0.00	\$0.00	\$913.84	
REGINALD L/MICHELE R PFEIFER	4825 N INDIGO LA	102533700	RSF	70.00	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$913.84	0.00	\$0.00	0.00	\$0.00	\$913.84	
GRIMMER, ELIZABETH K	4813 N INDIGO LA	102533800	RSF	70.00	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$913.84	0.00	\$0.00	0.00	\$0.00	\$913.84	
VANFOSSEN, TYLER	4801 N INDIGO LA	102533900	RSF	70.00	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$913.84	0.00	\$0.00	0.00	\$0.00	\$913.84	
OLSON, RUSTIN H	4789 N INDIGO LA	102534000	RSF	70.00	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$913.84	0.00	\$0.00	0.00	\$0.00	\$913.84	
WALSH, DALE R	4750/1100 N THISTLE LA	102534100	RSF	263.91	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$913.84	0.00	\$0.00	0.00	\$0.00	\$913.84	
GCW INVESTMENTS LLC	4749 N INDIGO LA/4751 N THISTLE LA	102534200	RSF	170.68	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$913.84	0.00	\$0.00	0.00	\$0.00	\$913.84	
PERKS, STEPHEN J	4737 N INDIGO LA	102534300	RSF	70.00	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$913.84	0.00	\$0.00	0.00	\$0.00	\$913.84	
KEENEY, MATTHEW S	4725 N INDIGO LA	102534400	RSF	70.00	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$913.84	0.00	\$0.00	0.00	\$0.00	\$913.84	
PARKER, DAVID P	4713 N INDIGO LA	102534500	RSF	70.16	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$913.84	0.00	\$0.00	0.00	\$0.00	\$913.84	
SHAW, MARK A	4701 N INDIGO LA	102534600	RSF	214.21	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$913.84	0.00	\$0.00	0.00	\$0.00	\$913.84	
NO OWNER ON RECORD	N INDIGO LA/N SILKWOOD CI	102534704	RSF	55.00	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$913.84	0.00	\$0.00	0.00	\$0.00	\$913.84	

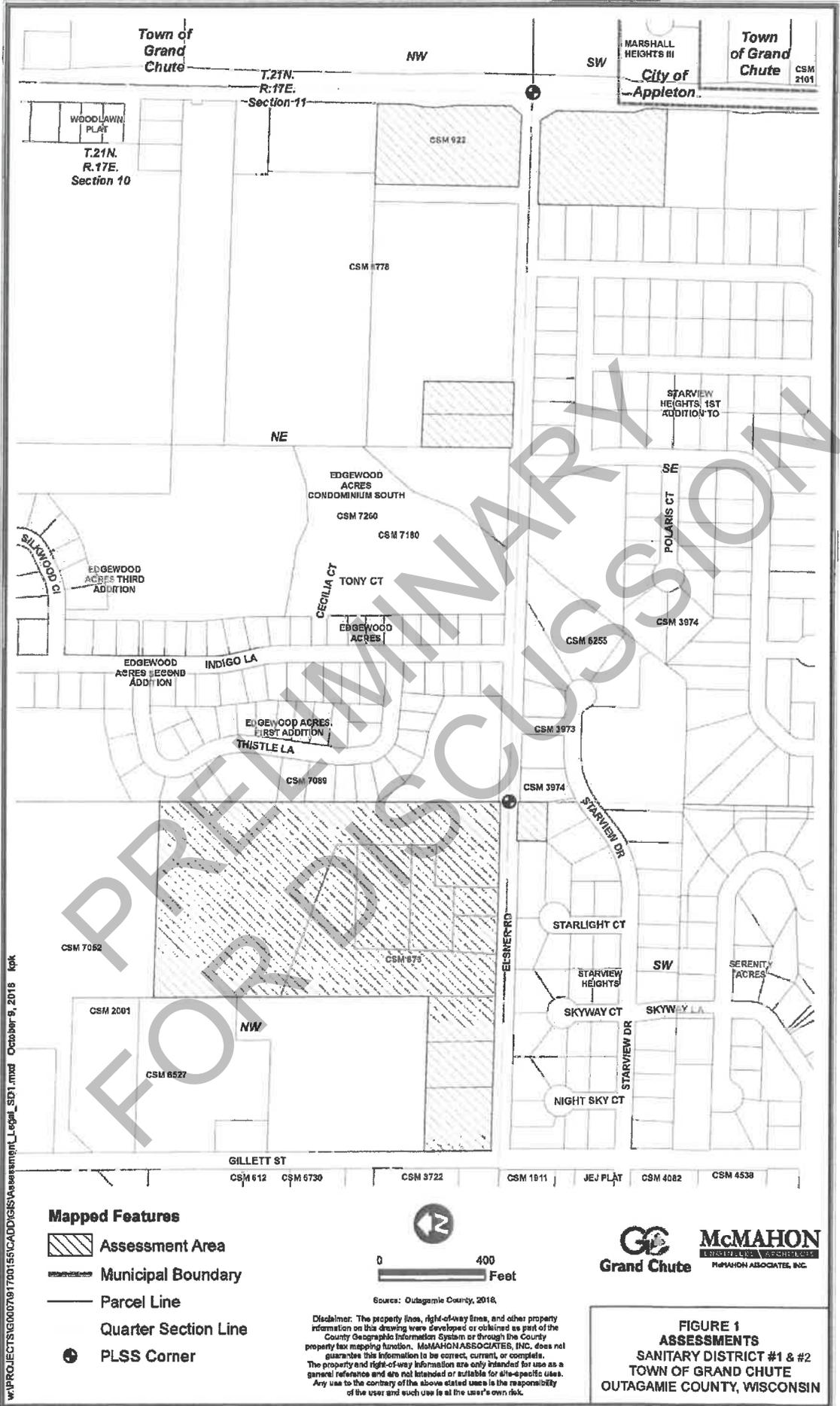
MOLLON, MICHAEL J	4862 N THISTLE LA	102536000	RSF	62.56	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$913.84	0.00	\$0.00	\$913.84
COTTON, CRAIG A	4854 N THISTLE LA	102536100	RSF	69.63	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$913.84	0.00	\$0.00	\$913.84
HUVEN, ROSS J	4846 N THISTLE LA	102536200	RSF	64.87	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$913.84	0.00	\$0.00	\$913.84
HALFORD, KARL A	4838 N THISTLE LA	102536300	RSF	66.11	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$913.84	0.00	\$0.00	\$913.84
CRAWFORD, DAVID A	4830 N THISTLE LA	102536400	RSF	70.00	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$913.84	0.00	\$0.00	\$913.84
NIGL, CHRISTOPHER J	4822 N THISTLE LA	102536500	RSF	70.00	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$913.84	0.00	\$0.00	\$913.84
DUDEK, ADAM	4810 N THISTLE LA	102536600	RSF	70.00	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$913.84	0.00	\$0.00	\$913.84
GURNEE, EMILY	4802 N THISTLE LA	102536700	RSF	59.89	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$913.84	0.00	\$0.00	\$913.84
GCW INVESTMENTS LLC	4780 N THISTLE LA	102536800	RSF	82.83	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$913.84	0.00	\$0.00	\$913.84
FREMLING, HEATHER L	4760 N THISTLE LA	102536900	RSF	70.07	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$913.84	0.00	\$0.00	\$913.84
REITER, STEVEN D	4875 N THISTLE LA	102537000	RSF	100.00	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$913.84	0.00	\$0.00	\$913.84
MARX, NICHOLAS J	4901 N THISTLE LA	102537100	RSF	99.38	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$913.84	0.00	\$0.00	\$913.84
MIELKE, ADAM C	4913 N THISTLE LA	102537200	RSF	115.00	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$913.84	0.00	\$0.00	\$913.84
REBLIN, ZACKARY J	4925 N THISTLE LA	102537300	RSF	93.98	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$913.84	0.00	\$0.00	\$913.84
WICHMAN, JEFFREY	4933 N THISTLE LA	102537400	RSF	247.62	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$913.84	0.00	\$0.00	\$913.84
LEMKE, MARK H	4878 N THISTLE LA	102537500	RSF	203.88	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$913.84	0.00	\$0.00	\$913.84
DANFORTH, JASON L	4900 N THISTLE LA	102537600	RSF	77.87	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$913.84	0.00	\$0.00	\$913.84
FEIVOR, CORY	4885 N INDIGO LA	102537700	RSF	221.14	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$913.84	0.00	\$0.00	\$913.84
CARTER, BRENT M	4877 N INDIGO LA	102537800	RSF	71.01	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$913.84	0.00	\$0.00	\$913.84
GCW INVESTMENTS LLC	4869 N INDIGO LA	102537900	RSF	88.20	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$913.84	0.00	\$0.00	\$913.84
NIMKE, DAVID D	4857 N INDIGO LA	102538000	RSF	88.49	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$913.84	0.00	\$0.00	\$913.84
GCW INVESTMENTS LLC	4845 N INDIGO LA	102538100	RSF	88.41	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$913.84	0.00	\$0.00	\$913.84
GCW INVESTMENTS LLC	4833 N INDIGO LA	102538200	RSF	88.54	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$913.84	0.00	\$0.00	\$913.84
GCW INVESTMENTS LLC	4832 N INDIGO LA	102538300	RSF	77.67	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$913.84	0.00	\$0.00	\$913.84
JACOB CONSTRUCTION & DEV INC	4844 N INDIGO LA	102538400	RSF	77.99	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$913.84	0.00	\$0.00	\$913.84
STROMBERG, LEE JEROME	4856 N INDIGO LA	102538500	RSF	80.00	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$913.84	0.00	\$0.00	\$913.84
MASAK, JOHN G	4868 N INDIGO LA	102538600	RSF	86.48	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$913.84	0.00	\$0.00	\$913.84
FRYMARK, JAMES M	4876 N INDIGO LA	102538700	RSF	80.00	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$913.84	0.00	\$0.00	\$913.84
VANROOY, JOSEPH T	4884 N INDIGO LA	102538800	RSF	80.00	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$913.84	0.00	\$0.00	\$913.84
FEIVOR, MARK E	4892 N INDIGO LA	102538900	RSF	83.42	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$913.84	0.00	\$0.00	\$913.84
CURRAN, KEITH W	4900 N INDIGO LA	102539000	RSF	85.00	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$913.84	0.00	\$0.00	\$913.84
ALLEN, CLAYTON M	4916 N INDIGO LA	102539100	RSF	90.00	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$913.84	0.00	\$0.00	\$913.84
GUNDERSON, MAXWELL T	4932 N INDIGO LA/4932 N SILKWOOD CI	102539200	RSF	245.00	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$913.84	0.00	\$0.00	\$913.84
JACOB CONSTRUCTION & DEV INC	4938 N SILKWOOD CI	102539300	RSF	75.91	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$913.84	0.00	\$0.00	\$913.84
JACOB CONSTRUCTION & DEV INC	4944 N SILKWOOD CI	102539400	RSF	74.18	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$913.84	0.00	\$0.00	\$913.84
JACOB CONSTRUCTION & DEV INC	4950 N SILKWOOD CI	102539500	RSF	80.00	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$913.84	0.00	\$0.00	\$913.84
GROSS, TERRY S	4956 N SILKWOOD CI	102539600	RSF	71.00	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$913.84	0.00	\$0.00	\$913.84
POLZIN, ROBBY	4962 N SILKWOOD CI	102539700	RSF	60.61	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$913.84	0.00	\$0.00	\$913.84
WUNDERLICH JOHN	4968 N SILKWOOD CI	102539800	RSF	67.30	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$913.84	0.00	\$0.00	\$913.84
JACOB CONSTRUCTION & DEV INC	4974 N SILKWOOD CI	102539900	RSF	80.00	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$913.84	0.00	\$0.00	\$913.84
DEBRUIN, TYLER	4980 N SILKWOOD CI	102540000	RSF	74.04	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$913.84	0.00	\$0.00	\$913.84
MEACHAM DEV INC	4986 N SILKWOOD CI	102540100	RSF	59.42	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$913.84	0.00	\$0.00	\$913.84
FRANK, STEVEN J	4992 N SILKWOOD CI	102540200	RSF	59.41	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$913.84	0.00	\$0.00	\$913.84
GCW INVESTMENTS LLC	4998 N SILKWOOD CI	102540300	RSF	60.92	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$913.84	0.00	\$0.00	\$913.84
GCW INVESTMENTS LLC	5004 N SILKWOOD CI	102540400	RSF	81.28	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$913.84	0.00	\$0.00	\$913.84
FALK REV TRST, BARRY K	5010 N SILKWOOD CI	102540500	RSF	81.51	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$913.84	0.00	\$0.00	\$913.84
GCW INVESTMENTS LLC	5020 N SILKWOOD CT/5020 N INDIGO LA	102540600	RSF	241.16	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$913.84	0.00	\$0.00	\$913.84
EDGEWOOD 81 TRUST	5044 N INDIGO LA	102540700	RSF	90.08	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$913.84	0.00	\$0.00	\$913.84
GCW INVESTMENTS LLC	5060 N INDIGO LA	102540800	RSF	95.00	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$913.84	0.00	\$0.00	\$913.84
GCW INVESTMENTS LLC	5076 N INDIGO LA	102540900	RSF	95.05	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$913.84	0.00	\$0.00	\$913.84
JACOB CONSTRUCTION & DEV INC	4989 N INDIGO LA	102541100	RSF	98.26	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$913.84	0.00	\$0.00	\$913.84
JACOB CONSTRUCTION & DEV INC	4973 N INDIGO LA	102541200	RSF	89.08	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$913.84	0.00	\$0.00	\$913.84
DORMAN JT REV TRST	4957 N INDIGO LA	102541300	RSF	89.00	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$913.84	0.00	\$0.00	\$913.84
JACOB, JOHN F	4941 N INDIGO LA	102541400	RSF	89.00	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$913.84	0.00	\$0.00	\$913.84
MEACHAM DEVELOPMENT INC	4925 N INDIGO LA	102541500	RSF	89.00	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$913.84	0.00	\$0.00	\$913.84
EDGEWOOD 90 TRUST	4964 N INDIGO LA	102541600	RSF	245.03	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$913.84	0.00	\$0.00	\$913.84
GCW INVESTMENTS LLC	4980 N INDIGO LA	102541700	RSF	90.91	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$913.84	0.00	\$0.00	\$913.84
GCW INVESTMENTS LLC	5019 N SILKWOOD CT/4996 N INDIGO LA	102541800	RSF	220.06	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$913.84	0.00	\$0.00	\$913.84
CASHMAN, MATTHEW G	5011 N SILKWOOD CI	102541900	RSF	80.16	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$913.84	0.00	\$0.00	\$913.84
JACOB CONSTRUCTION & DEV INC	5005 N SILKWOOD CI	102542000	RSF	80.00	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$913.84	0.00	\$0.00	\$913.84
SANDOVAL PROPERTIES LLC	4985 N SILKWOOD CI	102542100	RSF	238.22	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$913.84	0.00	\$0.00	\$913.84
GCW INVESTMENTS LLC	4961 N SILKWOOD CI	102542200	RSF	221.79	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$913.84	0.00	\$0.00	\$913.84
JONES, ALLEN LEE	4945 N SILKWOOD CI	102542300	RSF	97.73	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$913.84	0.00	\$0.00	\$913.84
GCW INVESTMENTS LLC	4937 N SILKWOOD CI	102542400	RSF	90.03	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$913.84	0.00	\$0.00	\$913.84
GCW INVESTMENTS LLC	UNIT 1 - 1072 W CECILIA CT	103534704	RSF	56.83	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$913.84	0.00	\$0.00	\$913.84
GCW INVESTMENTS LLC	UNIT 2 - 1064 W CECILIA CT	103534705	RSF	56.83	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$913.84	0.00	\$0.00	\$913.84
GCW INVESTMENTS LLC	UNIT 3 - 1056 W CECILIA CT	103534706	RSF	56.83	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$913.84	0.00	\$0.00	\$913.84
MEACHAM DEVELOPMENT INC	UNIT 4 - 1048 W CECILIA CT	103534707	RSF	56.83	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$913.84	0.00	\$0.00	\$913.84
CHAPMAN, HARLAND	UNIT 5 - 1040 W CECILIA CT	103534708	RSF	56.83	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$913.84	0.00	\$0.00	\$913.84
GCW INVESTMENTS LLC	UNIT 6 - 1032 W CECILIA CT	103534709	RSF	56.83	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$913.84	0.00	\$0.00	\$913.84
KIM REV TRST, DAVID D	UNIT 7 - 1024 W CECILIA CT	103534710	RSF	56.83	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$913.84	0.00	\$	

EMENECKER, TIMOTHY F	UNIT 9 - 1008 W CECILIA CT	103534712	RSF	56.83	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$913.84	0.00	\$0.00	\$913.84
GCW INVESTMENTS LLC	UNIT 10 - 1000 W CECILIA CT	103534713	RSF	56.83	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$913.84	0.00	\$0.00	\$913.84
KUEHN, WENDELL	UNIT 11 - 1007 W CECILIA CT	103534714	RSF	56.83	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$913.84	0.00	\$0.00	\$913.84
GCW INVESTMENTS LLC	UNIT 12 - 1015 W CECILIA CT	103534715	RSF	56.83	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$913.84	0.00	\$0.00	\$913.84
GCW INVESTMENTS LLC	UNIT 13 - W CECILIA CT	103534716	RSF	56.83	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$913.84	0.00	\$0.00	\$913.84
MEACHAM DEVELOPMENT INC	UNIT 14 - 1031 W CECILIA CT	103534717	RSF	56.83	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$913.84	0.00	\$0.00	\$913.84
GCW INVESTMENTS LLC	UNIT 15 - 4786 N TONY CT	103534718	RSF	56.83	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$913.84	0.00	\$0.00	\$913.84
GCW INVESTMENTS LLC	UNIT 16 - 4795 N TONY CT	103534719	RSF	56.83	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$913.84	0.00	\$0.00	\$913.84
NUNN, STEPHEN	UNIT 17 - 4762 N TONY CT	103534720	RSF	56.83	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$913.84	0.00	\$0.00	\$913.84
FRANK, ANGELA M	UNIT 18 - 4750 N TONY CT	103534721	RSF	56.83	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$913.84	0.00	\$0.00	\$913.84
MEACHAM DEVELOPMENT INC	UNIT 19 - 4738 N TONY CT	103534722	RSF	56.83	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$913.84	0.00	\$0.00	\$913.84
GCW INVESTMENTS LLC	UNIT 20 - 4726 N TONY CT	103534723	RSF	56.83	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$913.84	0.00	\$0.00	\$913.84
GCW INVESTMENTS LLC	UNIT 21 - 4714 N TONY CT	103534724	RSF	56.83	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$913.84	0.00	\$0.00	\$913.84
MEACHAM DEVELOPMENT INC	UNIT 22 - 4711 N TONY CT	103534725	RSF	56.83	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$913.84	0.00	\$0.00	\$913.84
GCW INVESTMENTS LLC	UNIT 23 - 4723 N TONY CT	103534726	RSF	56.83	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$913.84	0.00	\$0.00	\$913.84
GCW INVESTMENTS LLC	UNIT 24 - 4735 N TONY CT	103534727	RSF	56.83	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$913.84	0.00	\$0.00	\$913.84
GCW INVESTMENTS LLC	UNIT 25 - 4747 N TONY CT	103534728	RSF	56.83	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$913.84	0.00	\$0.00	\$913.84
GCW INVESTMENTS LLC	UNIT 26 - 4759 N TONY CT	103534729	RSF	56.83	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$913.84	0.00	\$0.00	\$913.84
GCW INVESTMENTS LLC	UNIT 27 - 4771 N TONY CT	103534730	RSF	56.83	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$913.84	0.00	\$0.00	\$913.84
GCW INVESTMENTS LLC	UNIT 28 - 4783 N TONY CT	103534731	RSF	56.83	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$913.84	0.00	\$0.00	\$913.84
GCW INVESTMENTS LLC	UNIT 29 - 4795 N TONY CT	103534732	RSF	56.83	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$913.84	0.00	\$0.00	\$913.84
GCW INVESTMENTS LLC	UNIT 1 - 5096 N MILKWEED TR	103534733	RSF	133.20	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$913.84	0.00	\$0.00	\$913.84
GCW INVESTMENTS LLC	UNIT 2 - 5090 N MILKWEED TR	103534734	RSF	133.20	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$913.84	0.00	\$0.00	\$913.84
GCW INVESTMENTS LLC	UNIT 3 - 5084 N MILKWEED TR	103534735	RSF	133.20	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$913.84	0.00	\$0.00	\$913.84
GCW INVESTMENTS LLC	UNIT 4 - 5078 N MILKWEED TR	103534736	RSF	133.20	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$913.84	0.00	\$0.00	\$913.84
GCW INVESTMENTS LLC	UNIT 5 - 5072 N MILKWEED TR	103534737	RSF	133.20	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$913.84	0.00	\$0.00	\$913.84
GCW INVESTMENTS LLC	UNIT 6 - 5066 N MILKWEED TR	103534738	RSF	133.20	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$913.84	0.00	\$0.00	\$913.84
GCW INVESTMENTS LLC	UNIT 7 - 5060 N MILKWEED TR	103534739	RSF	133.20	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$913.84	0.00	\$0.00	\$913.84
GCW INVESTMENTS LLC	UNIT 8 - 5056 N MILKWEED TR	103534740	RSF	133.20	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$913.84	0.00	\$0.00	\$913.84
GCW INVESTMENTS LLC	UNIT 9 - 5048 N MILKWEED TR	103534741	RSF	133.20	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$913.84	0.00	\$0.00	\$913.84
GCW INVESTMENTS LLC	UNIT 10 - 5042 N MILKWEED TR	103534742	RSF	133.20	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$913.84	0.00	\$0.00	\$913.84
GCW INVESTMENTS LLC	UNIT 11 - 5036 N MILKWEED TR	103534743	RSF	133.20	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$913.84	0.00	\$0.00	\$913.84
GCW INVESTMENTS LLC	UNIT 12 - 5030 N MILKWEED TR	103534744	RSF	133.20	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$913.84	0.00	\$0.00	\$913.84
GCW INVESTMENTS LLC	UNIT 13 - 5024 N MILKWEED TR	103534745	RSF	133.20	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$913.84	0.00	\$0.00	\$913.84
GCW INVESTMENTS LLC	UNIT 14 - 5025 N MILKWEED TR	103534746	RSF	133.20	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$913.84	0.00	\$0.00	\$913.84
GCW INVESTMENTS LLC	UNIT 15 - 5033 N MILKWEED TR	103534747	RSF	133.20	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$913.84	0.00	\$0.00	\$913.84
GCW INVESTMENTS LLC	UNIT 16 - 5039 N MILKWEED TR	103534748	RSF	133.20	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$913.84	0.00	\$0.00	\$913.84
GCW INVESTMENTS LLC	UNIT 17 - 5047 N MILKWEED TR	103534749	RSF	133.20	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$913.84	0.00	\$0.00	\$913.84
GCW INVESTMENTS LLC	UNIT 18 - 5051 N MILKWEED TR	103534750	RSF	133.20	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$913.84	0.00	\$0.00	\$913.84
GCW INVESTMENTS LLC	UNIT 19 - 5033 N MILKWEED TR	103534751	RSF	133.20	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$913.84	0.00	\$0.00	\$913.84
GCW INVESTMENTS LLC	UNIT 20 - 5055 N MILKWEED TR	103534752	RSF	133.20	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$913.84	0.00	\$0.00	\$913.84
				19646.44	4129.66	\$168,025.70	1575.64	1194.38	\$79,288.00	1575.64	1194.38	\$403,554.69	\$132,507.19	4129.66	\$150,141.07	\$801,009.47

Workbook: Eisner Road
 Worksheet: Engineer's report
 Disk: w:\Projects\G0006\930325\00\Spreadsheets
 Date: December 11, 2018
 Revised: January 30, 2019 (incorporated low bid prices)
 Revised: January 31, 2019 (revised some assessable amounts)



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w:\PROJECTS\GIS\0017817001561CADD\GIS\Assessment_Legal_SDI.mxd October 9, 2018 kpk

- Mapped Features**
-  Assessment Area
 -  Municipal Boundary
 -  Parcel Line
 -  Quarter Section Line
 -  PLSS Corner



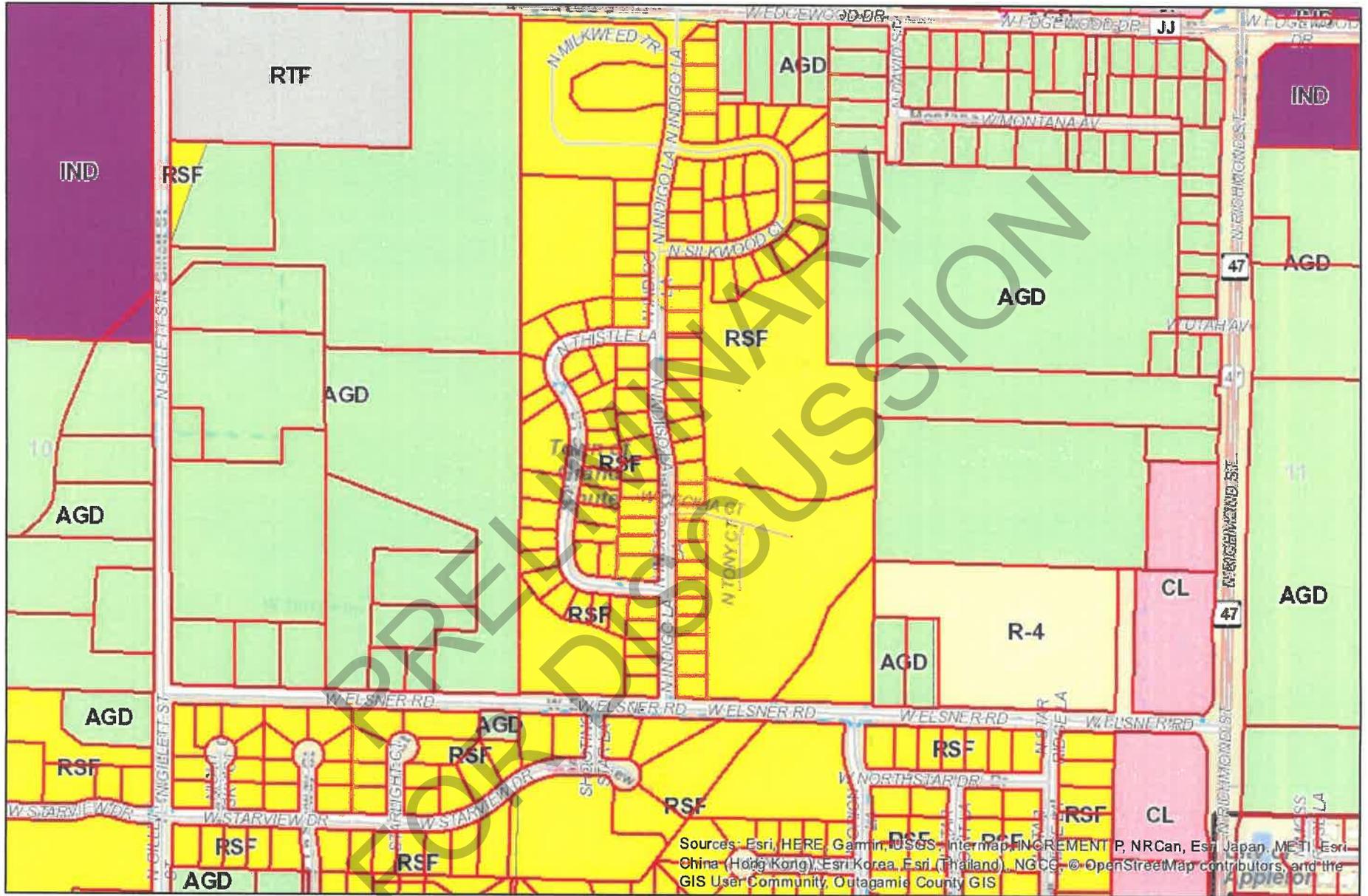
Source: Outagamie County, 2016.

Disclaimer: The property lines, right-of-way lines, and other property information on this drawing were developed or obtained as part of the County Geographic Information System or through the County property tax mapping function. McMAHON ASSOCIATES, INC. does not guarantee this information to be correct, current, or complete. The property and right-of-way information are only intended for use as a general reference and are not intended or suitable for site-specific uses. Any use to the contrary of the above stated users is the responsibility of the user and such use is at the user's own risk.



**FIGURE 1
ASSESSMENTS
SANITARY DISTRICT #1 & #2
TOWN OF GRAND CHUTE
OUTAGAMIE COUNTY, WISCONSIN**

Town of Grand Chute Web Map



Disclaimer: The data provided in the Town of Grand Chute Interactive GIS Map was generated from multiple sources and agencies. Every effort has been made to offer the most accurate data. However, the Town provides this information with the understanding that it is not guaranteed to be accurate, correct, or complete. The Town may make improvements to the Interactive GIS Map periodically. Conclusions drawn from this information are the responsibility of the user. The user agrees that the Town of Grand Chute shall not be held responsible for actions, claims, damages, or judgments made from this data.

Author: Town of Grand Chute web viewer

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Town of Grand Chute
Elsner Road
North Gillett Street to STH 47
G0006-930325
Residential Parcels Assessed at 50% Rather Than 66.67%

For Discussion Purposes Only

Project Costs:

Sanitary Sewer Costs (based on low bid):

Description	Unit	Estimated Quantity	Unit Price	Amount	Assessable Amount
8" Sanitary Sewer	LF	2065	\$82.85	\$171,085.25	\$85,542.63
6" Sanitary Lateral	LF	33	\$114.22	\$3,769.26	\$1,884.63
4" Sanitary Lateral	LF	375	\$67.47	\$25,301.25	\$12,650.63
Sanitary Manholes	VF	109.95	\$381.08	\$41,899.75	\$20,949.87
Connect to Existing Sanitary Manhole	Each	1	\$1,783.00	\$1,783.00	\$891.50
Adjust Sanitary Manhole Rim	Each	4	\$588.25	\$2,353.00	\$1,176.50
Subtotal:				\$246,191.51	\$123,095.75
Engineering:				\$36,928.73	\$18,464.36
Contingencies (15%):				\$36,928.73	\$18,464.36
Subtotal:				\$320,048.96	\$160,024.48
Administration (5%):				\$16,002.45	\$8,001.22
Total project cost:				\$336,051.41	\$168,025.70

Storm Sewer Costs (based on low bid):

Description	Unit	Estimated Quantity	Unit Price	Amount	R-1,R-2 & AGD Zoning Assessable Amount	Other Zoning Assessable Amount
Remove Headwall for 54"x66" Corrugated Metal Culvert	Each	2	\$420.00	\$840.00	\$0.00	\$0.00
48"x76" RCP Class IV Horizontal Elliptical	LF	136	\$258.88	\$35,207.68	\$0.00	\$0.00
North Headwall	LS	1	\$16,649.00	\$16,649.00	\$0.00	\$0.00
South Headwall	LS	1	\$26,359.00	\$26,359.00	\$0.00	\$0.00
19"x30" RCP CI IV Storm Sewer	LF	652	\$82.21	\$53,600.92	\$12,372.35	\$18,761.30
24" RCP Storm Sewer	LF	288	\$57.55	\$16,574.40	\$4,822.27	\$8,287.20
24" Storm Sewer	LF	37	\$51.92	\$1,921.04	\$702.11	\$1,064.68
15" RCP Storm Sewer	LF	235	\$47.44	\$11,148.40	\$4,459.36	\$6,762.13
15" Storm Sewer	LF	1805	\$41.86	\$75,557.30	\$34,251.68	\$51,938.88
12" Storm Sewer	LF	555	\$34.92	\$19,380.60	\$10,531.68	\$15,970.13
12" Storm Lead	LF	580	\$34.67	\$20,108.60	\$11,006.08	\$16,689.50
12" RCP Class IV Storm Lead	LF	122	\$43.88	\$5,353.36	\$2,315.07	\$3,510.55
8" Storm Lead	LF	284	\$31.32	\$8,894.88	\$5,389.18	\$8,172.10
6" Storm Lead	LF	30	\$34.37	\$1,031.10	\$502.32	\$863.25
6" Storm Lateral	LF	108	\$42.04	\$4,540.32	\$2,049.41	\$3,107.70
4" Storm Lateral	LF	490	\$42.29	\$20,722.10	\$9,298.24	\$14,099.75
6' Diameter Storm Manhole	VF	23.9	\$734.30	\$17,549.77	\$3,710.62	\$5,749.74
5' Diameter Storm Manhole	VF	6.21	\$481.15	\$2,987.94	\$964.14	\$1,493.97
4' Diameter Storm Manhole	VF	83.74	\$388.14	\$32,502.84	\$13,001.14	\$20,145.75
Catch Basin	Each	14	\$1,930.28	\$27,023.92	\$10,809.57	\$13,511.96
Inlet	Each	8	\$1,396.43	\$11,171.44	\$4,468.58	\$5,585.72
Yard Drain	Each	12	\$1,232.71	\$14,792.52	\$5,917.01	\$7,396.26
Ditch Inlet	Each	1	\$1,231.66	\$1,231.66	\$492.66	\$615.83
Adjust Storm Manhole Rim	Each	1	\$588.25	\$588.25	\$235.30	\$294.13
Adjust Ditch Inlet Rim	Each	2	\$588.25	\$1,176.50	\$470.60	\$588.25
24" Metal Endwall With Trash Guard	Each	1	\$606.75	\$606.75	\$242.70	\$303.38
12" Metal Endwall With Trash Guard	Each	3	\$297.00	\$891.00	\$356.40	\$445.50
8" Endwall	Each	1	\$289.20	\$289.20	\$115.68	\$144.60
6" Cleanout	Each	3	\$190.41	\$571.23	\$228.49	\$285.62
4" Cleanout	Each	21	\$136.76	\$2,871.96	\$1,148.78	\$1,435.98
Connect to Existing Lateral	Each	16	\$82.53	\$1,320.48	\$528.19	\$660.24
Inlet Protection	Each	42	\$75.00	\$3,150.00	\$1,260.00	\$1,575.00
Biofilter 1	LS	1	\$5,300.00	\$5,300.00	\$0.00	\$0.00
Biofilter 2	LS	1	\$11,900.00	\$11,900.00	\$0.00	\$0.00
Biofilter 3	LS	1	\$9,150.00	\$9,150.00	\$0.00	\$0.00
Biofilter 4	LS	1	\$11,050.00	\$11,050.00	\$0.00	\$0.00
Biofilter 5	LS	1	\$10,700.00	\$10,700.00	\$0.00	\$0.00
Biofilter 6	LS	1	\$11,500.00	\$11,500.00	\$0.00	\$0.00

6 Inch Perforated Drain Pipe for Biofilter	LF	370	\$10.00	\$3,700.00	\$0.00	\$0.00
6" Storm Lead for Biofilters	LF	110	\$20.00	\$2,200.00	\$0.00	\$0.00
10" Stand Pipe for Biofilter	VF	2.71	\$450.00	\$1,219.50	\$0.00	\$0.00
12" Stand Pipe for Biofilter	VF	2.94	\$500.00	\$1,470.00	\$0.00	\$0.00
Biofilter Cleanouts	Each	12	\$550.00	\$6,600.00	\$0.00	\$0.00
Construct Flood Storage Area, W. Starview Drive	LS	1	\$1,773.50	\$1,773.50	\$0.00	\$0.00
			Subtotal:	\$513,177.17	\$141,649.62	\$209,459.07
			Engineering:	\$76,976.57	\$21,247.44	\$31,418.86
			Contingencies (15%):	\$76,976.57	\$21,247.44	\$31,418.86
			Subtotal:	\$667,130.31	\$184,144.51	\$272,296.79
			Administration (5%):	\$33,356.52	\$9,207.23	\$13,614.84
			Total project cost:	\$700,486.83	\$193,351.73	\$285,911.63

Street Costs (based on low bid):

Description	Unit	Estimated Quantity	Unit Price	Amount	R-1,R-2 & AGD Zoning Assessable Amount	Other Zoning Assessable Amount
Remove Concrete Flume	Each	2	\$500.00	\$1,000.00	\$500.00	\$1,000.00
Remove Culvert	Each	24	\$500.00	\$12,000.00	\$6,000.00	\$12,000.00
24" Corrugated Metal Culvert	LF	50	\$47.49	\$2,374.50	\$1,187.25	\$2,374.50
24" Metal End Section	Each	4	\$227.25	\$909.00	\$454.50	\$909.00
Sawcut bituminous pavement and driveways	LF	270	\$3.22	\$869.40	\$434.70	\$869.40
Sawcut curb & gutter	LF	35	\$3.22	\$112.70	\$56.35	\$112.70
Sawcut Concrete Driveway	LF	60	\$3.22	\$193.20	\$96.60	\$193.20
Remove asphalt driveway	SY	185	\$4.00	\$740.00	\$370.00	\$740.00
Mill asphalt pavement	SY	11700	\$0.01	\$117.00	\$58.50	\$117.00
Remove curb and gutter	LF	737	\$2.00	\$1,474.00	\$737.00	\$1,474.00
Remove Concrete Driveway	SY	124	\$4.00	\$496.00	\$248.00	\$496.00
Excavation	CY	15925	\$7.74	\$123,259.50	\$34,672.49	\$123,259.50
Embankment	CY	7185	\$0.01	\$71.85	\$20.21	\$71.85
Geotextile Fabric Type SAS	SY	19200	\$1.34	\$25,728.00	\$10,353.95	\$25,728.00
Place Salvaged Milled Asphalt	Tons	1600	\$0.01	\$16.00	\$6.44	\$16.00
Base aggregate dense, 3 inch	Tons	13500	\$11.14	\$150,390.00	\$30,261.40	\$150,390.00
Base aggregate dense, 1-1/4 inch	Tons	9800	\$11.52	\$112,896.00	\$45,433.76	\$112,896.00
Asphalt driveway, 3"	SY	600	\$23.30	\$13,980.00	\$6,990.00	\$13,980.00
Hot mix asphalt, 3MT 58-28 S (lower layer)	Tons	3400	\$57.50	\$195,500.00	\$57,500.00	\$195,500.00
Hot mix asphalt, 4MT 58-28 S (upper layer)	Tons	2000	\$64.10	\$128,200.00	\$52,788.24	\$128,200.00
Asphalt Trail (3 Inch)	Tons	750	\$78.00	\$58,500.00	\$0.00	\$0.00
Concrete curb and gutter, 30"	LF	7950	\$11.65	\$92,617.50	\$46,308.75	\$92,617.50
Concrete Driveway	SY	125	\$57.50	\$7,187.50	\$3,593.75	\$7,187.50
Concrete Curb Ramp (6")	SY	260	\$54.50	\$14,170.00	\$0.00	\$0.00
Drill Tie Bars	Each	34	\$15.00	\$510.00	\$0.00	\$0.00
Detectable Warning Field	SF	184	\$30.00	\$5,520.00	\$0.00	\$0.00
Restoration	SY	17650	\$3.96	\$69,894.00	\$34,947.00	\$69,894.00
Tree Removal	In-Dia	150	\$45.00	\$6,750.00	\$3,375.00	\$6,750.00
Clearing and Grubbing	Sta.	7	\$900.00	\$6,300.00	\$3,150.00	\$6,300.00
Remove Sign	Each	6	\$50.00	\$300.00	\$150.00	\$300.00
Pavement Marking Epoxy 4 Inch	LF	9500	\$0.75	\$7,125.00	\$3,562.50	\$7,125.00
Pavement Marking, 6 Inch, Crosswalk, Epoxy	LF	410	\$5.25	\$2,152.50	\$1,076.25	\$2,152.50
Pavement Marking, 8-inch, Channelizing, Epoxy	LF	130	\$1.40	\$182.00	\$91.00	\$182.00
Pavement Marking, 12-inch, Stop Bar, Epoxy	LF	95	\$7.75	\$736.25	\$368.13	\$736.25
Pavement Marking, Arrows, Type 2, Epoxy	Each	4	\$215.00	\$860.00	\$430.00	\$860.00
Post Tubular Steel, 2-3/8 Inch Diameter x 10 Foot	Each	16	\$180.00	\$2,880.00	\$1,440.00	\$2,880.00
Signs, Reflective	SF	124.75	\$25.00	\$3,118.75	\$1,559.38	\$3,118.75
Erosion Control Mat, Urban Class I, Type A	SY	500	\$2.20	\$1,100.00	\$550.00	\$1,100.00
Silt Fence	LF	1330	\$2.00	\$2,660.00	\$1,330.00	\$2,660.00
Traffic control	LS	1	\$105,500.00	\$105,500.00	\$52,750.00	\$105,500.00
Remove and reset mailboxes	Each	9	\$113.00	\$1,017.00	\$508.50	\$1,017.00
Landmark Reference Monuments	Each	5	\$300.00	\$1,500.00	\$750.00	\$1,500.00
Tracking Pad	Each	3	\$1,928.34	\$5,785.02	\$2,892.51	\$5,785.02
Street Lights	LS	1	\$80,000.00	\$80,000.00	\$40,000.00	\$80,000.00
			Subtotal:	\$1,246,692.67	\$447,002.14	\$1,167,992.67
			Engineering:	\$187,003.90	\$67,050.32	\$175,198.90
			Contingencies (15%):	\$187,003.90	\$67,050.32	\$175,198.90
			Subtotal:	\$1,620,700.47	\$581,102.78	\$1,518,390.47
			Administration (5%):	\$81,035.02	\$29,055.14	\$75,919.52
			Total project cost:	\$1,701,735.49	\$610,157.92	\$1,594,309.99

Water Main Costs (based on low bid):

Description	Unit	Estimated Quantity	Unit Price	Amount	Assessable Amount
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12" Water Main	LF	2860	\$74.58	\$213,298.80	\$46,925.74
6" Hydrant Lead	LF	38	\$113.22	\$4,302.36	\$2,151.18
6" Water Service	LF	5	\$85.64	\$428.20	\$214.10
1" Water Service	LF	277	\$88.67	\$24,561.59	\$12,280.80
12" Valve	Each	11	\$3,215.70	\$35,372.70	\$17,686.35
6" Valve or Auxiliary Valve	Each	2	\$2,267.55	\$4,535.10	\$2,267.55
Hydrant with Auxiliary Valve	Each	6	\$5,249.55	\$31,497.30	\$15,748.65
1" Corporation Stop, Curb Stop & Stop Box	Each	12	\$650.90	\$7,810.80	\$3,905.40
Replace Hydrant Bolts	Each	2	\$1,586.40	\$3,172.80	\$1,586.40
Replace Tee Bolts	Each	3	\$1,502.40	\$4,507.20	\$2,253.60
Replace Valve Bolts	Each	6	\$1,502.40	\$9,014.40	\$4,507.20
Remove Reducer & Temporary Hydrant	Each	1	\$933.00	\$933.00	\$466.50
Relay 12" Water Main	LF	60	\$250.87	\$15,052.20	\$0.00
Relocate Hydrant	Each	1	\$1,107.30	\$1,107.30	\$0.00
Remove Hydrant & Auxiliary Valve	Each	1	\$1,101.00	\$1,101.00	\$0.00
12"x8" Cross	Each	1	\$6,710.35	\$6,710.35	\$0.00
			Subtotal:	\$363,405.10	\$109,993.46
			Engineering:	\$54,510.77	\$16,499.02
			Contingencies (15%):	\$54,510.77	\$16,499.02
			Subtotal:	\$472,426.63	\$142,991.50
			Administration (5%):	\$23,621.33	\$7,149.57
			Total project cost:	\$496,047.96	\$150,141.07

Setting Assessment Rates

Sanitary Sewer Assessment:

Assessable cost:	\$168,025.70
Assessable frontage:	4129.66 feet
Assessment rate:	\$40.69 per LF

Storm Sewer Assessment:

R1, R-2, & AGD maximum rate:	\$20.00 per LF
Assessable cost:	\$193,351.73
Allocated assessable cost:	\$109,982.14
Assessable frontage:	1575.64 feet
Assessment rate:	\$69.80 per LF

Other zoning maximum rate:	\$40.00 per LF
Assessable cost:	\$285,911.63
Allocated assessable cost:	\$123,279.66
Assessable frontage:	1194.38 feet
Assessment rate:	\$103.22 per LF

Street Assessment:

<i>R-1, R-2, & AGD Assessments:</i>	
R-1, R-2, & AGD assessable cost:	\$610,157.92
Allocated assessable cost:	\$121,771.91
Street length x 2:	7895.00 feet
Assessable frontage:	1575.64 feet
Assessment rate:	\$77.28 per LF

Other Zoning Assessments:

Other Zoning assessable cost:	\$1,594,309.99
Allocated assessable cost:	\$241,192.14
Street length x 2:	7895.00 feet
Assessable frontage:	1194.38 feet
Assessment rate:	\$201.94 per LF

Area Assessments:

Edgewood Acres frontage along Elsner Road:	1285.91 feet
Area assessable cost at residential rate:	\$99,380.39
Assessable parcels:	145 parcels
Assessment rate:	\$685.38 per parcel

Water Main Assessment:

Assessable cost:	\$150,141.07
Assessable frontage:	4129.66 feet
Assessment rate:	\$36.36 per LF

Schedule of Assessments

Property Owner	Address	Parcel Number	Zoning	Total Elsner Road Frontage	Sanitary Sewer Assessable Frontage	Sanitary Sewer Assessment	R-1,R-2 & AGD		Other		R-1,R-2 & AGD		Other		Street Area Assessment	Water Main Assessable Frontage	Water Main Assessment	Total Assessment
							Zoning	Storm Sewer Assessable Frontage	Storm Sewer Assessment	Zoning	Storm Sewer Assessable Frontage	Storm Sewer Assessment	Zoning	Storm Sewer Assessable Frontage				
WOLFF, RONALD G	4615/4623 N RICHMOND ST	101034100	CL	307.43	1148.46	\$46,728.01	0.00	224.10	0.00	\$8,964.00	0.00	224.10	0.00	\$45,254.58	\$0.00	1148.46	\$41,754.29	\$142,700.88
BIG DREAMERS LLC	850 W ELSNER RD	101034101	R-4	678.01	0.00	\$0.00	0.00	594.68	\$23,787.20	0.00	594.68	\$120,089.20	\$0.00	0.00	\$0.00	0.00	\$0.00	\$143,876.40
ZITZELSBERGER, MARK J	942 W ELSNER RD	101034400	AGD	116.50	116.50	\$4,740.10	116.50	0.00	\$2,330.00	116.50	0.00	\$9,003.60	\$0.00	116.50	\$0.00	116.50	\$4,235.56	\$20,309.26
ZITZELSBERGER, MARK J	944 W ELSNER RD	101034500	AGD	116.50	116.50	\$4,740.10	116.50	0.00	\$2,330.00	116.50	0.00	\$9,003.60	\$0.00	116.50	\$0.00	116.50	\$4,235.56	\$20,309.26
NIEMI, WENDY R	1320 W ELSNER RD	101035200	AGD	0.00	164.00	\$6,672.76	75.00	0.00	\$1,500.00	75.00	0.00	\$5,796.31	\$0.00	164.00	\$0.00	164.00	\$5,962.51	\$19,931.57
MARTIN, ANTHONY J	1540 W ELSNER RD	101035202	AGD	174.32	174.32	\$7,092.65	174.32	0.00	\$3,486.40	174.32	0.00	\$13,472.16	\$0.00	174.32	\$0.00	174.32	\$6,337.71	\$30,388.93
MARTIN, DAVID J	1680 W ELSNER RD	101035205	AGD	275.44	279.23	\$11,361.18	137.72	0.00	\$2,754.40	137.72	0.00	\$10,643.57	\$0.00	279.23	\$0.00	279.23	\$10,151.90	\$34,911.05
LEMKE, MARK H	1650 W ELSNER RD	101035206	AGD	175.00	175.00	\$7,120.32	175.00	0.00	\$3,500.00	175.00	0.00	\$13,524.72	\$0.00	175.00	\$0.00	175.00	\$6,362.43	\$30,507.47
CALNIN & GOSS INC	W ELSNER RD	101035207	AGD	329.60	329.60	\$13,410.61	149.80	0.00	\$2,996.00	149.80	0.00	\$11,577.16	\$0.00	329.60	\$0.00	329.60	\$11,983.19	\$39,966.96
BENZSCHAWEL, JAMES	1314 W ELSNER RD	101035300	AGD	110.00	110.00	\$4,475.63	110.00	0.00	\$2,200.00	110.00	0.00	\$8,501.25	\$0.00	110.00	\$0.00	110.00	\$3,999.24	\$19,176.12
NIEMI, WENDY R	1500 W ELSNER RD	101035400	AGD	146.00	146.00	\$5,940.38	146.00	0.00	\$2,920.00	146.00	0.00	\$11,283.48	\$0.00	146.00	\$0.00	146.00	\$5,308.09	\$25,451.95
KESTING IRREV TRUST, MICHAEL/LOUISE	1330 W ELSNER RD	101035500	AGD	157.43	157.43	\$6,405.44	149.80	0.00	\$2,996.00	149.80	0.00	\$11,577.16	\$0.00	157.43	\$0.00	157.43	\$5,723.65	\$26,702.24
REIDER, JAMES E	1324 W ELSNER RD	101035501	AGD	0.00	208.01	\$8,463.42	75.00	0.00	\$1,500.00	75.00	0.00	\$5,796.31	\$0.00	208.01	\$0.00	208.01	\$7,562.57	\$23,322.29
DANELON, ANGELO	1301 W ELSNER RD	101035700	AGD	150.00	150.00	\$6,103.13	150.00	0.00	\$3,000.00	150.00	0.00	\$11,592.61	\$0.00	150.00	\$0.00	150.00	\$5,453.51	\$26,149.26
BARTEL REVOCABLE TRUST	4501 N RICHMOND ST	101037300	CL	458.93	854.61	\$34,771.98	0.00	375.60	\$15,024.00	0.00	375.60	\$75,848.36	\$0.00	854.61	\$0.00	854.61	\$31,070.85	\$156,715.20
SANTIAGO, LETICIA	4513 NIGHT SKY CT	102449100	RSF	100.01	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$0.00	0.00	0.00	0.00	\$0.00	\$0.00
FLAKER, PRESTON K	4514 NIGHT SKY CT	102449200	RSF	167.94	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$0.00	0.00	0.00	0.00	\$0.00	\$0.00
BEYER, BRIAN J	4511 SKYWAY CT	102449900	RSF	168.19	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$0.00	0.00	0.00	0.00	\$0.00	\$0.00
HUTH (LE), VIVIAN R	4512 SKYWAY CT	102450000	RSF	167.83	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$0.00	0.00	0.00	0.00	\$0.00	\$0.00
RAKUN, JAMES L	4511 STARLIGHT CT	102450700	RSF	195.31	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$0.00	0.00	0.00	0.00	\$0.00	\$0.00
KOESTER, MICHAEL J	4510 STARLIGHT CT	102450800	RSF	294.75	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$0.00	0.00	0.00	0.00	\$0.00	\$0.00
BRANDENBURG, TIM B	1188 W STARVIEW DR	102512300	RSF	129.44	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$0.00	0.00	0.00	0.00	\$0.00	\$0.00
LEDERHAUS, JASON H	1166 W STARVIEW DR	102512400	RSF	129.43	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$0.00	0.00	0.00	0.00	\$0.00	\$0.00
ROMENESKO, CARL D	1140 W STARVIEW CT	102512500	RSF	146.34	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$0.00	0.00	0.00	0.00	\$0.00	\$0.00
BELL, JEFFREY A	1122 W STARVIEW CT	102512600	RSF	301.42	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$0.00	0.00	0.00	0.00	\$0.00	\$0.00
IHDE, STEVEN A	1100 W STARVIEW CT	102512700	RSF	174.05	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$0.00	0.00	0.00	0.00	\$0.00	\$0.00
PETERSON FAMILY TRUST	938 W NORTHSTAR DR	102515800	RSF	115.01	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$0.00	0.00	0.00	0.00	\$0.00	\$0.00
RANKIN, TIMOTHY J	924 W NORTHSTAR DR	102515900	RSF	90.01	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$0.00	0.00	0.00	0.00	\$0.00	\$0.00
PETERSON, MARK J	906 W NORTHSTAR DR	102516000	RSF	90.00	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$0.00	0.00	0.00	0.00	\$0.00	\$0.00
TOM BERCEAU CONSTRUCTION	890 W NORTHSTAR DR	102516100	RSF	90.01	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$0.00	0.00	0.00	0.00	\$0.00	\$0.00
HERMUS, JEFFREY W	868 W NORTHSTAR DR	102516200	RSF	90.00	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$0.00	0.00	0.00	0.00	\$0.00	\$0.00
LUKE J TREMBLE REV LIV TRUST	854 W NORTHSTAR DR	102516300	RSF	90.01	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$0.00	0.00	0.00	0.00	\$0.00	\$0.00
CRISWELL, JEREMY M	840 W NORTHSTAR DR	102516400	RSF	115.01	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$0.00	0.00	0.00	0.00	\$0.00	\$0.00
PRICE, BRIAN J	4600 N STAR RIDGE LA	102518100	RSF	210.02	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$0.00	0.00	0.00	0.00	\$0.00	\$0.00
GCW INVESTMENTS LLC	4700 N INDIGO LA	102532700	RSF	84.95	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$685.38	0.00	0.00	0.00	\$0.00	\$685.38
NELSON, YVONNE T	4712 N INDIGO LA	102532800	RSF	87.00	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$685.38	0.00	0.00	0.00	\$0.00	\$685.38
KASSNER, KATHLEEN A	4724 N INDIGO LA	102532900	RSF	70.00	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$685.38	0.00	0.00	0.00	\$0.00	\$685.38
VANEPEREN, BARBARA J	4736 N INDIGO LA	102533000	RSF	70.00	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$685.38	0.00	0.00	0.00	\$0.00	\$685.38
MINTEN, ALEX C	4748 N INDIGO LA	102533100	RSF	70.00	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$685.38	0.00	0.00	0.00	\$0.00	\$685.38
SCHROEDER, BRADLEY J	4760 N INDIGO LA	102533200	RSF	70.00	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$685.38	0.00	0.00	0.00	\$0.00	\$685.38
ATKINSON, CLIFFORD M	4772 N INDIGO LA	102533300	RSF	70.00	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$685.38	0.00	0.00	0.00	\$0.00	\$685.38
VOSTERS, JOHN S	4784 N INDIGO LA	102533400	RSF	70.00	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$685.38	0.00	0.00	0.00	\$0.00	\$685.38
TREIBER, PATRICIA J	4800 N INDIGO LA	102533500	RSF	80.00	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$685.38	0.00	0.00	0.00	\$0.00	\$685.38
ZAHRINGER, STEVEN J	4824 N INDIGO LA	102533600	RSF	80.00	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$685.38	0.00	0.00	0.00	\$0.00	\$685.38
REGINALD L/MICHELE R PFEIFER	4825 N INDIGO LA	102533700	RSF	70.00	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$685.38	0.00	0.00	0.00	\$0.00	\$685.38
GRIMMER, ELIZABETH K	4813 N INDIGO LA	102533800	RSF	70.00	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$685.38	0.00	0.00	0.00	\$0.00	\$685.38
VANFOSSEN, TYLER	4801 N INDIGO LA	102533900	RSF	70.00	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$685.38	0.00	0.00	0.00	\$0.00	\$685.38
OLSON, RUSTIN H	4789 N INDIGO LA	102534000	RSF	70.00	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$685.38	0.00	0.00	0.00	\$0.00	\$685.38
WALSH, DALE R	4750/1100 N THISTLE LA	102534100	RSF	263.91	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$685.38	0.00	0.00	0.00	\$0.00	\$685.38
GCW INVESTMENTS LLC	4749 N INDIGO LA/4751 N THISTLE LA	102534200	RSF	170.68	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$685.38	0.00	0.00	0.00	\$0.00	\$685.38
PERKS, STEPHEN J	4737 N INDIGO LA	102534300	RSF	70.00	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$685.38	0.00	0.00	0.00	\$0.00	\$685.38
KEENEY, MATTHEW S	4725 N INDIGO LA	102534400	RSF	70.00	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$685.38	0.00	0.00	0.00	\$0.00	\$685.38
PARKER, DAVID P	4713 N INDIGO LA	102534500	RSF	70.16	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$685.38	0.00	0.00	0.00	\$0.00	\$685.38
SHAW, MARK A	4701 N INDIGO LA	102534600	RSF	214.21	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$685.38	0.00	0.00	0.00	\$0.00	\$685.38
NO OWNER ON RECORD	N INDIGO LA/N SILKWOOD CI	102534704	RSF	55.00	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$68					

SAUCERMAN, ANTHONY D	4827 N THISTLE LA	102535701	RSF	105.00	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$685.38	0.00	\$0.00	\$685.38
FISH, SCOTT A	4869 N THISTLE LA	102535800	RSF	53.64	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$685.38	0.00	\$0.00	\$685.38
GCW INVESTMENTS LLC	4870 N THISTLE LA	102535900	RSF	69.06	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$685.38	0.00	\$0.00	\$685.38
MOLLON, MICHAEL J	4862 N THISTLE LA	102536000	RSF	62.56	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$685.38	0.00	\$0.00	\$685.38
COTTON, CRAIG A	4854 N THISTLE LA	102536100	RSF	69.63	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$685.38	0.00	\$0.00	\$685.38
HUVEN, ROSS J	4846 N THISTLE LA	102536200	RSF	64.87	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$685.38	0.00	\$0.00	\$685.38
HALFORD, KARL A	4838 N THISTLE LA	102536300	RSF	66.11	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$685.38	0.00	\$0.00	\$685.38
CRAWFORD, DAVID A	4830 N THISTLE LA	102536400	RSF	70.00	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$685.38	0.00	\$0.00	\$685.38
NIGL, CHRISTOPHER J	4822 N THISTLE LA	102536500	RSF	70.00	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$685.38	0.00	\$0.00	\$685.38
DUDEK, ADAM	4810 N THISTLE LA	102536600	RSF	70.00	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$685.38	0.00	\$0.00	\$685.38
GURNEE, EMILY	4802 N THISTLE LA	102536700	RSF	59.89	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$685.38	0.00	\$0.00	\$685.38
GCW INVESTMENTS LLC	4780 N THISTLE LA	102536800	RSF	82.83	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$685.38	0.00	\$0.00	\$685.38
FREMLING, HEATHER L	4760 N THISTLE LA	102536900	RSF	70.07	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$685.38	0.00	\$0.00	\$685.38
REITER, STEVEN D	4875 N THISTLE LA	102537000	RSF	100.00	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$685.38	0.00	\$0.00	\$685.38
MARX, NICHOLAS J	4901 N THISTLE LA	102537100	RSF	99.38	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$685.38	0.00	\$0.00	\$685.38
MIELKE, ADAM C	4913 N THISTLE LA	102537200	RSF	115.00	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$685.38	0.00	\$0.00	\$685.38
REBLIN, ZACKARY J	4925 N THISTLE LA	102537300	RSF	93.98	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$685.38	0.00	\$0.00	\$685.38
WICHMAN, JEFFREY	4933 N THISTLE LA	102537400	RSF	247.62	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$685.38	0.00	\$0.00	\$685.38
LEMKE, MARK H	4878 N THISTLE LA	102537500	RSF	203.88	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$685.38	0.00	\$0.00	\$685.38
DANFORTH, JASON L	4900 N THISTLE LA	102537600	RSF	77.87	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$685.38	0.00	\$0.00	\$685.38
FEIVOR, CORY	4885 N INDIGO LA	102537700	RSF	221.14	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$685.38	0.00	\$0.00	\$685.38
CARTER, BRENT M	4877 N INDIGO LA	102537800	RSF	71.01	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$685.38	0.00	\$0.00	\$685.38
GCW INVESTMENTS LLC	4869 N INDIGO LA	102537900	RSF	88.20	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$685.38	0.00	\$0.00	\$685.38
NIMKE, DAVID D	4857 N INDIGO LA	102538000	RSF	88.49	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$685.38	0.00	\$0.00	\$685.38
GCW INVESTMENTS LLC	4845 N INDIGO LA	102538100	RSF	88.41	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$685.38	0.00	\$0.00	\$685.38
GCW INVESTMENTS LLC	4833 N INDIGO LA	102538200	RSF	88.54	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$685.38	0.00	\$0.00	\$685.38
GCW INVESTMENTS LLC	4832 N INDIGO LA	102538300	RSF	77.67	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$685.38	0.00	\$0.00	\$685.38
JACOB CONSTRUCTION & DEV INC	4844 N INDIGO LA	102538400	RSF	77.99	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$685.38	0.00	\$0.00	\$685.38
STROMBERG, LEE JEROME	4856 N INDIGO LA	102538500	RSF	80.00	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$685.38	0.00	\$0.00	\$685.38
MASAK, JOHN G	4868 N INDIGO LA	102538600	RSF	86.48	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$685.38	0.00	\$0.00	\$685.38
FRYMARK, JAMES M	4876 N INDIGO LA	102538700	RSF	80.00	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$685.38	0.00	\$0.00	\$685.38
VANROOY, JOSEPH T	4884 N INDIGO LA	102538800	RSF	80.00	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$685.38	0.00	\$0.00	\$685.38
FEIVOR, MARK E	4892 N INDIGO LA	102538900	RSF	83.42	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$685.38	0.00	\$0.00	\$685.38
CURRAN, KEITH W	4900 N INDIGO LA	102539000	RSF	85.00	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$685.38	0.00	\$0.00	\$685.38
ALLEN, CLAYTON M	4916 N INDIGO LA	102539100	RSF	90.00	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$685.38	0.00	\$0.00	\$685.38
GUNDERSON, MAXWELL T	4932 N INDIGO LA/4932 N SILKWOOD CI	102539200	RSF	245.00	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$685.38	0.00	\$0.00	\$685.38
JACOB CONSTRUCTION & DEV INC	4938 N SILKWOOD CI	102539300	RSF	75.91	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$685.38	0.00	\$0.00	\$685.38
JACOB CONSTRUCTION & DEV INC	4944 N SILKWOOD CI	102539400	RSF	74.18	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$685.38	0.00	\$0.00	\$685.38
JACOB CONSTRUCTION & DEV INC	4950 N SILKWOOD CI	102539500	RSF	80.00	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$685.38	0.00	\$0.00	\$685.38
GROSS, TERRY S	4956 N SILKWOOD CI	102539600	RSF	71.00	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$685.38	0.00	\$0.00	\$685.38
POLZIN, ROBBY	4962 N SILKWOOD CI	102539700	RSF	60.61	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$685.38	0.00	\$0.00	\$685.38
WUNDERLICH JOHN	4968 N SILKWOOD CI	102539800	RSF	67.30	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$685.38	0.00	\$0.00	\$685.38
JACOB CONSTRUCTION & DEV INC	4974 N SILKWOOD CI	102539900	RSF	80.00	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$685.38	0.00	\$0.00	\$685.38
DEBRUIN, TYLER	4980 N SILKWOOD CI	102540000	RSF	74.04	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$685.38	0.00	\$0.00	\$685.38
MEACHAM DEV INC	4986 N SILKWOOD CI	102540100	RSF	59.42	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$685.38	0.00	\$0.00	\$685.38
FRANK, STEVEN J	4992 N SILKWOOD CI	102540200	RSF	59.41	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$685.38	0.00	\$0.00	\$685.38
GCW INVESTMENTS LLC	4998 N SILKWOOD CI	102540300	RSF	60.92	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$685.38	0.00	\$0.00	\$685.38
GCW INVESTMENTS LLC	5004 N SILKWOOD CI	102540400	RSF	81.28	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$685.38	0.00	\$0.00	\$685.38
FALK REV TRST, BARRY K	5010 N SILKWOOD CI	102540500	RSF	81.51	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$685.38	0.00	\$0.00	\$685.38
GCW INVESTMENTS LLC	5020 N SILKWOOD CT/5020 N INDIGO LA	102540600	RSF	241.16	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$685.38	0.00	\$0.00	\$685.38
EDGEWOOD 81 TRUST	5044 N INDIGO LA	102540700	RSF	90.08	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$685.38	0.00	\$0.00	\$685.38
GCW INVESTMENTS LLC	5060 N INDIGO LA	102540800	RSF	95.00	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$685.38	0.00	\$0.00	\$685.38
GCW INVESTMENTS LLC	5076 N INDIGO LA	102540900	RSF	95.05	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$685.38	0.00	\$0.00	\$685.38
JACOB CONSTRUCTION & DEV INC	4989 N INDIGO LA	102541100	RSF	98.26	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$685.38	0.00	\$0.00	\$685.38
JACOB CONSTRUCTION & DEV INC	4973 N INDIGO LA	102541200	RSF	89.08	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$685.38	0.00	\$0.00	\$685.38
DORMAN JT REV TRST	4957 N INDIGO LA	102541300	RSF	89.00	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$685.38	0.00	\$0.00	\$685.38
JACOB, JOHN F	4941 N INDIGO LA	102541400	RSF	89.00	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$685.38	0.00	\$0.00	\$685.38
MEACHAM DEVELOPMENT INC	4925 N INDIGO LA	102541500	RSF	89.00	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$685.38	0.00	\$0.00	\$685.38
EDGEWOOD 90 TRUST	4964 N INDIGO LA	102541600	RSF	245.03	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$685.38	0.00	\$0.00	\$685.38
GCW INVESTMENTS LLC	4980 N INDIGO LA	102541700	RSF	90.91	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$685.38	0.00	\$0.00	\$685.38
GCW INVESTMENTS LLC	5019 N SILKWOOD CT/4996 N INDIGO LA	102541800	RSF	220.06	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$685.38	0.00	\$0.00	\$685.38
CASHMAN, MATTHEW G	5011 N SILKWOOD CI	102541900	RSF	80.16	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$685.38	0.00	\$0.00	\$685.38
JACOB CONSTRUCTION & DEV INC	5005 N SILKWOOD CI	102542000	RSF	80.00	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$685.38	0.00	\$0.00	\$685.38
SANDOVAL PROPERTIES LLC	4985 N SILKWOOD CI	102542100	RSF	238.22	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$685.38	0.00	\$0.00	\$685.38
GCW INVESTMENTS LLC	4961 N SILKWOOD CI	102542200	RSF	221.79	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$685.38	0.00	\$0.00	\$685.38
JONES, ALLEN LEE	4945 N SILKWOOD CI	102542300	RSF	97.73	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$685.38	0.00	\$0.00	\$685.38
GCW INVESTMENTS LLC	4937 N SILKWOOD CI	102542400	RSF	90.03	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$685.38	0.00	\$0.00	\$685.38
GCW INVESTMENTS LLC	UNIT 1 - 1072 W CECILIA CT	103534704	RSF	56.83	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$685.38	0.00	\$0.00	\$685.38
GCW INVESTMENTS LLC	UNIT 2 - 1064 W CECILIA CT	103534705	RSF	56.83	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$685.38	0.00	\$0.00	\$685.38
GCW INVESTMENTS LLC	UNIT 3 - 1056 W CECILIA CT	103534706	RSF	56.83	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$685.38	0.00	\$0.00	\$685.38
MEACHAM DEVELOPMENT INC	UNIT 4 - 1048 W CECILIA CT	103534707	RSF	56.83	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$685.38	0.00	\$0.00	\$685.3

GCW INVESTMENTS LLC	UNIT 6 - 1032 W CECILIA CT	103534709	RSF	56.83	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$685.38	0.00	\$0.00	\$685.38
KIM REV TRST, DAVID D	UNIT 7 - 1024 W CECILIA CT	103534710	RSF	56.83	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$685.38	0.00	\$0.00	\$685.38
JENKS, SUE A	UNIT 8 - 1016 W CECILIA CT	103534711	RSF	56.83	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$685.38	0.00	\$0.00	\$685.38
EMENECKER, TIMOTHY F	UNIT 9 - 1008 W CECILIA CT	103534712	RSF	56.83	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$685.38	0.00	\$0.00	\$685.38
GCW INVESTMENTS LLC	UNIT 10 - 1000 W CECILIA CT	103534713	RSF	56.83	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$685.38	0.00	\$0.00	\$685.38
KUEHN, WENDELL	UNIT 11 - 1007 W CECILIA CT	103534714	RSF	56.83	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$685.38	0.00	\$0.00	\$685.38
GCW INVESTMENTS LLC	UNIT 12 - 1015 W CECILIA CT	103534715	RSF	56.83	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$685.38	0.00	\$0.00	\$685.38
GCW INVESTMENTS LLC	UNIT 13 - W CECILIA CT	103534716	RSF	56.83	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$685.38	0.00	\$0.00	\$685.38
MEACHAM DEVELOPMENT INC	UNIT 14 - 1031 W CECILIA CT	103534717	RSF	56.83	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$685.38	0.00	\$0.00	\$685.38
GCW INVESTMENTS LLC	UNIT 15 - 4786 N TONY CT	103534718	RSF	56.83	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$685.38	0.00	\$0.00	\$685.38
GCW INVESTMENTS LLC	UNIT 16 - 4795 N TONY CT	103534719	RSF	56.83	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$685.38	0.00	\$0.00	\$685.38
NUNN, STEPHEN	UNIT 17 - 4762 N TONY CT	103534720	RSF	56.83	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$685.38	0.00	\$0.00	\$685.38
FRANK, ANGELA M	UNIT 18 - 4750 N TONY CT	103534721	RSF	56.83	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$685.38	0.00	\$0.00	\$685.38
MEACHAM DEVELOPMENT INC	UNIT 19 - 4738 N TONY CT	103534722	RSF	56.83	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$685.38	0.00	\$0.00	\$685.38
GCW INVESTMENTS LLC	UNIT 20 - 4726 N TONY CT	103534723	RSF	56.83	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$685.38	0.00	\$0.00	\$685.38
GCW INVESTMENTS LLC	UNIT 21 - 4714 N TONY CT	103534724	RSF	56.83	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$685.38	0.00	\$0.00	\$685.38
MEACHAM DEVELOPMENT INC	UNIT 22 - 4711 N TONY CT	103534725	RSF	56.83	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$685.38	0.00	\$0.00	\$685.38
GCW INVESTMENTS LLC	UNIT 23 - 4723 N TONY CT	103534726	RSF	56.83	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$685.38	0.00	\$0.00	\$685.38
GCW INVESTMENTS LLC	UNIT 24 - 4735 N TONY CT	103534727	RSF	56.83	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$685.38	0.00	\$0.00	\$685.38
GCW INVESTMENTS LLC	UNIT 25 - 4747 N TONY CT	103534728	RSF	56.83	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$685.38	0.00	\$0.00	\$685.38
GCW INVESTMENTS LLC	UNIT 26 - 4759 N TONY CT	103534729	RSF	56.83	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$685.38	0.00	\$0.00	\$685.38
GCW INVESTMENTS LLC	UNIT 27 - 4771 N TONY CT	103534730	RSF	56.83	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$685.38	0.00	\$0.00	\$685.38
GCW INVESTMENTS LLC	UNIT 28 - 4783 N TONY CT	103534731	RSF	56.83	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$685.38	0.00	\$0.00	\$685.38
GCW INVESTMENTS LLC	UNIT 29 - 4795 N TONY CT	103534732	RSF	56.83	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$685.38	0.00	\$0.00	\$685.38
GCW INVESTMENTS LLC	UNIT 1 - 5096 N MILKWEED TR	103534733	RSF	133.20	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$685.38	0.00	\$0.00	\$685.38
GCW INVESTMENTS LLC	UNIT 2 - 5090 N MILKWEED TR	103534734	RSF	133.20	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$685.38	0.00	\$0.00	\$685.38
GCW INVESTMENTS LLC	UNIT 3 - 5084 N MILKWEED TR	103534735	RSF	133.20	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$685.38	0.00	\$0.00	\$685.38
GCW INVESTMENTS LLC	UNIT 4 - 5078 N MILKWEED TR	103534736	RSF	133.20	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$685.38	0.00	\$0.00	\$685.38
GCW INVESTMENTS LLC	UNIT 5 - 5072 N MILKWEED TR	103534737	RSF	133.20	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$685.38	0.00	\$0.00	\$685.38
GCW INVESTMENTS LLC	UNIT 6 - 5066 N MILKWEED TR	103534738	RSF	133.20	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$685.38	0.00	\$0.00	\$685.38
GCW INVESTMENTS LLC	UNIT 7 - 5060 N MILKWEED TR	103534739	RSF	133.20	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$685.38	0.00	\$0.00	\$685.38
GCW INVESTMENTS LLC	UNIT 8 - 5056 N MILKWEED TR	103534740	RSF	133.20	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$685.38	0.00	\$0.00	\$685.38
GCW INVESTMENTS LLC	UNIT 9 - 5048 N MILKWEED TR	103534741	RSF	133.20	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$685.38	0.00	\$0.00	\$685.38
GCW INVESTMENTS LLC	UNIT 10 - 5042 N MILKWEED TR	103534742	RSF	133.20	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$685.38	0.00	\$0.00	\$685.38
GCW INVESTMENTS LLC	UNIT 11 - 5036 N MILKWEED TR	103534743	RSF	133.20	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$685.38	0.00	\$0.00	\$685.38
GCW INVESTMENTS LLC	UNIT 12 - 5030 N MILKWEED TR	103534744	RSF	133.20	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$685.38	0.00	\$0.00	\$685.38
GCW INVESTMENTS LLC	UNIT 13 - 5024 N MILKWEED TR	103534745	RSF	133.20	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$685.38	0.00	\$0.00	\$685.38
GCW INVESTMENTS LLC	UNIT 14 - 5025 N MILKWEED TR	103534746	RSF	133.20	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$685.38	0.00	\$0.00	\$685.38
GCW INVESTMENTS LLC	UNIT 15 - 5033 N MILKWEED TR	103534747	RSF	133.20	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$685.38	0.00	\$0.00	\$685.38
GCW INVESTMENTS LLC	UNIT 16 - 5039 N MILKWEED TR	103534748	RSF	133.20	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$685.38	0.00	\$0.00	\$685.38
GCW INVESTMENTS LLC	UNIT 17 - 5047 N MILKWEED TR	103534749	RSF	133.20	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$685.38	0.00	\$0.00	\$685.38
GCW INVESTMENTS LLC	UNIT 18 - 5051 N MILKWEED TR	103534750	RSF	133.20	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$685.38	0.00	\$0.00	\$685.38
GCW INVESTMENTS LLC	UNIT 19 - 5033 N MILKWEED TR	103534751	RSF	133.20	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$685.38	0.00	\$0.00	\$685.38
GCW INVESTMENTS LLC	UNIT 20 - 5055 N MILKWEED TR	103534752	RSF	133.20	0.00	\$0.00	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$685.38	0.00	\$0.00	\$685.38
				19646.44	4129.66	\$168,025.70	1575.64	1194.38	\$79,288.00	1575.64	1194.38	\$362,964.05	\$99,380.39	4129.66	\$150,141.07	\$760,418.83

Workbook: Elsner Road
Worksheet: Engineer's report
Disk: w:\Projects\G0006\930325\00\Spreadsheets
Date: February 22, 2019



AGENDA REQUEST
12/18/2018

TOPIC: Special assessment methodology for the 2019 Elsner Road urbanization project.

<input checked="" type="checkbox"/> New Business <input type="checkbox"/> Unfinished Business <input type="checkbox"/> Reports <input type="checkbox"/> Closed Session <input type="checkbox"/> Ordinance/Resolution	Meeting: Town Board
Department Reporting: Public Works	Submitted By: Katie Schwartz, Director PW

ISSUE: Shall the Town Board approve a methodology for special assessments for street, storm sewer, sanitary and water improvements proposed for the 2019 Elsner Road urbanization project.

BACKGROUND/ANALYSIS: This project begins at Gillett Street and ends at Richmond Street. The purpose for this project is to reconstruct and urbanize the existing roadway so it can continue to safely handle existing and future traffic volumes. The work proposed for this project will reconstruct the existing roadway to a 39-foot urban roadway with storm sewer, a trail on the south side, street lights, and the addition of water and sewer where it currently does not service. Elsner Road is a collector street.

This area is a combination of single-family residential, agricultural, and light commercial uses. Storm sewer from the west third of the project will drain to the west into the Gillett storm sewer where it will be conveyed to the Gillett pond. The remainder of the storm sewer will be piped to the crossing of the tributary to Mud Creek. A trail will be provided on the south side of Elsner Road.

The street special assessment is recommended to be assessed at 66.7% for residential properties and 100% for commercial. Storm sewer special assessments are recommended to be calculated per front foot in accordance with the policy with one rate for Single Family and Two Family zoned parcels and a second rate for all other zoning, including Agricultural. Staff recommends that any Agricultural parcel being used as a residential property be assigned a storm sewer assessment based on the residential rate. Over-build costs for the wider roadway, thicker pavement, oversized storm sewer, trail, and any other items that are over and above that of a standard subdivision street have been backed out of the assessment for residentially used properties per the current Special Assessment Policy. These will be Town costs. The schedule of special assessments based on the 2/3-1/3 ratio for residential properties has been included (Attachment No. 1) and is based on the Policy for Special Assessments. Using this schedule, the total estimated assessed cost for the street portion would be \$408,555.68 (23%) while the total estimated Town cost for the street portion would be \$1,365,046.15 (77%). In addition, the schedule assigns \$20/foot maximum for storm sewer to the residential property owners and \$40/foot maximum for storm sewer to commercial properties per the Town's current fee schedule.

On September 3, 2013 the Roadway Development Agreement for Edgewood Acres was signed. This agreement includes a provision for a Future Area-Wide Assessment to all land within the subdivision. See Section IV.P.1 of Attachment No. 5 - Roadway Development Agreement. In addition, Attachment E of the Development Agreement is the signed Waiver of Special Assessment Notices and Hearings and Consent to Assessments. As such it is recommended that the front footage of Edgewood Acres be assessed at the residential assessment rate for streets with the cost shared equally amongst the 145 parcels in the subdivision. As this is an area-wide assessment, staff recommendation would be to not allow for wetland deferments or pond exemptions. Storm sewer and utilities are not being assessed to Edgewood Acres. All owners within Edgewood Acres have been made aware of the area-wide assessment, since the Developer was responsible for providing written disclosure of this future area-wide assessment to all purchasers of land in the subdivision. There was not a similar provision in the Roadway Development Agreements for Starview Heights or Butterfly Fields.

For both the street and storm assessments, the Special Assessment Policy states that "When special assessments are determined on a front-foot basis in residential (RSF, RTF, R-1, R-2, AND R-3) areas, the frontage calculation for assessment purposes shall be based on the assessable width of other similar sized lots in the assessment area, but in no event shall the assessment method be for less than 75 feet of frontage. This method was used for several irregular parcels (101035500, 101035207, 101035501, and 101035200). Parcels 101035501 and 101035200 only have access to Elsner via an ingress/egress easement. The 75 foot minimum frontage was used for these two parcels. In addition, parcel 101035200 is currently zoned AGD but it does have an outbuilding and is a buildable lot; therefore it is being assessed as a residential parcel.

Additional sanitary sewer and water main is required on Elsner Road to service several residential and vacant properties as well as two commercial properties. The base special assessment method for sanitary sewer and water main is by foot of adjacent frontage. The policy states that "Assessments will be levied according to the front foot dimensions of abutting property, except as noted. Area-wide assessments may also be used which may include per unit and/or acreage charges if they are deemed more appropriate..." The assessments were based on 8" mains for both sanitary and water. The schedule is based on front footage. The policy allows a deferment of hook-up and payment of the principal amount of the assessment for residents up to ten (10) years for a property that has installed a new or replacement private system within ten (10) years of the installation of the public system. Properties not meeting the deferment requirements are required to connect to sewer and water mains within 90-days of construction. Vacant parcels will need to connect to utilities before building permits would be issued. All of the properties are attached to Sanitary District 1 and 2.

A schedule of special assessments based on a 50/50 ratio for residential properties has been included (Attachment No. 6) for discussion purposes. Using this schedule the total estimated assessed cost for the street portion would be \$385,641.51 (22%) while the total estimated Town cost for the street portion would be \$1,387,960.32 (78%). This would be a reduction of 14.4% to residential properties for the street portion of the assessment.

Other items to note:

- Per the Special Assessment Policy single and two-family residential properties that have frontages where the access is physically or legally prohibited are exempt from assessment on that frontage.
- The AGD zoned parcels will not receive any agricultural land adjustment because they are not being farmed.
- The AGD zoned parcels being used as residential are proposed to be assessed as residential.
- An area-wide assessment/trip generation was not incorporated as most properties are single family residential adjoining the corridor and not mixed use or multi-family residential.
- Standard credits have been assigned for corner lots.
- All estimated costs are preliminary. There will likely be quantity changes before going to bid and the final schedule will be based on actual bid prices.

RECOMMENDATION: Staff recommends that the special assessment methodology for this project be on a "per foot of frontage" basis in accordance with the current Special Assessment Policy with a 2/3 - 1/3 ratio for residential properties for the street portion of the assessment. Storm, sanitary, and water will be on a "per foot of frontage" basis. All over-build and ped/bike facilities have been removed from the residential portion of the project costs prior to the calculation of the residential special assessments. The Edgewood Acres Subdivision will be included in the schedule of special assessments for the street work based on frontage of the subdivision on Elsner. This methodology correlates to Attachment No. 1 - Elsner schedule of special assessments (67% residential street).

FISCAL IMPACT: CIP

This project has been included in the 2019 CIP. The estimated total project cost is \$2,993,650.43 with the Town portion being \$2,294,951.38 (77%) with the assessed portion being \$698,699.05 (23%). All properties are able to finance the assessments with the Town for up to 10 years at the current bond rate plus 2%.

ATTACHMENTS:

- Attachment No. 1 - Elsner schedule of special assessments (67% residential street)
- Attachment No. 2 - Resolution mapping for urbanization, storm, sanitary/water
- Attachment No. 3 - Zoning map
- Attachment No. 4 - Map with parcel numbers
- Attachment No. 5 - Roadway Development Agreement
- Attachment No. 6 - Elsner schedule of special assessments (50% residential street)

**Town of Grand Chute
Conditional Use Permit Request
Town of Grand Chute – French Road Culvert Replacement**

To: Plan Commission

From: Robert Buckingham, Community Development Director

Date: February 28, 2019

Address: N. French Road

App. #: CUP-01-19

REQUEST

This project consists of replacing an existing culvert on an unnamed stream under N. French Road. The project is located approximately 500 feet north of Northland Avenue. The existing concrete box culvert will be removed and a new corrugated metal culvert will be installed. A 30-foot section of N. French Road will be reconstructed as part of this work. A County Conditional Use Permit is required to allow grading and alteration of a stream for the culvert replacement project.

ANALYSIS

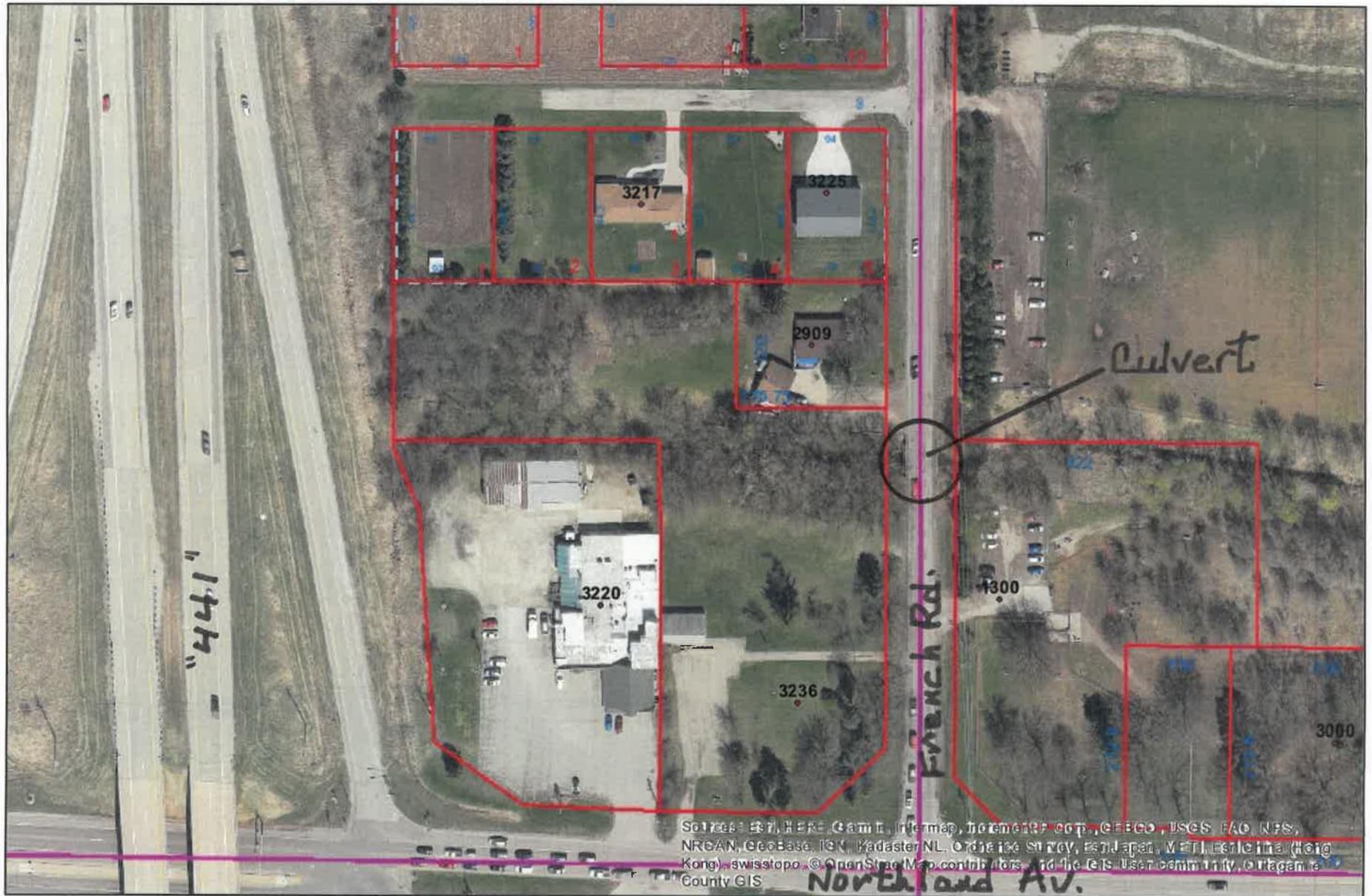
As was previously reported to the Commission, the Backwater Analysis for this project indicated that the new culvert pipe sizing had to be increased from what was initially being designed. Following completion of a cost comparison analysis for two different pipe options (concrete box culvert versus corrugated metal arch culvert), the chosen alternative is a 12'10" x 8'4" metal culvert. The new culvert is designed to accommodate the 100-year storm event with no rise in surface water elevations upstream of the project. No flooding easements will be required from upstream property owners. There will be no wetlands impacted by this work.

Best management practices will be in place for the duration of the construction project and until final stabilization of exposed soils.

RECOMMENDATION

Staff has reviewed and supports a Plan Commission recommendation for approval of the Conditional Use Permit (CUP-01-19) requested by the Town of Grand Chute to allow grading and stream alteration associated with the replacement of a culvert under N. French Road.

Town of Grand Chute Web Map

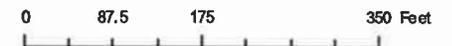


Disclaimer: The data provided in the Town of Grand Chute Interactive GIS Map was generated from multiple sources and agencies. Every effort has been made to offer the most accurate data. However, the Town provides this information with the understanding that it is not guaranteed to be accurate, correct, or complete. The Town may make improvements to the Interactive GIS Map periodically. Conclusions drawn from this information are the responsibility of the user. The user agrees that the Town of Grand Chute shall not be held responsible for actions, claims, damages, or judgments made from this data.

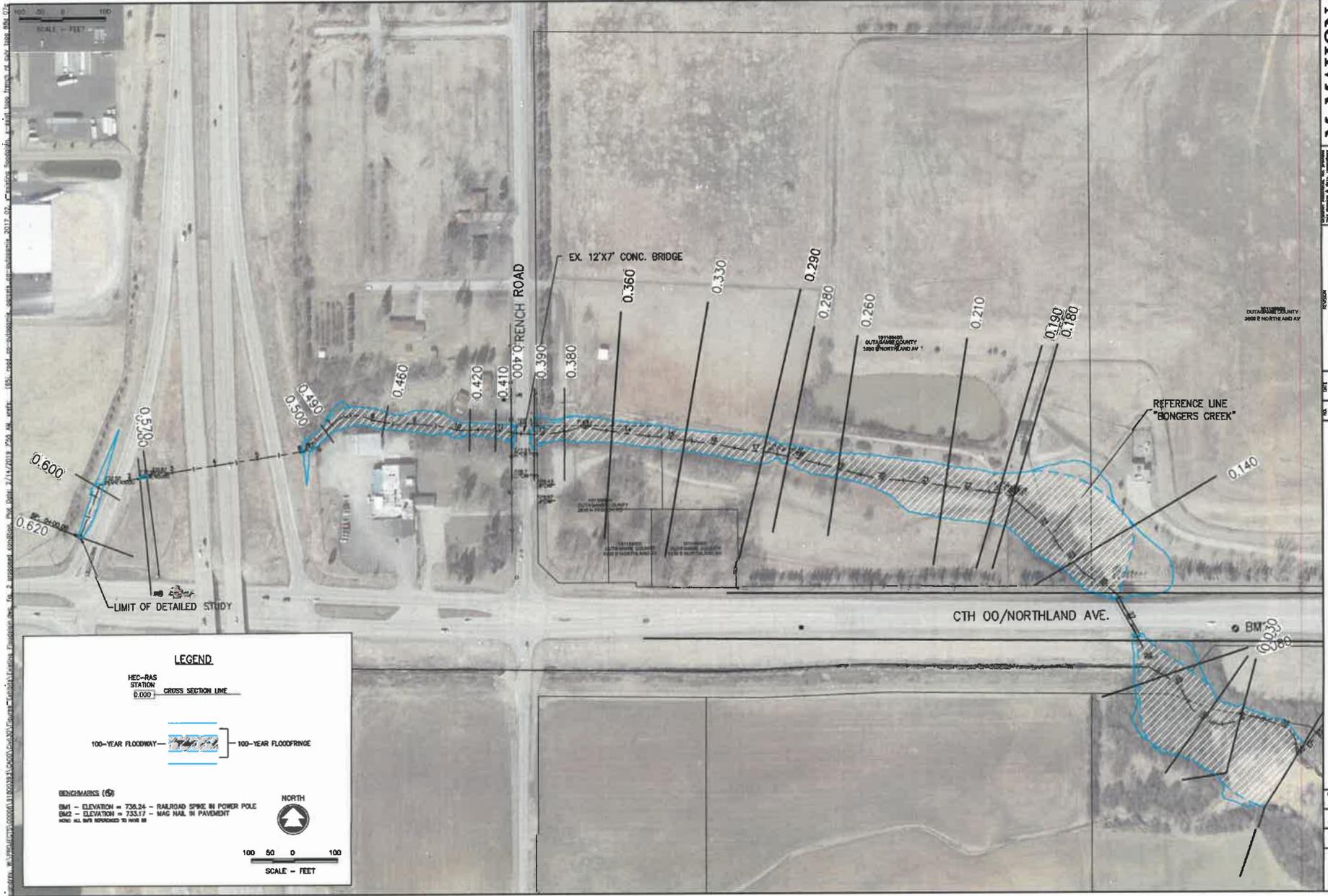
CUP-01-19

Author: Town of Grand Chute web viewer

Copyright: Town of Grand Chute



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McMAHON
 McMAHON ASSOCIATES, INC.
 445 BIRCHWOOD DRIVE, WILMINGTON, DELAWARE 19806
 TEL: 302.737.1000 FAX: 302.737.1004 WWW.MCMAPRO.COM

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NO.	DATE	REVISION

FRENCH RD BACKWATER ANALYSIS
TOWN OF GRAND CHUTE, OUTAGAMIE CO., WI
EXISTING CONDITION

DESIGNED	DRAWN
SMJ	SMJ
PROJECT NO.	
00005-8-18-00383	
DATE	
FEB. 2019	
SHEET NO.	

FIG.1

FRENCH ROAD CULVERT REPLACEMENT TOWN OF GRAND CHUTE

PRELIMINARY

OUTAGAMIE COUNTY, WISCONSIN
MCM # G0006-9-18-00393

CONTACT INFORMATION

UTILITIES

WE ENERGIES
DEVIN WICKMAN (ELECTRIC)
DEBORA ROBINSON (GAS)
800 SOUTH LYNDIALE DRIVE
APPLETON, WI 54912
(920) 380-3432 (ELECTRIC)
(920) 380-3483 (GAS)
Devin.Wickman@we-energies.com
Debora.Robinson@we-energies.com

OWNER CONTACT

TOWN OF GRAND CHUTE, PUBLIC WORKS
KATE SCHWARTZ, DIRECTOR OF PUBLIC WORKS
1850 N. GRAND CHUTE BOULEVARD
GRAND CHUTE, WI 54913-0613
(920) 552-1581
kate.schwartz@grandchute.net

DESIGN CONTACT

McMAHON ASSOCIATES, INC.
CARL SUTTER
1445 McMAHON DRIVE
NEENAH, WI 54956
(920) 751-4200
csutter@mcgrp.com



PROJECT LOCATION

SHEET INDEX

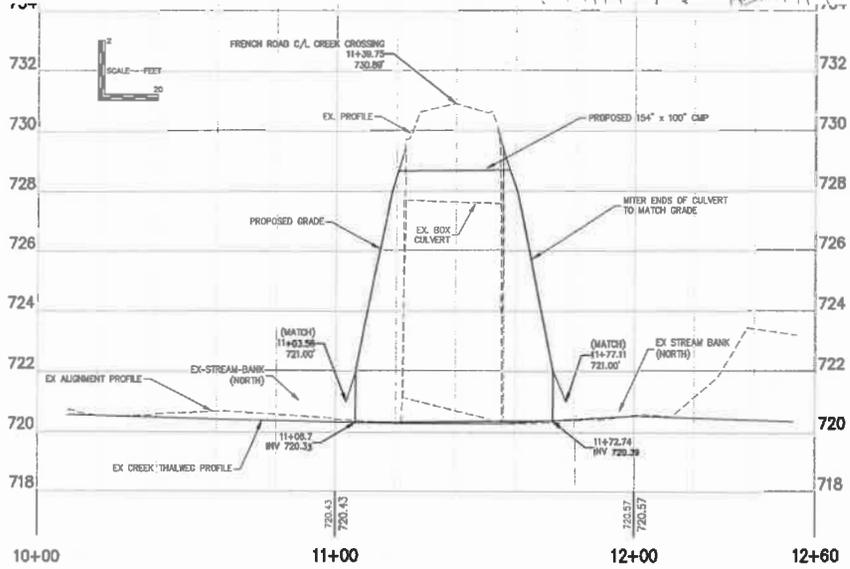
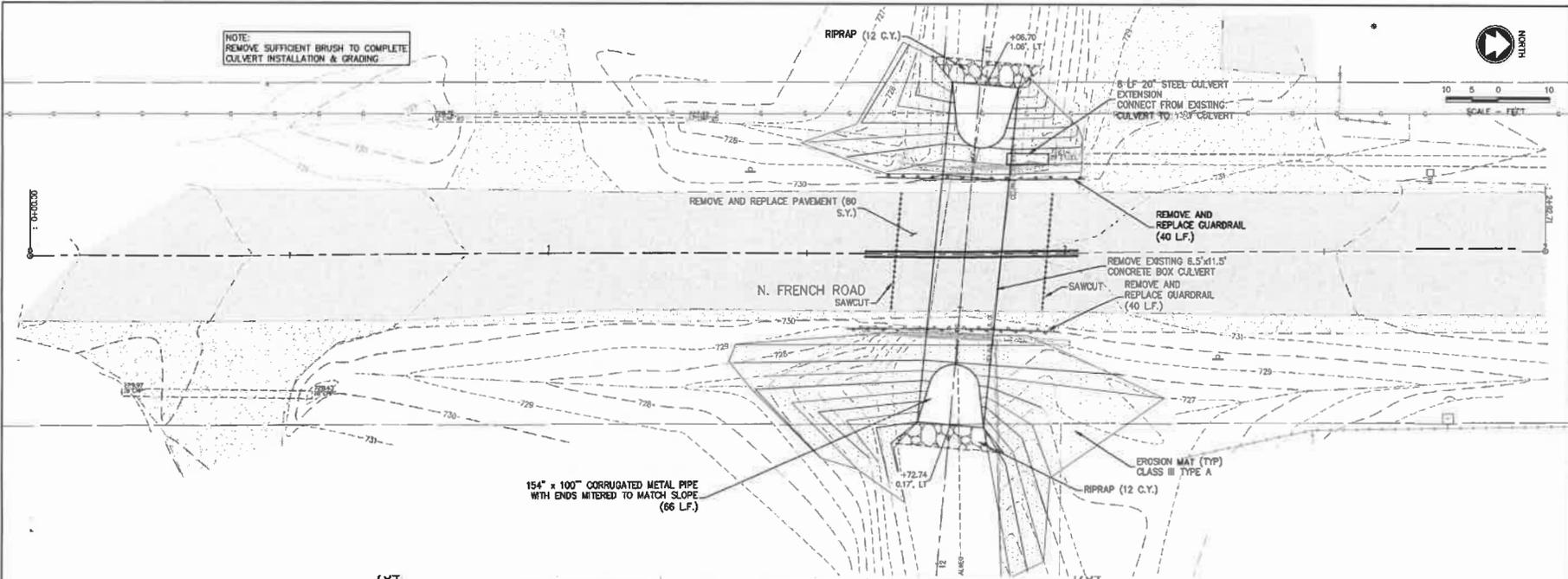
- 1 ABBREVIATIONS, SYMBOLS & NOTES
- 2 SURVEY CONTROL
- 3 TYPICAL SECTIONS
- 4 PLAN AND PROFILE
- 5 PAVEMENT MARKING
- 6 EROSION CONTROL
- 7-8 MISCELLANEOUS DETAILS

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DATE
11/2018
PROJECT NO.
G0006-9-18-00393

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 Date: 11/2016
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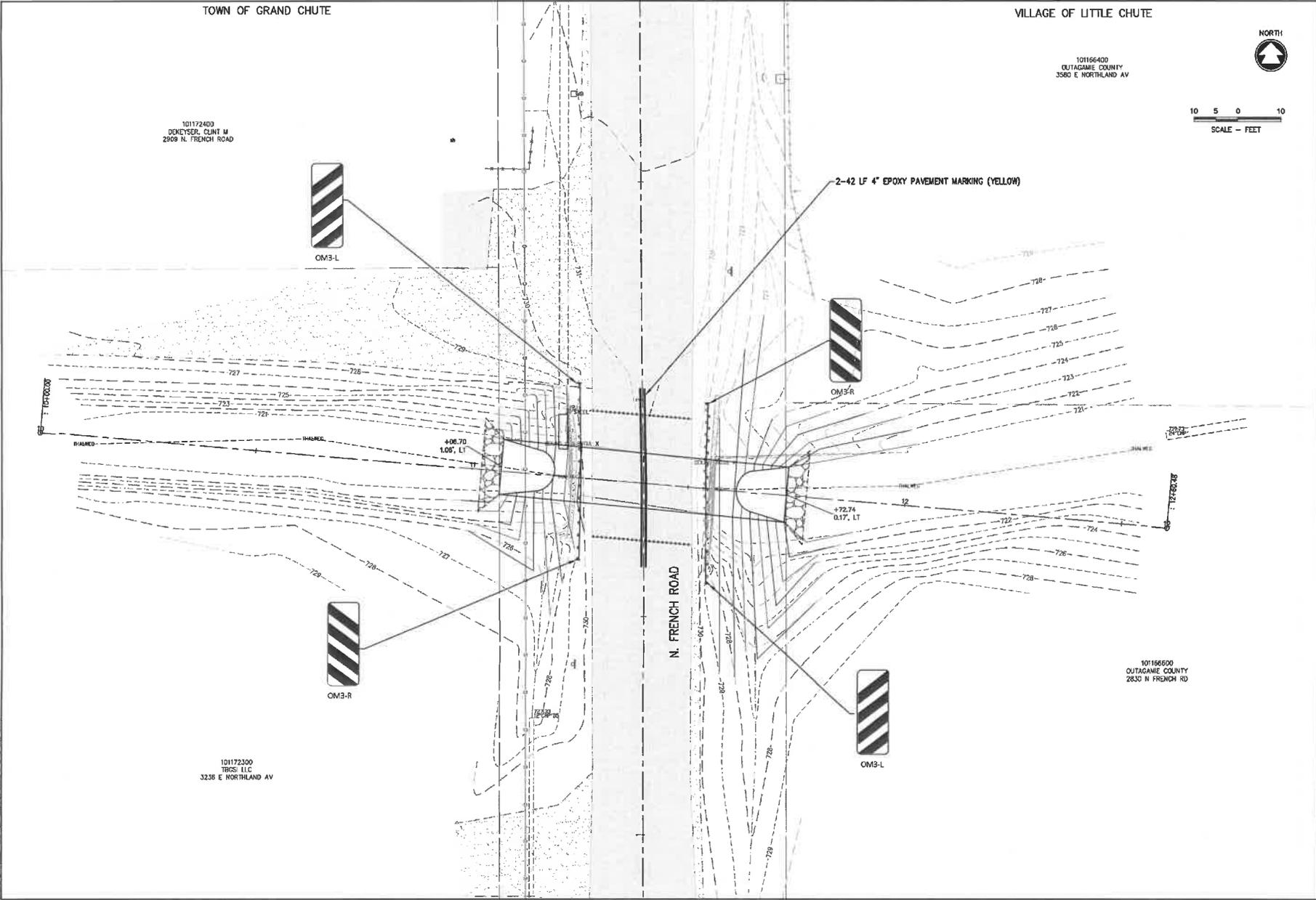
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 1440 WASHINGTON DRIVE, WESTON, WI 53183
 PH: 608.731.6200 FAX: 608.731.6209 WWW.MCMANON.COM

FRENCH ROAD CULVERT REPLACEMENT TOWN OF GRAND CHUTE, OUTAGAMIE COUNTY WISCONSIN PLAN AND PROFILE

DESIGNED	CHANG
CHECKED	
PROJECT NO.	0006-9-19-00363
DATE	11/2016
SHEET NO.	04

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TOWN OF GRAND CHUTE

VILLAGE OF LITTLE CHUTE

101172400
 DEKEYSER, CLINT M
 2909 N. FRENCH ROAD

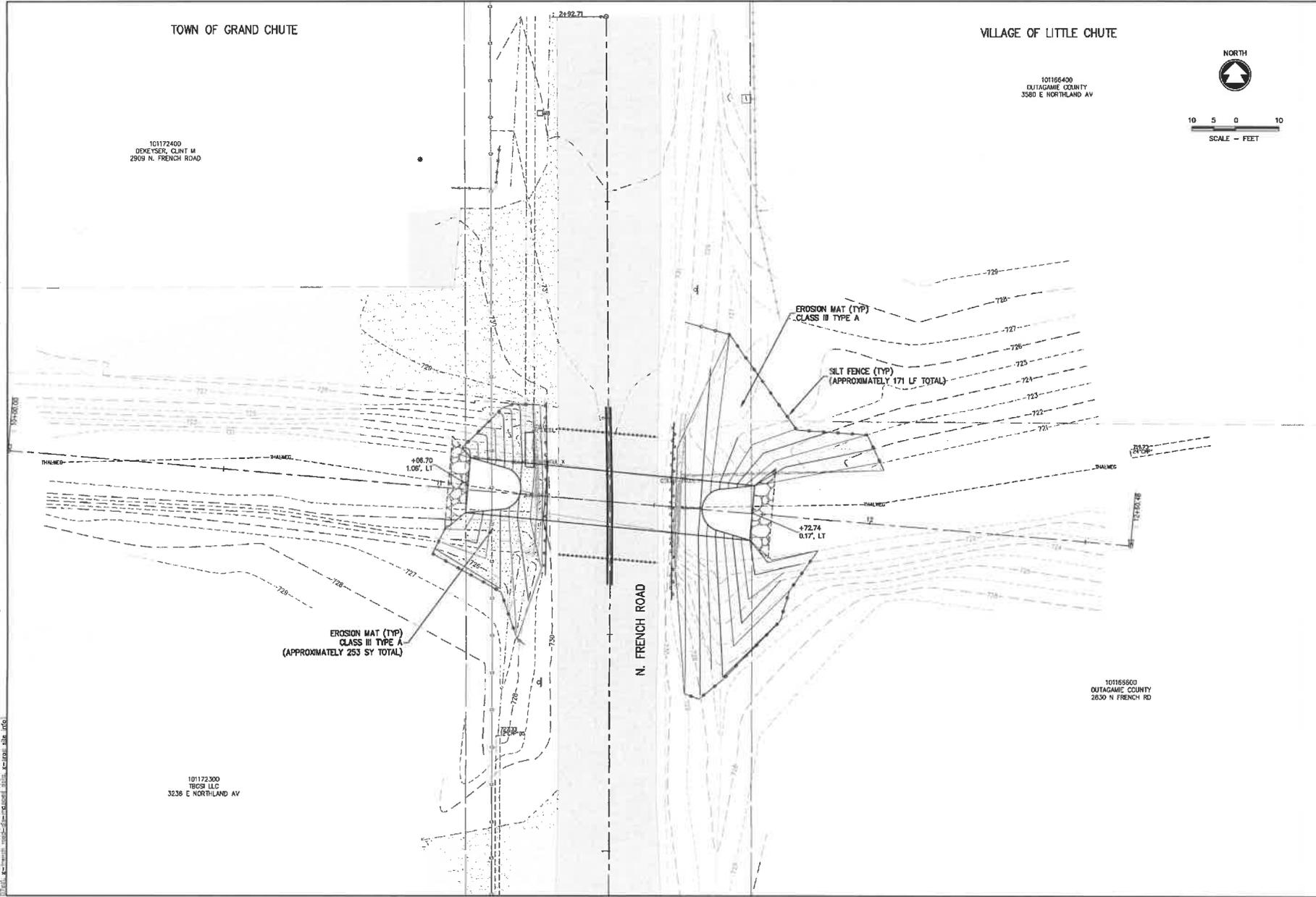
101166400
 OUTAGAMIE COUNTY
 3580 E. NORTHLAND AV



1445 HAWKINS DRIVE, NEENAH, WI 54959 PH: 920.834.7200 FX: 920.834.7204 MCMC@MCMC.COM	
DESIGNED BY	DATE
DRAWN BY	DATE
CHECKED BY	DATE
IN CHARGE	DATE
FRENCH ROAD CULVERT REPLACEMENT TOWN OF GRAND CHUTE, OUTAGAMIE COUNTY WISCONSIN PAVEMENT MARKING	
DESIGNED	DRAWN
PROJECT NO.	DATE
00005-S-18-02393	11/2018
SHEET NO.	
05	

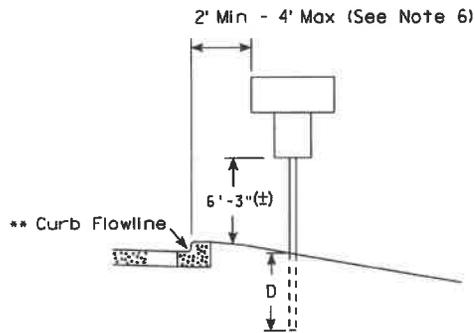
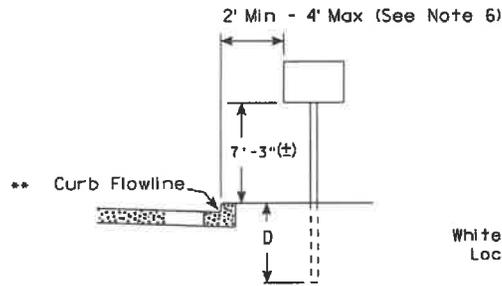
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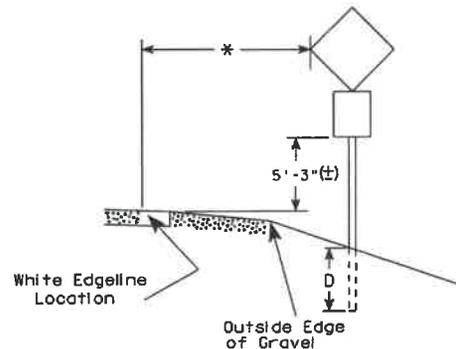
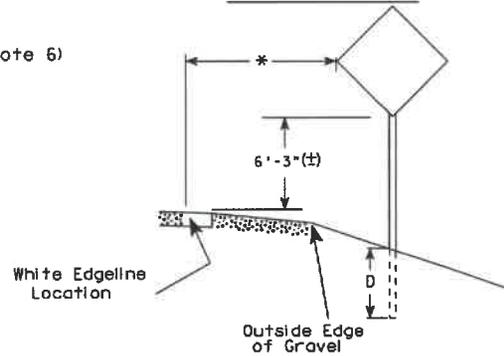
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101172400 DENEYSEN, CLINT M 2809 N. FRENCH ROAD	
101172300 TROSC, JILL 3238 E NORTHLAND AV	
101166600 OUTAGAMIE COUNTY 2630 N FRENCH RD	
NO.	DATE
FRENCH ROAD CULVERT REPLACEMENT TOWN OF GRAND CHUTE, OUTAGAMIE COUNTY WISCONSIN EROSION CONTROL	
DESIGNED	DRAWN
PROJECT NO.	00006-9-16-00393
DATE	11/2018
SHEET NO.	06

URBAN AREA



** The existence of curb and gutter does not in itself mandate the vertical clearance illustrated. That height is typically measured where there is sidewalk adjacent to the roadway or parking is permitted. In the absence of sidewalk vertical clearance is measured from the top of the curb. Offset of signs is measured from the flow line.

RURAL AREA (See Note 2)



* 6 feet from edge of a paved shoulder or 12 feet from the edge of pavement (edge line location) or 2 feet from outside edge of gravel, whichever is greater unless directed by project engineer.

POST EMBEDMENT DEPTH

Area of Sign Installation (Sq. Ft.)	D (Min)
20 or Less	4'
Greater than 20	5'

GENERAL NOTES

1. Signs wider than 4 feet or 20 sq.ft or larger, shall be mounted on multiple posts. Refer to plate A4-4.
2. If signs are mounted on barrier wall, see A4-10 sign plate.
3. For expressways and freeways, mounting height is 7'- 3" (±) or 6'-3" (±) depending upon existence of a sub-sign.
4. J-Assemblies are considered to be one sign for mounting height.
5. Minimum mounting height for signs mounted on traffic signal poles is 5'- 3" (±).
6. Offset distance shall be consistent with existing signs or consistent throughout length of project.
7. The (±) tolerance for mounting height is 3 inches.
8. Folding signs shall be mounted at a height of 5'-3" (±) or as directed by the Engineer.
9. The Double Arrow sign (W12-1) shall be mounted at a height of 2'-3" (±). The Chevron sign (W1-8), Roundabout Chevron panel (R6-4B), Enhanced Reference Markers, Clearance Markers (W5-52), Mile Markers (D10 series), In Road Object Markers (W5-54) & End of Road Markers (W5-56) shall be mounted at a height of 4'-3" (±).

TYPICAL INSTALLATION OF PERMANENT TYPE II SIGNS ON SINGLE POSTS

WISCONSIN DEPT OF TRANSPORTATION

APPROVED *Matthew R. Lamb*
 State Traffic Engineer

DATE 8/21/17 PLATE NO. A4-3.2I

**Town of Grand Chute
Conditional Use Permit Request
Town of Grand Chute – Apple Creek Rd Culvert Replacement**

To: Plan Commission

From: Robert Buckingham, Community Development Director

Date: February 14, 2019

Address: E. Apple Creek Road

App. #: CUP-02-19

REQUEST

This project consists of replacing an existing culvert on a portion of Apple Creek that passes under E. Apple Creek Road. The project is located just north of the intersection at Apple Creek Road and Apple Creek Court. The existing wooden box culvert will be removed and a new reinforced concrete box culvert will be installed. An 80-foot section of E. Apple Creek Road will be reconstructed as part of this work. A County Conditional Use Permit is required to allow grading and alteration of a stream for the culvert replacement project.

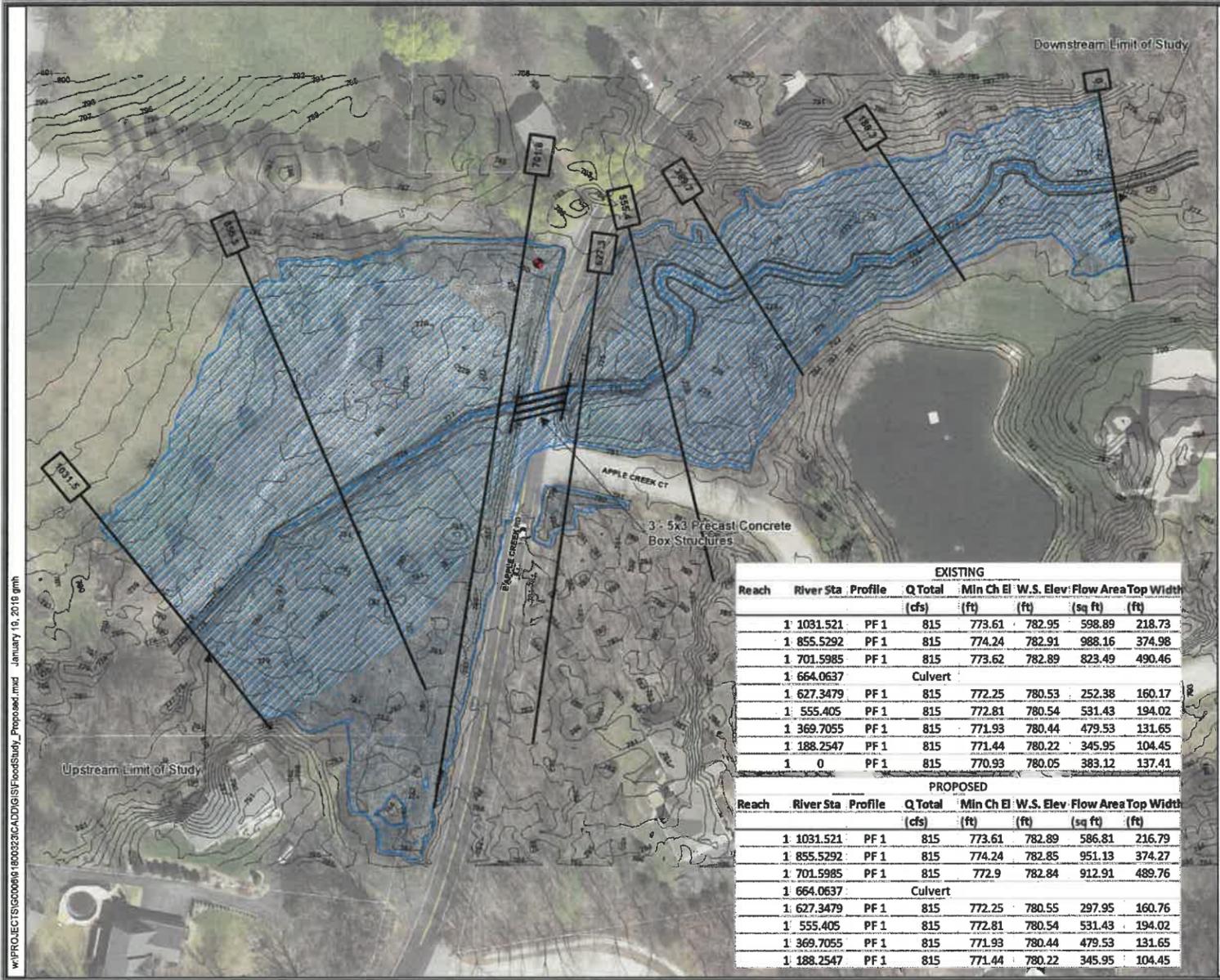
ANALYSIS

A Backwater Analysis was conducted to evaluate the impacts the culvert replacement project will have on regulatory floodplain limits. The proposed new culvert is designed to accommodate the 100-year storm event with no rise in surface water elevations upstream of the project. No flooding easements will be required from upstream property owners. Areas of wetlands impacted by this project will be mitigated through a WDNR transportation project permit.

Best management practices will be in place for the duration of the construction project and until final stabilization of exposed soils.

RECOMMENDATION

Staff has reviewed and supports a Plan Commission recommendation for approval of the Conditional Use Permit (CUP-02-19) requested by the Town of Grand Chute to allow grading and stream alteration associated with the replacement of a culvert under E. Apple Creek Road.



- Mapped Features**
- Proposed 100-year Floodway
 - Proposed 100-year Floodplain
 - Cross-Sections
 - 1ft Contours
 - Apple Creek Centerline
 - BM TRED 72 (Elev=783.16)
- BM Referenced to NAVD 88

Source: Outagamie County, 2014-17.

Disclaimer: The property lines, right-of-way lines, and other property information on this drawing were developed or obtained as part of the County Geographic Information System or through the County property tax mapping function. McMAHON ASSOCIATES, INC. does not guarantee this information to be correct, current, or complete. The property and right-of-way information are only intended for use as a general reference and are not intended or suitable for site-specific uses. Any use to the contrary of the above stated uses is the responsibility of the user and such use is at the user's own risk.



FIGURE 2
PROPOSED CONDITION FLOODPLAIN
 APPLE CREEK CULVERT REPLACEMENT
 BACKWATER ANALYSIS
 TOWN OF GRAND CHUTE
 OUTAGAMIE COUNTY, WISCONSIN

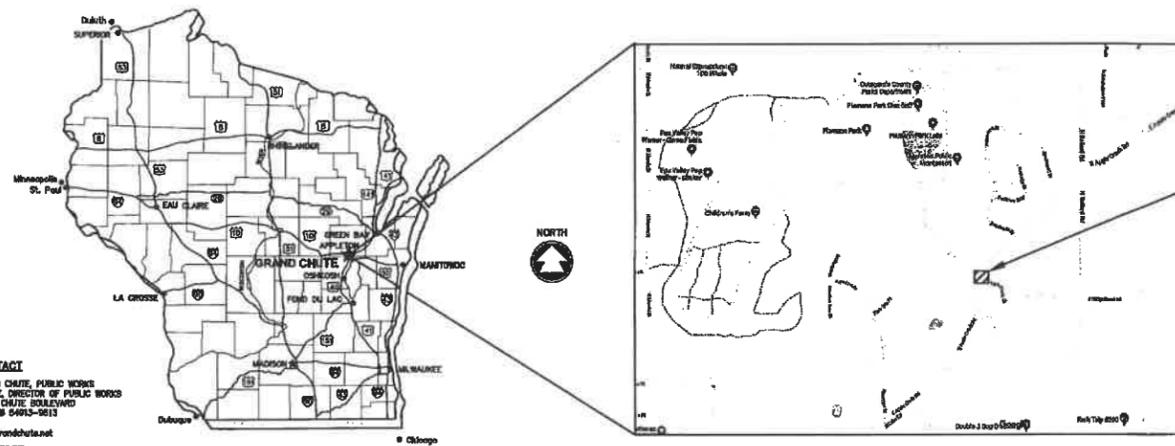
EXISTING								
Reach	River Sta	Profile	Q Total	Min Ch El	W.S. Elev	Flow Area	Top Width	
			(cfs)	(ft)	(ft)	(sq ft)	(ft)	
1	1031.521	PF 1	815	773.61	782.95	598.89	218.73	
1	855.5292	PF 1	815	774.24	782.91	988.16	374.98	
1	701.5985	PF 1	815	773.62	782.89	823.49	490.46	
1	664.0637		Culvert					
1	627.3479	PF 1	815	772.25	780.53	252.38	160.17	
1	555.405	PF 1	815	772.81	780.54	531.43	194.02	
1	369.7055	PF 1	815	771.93	780.44	479.53	131.65	
1	188.2547	PF 1	815	771.44	780.22	345.95	104.45	
1	0	PF 1	815	770.93	780.05	383.12	137.41	
PROPOSED								
Reach	River Sta	Profile	Q Total	Min Ch El	W.S. Elev	Flow Area	Top Width	
			(cfs)	(ft)	(ft)	(sq ft)	(ft)	
1	1031.521	PF 1	815	773.61	782.89	586.81	216.79	
1	855.5292	PF 1	815	774.24	782.85	951.13	374.27	
1	701.5985	PF 1	815	772.9	782.84	912.91	489.76	
1	664.0637		Culvert					
1	627.3479	PF 1	815	772.25	780.55	297.95	160.76	
1	555.405	PF 1	815	772.81	780.54	531.43	194.02	
1	369.7055	PF 1	815	771.93	780.44	479.53	131.65	
1	188.2547	PF 1	815	771.44	780.22	345.95	104.45	

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APPLE CREEK ROAD BOX CULVERT REPLACEMENT TOWN OF GRAND CHUTE

OUTAGAMIE COUNTY, WISCONSIN
MCM # G0006 9-18-00323

PRELIMINARY



PROJECT LOCATION

CONTACT INFORMATION

UTILITIES

WE ENERGIES
ANDREW PETERSON (ELECTRIC)
HEATHER BUSH (GAS)
800 SOUTH LYNDALE DRIVE
APPLETON, WI 54912
(920) 390-3485 (ELECTRIC)
(920) 393-9835 (GAS)
andrew.peterson@we-energies.com
heather.bush@we-energies.com

OWNER CONTACT

TOWN OF GRAND CHUTE, PUBLIC WORKS
KATE SCHWARTZ, DIRECTOR OF PUBLIC WORKS
1000 N. GRAND CHUTE BOULEVARD
GRAND CHUTE, WI 54931-0613
(920) 832-1561
kate.schwartz@grandchute.net

DESIGN CONTACT

McMAHON ASSOCIATES, INC.
CURL SUTTER
ANDY ROHWERT
1445 McMAHON DRIVE
NEENAH, WI 54956
(920) 701-6200
andrew@mcmahon.com
andy@mcmahon.com

DNR LIAISON

DEPARTMENT OF NATURAL RESOURCES
MATT SOVANE
2014 SHAWANO AVENUE
GREEN BAY, WI 54307-0448
(920) 305-1544
matt.sovane@dnr.wisconsin.gov

DIGGERS HOTLINE

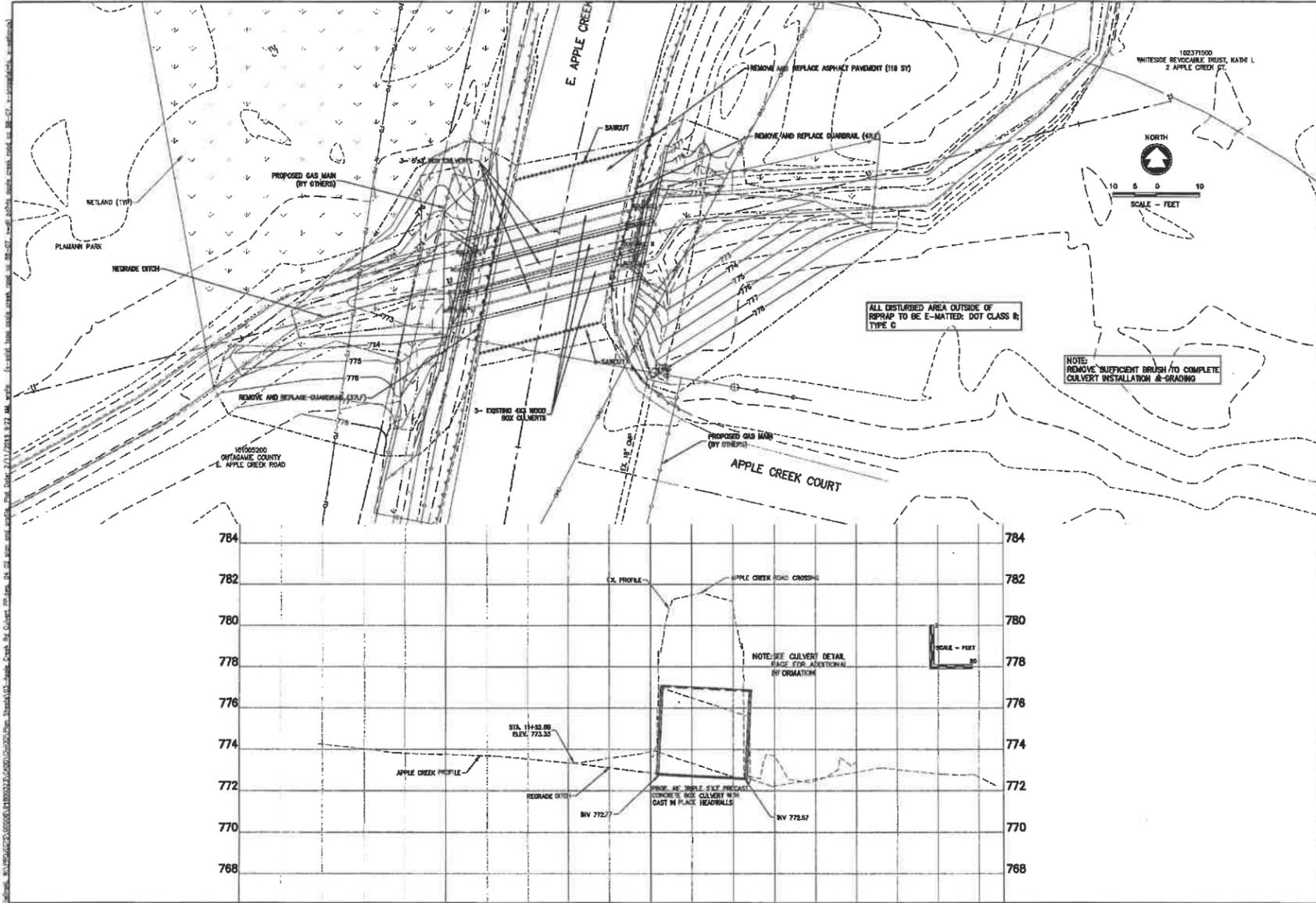
Dial 811 or (800) 242-8511
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SHEET INDEX

- 1 ABBREVIATIONS, SYMBOLS & NOTES
- 2 SURVEY CONTROL
- 3 TYPICAL SECTIONS
- 4 PLAN AND PROFILE
- 5 PAVEMENT MARKING
- 6 EROSION CONTROL
- 7-9 MISCELLANEOUS DETAILS
- S1-S4 HEADWALL DETAILS

DATE
09/2018
PROJECT NO.
00006 9-18-00323

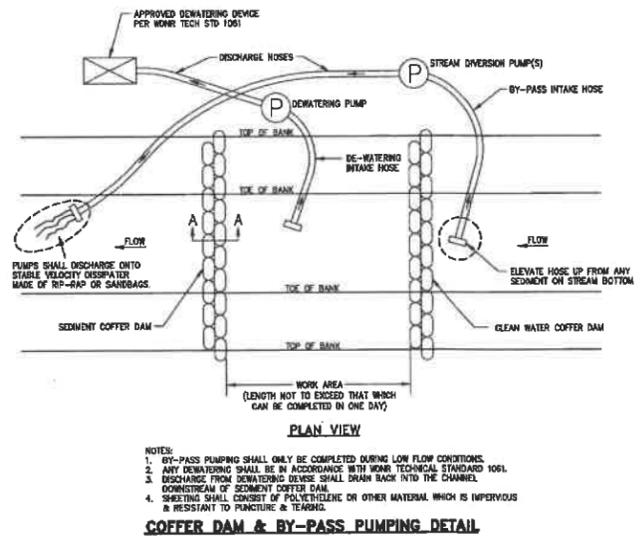
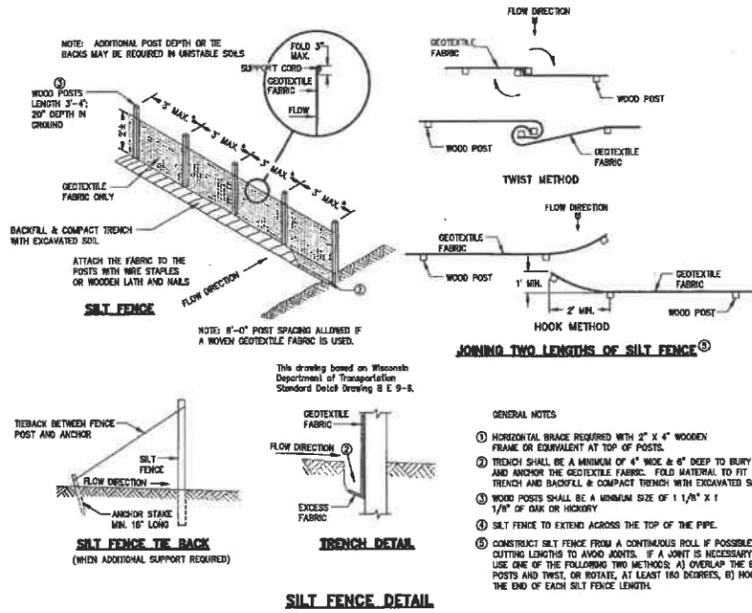
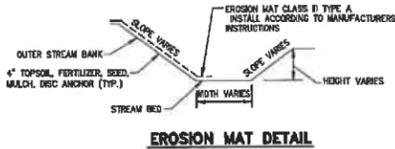
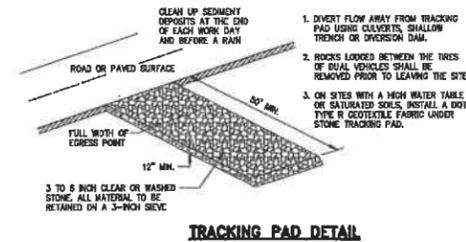


McMAHON
 CIVIL ENGINEERING & SURVEYING, INC.
 1400 HANCOCK DRIVE, NEENAH, WI 54956
 PHONE: (920) 735-1000 FAX: (920) 735-1001
 WWW.McMAHONENGINEERING.COM

PROJECT NO.	00006 0-15-00023
DATE	06/20/16
SHEET NO.	04

DESIGNED BY: JLL
 CHECKED BY: JLL
 PROJECT NO.: 00006 0-15-00023
 DATE: 06/20/16
 SHEET NO.: 04

APPLE CREEK ROAD BOX CULVERT REPLACEMENT
 TOWN OF GRAND CHUTE, OUTAGAMIE COUNTY, WISCONSIN
 PLAN AND PROFILE

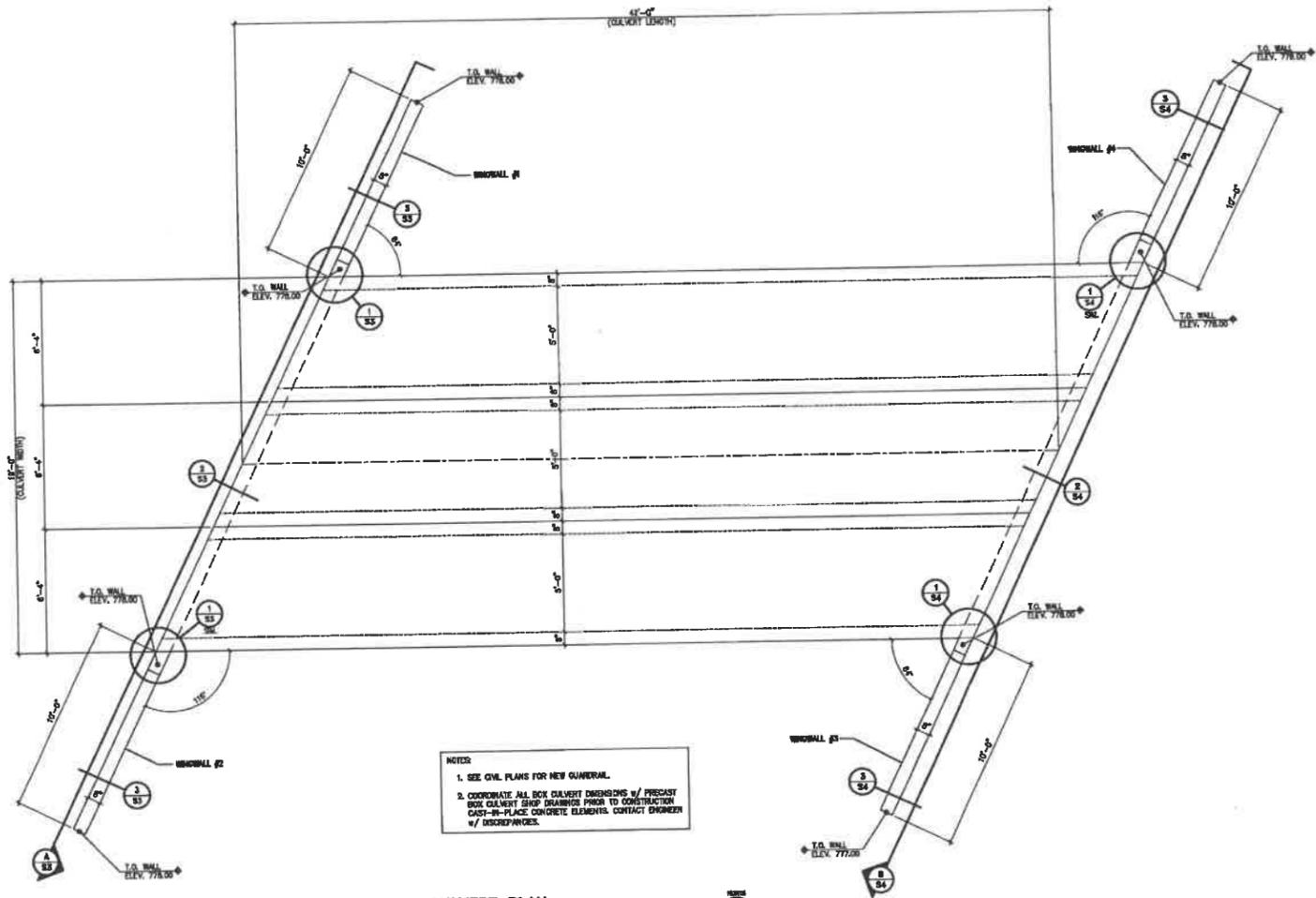


McMAHON
 CONSULTING ENGINEERS, INC.
 1100 W. WISCONSIN AVENUE, SUITE 200
 MADISON, WISCONSIN 53706
 PHONE: 608.261.1000 FAX: 608.261.1001 WWW.McMAHON.COM

NO.	DATE	DESCRIPTION

APPLE CREEK ROAD BOX CULVERT REPLACEMENT
 TOWN OF GRAND CHUTE, OUTAGAMIE COUNTY, WISCONSIN
 MISCELLANEOUS DETAILS

DESIGNED	DRAWN
000	ASJ
PROJECT NO.	DATE
00008 8-16-00233	06/2019
SHEET NO.	07



NOTES:
 1. SEE CIVIL PLANS FOR NEW QUADRANT.
 2. COORDINATE ALL BOX CULVERT DIMENSIONS w/ PRECAST BOX CULVERT SHOP DRAWINGS PRIOR TO CONSTRUCTION. CAST-IN-PLACE CONCRETE ELEMENTS. CONTACT ENGINEER w/ DISCREPANCIES.

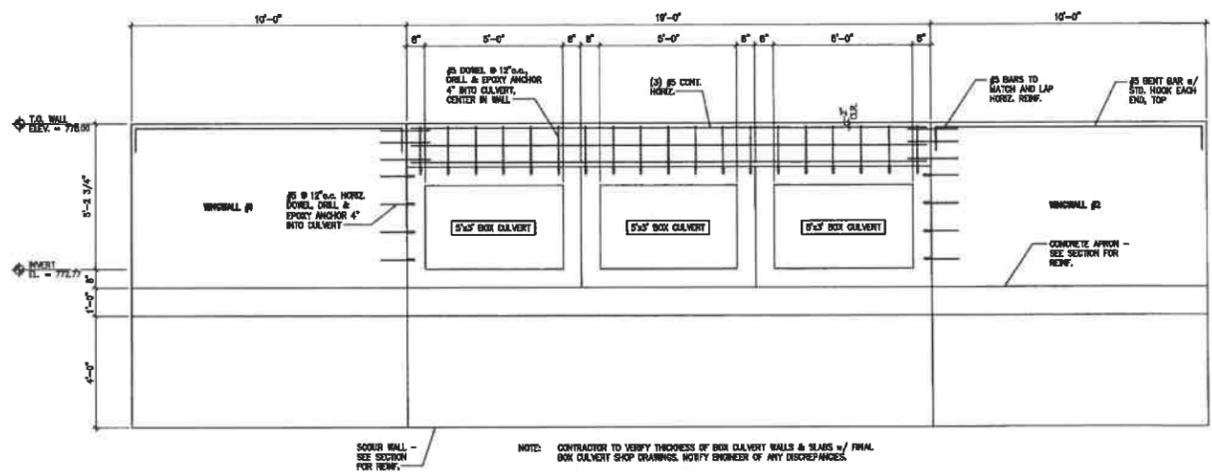
CULVERT PLAN
 3/8" = 1'-0"

McMAHON
 ENGINEERS & ARCHITECTS
 1000 W. WISCONSIN ST., SUITE 200
 MILWAUKEE, WI 53233
 TEL: (414) 333-4444 FAX: (414) 333-4444
 WWW.McMAHONENR.COM

NO.	DATE	DESCRIPTION

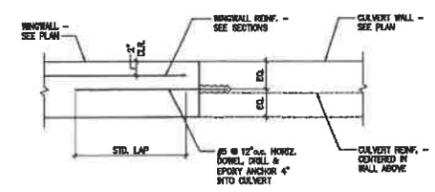
APPLE CREEK ROAD BOX CULVERT REPLACEMENT
TOWN OF GRAND CHUTE, OUTAGAMIE COUNTY, WISCONSIN
CULVERT PLAN

DESIGNED BY	SKETCHED BY
CHECKED BY	DATE
PROJECT NO.	12/28/2019
SHEET NO.	S2

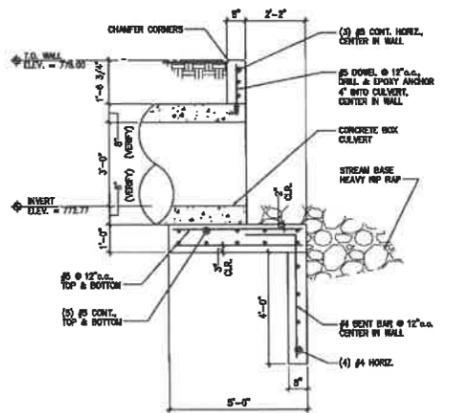


NOTE: CONTRACTOR TO VERIFY THICKNESS OF BOX CULVERT WALLS & SLABS w/ FINAL BOX CULVERT SHOP DRAWINGS. NOTIFY ENGINEER OF ANY DISCREPANCIES.

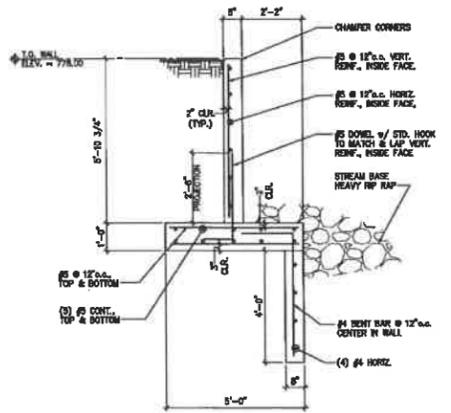
WEST CULVERT ELEVATION
SCALE: 1/2" = 1'-0"



WINGWALL TO CULVERT CONNECTION
SCALE: 1 1/2" = 1'-0"



WEST HEADWALL SECTION
SCALE: 1/2" = 1'-0"



WEST WINGWALL SECTION
SCALE: 1/2" = 1'-0"

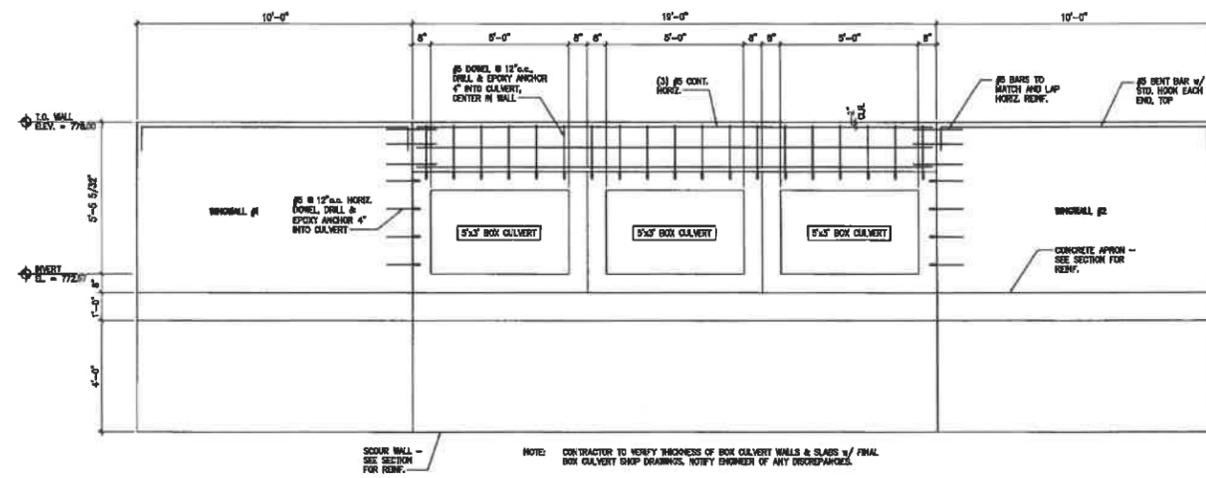
McMAHON
1400 WASHINGTON AVENUE, WESTBURY, NY 11591
TEL: 516-334-1000 FAX: 516-334-1001
www.mcmahon.com

DESIGNED BY: [blank]
CHECKED BY: [blank]
DATE: [blank]

NO.	DATE	DESCRIPTION

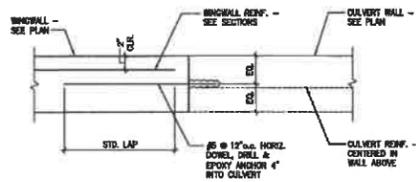
APPLE CREEK ROAD BOX CULVERT REPLACEMENT
TOWN OF GRAND CHUTE, OUTAGAMIE COUNTY, WISCONSIN
STRUCTURAL CULVERT DETAILS

DESIGNED BY:	DATE:
CHKD BY:	12/28/2018
PROJECT NO.:	00000-18-14-00323
SCALE:	AS SHOWN
33	

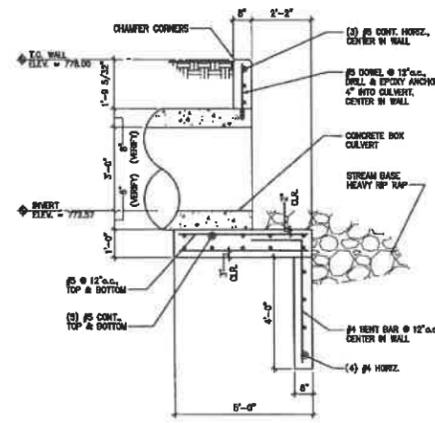


NOTE: CONTRACTOR TO VERIFY THICKNESS OF BOX CULVERT WALLS & SLABS w/ FINAL BOX CULVERT SHOP DRAWINGS. NOTIFY ENGINEER OF ANY DISCREPANCIES.

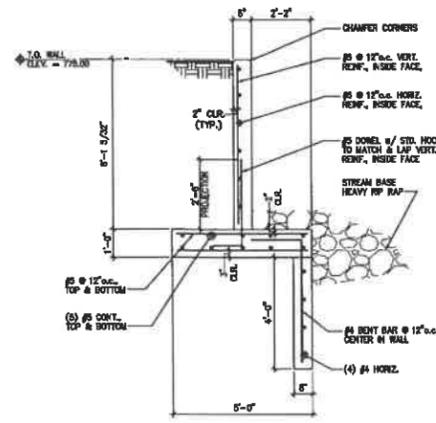
EAST CULVERT ELEVATION
SCALE: 1/2" = 1'-0"



WINGWALL TO CULVERT CONNECTION
SCALE: 1/2" = 1'-0"



EAST HEADWALL SECTION
SCALE: 1/2" = 1'-0"



EAST WINGWALL SECTION
SCALE: 1/2" = 1'-0"

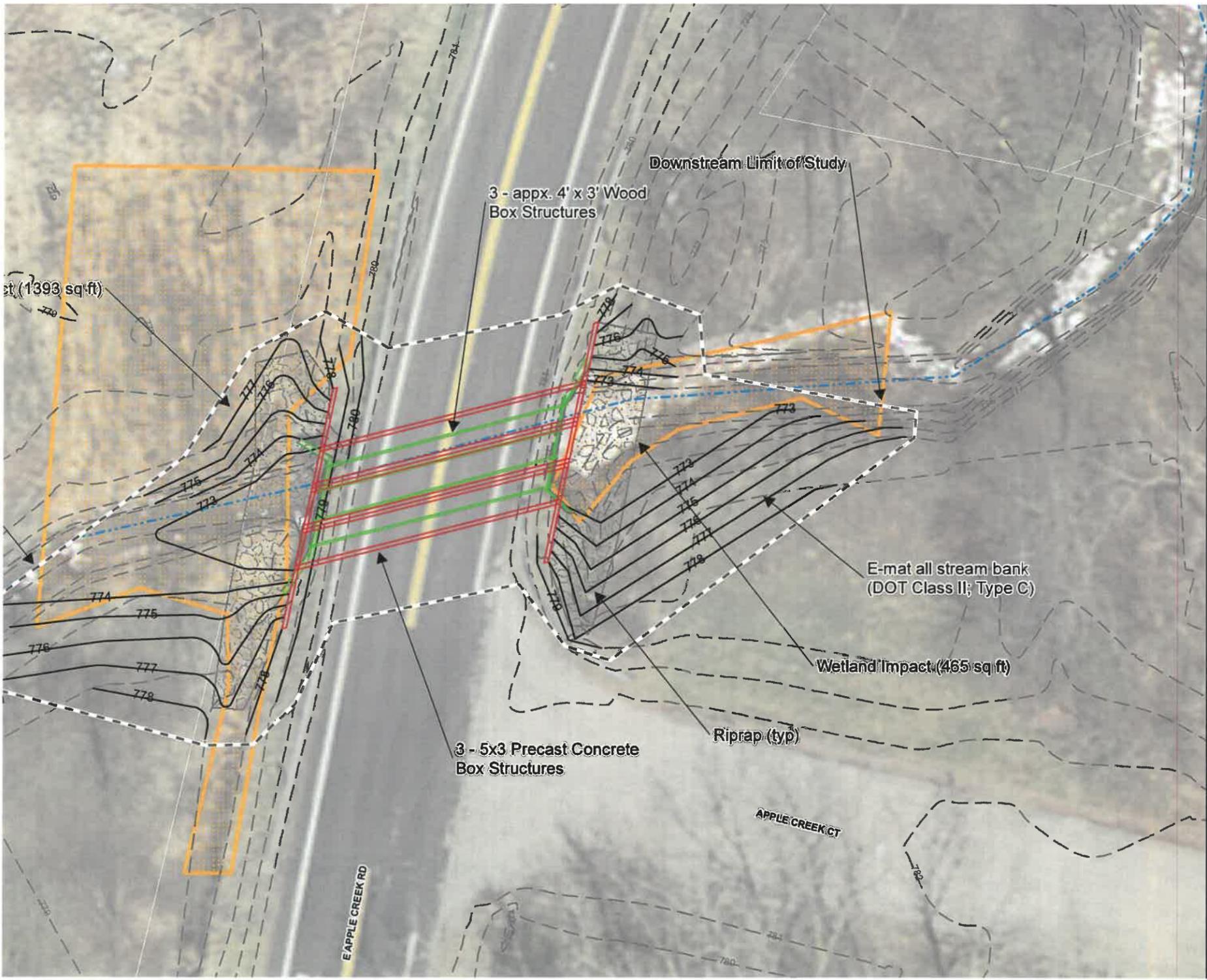
McMAHON
CIVIL ENGINEERING
1000 W. WISCONSIN ST., SUITE 200
MILWAUKEE, WI 53233
TEL: (414) 333-1111
WWW.McMAHONENR.COM

NO.	DATE	DESCRIPTION

APPLE CREEK ROAD BOX CULVERT REPLACEMENT
TOWN OF GRAND CHUTE, OUTAGAMIE COUNTY, WISCONSIN
STRUCTURAL CULVERT DETAILS

DESIGNED	BY	DATE
CHK	SK	12/28/2018

SCALE: 1/2" = 1'-0"
S4



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**Town of Grand Chute
Conditional Use Permit Request
Town of Grand Chute – W. Evergreen Drive extension**

To: Plan Commission

From: Robert Buckingham, Community Development Director

Date: February 14, 2019

Address: W. Evergreen Drive

App. #: CUP-03-19

REQUEST

This project consists of constructing an extension of W. Evergreen Drive, between North Gillett Street and N. Orion Lane. Work will involve grading, filling and construction of a culvert crossing for a portion of a tributary to Mud Creek that will pass under the new roadway. This extension of W. Evergreen will be constructed as 37-foot wide urban section with curb and gutter and storm sewer. A 10-foot wide asphalt trail will extend on the north side of the street. A total of five 12-foot wide by 4-foot high concrete box culverts form the stream crossing structure of the new roadway. The project requires modifications to the FEMA designated floodplain that surrounds this navigable waterway. A County Conditional Use Permit (CUP) is required to allow grading, filling and a culvert crossing within the Shoreland District. Additionally, prior to issuing this CUP, the County is requiring the Town to obtain a Conditional Letter of Map Revision (CLOMR) from FEMA for fill that will be placed in the regulatory floodplain. Once the W. Evergreen Drive project is completed, the Town will need to obtain a Letter of Map Revision (LOMR) from FEMA in order to update the floodplain map so that it reflects conditions post-construction.

ANALYSIS

A Backwater Analysis was conducted to evaluate the impacts the W. Evergreen Drive project has on the regulatory floodplain and floodway limits. In addition to owning the right-of-way for the new roadway, the Town and/or Sanitary District No. 3 owns adjoining property immediately to the north along the entire extent of the project. The project requires filling of some designated flood storage areas (storage for 100-year storm events). The Town will mitigate that by providing additional land nearby for flood storage restoration. This restoration replaces the flood storage lost due to the W. Evergreen Drive project and a small amount of flood storage area that was lost due to the Gillett Street urbanization project. To address potential flooding impacts in the most environmentally and fiscally responsible manner, the culvert design allows for flooding not to exceed 8 inches over the roadway in the event of a 100-year storm. This meets the threshold for emergency vehicles to proceed through standing water. Grand Chute Fire Department has confirmed its ability to provide service in those conditions. With regard to this potential condition during a 100-year storm event, there would be alternate emergency access routes to properties between N. Gillett Street and N. Richmond Street. Those include W. Capitol Drive, W. Elsner Road, and W. Edgewood Drive/CTH JJ.

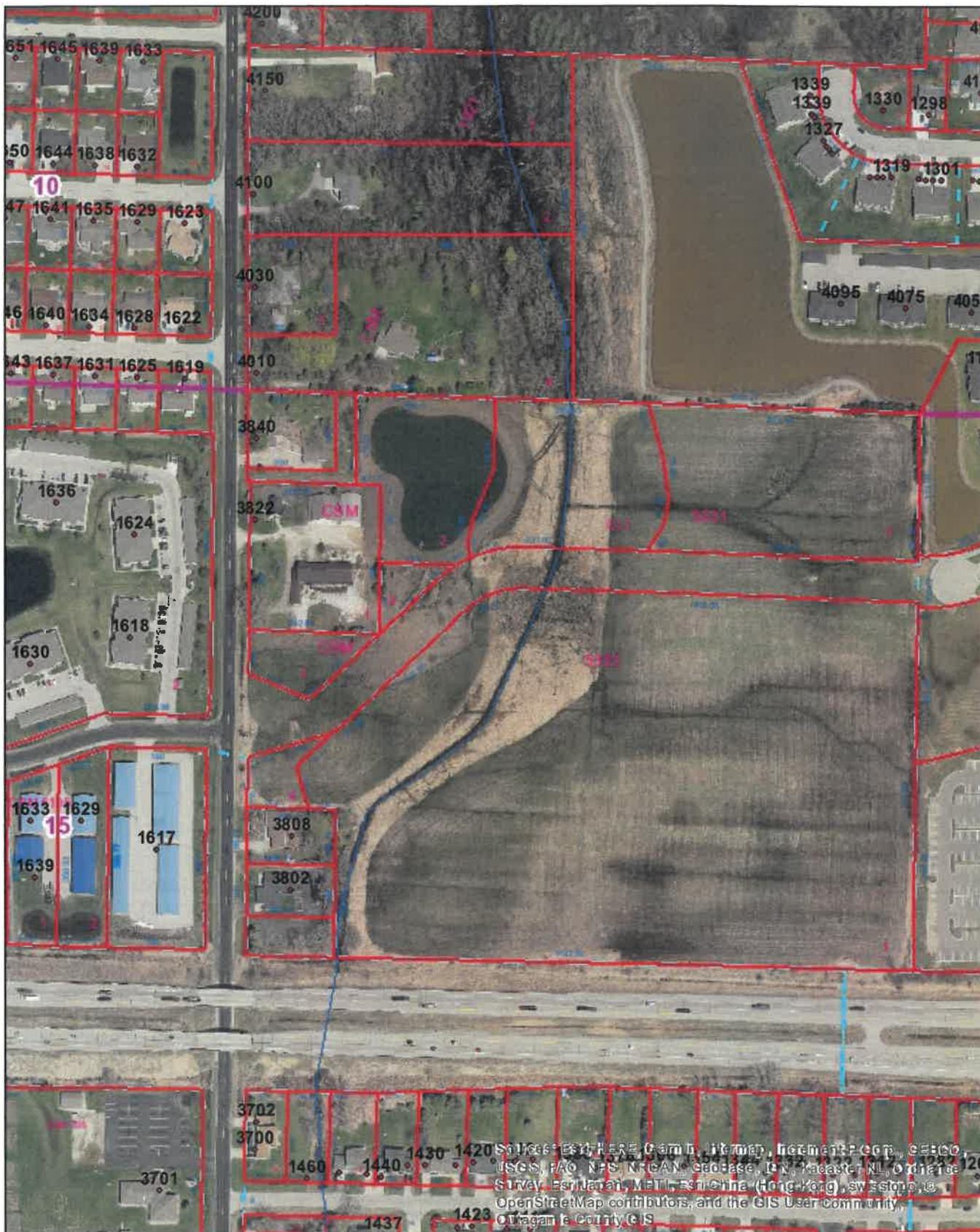
The proposed culvert structure, roadway improvements and flood storage modifications are designed to accommodate the 100-year storm event with no rise in surface water elevations upstream of the project. No flooding easements will be required upstream of Town-owned property. Areas of wetlands impacted by the project will be mitigated through a WDNR individual permit.

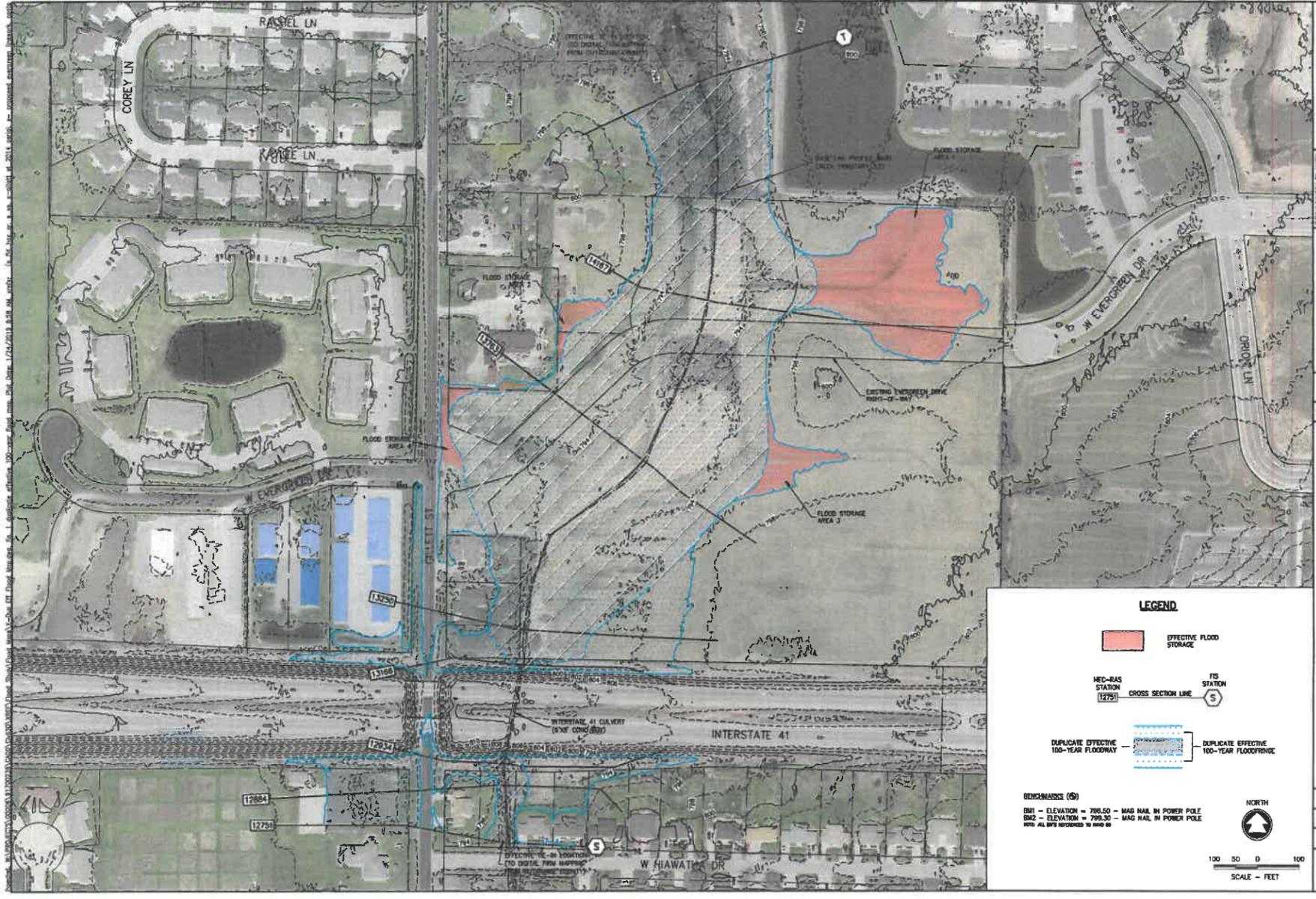
Best management practices will be in place for the duration of the construction project and until final stabilization of exposed soils.

RECOMMENDATION

Staff has reviewed and supports a Plan Commission recommendation for approval of the Conditional Use Permit (CUP-03-19) requested by the Town of Grand Chute to allow grading, filling and a culvert crossing associated with the extension of W. Evergreen Drive, between N. Gillett Street and N. Orion Lane.

Town of Grand Chute Web Map





LEGEND

EFFECTIVE FLOOD STORAGE

HEC-RAS STATION (1275) CROSS SECTION LINE
 ITS STATION (5)

DUPLICATE EFFECTIVE 100-YEAR FLOODWAY
 DUPLICATE EFFECTIVE 100-YEAR FLOODPRONG

BENCHMARKS (B)

BM1 - ELEVATION = 726.50 - MAG NAIL IN POWER POLE
 BM2 - ELEVATION = 726.30 - MAG NAIL IN POWER POLE
 (ALL BENCHMARKS REFERENCED TO NAVD 83)

NORTH

100 50 0 100
 SCALE - FEET

McMAHON

McMAHON ASSOCIATES, INC.
 1430 W. WISCONSIN AVENUE, SUITE 200
 MILWAUKEE, WISCONSIN 53233-3400
 PHONE: 414.224.1100 FAX: 414.224.1101
 WWW.MCMAHONASSOCIATES.COM

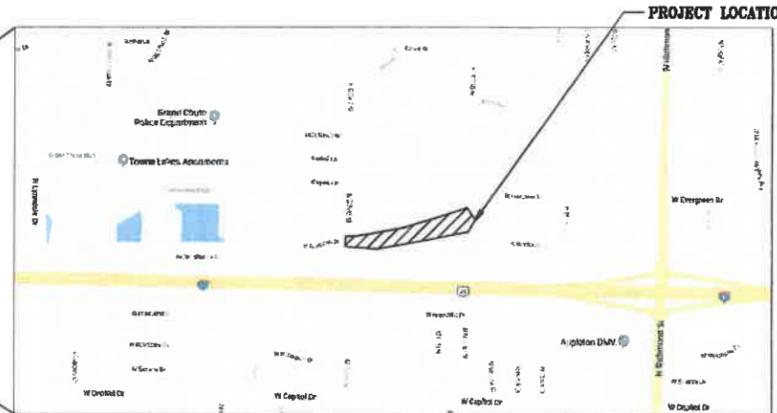
DATE	REVISION	BY	CHECKED	APP. NO.

**EVERGREEN DRIVE BACKWATER ANALYSIS
TOWN OF GRAND CHUTE, OUTAGAMIE COUNTY, WI
DUPLICATE EFFECTIVE 100-YEAR FLOOD MAP**

DESIGNED	DRAWN
JEH	JEH
PROJECT NO.	000006-17-00230
DATE	JAN, 2019
SHEET NO.	FIG. 1

EVERGREEN DRIVE STREET CONSTRUCTION TOWN OF GRAND CHUTE

OUTAGAMIE COUNTY, WISCONSIN
CONTRACT XX-XXXX
MCM # G0006 9-17-00236



CONTACT INFORMATION

UTILITIES
NE ENERGIES
DEB ROBINSON (ELECTRIC)
ANDY ROOYANKERS (GAS)
800 SOUTH LYNNDALE DRIVE P.O. BOX 1699
APPLETON, WI 54912
(920) 380-3493 (ELECTRIC)
(920) 380-3478 (GAS)
deborah.robinson@ne-energies.com
andy.rooyankers@ne-energies.com

DESIGN CONTACT
McMAHON
CARL C. SUTTER
1445 McMAHON DRIVE
NEENAH, WI 54956
(920) 791-4200
Csutter@mcmahp.com

AT&T
JOE KASSAB
221 WEST WASHINGTON STREET FLOOR 4
APPLETON, WI 54911
(608) 735-3200
jkassab@att.com

DNR LIAISON
DEPARTMENT OF NATURAL RESOURCES
MATT SCOPACIE
2084 SHAWANO AVENUE
PO BOX 10448
GREEN BAY, WI 54307-0448
(920) 862-8472
Matthew.Scopacie@dnr.wisconsin.gov

TOWN OF GRAND CHUTE, PUBLIC WORKS
KAREN HEYMAN, DEPUTY DIRECTOR
1900 GRAND CHUTE BOULEVARD
GRAND CHUTE, WI 54913-9813
(920) 632-1581
karen.heyman@grandchute.net

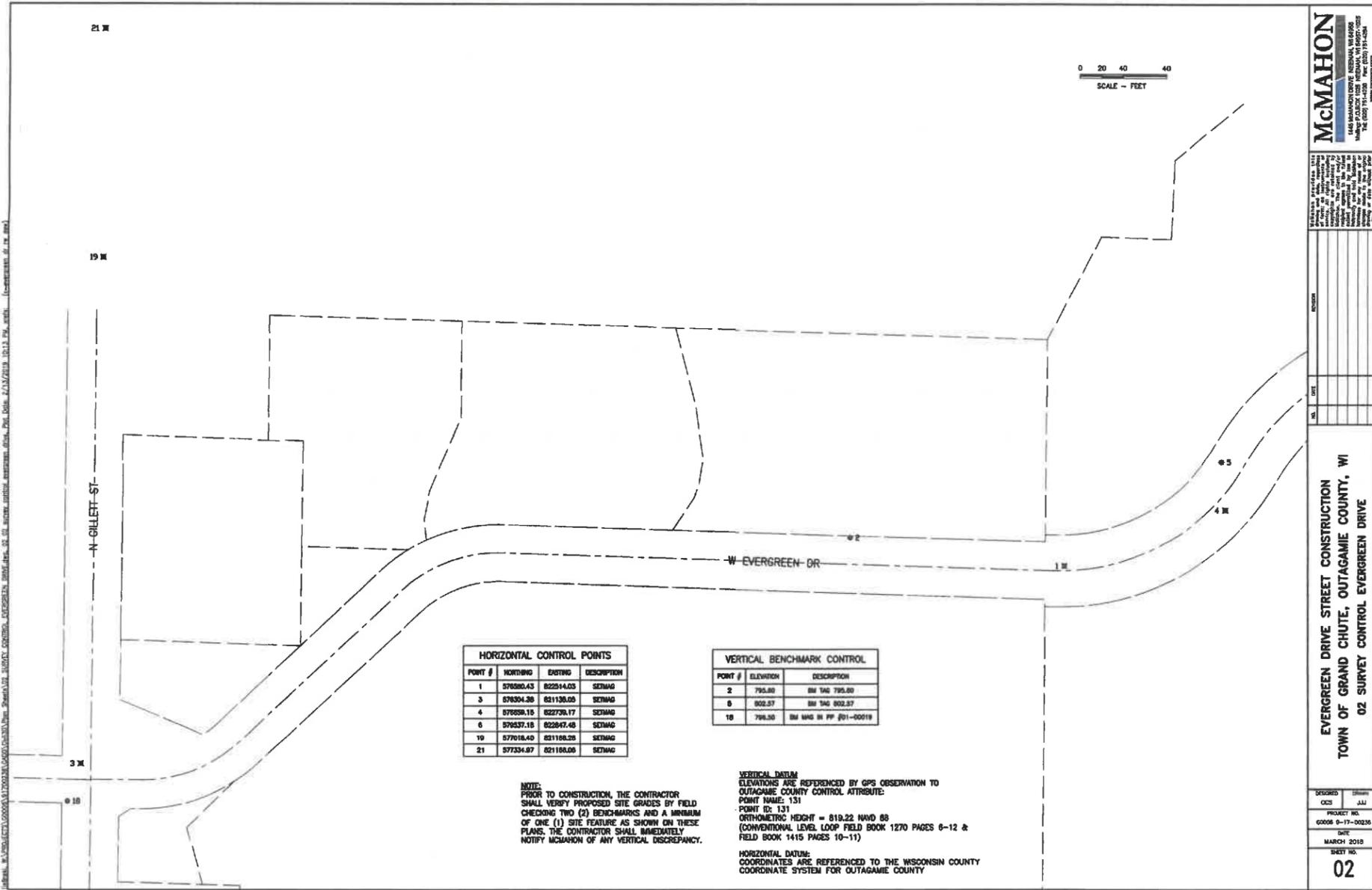
DIGGERS HOTLINE
Dial 811 or (800) 242-8511
www.DiggersHotline.com



SHEET INDEX

- 1 ABBREVIATIONS, SYMBOLS & NOTES
- 2 SURVEY CONTROL & HORIZONTAL ALIGNMENT DETAIL
- 3 TYPICAL SECTIONS
- 4-7 PLAN & PROFILE
- 8-16 CROSS SECTIONS
- 17 PAVEMENT MARKING
- 18 EROSION CONTROL PLAN/DETAILS
- 19-20 MISCELLANEOUS DETAILS

DATE
MARCH 2016
PROJECT NO.
00006 9-17-00236



HORIZONTAL CONTROL POINTS			
POINT #	NORTHING	EASTING	DESCRIPTION
1	576260.43	822514.03	SETMAG
3	576304.26	821136.05	SETMAG
4	576598.10	822736.17	SETMAG
6	576537.18	822847.48	SETMAG
10	577018.40	821188.28	SETMAG
21	577334.97	821188.05	SETMAG

VERTICAL BENCHMARK CONTROL		
POINT #	ELEVATION	DESCRIPTION
2	795.80	BM TAG 795.80
8	802.57	BM TAG 802.57
10	796.50	BM MAG IN PP #01-00019

NOTE:
 PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL VERIFY PROPOSED SITE GRADES BY FIELD CHECKING TWO (2) BENCHMARKS AND A MINIMUM OF ONE (1) SITE FEATURE AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY McMAHON OF ANY VERTICAL DISCREPANCY.

VERTICAL DATUM:
 ELEVATIONS ARE REFERENCED BY GPS OBSERVATION TO OUTAGAMIE COUNTY CONTROL ATTRIBUTE: POINT VALUE: 131
 POINT ID: 131
 ORTHOMETRIC HEIGHT = 819.22 NAVD 88
 (CONVENTIONAL LEVEL LOOP FIELD BOOK 1270 PAGES 6-12 & FIELD BOOK 1415 PAGES 10-11)

HORIZONTAL DATUM:
 COORDINATES ARE REFERENCED TO THE WISCONSIN COUNTY COORDINATE SYSTEM FOR OUTAGAMIE COUNTY



McMAHON
 1448 BRANTFORD DRIVE, WESTBURN, WISCONSIN 53191
 PHONE: 262.791.4200 FAX: 262.791.4204
 www.mcmahon.com

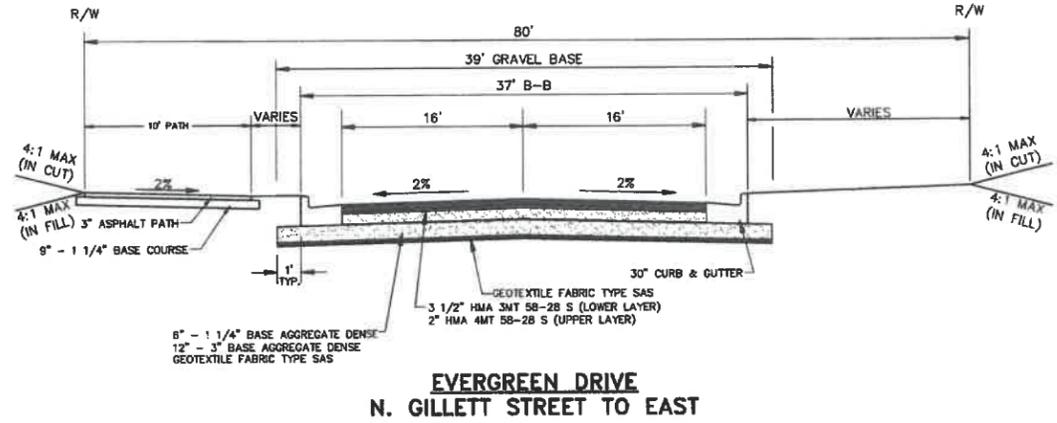
NO.	DATE	REVISION

EVERGREEN DRIVE STREET CONSTRUCTION
TOWN OF GRAND CHUTE, OUTAGAMIE COUNTY, WI
02 SURVEY CONTROL EVERGREEN DRIVE

DESIGNED: JLL
 CHECKED: JLL
 PROJECT NO: 60006 9-17-02/26
 DATE: MARCH 2018
 SHEET NO: **02**

W:\PROJECTS\0600958170026\CADD\CADD\Plan Sheet\Evergreen Drive Cover-Noise-Details.dwg, 03 EVERGREEN DRIVE TYPICAL SECTION, 2/13/2019 10:13:18 PM, J.Jelinski, 12

\\wms01\cadd\0600958170026\CADD\CADD\Plan Sheet\Evergreen Drive Cover-Noise-Details.dwg, 03 EVERGREEN DRIVE TYPICAL SECTION, 2/13/2019 10:13:18 PM, J.Jelinski, 12

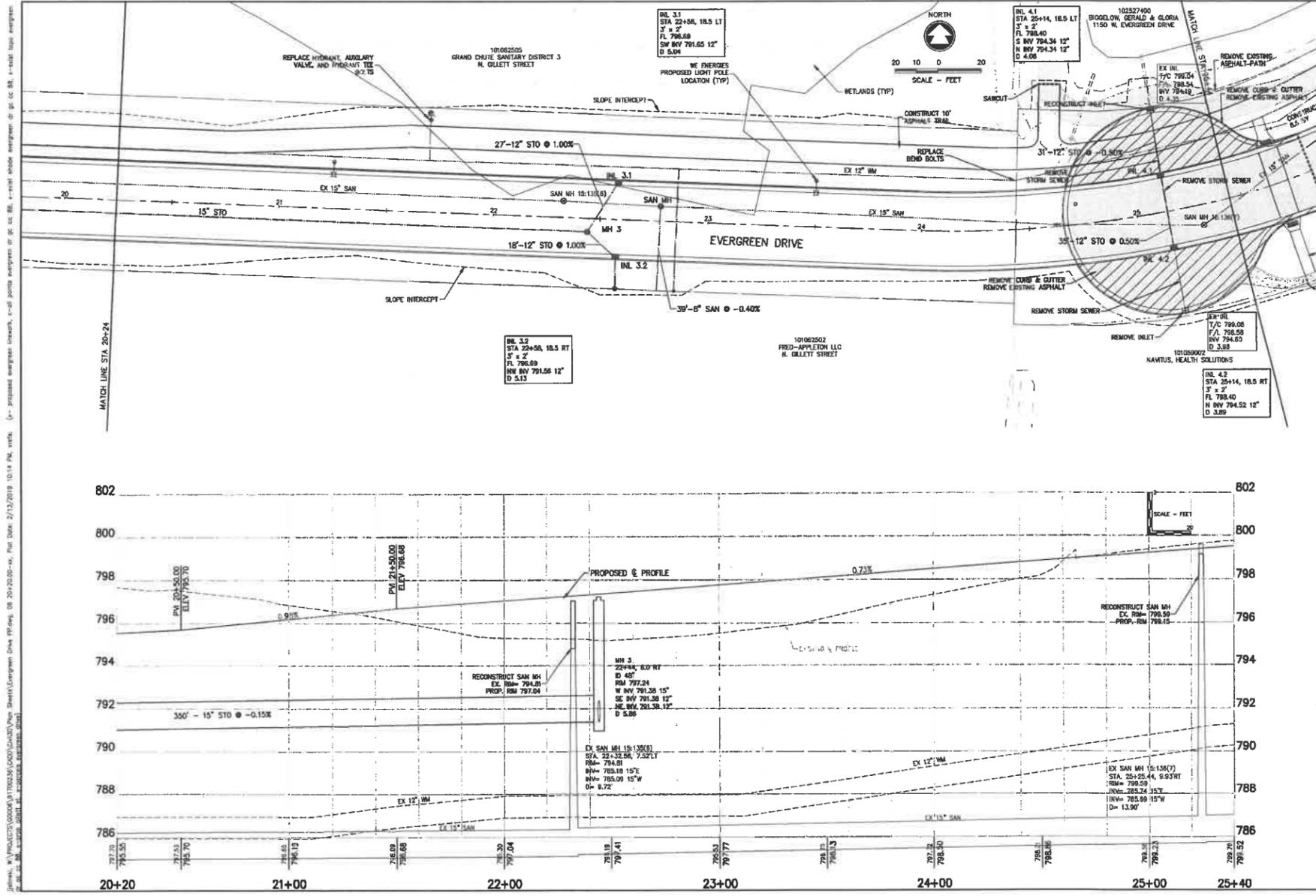


McMAHON
McMAHON ASSOCIATES, INC.
1000 W. WASHINGTON STREET
MADISON, WI 53703
PH: 608.261.1000 FX: 608.261.0000

NO.	DATE	BY	CHKD	DESCRIPTION

EVERGREEN DRIVE STREET CONSTRUCTION
TOWN OF GRAND CHUTE, OUTAGAMIE COUNTY, WI
EVERGREEN DRIVE TYPICAL SECTION

DESIGNED	DATE
OCS	JJJ
PROJECT NO.	
00008 9-17-00236	
SITE	
MARCH 2018	
SHEET NO.	
03	

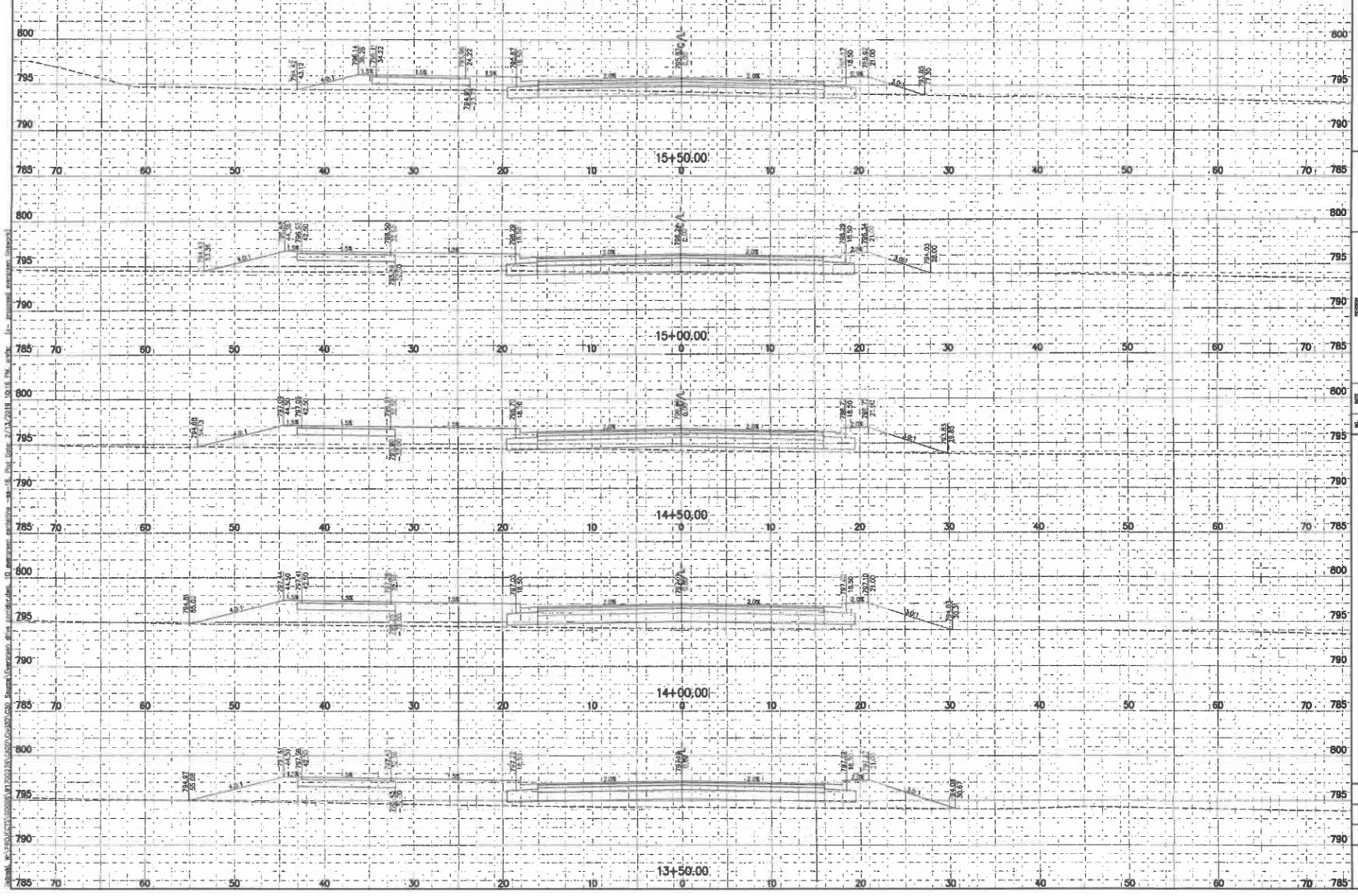


MCM MAHON
 ENGINEERING ASSOCIATES, INC.
 1445 HARMON AVENUE, WEST PALM BEACH, FL 33411
 PHONE: 561.833.4400 FAX: 561.833.4401

DATE	NOV 14 2018
BY	JLEIJAK
CHECKED	JLEIJAK
SCALE	AS SHOWN
PROJECT NO.	00008 9-17-00235
DATE	MARCH 2018
SHEET NO.	06

**EVERGREEN DRIVE STREET CONSTRUCTION
 TOWN OF GRAND CHUTE, OUTAGAMIE COUNTY, WI
 EVERGREEN DRIVE PLAN & PROFILE**

DESIGNED	CCS
DRAWN	JLJ
PROJECT NO.	00008 9-17-00235
DATE	MARCH 2018
SHEET NO.	06

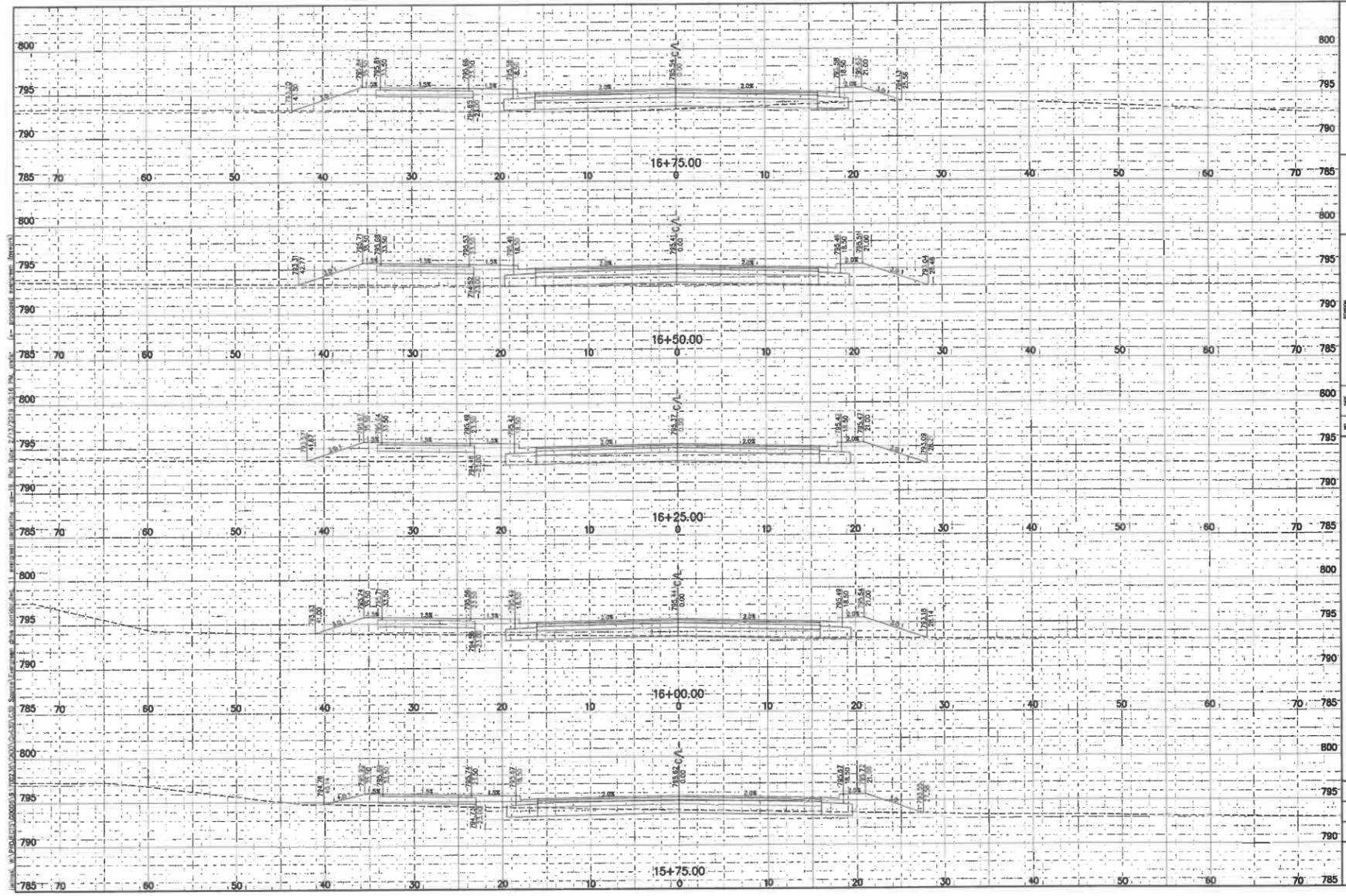


McMAHON
 ENGINEERS & ARCHITECTS
 1400 W. WISCONSIN AVENUE, SUITE 200
 MILWAUKEE, WISCONSIN 53233
 PHONE: 414.224.1100
 FAX: 414.224.1101
 WWW.McMAHON-ENGINEERS.COM

NO.	REVISION	DATE

EVERGREEN DRIVE STREET CONSTRUCTION
TOWN OF GRAND CHUTE, OUTAGAMIE COUNTY, WI
CROSS SECTIONS

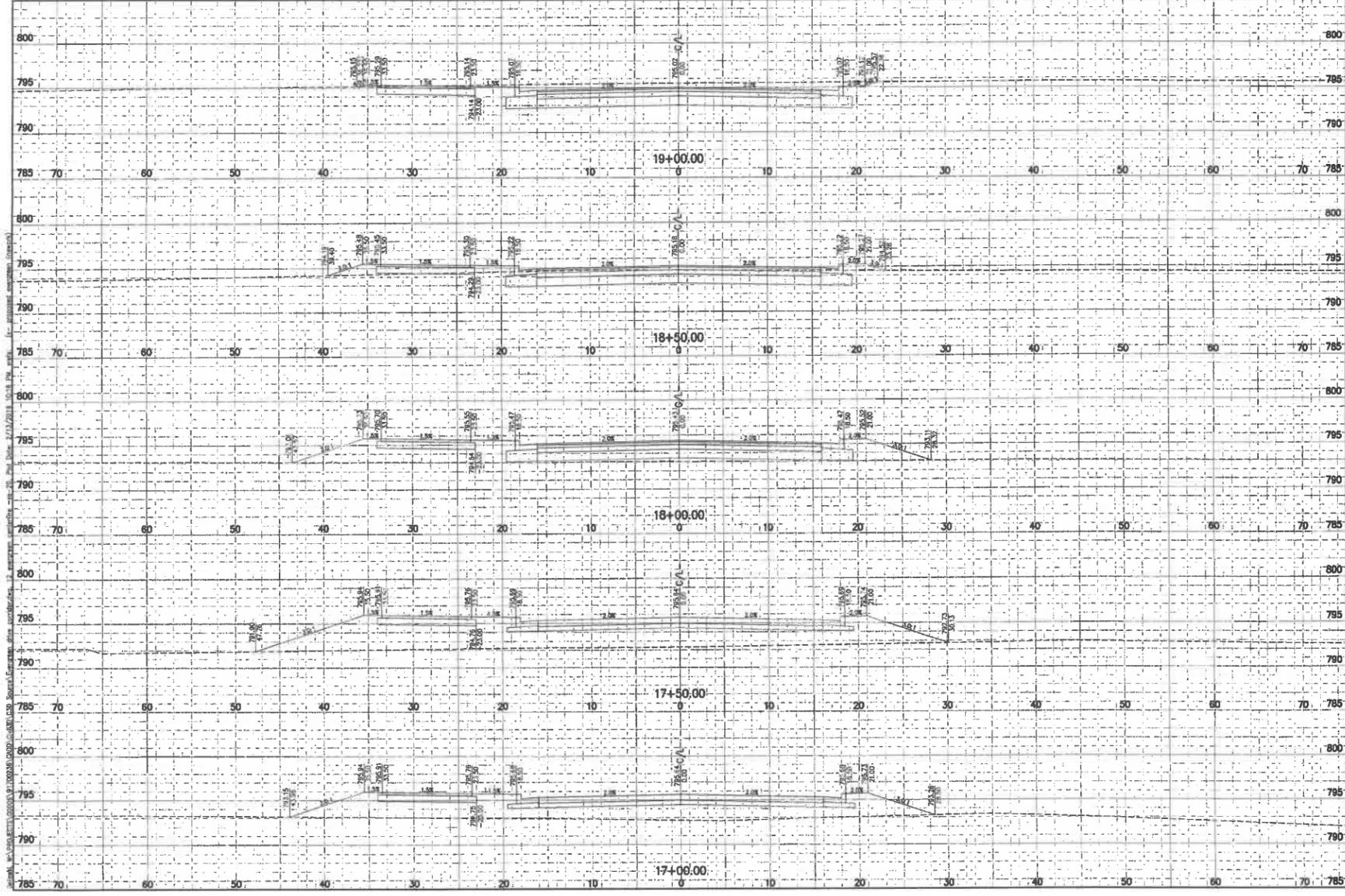
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CCS	LU
PROJECT NO.	
00008 8-17-00238	
DATE	
MARCH 2018	
SHEET NO.	



McMAHON
 ENGINEERING & ARCHITECTURE, INC.
 1465 SAMAMON DRIVE, WESTFIELD, WI 53091
 PHONE: 414.437.1400 FAX: 414.437.1401 WWW.MCMAHON.COM

DESIGNED CDS	DRAWN JLI
PROJECT NO. 00008 9-17-00238	
DATE MARCH 2018	
SHEET NO. ---	

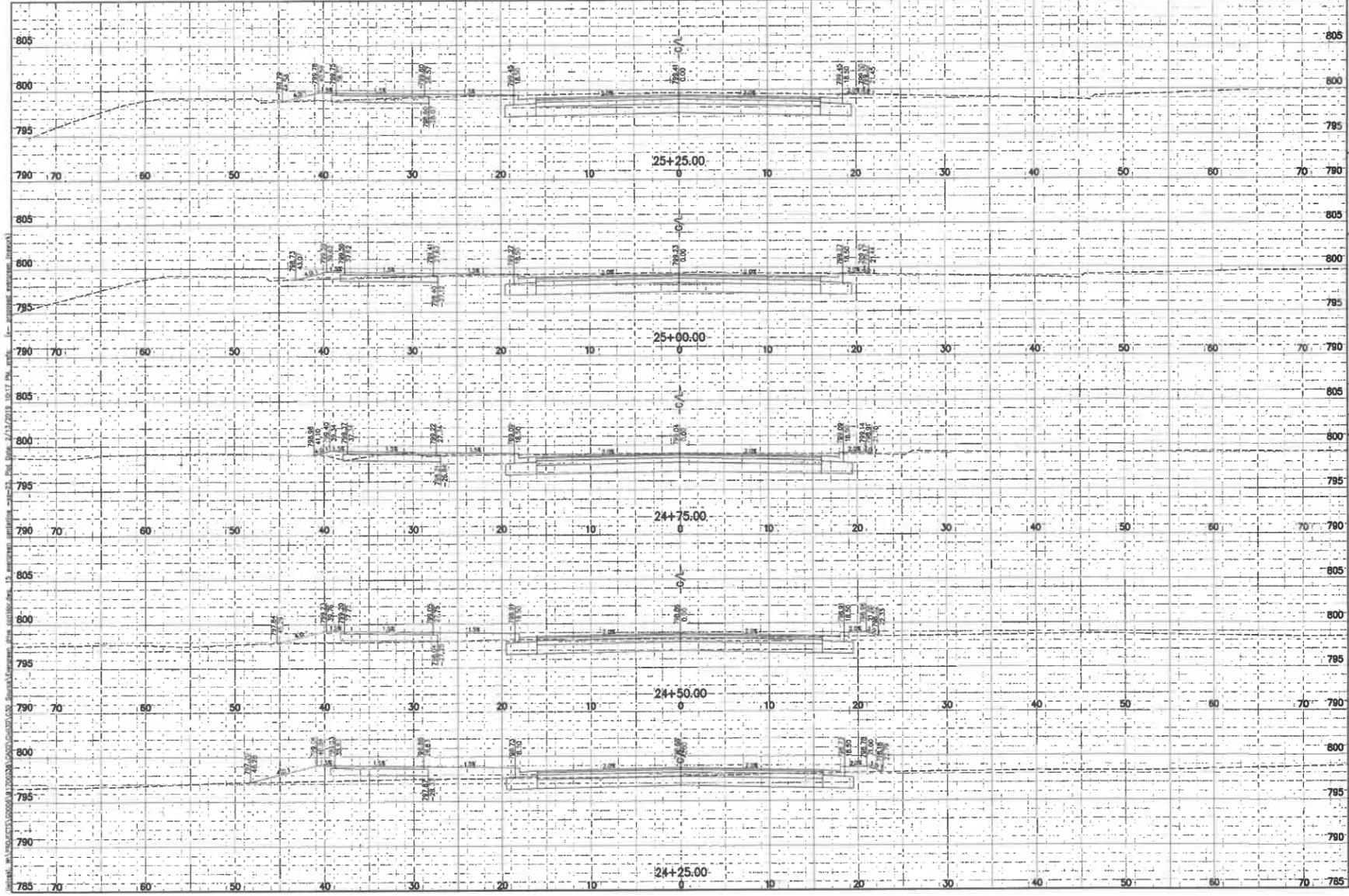
**EVERGREEN DRIVE STREET CONSTRUCTION
 TOWN OF GRAND CHUTE, OUTAGAMIE COUNTY, WI
 CROSS SECTIONS**



PROJECT NO.	0006 9-17-02236
DATE	MARCH 2018
SHEET NO.	
DATE	
BY	
CHECKED	
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**EVERGREEN DRIVE STREET CONSTRUCTION
TOWN OF GRAND CHUTE, OUTAGAMIE COUNTY, WI
CROSS SECTIONS**

REVISION	DATE
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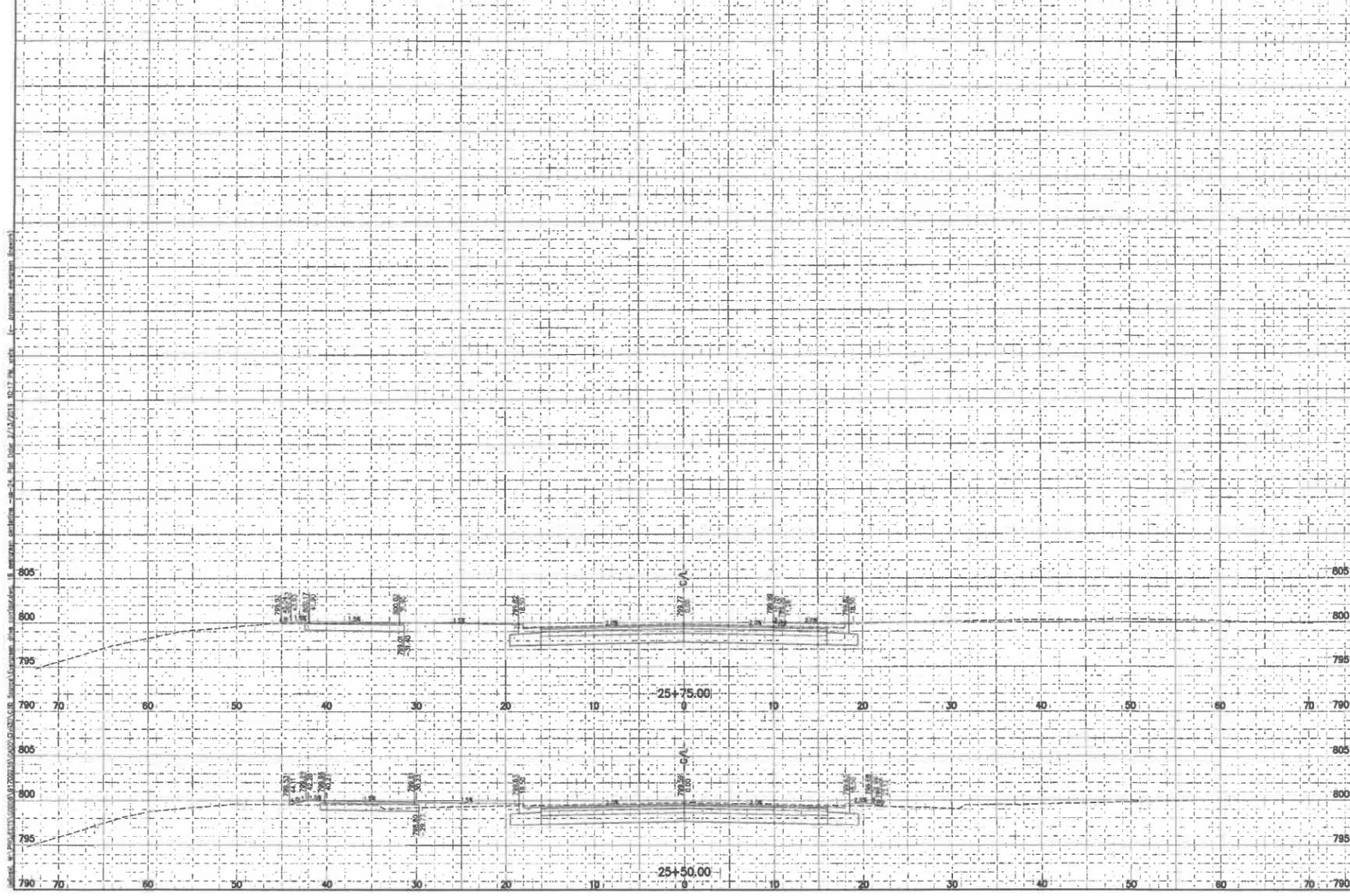
McMAHON
 ENGINEERS & ARCHITECTS, INC.
 1450 MARQUETTE DRIVE, NEENAH, WI 54956
 PH: (920) 735-1000 FAX: (920) 735-1001
 WWW.MCMACON.COM

NO.	REVISION	DATE

**EVERGREEN DRIVE STREET CONSTRUCTION
 TOWN OF GRAND CHUTE, OUTAGAMIE COUNTY, WI
 CROSS SECTIONS**

DESIGNED CCS	DRAWN JLU
PROJECT NO. 00008 8-17-002J6	
DATE MARCH 2018	
SHEET NO.	

--- DASHED LINE ---



McMAHON
 MASSACHUSETTS REGISTERED PROFESSIONAL ENGINEER
 1485 BRIMMINGTON RD., SUITE 200
 WESTFIELD, MASSACHUSETTS 01095
 PHONE: 413-253-1234 FAX: 413-253-1235
 WWW.MCMAHONENR.COM

NO.	DATE	REVISION

**EVERGREEN DRIVE STREET CONSTRUCTION
 TOWN OF GRAND CHUTE, OUTAGAMIE COUNTY, WI
 CROSS SECTIONS**

DESIGNED	DATE
CCS	JJ
PROJECT NO.	
0006 8-17-09238	
DRAWN	
MARCH 2018	
SHEET NO.	

--- PROPOSED
 - - - EXISTING



AGENDA REQUEST
3/5/2019

TOPIC: Purchase of a 2019 Chevrolet Colorado truck for the Building Inspection staff.

<input checked="" type="checkbox"/> New Business <input type="checkbox"/> Unfinished Business <input type="checkbox"/> Reports <input type="checkbox"/> Closed Session <input type="checkbox"/> Ordinance/Resolution	Meeting: Town Board
Department Reporting: Community Development	Submitted By: R. Buckingham

ISSUE: Approve vehicle purchase.

BACKGROUND/ANALYSIS: The 2019 Budget (Capital Outlay) includes funds for the purchase of a new 2019 Chevrolet Colorado pickup truck to replace an existing 2002 GMC light-duty pickup. This new vehicle will be identically equipped as the 2017 Colorado already in the Building Inspection fleet. This vehicle has performed well in field conditions Inspectors face throughout the year. The combined State-bid purchase price and aftermarket accessories total \$31,017.00, which falls below the budgeted amount of \$32,000.00.

RECOMMENDATION: Staff recommends Town Board approval for the purchase of a 2019 Chevrolet Colorado truck at the price of \$31,017.00.

FISCAL IMPACT: BUDGET

Community Development/Building Inspection/Capital Equipment (10-11-52400-810)

ATTACHMENTS: Chevrolet Colorado quote and specifications.



Ewald Automotive Group

Scott Kussow | 262-567-5555 | skfleet@ewaldauto.com

Town of Grand Chute

Prepared For: Duane Velie

(920) 832-1717

Duane.Velie@grandchute.net

Grand Chute 2019 Chevrolet Colorado (12M53) Ext Cab 1283 (2)



\$28,216.50	State Bid Price
1,950.00	Cap
350.00	Aux. Lighting
500.00	Rustproofing
<hr/>	
\$31,016.50	
<u>Budget = \$32,000</u>	



Ewald Automotive Group

Scott Kussow | 262-567-5555 | skfleet@ewaldauto.com

Grand Chute 2019 Chevrolet Colorado (12M53) Ext Cab 1283 (2)

Quote Worksheet

	MSRP
Base Price	\$28,700.00
Dest Charge	\$1,095.00
Total Options	\$3,345.50
Subtotal	\$33,140.50
Subtotal Pre-Tax Adjustments	\$0.00
Less Customer Discount	(\$4,924.00)
Subtotal Discount	(\$4,924.00)
Trade-In	\$0.00
Excluded from Sales Tax	Subtotal Trade-In
	\$0.00
Taxable Price	\$28,216.50
Sales Tax	\$0.00
Subtotal Taxes	\$0.00
Subtotal Post-Tax Adjustments	\$0.00
Total Sales Price	\$28,216.50

Comments:

2019 Chevrolet Colorado Extended Cab 4wd to your specs as detailed. **Registration fees are included.** Delivery can be anticipated 90-120 days from receipt of your order.

Dealer Signature / Date

Customer Signature / Date

This document contains information considered Confidential between GM and its Clients uniquely. The information provided is not intended for public disclosure. Prices, specifications, and availability are subject to change without notice, and do not include certain fees, taxes and charges that may be required by law or vary by manufacturer or region. Performance figures are guidelines only, and actual performance may vary. Photos may not represent actual vehicles or exact configurations. Content based on report preparer's input is subject to the accuracy of the input provided.

Data Version: 7543. Data Updated: Jan 28, 2019 9:35:00 PM PST.



Ewald Automotive Group

Scott Kussow | 262-567-5555 | skfleet@ewaldauto.com

Grand Chute 2019 Chevrolet Colorado (12M53) Ext Cab 1283 (2)

Standard Equipment

Mechanical

- ✓ Engine, 2.5L I4, DI, DOHC, VVT (200 hp [149.0 kW] @ 6300 rpm, 191 lb-ft of torque [259 N-m] @ 4400 rpm) (STD) (Not included on Crew Cab models.)
- ✓ Transmission, 6-speed automatic, HMD, 6L50 (STD) (Standard on Extended Cab models. Requires (LCV) 2.5L I4 engine or (LWN) 2.8L Duramax Turbo-Diesel engine. Available on Crew Cab models.)
- ✓ Rear axle, 4.10 ratio (Requires (LCV) 2.5L I4 engine. Not included on Crew Cab models.)
- ✓ GVWR, 5600 lbs. (2540 kg) (STD) (Standard on Extended Cab models with (LCV) 2.5L I4 engine only.)
- ✓ Transfer case, electric, 2-speed
- ✓ Four wheel drive
- ✓ Recovery hooks, front (Deleted when (PDZ) Chrome Appearance Package, LPO is ordered.)
- ✓ Brakes, 4-wheel antilock, 4-wheel disc

Exterior

Pickup box (STD)

Wheels, 16" x 7" (40.6 cm x 17.8 cm) Ultra Silver Metallic steel (STD)

Tires, P265/70R16 all-season, blackwall (STD)

Tire, compact spare T175/80R18, blackwall (STD) (Requires (RTX) 18" x 4.5" (45.7 cm x 11.4 cm) Black cast aluminum, compact spare wheel.)

Wheel, compact spare, 18" x 4.5" (45.7 cm x 11.4 cm) Black cast aluminum (Standard with (LCV) 2.5L I4 engine only. Not included on Crew Cab models.)

Bumper, rear chrome

CornerStep, rear bumper

Moldings, Black beltline

Headlamps, halogen with automatic exterior lamp control

Cargo box light, back of cab

Mirrors, outside remote with manual-folding, Black

Glass, windshield shade band

Door handles, Black

Tailgate, locking

Tailgate handle, Black (Not available with (SCZ) Chrome tailgate handle, LPO.)

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Data Version: 7543. Data Updated: Jan 28, 2019 9:35:00 PM PST.



Ewald Automotive Group

Scott Kussow | 262-567-5555 | skfleet@ewaldauto.com

Grand Chute 2019 Chevrolet Colorado (12M53) Ext Cab 1283 (2)

Entertainment

Audio system, Chevrolet Infotainment 3 system 7" diagonal color touchscreen, AM/FM stereo. Additional features for compatible phones include: Bluetooth audio streaming for 2 active devices, voice command pass-through to phone, Apple CarPlay and Android Auto capable (STD)

Audio system feature, 6-speaker system

USB data ports, 2 includes auxiliary input jack, located on the front console

Interior

Seats, front bucket (STD)

Seat adjuster, driver 4-way power with manual recline

Seat adjuster, passenger 2-way manual fore/aft with manual recline

Seats, dual rear with underseat storage (Extended Cab models only.)

Console, floor, front compartment, custom

Floor covering, color-keyed carpeting

Floor mats, carpeted front (Deleted when (B38) full-length Black vinyl floor covering is ordered. Requires (B30) color-keyed carpeting floor covering.)

Floor mats, carpeted rear (Requires (B30) color-keyed carpeting floor covering.)

Steering wheel, urethane

Steering column, tilt, manual

Speedometer, miles/kilometers

Display, driver instrument information enhanced, one color

Windows, power with driver Express-Up and Down

Door locks, power

Theft-deterrent system, immobilization

Air conditioning, single-zone manual climate control

Handles, door release, front and rear, Jet Black

Mirror, inside rearview manual day/night

Visors, driver and front passenger with passenger vanity mirror

Lighting, interior, center dome

Safety-Mechanical

StabiliTrak, stability control system

Traction control, electronic

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Grand Chute 2019 Chevrolet Colorado (12M53) Ext Cab 1283 (2)

Safety-Exterior

Daytime Running Lamps

Safety-Interior

Airbags, Dual-stage frontal airbags for driver and front passenger; Seat-mounted side-impact airbags for driver and front outboard passenger; Head-curtain airbags for front and rear outboard seating positions; Includes front outboard Passenger Sensing System for frontal passenger airbag (Always use seat belts and child restraints. Children are safer when properly secured in a rear seat in the appropriate child restraint. See the Owner's Manual for more information.)

Rear Vision Camera

Teen Driver mode a configurable feature that lets you activate customizable vehicle settings associated with a key fob, to encourage safe driving behavior. It can limit certain vehicle features, and it prevents certain safety systems from being turned off. An in-vehicle report card gives you information on driving habits and helps you to continue to coach your new driver

Tire Pressure Monitor System

WARRANTY

Basic Years: 3

Basic Miles/km: 36,000

Drivetrain Years: 5

Drivetrain Miles/km: 60,000

Drivetrain Note: Qualified Fleet Purchases: 5 Years/100,000 Miles

Corrosion Years (Rust-Through): 6

Corrosion Years: 3

Corrosion Miles/km (Rust-Through): 100,000

Corrosion Miles/km: 36,000

Roadside Assistance Years: 5

Roadside Assistance Miles/km: 60,000

Roadside Assistance Note: Qualified Fleet Purchases: 5 Years/100,000 Miles

Maintenance Note: 1 Year/1 Visit

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Grand Chute 2019 Chevrolet Colorado (12M53) Ext Cab 1283 (2)

Selected Model and Options

MODEL

CODE	MODEL	MSRP
12M53	2019 Chevrolet Colorado 4WD Ext Cab 128.3" Work Truck	\$28,700.00

COLORS

CODE	DESCRIPTION	MSRP
GAN	Silver Ice Metallic	\$0.00

PREFERRED EQUIPMENT GROUP

CODE	DESCRIPTION	MSRP
4WT	Work Truck Preferred Equipment Group includes standard equipment	\$0.00

ADDITIONAL EQUIPMENT - MECHANICAL

CODE	DESCRIPTION	MSRP
5GD	Tow/Haul Mode (Included and only available with (LGZ) 3.6L DI DOHC V6 engine or (LWN) 2.8L Duramax Turbo-Diesel engine. Standard on Crew Cab Long Box.)	Inc.
CTT	Trailer assist, guidelines (Included and only available with (LGZ) 3.6L DI DOHC V6 engine or (LWN) 2.8L Duramax Turbo-Diesel engine.)	Inc.

ADDITIONAL EQUIPMENT - SAFETY-INTERIOR

CODE	DESCRIPTION	MSRP
8S3	Backup alarm, 97 decibels (Requires a fleet or government order type. Not available with SEO (SFW) back-up alarm calibration.)	\$120.00

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Grand Chute 2019 Chevrolet Colorado (12M53) Ext Cab 1283 (2)

ADDITIONAL EQUIPMENT - EXTERIOR

CODE	DESCRIPTION	MSRP
9B7	Mirror, spotter, located in corner of driver-side outside mirror (Included and only available with (PCX) Work Truck Appearance Package.)	Inc.
BW4	Moldings, Chrome beltline (Included and only available with (PCX) Work Truck Appearance Package.)	Inc.
CGN	Bedliner, Spray-on, Black with Chevrolet logo (Not available with (PCR) Bed Guard Package, LPO, (PCU) Premium Protection Package, LPO, (5VQ) Bedliner with Integral Storage Compartments, LPO, (VZX) Bedliner, LPO, (VBR) rubber bed mat, LPO, (VUK) tailgate liner, LPO or any Ship Thru code.)	\$475.00
D75	Door handles, body-color (Included and only available with (PCX) Work Truck Appearance Package or (PCP) Custom Special Edition.)	Inc.
DL6	Mirrors, outside power-adjustable, body-color, manual-folding (Included and only available with (PCX) Work Truck Appearance Package or (PCP) Custom Special Edition.)	Inc.
PPA	Tailgate, EZ-Lift and Lower (Included and only available with (PCN) WT Convenience Package.)	Inc.
S1K	Wheel, spare, 16" x 7" (40.6 cm x 17.8 cm) steel (Requires (LGZ) 3.6L DI DOHC V6 engine or (LWN) 2.8L Duramax Turbo-Diesel engine. Standard on Crew Cab Long Box models.)	Inc.
VT5	Bumper, rear body-color (Included and only available with (PCX) Work Truck Appearance Package or (PCP) Custom Special Edition.)	Inc.

ADDITIONAL EQUIPMENT - INTERIOR

CODE	DESCRIPTION	MSRP
ATG	Remote Keyless Entry, extended range (Included and only available with (PCN) WT Convenience Package or (RDI) Keyless Entry Keypad, LPO.)	Inc.
B38	Floor covering, full-length Black vinyl	\$0.00
K34	Cruise control, electronic, automatic (Included and only available with (PCN) WT Convenience Package.)	Inc.
UTJ	Theft-deterrent system, unauthorized entry (Included and only available with (PCN) WT Convenience Package.)	Inc.

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Grand Chute 2019 Chevrolet Colorado (12M53) Ext Cab 1283 (2)

ADDITIONAL EQUIPMENT - PACKAGE

CODE	DESCRIPTION	MSRP
PCN	WT Convenience Package includes (ATG) Remote Keyless Entry, (UTJ) theft-deterrent system, (K34) electronic cruise control and (PPA) EZ-Lift tailgate	\$490.00
PCX	Work Truck Appearance Package includes (RS1) 16" x 7" (40.6 cm x 17.8 cm) Ultra Silver Metallic cast aluminum wheels, (DL6) outside power-adjustable, body-color, remote, manual-folding mirrors, (9B7) spotter mirror, (VT5) body-color rear bumper, (BW4) chrome beltline moldings and (D75) body-color door handles (Requires (PCN) WT Convenience Package. Not available with (PCP) Custom Special Edition or (TGK) Special Paint. (Q5U) 17" Blade Silver Metallic cast aluminum wheels replace (RS1) 16" Ultra Silver Metallic cast aluminum wheels when (LWN) 2.8L Duramax Turbo-Diesel engine is ordered.)	\$435.00

ADDITIONAL EQUIPMENT - LPO

CODE	DESCRIPTION	MSRP
VQK	LPO, Front and rear splash guards custom-molded with logo on rear, (dealer-installed) (Not available with (SF5) wheel flares, LPO.)	\$170.00

SEAT TYPE

CODE	DESCRIPTION	MSRP
AR7	Seats, front bucket (STD)	\$0.00

GVWR

CODE	DESCRIPTION	MSRP
C4F	GVWR, 5900 lbs. (2676 kg) (Standard on Extended Cab models with (LGZ) 3.6L DI DOHC V6 engine only.)	Inc.

CUSTOM EQUIPMENT

CODE	DESCRIPTION	MSRP
DI-1	DELIVERY FROM OCONOMOWOC TO GRAND CHUTE	\$96.00
DI-2	REGISTRATION FEES (NEW MUNICIPAL PLATES)	\$74.50

EMISSIONS

CODE	DESCRIPTION	MSRP
FE9	Emissions, Federal requirements	\$0.00

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Grand Chute 2019 Chevrolet Colorado (12M53) Ext Cab 1283 (2)

PAINT

CODE	DESCRIPTION	MSRP
GAN	Silver Ice Metallic	\$0.00

AXLE

CODE	DESCRIPTION	MSRP
GU6	Rear axle, 3.42 ratio (Requires (LGZ) 3.6L DI DOHC V6 engine or (LWN) 2.8L Duramax Turbo-Diesel engine.)	\$0.00

SEAT TRIM

CODE	DESCRIPTION	MSRP
H2R	Jet Black/Dark Ash, Cloth seat trim	\$0.00

RADIO

CODE	DESCRIPTION	MSRP
IOR	Audio system, Chevrolet Infotainment 3 system 7" diagonal color touchscreen, AM/FM stereo. Additional features for compatible phones include: Bluetooth audio streaming for 2 active devices, voice command pass-through to phone, Apple CarPlay and Android Auto capable (STD)	\$0.00

ENGINE

CODE	DESCRIPTION	MSRP
LGZ	Engine, 3.6L DI DOHC V6 VVT (308 hp [230.0 kW] @ 6800 rpm, 275 lb-ft of torque [373 N-m] @ 4000 rpm) (Standard on Crew Cab models.)	\$1,335.00

TRANSMISSION

CODE	DESCRIPTION	MSRP
M5T	Transmission, 8-speed automatic (Requires (LGZ) 3.6L DI DOHC V6 engine. Standard on Crew Cab models. Available on Extended Cab models.)	\$150.00

TIRES

CODE	DESCRIPTION	MSRP
QJJ	Tires, P265/70R16 all-season, blackwall (STD)	\$0.00

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Grand Chute 2019 Chevrolet Colorado (12M53) Ext Cab 1283 (2)

WHEEL TYPE

CODE	DESCRIPTION	MSRP
RS1	Wheels, 16" x 7" (40.6 cm x 17.8 cm) Ultra Silver Metallic cast aluminum (Included and only available with (PCX) Work Truck Appearance Package.)	Inc.

SPARE TIRE

CODE	DESCRIPTION	MSRP
ZJJ	Tire, spare P265/70R16 all-season, blackwall (Included and only available with (S1K) 16" x 7" (40.6 cm x 17.8 cm) steel spare wheel.)	Inc.

PAINT SCHEME

CODE	DESCRIPTION	MSRP
ZY1	Solid Paint	\$0.00

Options Total	\$3,345.50
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Grand Chute 2019 Chevrolet Colorado (12M53) Ext Cab 1283 (2)

Price Summary

PRICE SUMMARY

	MSRP
Base Price	\$28,700.00
Total Options	\$3,345.50
Vehicle Subtotal	\$32,045.50
Destination Charge	\$1,095.00
Grand Total	\$33,140.50

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Grand Chute

AGENDA REQUEST

3/5/2019

TOPIC: Approve the Inter-governmental Agreement between the City of Appleton and Town of Grand Chute for street lighting on W. Evergreen Drive between N. Richmond Street (STH 47) and N. Alvin Street at a cost of \$18,000.

<input checked="" type="checkbox"/> New Business <input type="checkbox"/> Unfinished Business <input type="checkbox"/> Reports <input type="checkbox"/> Closed Session <input type="checkbox"/> Ordinance/Resolution	Meeting: Town Board
Department Reporting: Public Works	Submitted By: Karen Heyrman, P.E., <i>Kmh</i> Deputy Director of Public Works

ISSUE: Street lighting will be installed on W. Evergreen Drive as part of the urbanization of W. Evergreen Drive between N. Richmond Street (STH 47) and N. Haymeadow Avenue.

BACKGROUND/ANALYSIS: On 10/2/2018 the Town Board approved the Intergovernmental Agreement with the City of Appleton for the urbanization of W. Evergreen Drive. The agreement includes the paving, storm sewer, and sidewalk/multiuse trail. The City of Appleton will own and maintain the lighting on their section of the corridor and it is more cost effective to include the four additional lights needed in the Town section than to install the standard We Energies lighting.

RECOMMENDATION: The staff's recommendation is to approve the Inter-governmental Agreement between the City of Appleton and Town of Grand Chute for street lighting on W. Evergreen Drive between N. Richmond Street (STH 47) and N. Alvin Street at a cost of \$18,000.

FISCAL IMPACT: CIP
The cost is assessable.

ATTACHMENTS:
Attachment No. 1 – Intergovernmental Agreement for Street Lighting on W. Evergreen Drive between N. Richmond Street (STH 47) and N. Alvin Street

**INTER-GOVERNMENTAL AGREEMENT
FOR HIGHWAY IMPROVEMENT PROJECTS**

Description: Street Lighting in the Town of Grand Chute on Evergreen Drive between Richmond Street (STH 47) and Alvin Street.

The City of Appleton, through its undersigned duly authorized officers or officials hereby request Town of Grand Chute to participate in implementation of street lights on the project that locate within Town of Grand Chute corporate limits as a part of the City's urbanization of Evergreen Drive in 2019.

PROPOSED IMPROVEMENTS:

The City of Appleton and Town of Grand Chute have mutual interest to provide street lighting on Evergreen Drive approaching Richmond Street (STH 47). The City of Appleton is leading the design and urbanization of Evergreen Drive, including modifications at the Richmond Street/Evergreen Drive intersection. The City of Appleton will make payment to City's contractor for the installation of four (4) street lights with the Town of Grand Chute, along the north side of Evergreen Drive, between Richmond Street and Alvin Street. This agreement is for payment to the City of Appleton for the street lighting facilities that will be located within Town of Grand Chute corporate limits.

TERMS AND CONDITIONS:

1. The City of Appleton will be the lead agency for this project.
2. The project cost in the agreement is an estimate. The Town of Grand Chute will be invoiced based on actual costs incurred.

COST ESTIMATE AND PARTICIPATION

	Total Estimated Cost	City of Appleton Effective %	Town of Grand Chute Effective %
Add 4 street light assemblies on the north side of Evergreen Drive between Richmond St (STH 47) and Alvin Street	\$18,000	\$0 0%	\$18,000 100%
TOTALS		\$0	\$18,000

This request is subject to the terms and conditions listed above, and is made by the undersigned under proper authority to make such request and upon acceptance by Grand Chute shall constitute agreement between City of Appleton and Grand Chute.

Signed on behalf of
Town of Grand Chute

Signed on behalf of
City of Appleton

By: _____

Printed Name: David Schowalter

Title: Town Chairman

Mayor Timothy Hanna

Date

Kami Lynch
City Clerk

Date

Anthony Saucerman
Finance Director

Date

Jim Walsh
City Attorney

Date



AGENDA REQUEST
3/5/2019

TOPIC: Approve the Inter-governmental Agreement between the City of Appleton and Town of Grand Chute for street light maintenance on Evergreen Drive between Richmond Street (STH 47) and Alvin Street.

<input checked="" type="checkbox"/> New Business <input type="checkbox"/> Unfinished Business <input type="checkbox"/> Reports <input type="checkbox"/> Closed Session <input type="checkbox"/> Ordinance/Resolution	Meeting: Town Board
Department Reporting: Public Works	Submitted By: Karen Heyrman, P.E., <i>Kmk</i> Deputy Director of Public Works

ISSUE: Street lighting will be installed on W. Evergreen Drive as part of the urbanization of W. Evergreen Drive between N. Richmond Street (STH 47) and N. Haymeadow Avenue. Four street lights benefit Town of Grand Chute properties and will need to be maintained.

BACKGROUND/ANALYSIS: On 10/2/2018 the Town Board approved the Intergovernmental Agreement with the City of Appleton for the urbanization of W. Evergreen Drive. The agreement includes the paving, storm sewer, and sidewalk/multiuse trail. The City of Appleton will own and maintain the lighting on their section of the corridor and it is more cost effective to include the four additional lights needed in the Town section than to install the standard We Energies lighting.

The attached agreement is for the City of Appleton to maintain these four street lights.

RECOMMENDATION: The staff's recommendation is to approve the Inter-governmental Agreement between the City of Appleton and Town of Grand Chute for street light maintenance on W. Evergreen Drive between N. Richmond Street (STH 47) and N. Alvin Street.

FISCAL IMPACT: BUDGET

ATTACHMENTS:
Attachment No. 1 – Inter-governmental Agreement for Street Light Maintenance on W. Evergreen Drive between N. Richmond Street (STH 47) and Alvin Street

**INTERGOVERNMENTAL AGREEMENT BETWEEN THE
CITY OF APPLETON AND CITY OF GRAND CHUTE
TO PROVIDE FOR STREET LIGHTING RELATED SERVICES**

THIS INTERGOVERNMENTAL AGREEMENT (“Agreement”) is entered into as of the date appearing at the end of this Agreement (“**Effective Date**”) by and between the CITY OF APPLETON, with a business address of 100 North Appleton Street, Appleton, WI 54911 (“**Appleton**”), and the TOWN OF GRAND CHUTE, with a business address of 1900 W Grand Chute Boulevard, Appleton, WI 54913 (“**Grand Chute**”). The purpose of this Agreement is to define the services Appleton shall provide to Grand Chute relating to four (4) street lighting units located along Evergreen Drive, east of its intersection with Richmond Street (STH 47) in Outagamie County (“**street lights**”). Appleton and Grand Chute may be singularly referred to herein as a “**party**” or jointly referred to as the “**parties.**”

RECITALS

WHEREAS, the parties wish to enter into an agreement pursuant to the authority granted to them in Wis. Stats. § 66.0301 whereby Appleton will service street lights located in Grand Chute; and

WHEREAS, Appleton has the means and ability to efficiently service the street lights; and

WHEREAS, Grand Chute desires to have Appleton service the street lights as it will be cost effective and time-saving to Grand Chute; and

WHEREAS, this Agreement shall bind the parties for the length of time herein specified;

IT IS NOW, THEREFORE, in consideration of the foregoing and for the consideration described herein, agreed by the parties agree as follows:

**ARTICLE I
TERM**

1.1 **Term.** This Agreement shall become binding on the Effective Date. The Agreement shall have no expiration or termination date but may be terminated by either party pursuant to the Section 1.2 below.

1.2 **Termination.** Either party may terminate this Agreement at any time and for any reason by giving thirty (30) calendar days written notice of termination to the other party.

**ARTICLE II
SERVICES**

2.1 **Services.** Appleton shall provide Grand Chute the following services as they relate to this Agreement: electrical power to the street lights, repairs to the street lights, maintenance work to the street lights, and other assistance as noted in this Agreement.

2.2 **Routine Repairs and Electrical Maintenance Work.** Appleton’s electrical crews will perform required repairs and electrical maintenance work on the street lights upon the reasonable written request of Grand Chute. Common examples of this category of work are servicing the LED fixtures; repairs to above or below-ground facilities as necessary as a result of vehicular collisions, weather, and construction damage; and repairs necessary as a result of normal equipment malfunctions or failures.

2.3 Non-Routine Electrical Work. Appleton will perform non-routine electrical work on the street lights as Appleton's staff time and availability permits upon the reasonable written request of Grand Chute. Examples of non-routine electrical work include, but are not limited to, special projects, i.e., adding or upgrading equipment, street lights, poles, underground facilities; and upgrades or changes to lighting control cabinets.

2.4 Technical Assistance. Appleton will review related construction plans and specifications; assist with field location, laying out, and implementation of new street lights as Appleton's staff time and availability permits.

2.5 Diggers Hotline Locating. Appleton will mark the underground electrical facilities associated with the four street lights identified herein as necessary.

ARTICLE III FEES AND PAYMENT

3.1 Fees. Grand Chute will pay Appleton for electrical power to the street lights and for the cost of repairs and maintenance work to the street lights, as well as for the costs to mark the underground utilities associated with these street lights:

- 3.1.1 Parts, materials, subcontractor, and third-party rental fees will be billed by Appleton to Grand Chute at Appleton's actual cost.
- 3.1.2 Electrical maintenance truck time and other equipment time will be billed by Appleton to Grand Chute at the current Appleton rate per hour.
- 3.1.3 Labor cost will be billed by Appleton to Grand Chute at Appleton's current hourly rate plus fringe benefits.
- 3.1.4 Appleton will bill Grand Chute the actual cost for all other normal administrative and small tool costs associated with any work on or to the street lights.
- 3.1.5 Appleton will bill Grand Chute for the actual costs for the electrical power pursuant to Section 3.2.2 below.

3.2 Invoices.

- 3.2.1 All invoices for repairs and maintenance work will be generated quarterly or by incident and will include a description of the work, hours worked and party requesting the work.
- 3.2.2 All invoices for electrical power work will be generated annually and will be based on the estimated power consumption, with an annual review of appropriate electrical tariff rate established by the utility company. The invoice will assume a street light is energized 4,400 hours per year, with 600 hours in the peak (9AM to 9PM) tariff rate and 3,800 hours in the off-peak (9PM to 9AM) tariff rate.
- 3.2.3 Payment must be received by Appleton on or before the date indicated on the invoice.

**ARTICLE IV
ADDITIONAL PROVISIONS**

4.1 Items covered by this Agreement. This Agreement pertains solely to the four (4) street lighting units located along the north side of Evergreen Drive, just east of its intersection with Richmond Street (STH 47) in Outagamie County.

4.2 Other Street Lights. Grand Chute agrees that any future street lights constructed on the same electrical circuit as the street lights during the time this Agreement is in force will be constructed in compliance with Appleton's specifications.

4.3 No Assignment. No party to this Agreement may assign its interest in this Agreement to any other entity or individual.

4.4 Entire Agreement; Rules of Construction. The parties acknowledge and agree that this Agreement, including the recitals which are incorporated into and made a part of this Agreement, expresses the entire agreement between the Parties as to the subject matter of this Agreement, and that this Agreement replaces and supersedes any prior negotiations and agreements, written or oral. The parties further acknowledge and agree that each party has been adequately and fully represented in connection with the negotiation and execution of this Agreement, and that, accordingly, rules of interpretation that signify that an agreement shall be construed against the drafter shall not apply.

4.5 Captions. The captions or headings in this Agreement are for convenience and in no way define, limit, or describe the scope or intent of the provisions of this Agreement.

4.6 Governing Law. The laws of the State of Wisconsin shall govern the interpretation and enforcement of this Agreement. Venue over any action brought under this Agreement will lie in the Circuit Court for Outagamie County.

4.7 Counterparts. This Agreement may be signed in any number of counterparts with the same effect as if the signatures were on the same instrument.

4.8 No Third-party Beneficiaries. This Agreement is entered into for the sole and exclusive benefit of the parties. No third party (including, without limitation, any employees of the parties) shall have, obtain, or derive from this Agreement any rights or other benefits or interests, under law, in equity, or otherwise.

4.9 No Joint Venture. Nothing contained in this Agreement shall be deemed or construed as creating a partnership or joint venture between the parties.

4.10 Exculpatory Provision. The parties expressly acknowledge and agree that, anything herein to the contrary notwithstanding, that no officer, director, employee, agent, or official (elected or appointed) of either party shall have any personal liability or obligation arising out of this Agreement, and no party shall make any claim to the contrary.

4.11 No Waiver. No failure to exercise, and no delay in exercising, any right, power, or remedy under this Agreement on the part of any party shall operate as a waiver of such right, power, or remedy, nor shall any single or partial exercise of any right, power, or remedy preclude any other or further exercise thereof or the exercise of any other right, power, or remedy. No express waiver shall affect any event or default other than the

event or default specified in such waiver, and any such waiver, to be effective, must be in writing and shall be operative only for the time and to the extent expressly provided therein. A waiver of any covenant, term, or condition contained in this Agreement shall not be construed as a waiver of any, subsequent breach of the same covenant, term, or condition.

4.12 Notice. For the purpose of this Agreement, the term “notice” shall mean notice in writing, provided in person or sent to the other party by United States Certified Mail or other mail delivery that provides proof of mailing and delivery, unless an alternate method of service is agreed to in writing by the parties, and sent to the following:

To Appleton: City of Appleton
Department of Public Works – Traffic Section
100 North Appleton Street
Appleton, WI 54911

To Grand Chute: Town of Grand Chute
Department of Public Works
1900 Grand Chute Boulevard
Appleton, WI 54913

4.13 Severability. The terms of this Agreement are severable and any determination by any court or agency having jurisdiction over the subject matter of this Agreement that results in the invalidity of any part shall not affect the remainder of the Agreement.

4.14 **INDEMNIFICATION**.

4.14.1 For good and valuable consideration, Grand Chute agrees to indemnify, defend and hold harmless Appleton and its officers, officials, employees and agents from and against any and all liability, loss, damage, expenses, costs, including attorney’s fees, arising out of the activities and/or services performed as described herein, to the extent caused in whole or in part by any negligent act or omission of Grand Chute, anyone directly or indirectly employed by them, or anyone whose acts any of them may be liable, except where caused by the negligence or willful misconduct of Appleton.

4.14.2 For good and valuable consideration, Appleton agrees to indemnify, defend and hold harmless Grand Chute and its officers, officials, employees and agents from and against any and all liability, loss, damage, expenses, costs, including attorney’s fees, arising out of the activities and/or services performed as described herein, except to the extent where caused in whole or in part by any negligent act or omission of Appleton, anyone directly or indirectly employed by them, or anyone whose acts any of them may be liable, except where caused by the negligence or willful misconduct of Grand Chute.

4.15 Disputes. The parties shall endeavor to resolve any disputes as they pertain to this Agreement by mediation which, unless the parties mutually agree otherwise, shall be held in Appleton, Wisconsin. The parties shall share the mediator's fee and any filing fees equally. Agreements reached in mediation shall be enforceable as settlement agreements in any court having jurisdiction thereof.

4.16 Amendments. This Agreement may be amended at any time by mutual written agreement by the

parties.

(SIGNATURE PAGE TO FOLLOW)

IN WITNESS WHEREOF, the Parties have executed this Agreement as of the _____ day of _____, 2019

CITY OF APPLETON

Witness: _____
Printed Name: _____

By: _____
Timothy M. Hanna, Mayor

Witness: _____
Printed Name: _____

By: _____
Kami Lynch, City Clerk

Provision has been made to pay the liability that will accrue under this contract.

Approved as to form:

Anthony D. Saucerman, Finance Director

James P. Walsh, City Attorney

TOWN OF GRAND CHUTE

Witness: _____
Printed Name: _____

By: _____
Printed Name: David Schowalter
Title: Town Chairman

Witness: _____
Printed Name: _____

By: _____
Printed Name: Angie Cain
Title: Town Clerk



AGENDA REQUEST
3/05/2019

TOPIC: Approve amendment 1 to the Municipal Agreement with Outagamie County for an engineering study of CTH CA (College Ave) & N. Mall Drive/S. Nicolet Road increasing the amount by \$4,000.

<input checked="" type="checkbox"/> New Business <input type="checkbox"/> Unfinished Business <input type="checkbox"/> Reports <input type="checkbox"/> Closed Session <input type="checkbox"/> Ordinance/Resolution	Meeting: Town Board
Department Reporting: Public Works	Submitted By: Karen M. Heyrman, P.E. <i>KMH</i> Deputy Director of Public Works

ISSUE: The intersection of CTH CA (College Avenue) and N. Mall Drive/S. Nicolet Road has safety and capacity issues and one of the highest intersection crash rates within Outagamie County on the county highway system. The intersection does not meet recommended access spacing to the USH 41 interchange. Commercial development in the mall area is impacted by traffic flow and access issues on adjacent roads serving their businesses.

BACKGROUND/ANALYSIS: Outagamie County and the Town of Grand Chute identified the need to study the intersection of CTH CA (College Avenue) & N. Mall Drive/S. Nicolet Road and the surrounding roadway network.

The project limits are intersections and roadways that lead directly to and from the CTH CA & N. Mall Drive/S. Nicolet Road intersection. Roadways included in the study: CTH CA, Mall Drive, Nicolet Road, Grande Market Drive, Metro Drive, Casaloma Drive, Hanskimmel Drive, Fox River Drive, Outer Ring Road/Michaels Drive, Lawrence Street, Spencer Street. All intersections and approaches of these roadways are included in the study.

Four proposals were received on January 29, 2019, and evaluated by Outagamie County and the Town of Grand Chute as follows:

<u>Consultant</u>	<u>Fee</u>	<u>Average Proposal Score</u>
raSmith	\$68,000	8.31
AECOM	\$52,500	7.61
Ayres	\$58,900	7.57
TADI	\$63,543	7.27

County and Town staff individually ranked the proposals based on the qualifications of the project manager, qualifications of the support staff, available workload capacity and schedule, relevant experience, project understanding, and approach. The average of these scores is the basis of our recommendation.

RECOMMENDATION: The staff recommendation is to approve amendment 1 to the Municipal Agreement with Outagamie County for an engineering study of CTH CA (College Ave) & N. Mall Drive /S. Nicolet Road increasing the amount by \$4,000.

FISCAL IMPACT: BUDGET

The 2019 budget includes \$30,000 for this project. The project and billing is expected to carry into the 2020 calendar year and the \$4,000 increase will be included in the 2020 budget. The proposal schedule for deliverables includes a Local Officials meeting in December of 2019 to discuss the report finding. The final report will be provided in April of 2020.

ATTACHMENTS:

- Attachment No. 1: Outagamie County Highway Department Municipal Agreement
- Attachment No. 2: Exhibit 1 – CA & N. Mall Drive/S. Nicolet Road study area

OUTAGAMIE COUNTY HIGHWAY DEPARTMENT

COUNTY / MUNICIPAL / STATE AGREEMENT

CTH CA & Mall Dr/Nicolet Rd intersection

DATE: 2/28/2019
 PROJECT: See Below
 HIGHWAY: CTH "CA"
 LIMITS: Mall/Nicolet intersection
 MUNICIPALITY: Town of Grand Chute

update to costs based on actual consultant engineering contract

The signatory **Town of Grand Chute**, hereinafter called the Municipality, through its undersigned duly authorized officers or officials, hereby requests the County of Outagamie, through its Highway Department, hereinafter called the County, to initiate and effect the highway or street improvement hereinafter described.

PROJECT DESCRIPTION: Agreement is for engineering study of the CTH "CA" & Mall Dr/Nicolet Rd intersection. The intersection has had safety and capacity issues, in part due to its proximity to the I-41 interchange. Commercial development in the mall area may be impacted by traffic flow and access issues on adjacent roads. The first step is a traffic study of the intersection, adjacent roads, and roadway network. Improvement options and recommendations will be developed which may include eliminating certain movements at the intersection and redistributing them to adjacent roadways. Study would begin in 2019. Design and construction will be determined at a later date.

COST ESTIMATE AND PARTICIPATION

PHASE	***** ESTIMATED COST *****								
	Total Estimated Cost	WISDOT	%	Outagamie County	%	Town of Grand Chute	%		
CTH CA & Mall Dr/Nicolet Rd intersection									
ENGINEERING:									
Traffic Study & Improvemen	\$68,000	\$0	0%	\$34,000	50%	\$34,000	50%	\$0	0%
Concept Drawings									
Intersection Design Plans	TBD	\$0	0%	\$0	50%	\$0	50%	\$0	0%
RIGHT OF WAY:									
	TBD	\$0	0%	TBD	100%	\$0	0%	\$0	0%
CONSTRUCTION:									
	TBD								
TOTAL PROJECT COST	\$68,000	\$0		\$34,000	50.0%	\$34,000	50.0%	\$0	0.0%

This request for the programming, design and construction is subject to the terms and conditions that follow and is made by the undersigned under proper authority to make such request for the designated Municipality and upon acceptance by the Highway Commissioner shall constitute an agreement between the County and the Municipality unless specifically modified or amended by supplemental written agreement between the County and the Municipality.

Terms and Conditions

1. When Federal Funds are involved, the improvement will be subject to the applicable Federal Aid Highway Acts and Regulations of the Federal Highway Administration, U.S. Department of Transportation.

2. This is a joint agreement between the County and the Municipality. The Municipality will be kept informed on the project status and will have input regarding the project. This project will be administered under the County Administrative Rule 10-02.
3. If the Municipality should withdraw the project, it will pay to the County any cost that has been incurred by the county on behalf of the project.
4. The project cost in the agreement is an estimate. The Municipality will be invoiced periodically, and agrees to pay based on actual costs incurred. Such costs may be greater or less than the estimated amount, however, the Municipality acknowledges that costs between the time this agreement is executed and the actual time of construction can vary.
5. The County's obligation to perform under this contract shall be subject to County Board appropriation of funds sufficient to fund the County's obligations herein.
6. The County and Municipality agree and understand that the Municipality is reserving its rights to assess any and all costs incurred by the Municipality for this project. The Municipality and County hereby further agree that the Municipality have the right to assess any of its costs upon terms deemed acceptable by the Municipality subject to the following: In the event county property is assessed or subject to assessment the county reserves the right to object to the propriety and / or correctness of the assessment formula or methodology, however, such right to object does not extend to the municipality's ability to assess. The county's right to object includes the ability to challenge the assessment methodology or formula in circuit court and to pursue appeals of circuit court decisions.
7. Operations and Maintenance responsibilities of facilities built with this project will be determined during design.
 Items Outagamie County would typically maintain include:
 - a. Highway surface and roadway base between outside curblines
 - b. Curb & gutter along the County Trunk Highway
 - c. Roadway signing and pavement marking
 - d. Median island surface or landscaping
 - e. Typical rural mowing in rural highway ditch sections
 - f. Maintain records of the highway and right-of-way, and utility and access permits
 Items the Municipality would typically maintain include:
 - a. Storm sewer drainage pipes and structures
 - b. Off-road multimodal facilities and crossings
 - c. Signing and pavement markings for multi-modal facilities
 - d. Mowing or landscaping outside the roadway curblines
 - e. additional amenities requested by the Municipality

BY: _____ Date _____
 Dean E. Steingraber, P.E. Outagamie County Highway Commissioner

BY: _____ Date _____
 Signed for and on behalf of: Town of Grand Chute

BY: _____ Date _____
 Signed for and on behalf of: Town of Grand Chute

Exhibit 1 - CTH CA & Mall Dr/Nicolet Rd study area



Intersection of Interest

DISCLAIMER: This map is not guaranteed to be accurate, correct, current, complete, or reliable. The user assumes all responsibility for any use of this map.



AGENDA REQUEST
3/5/2019

TOPIC: Preliminary Resolution TBR-03-2019, declaring intent to exercise special assessment powers under Chapter 66, Police Powers, Wis. Stats., 2015-16 as amended for street urbanization - W. Evergreen Drive - RR to N. Gillett Street.

<input type="checkbox"/> New Business <input type="checkbox"/> Unfinished Business <input type="checkbox"/> Reports <input type="checkbox"/> Closed Session <input checked="" type="checkbox"/> Ordinance/Resolution	Meeting: Town Board
Department Reporting: Public Works	Submitted By: Katie Schwartz, Director P.W.

ISSUE: Shall the Town Board approve Preliminary Resolution TBR-03-2019, declaring intent to exercise special assessment powers under Chapter 66, Police Powers, Wis. Stats., 2015-16 as amended for street urbanization - W. Evergreen Drive - RR to N. Gillett Street.

BACKGROUND/ANALYSIS: On December 18, 2018 the Town Board approved the Professional Services Agreement with McMahon for civil engineering services in the design, bidding, and construction inspection/administration for the extension of Evergreen Drive west and north from Gillett Street to the railroad tracks. As you know, it is proposed to terminate this section with a cul-de-sac until such time as the proposed crossing would be approved by the OCR (hearing set for March 12, 2019). This will allow for the development of the area between the crossing and Gillett Street to occur whether or not the crossing is approved. The design will also include the reconstruction/urbanization of the existing 950 feet rural-type roadway west of Gillett Street. This section of roadway was last paved in 1996 and has a PASER rating of 6. A 10-foot wide recreation trail will also be included along the north/east side of the roadway. Utility installation and earthwork is planned for 2019 while reconstruction will be in 2020.

All but one parcel in the mapped preliminary resolution area is part of TID 2 - 101063105, apartments owned by HCA Properties LLC (parcel #7 on the attached exhibit map). This project has been included in the Town's 2019 and 2020 CIP budget and special assessments will be levied in accordance with the Town's Special Assessment Policy.

RECOMMENDATION: Staff recommends to approve Preliminary Resolution TBR-03-2019, declaring intent to exercise special assessment powers under Chapter 66, Police Powers, Wis. Stats., 2015-16 as amended for street urbanization - W. Evergreen Drive - RR to N. Gillett Street.

FISCAL IMPACT: CIP

Construction costs will be developed and included as part of the 2019 and 2020 CIP process. Expenses will be recorded in TID 2/CIP and funded with future debt.

ATTACHMENTS:

Attachment No. 1 - TBR-03-2019 and exhibits

Attachment No. 2 - TID 2 map

TOWN OF GRAND CHUTE
BOARD OF SUPERVISORS
(OUTAGAMIE COUNTY, STATE OF WISCONSIN)
RESOLUTION 3 - SERIES OF 2019

W. EVERGREEN DRIVE
(RR to N. Gillett Street)

PRELIMINARY RESOLUTION DECLARING INTENT TO EXERCISE SPECIAL ASSESSMENT POWERS UNDER CHAPTER 66, POLICE POWERS, WIS. STATS., 2017-18 AS AMENDED.

BE IT RESOLVED by the Town Board of Supervisors of the Town of Grand Chute, Outagamie County, Wisconsin as follows:

1. The Town Board of Supervisors hereby declares its intention to exercise its powers under Section 66.0703(1)(b), Wis. Stats., 2017-18 as amended, to levy special assessments upon property within the following area as described and shown on Exhibit "A" and "B" for benefits conferred upon such property by improvement of the following:
 - I. Improvements
 - A. Street Urbanization
 - II. Location of Improvement
Located in Section 10, T21N, R17E
2. The total amount assessed against such improvements shall not exceed the total cost of the improvements. The Town Board determines that such improvements shall be made under the police power, and the amount assessed against each parcel shall be on a cost per front foot, area, or unit cost basis.
3. The assessments against any parcel may be paid in cash or in the number of installments to be determined at the Public Hearing on the proposed assessments and according to the Final Resolution of the Town Board.
4. The Town Board/Engineer is directed to prepare a Report consisting of:
 - I. Plans and specifications of said improvements
 - II. A summary of the entire cost of the proposed improvements
 - III. A schedule of proposed assessments showing the properties, which are benefited by the work or improvement

Upon completing such report, the Town Board/Engineer is directed to file a copy thereof in the Town Clerk's Office for public inspection.

5. Upon receiving the report of the Town Board/Engineer, the Town Clerk is directed to give notice of a public hearing on such report as specified in Section 66.0703(7), Wisconsin Statutes. The hearing shall be held at the Grand Chute Town Hall at a time set by the Town Clerk in accordance with Section 66.0703(7), Wisconsin Statutes.

Passed and approved this _____ day of _____, 2019

TOWN OF GRAND CHUTE

By: David A. Schowalter
Town Chairperson

By: Angie Cain
Town Clerk

EXHIBIT A

ASSESSMENT DESCRIPTION

Evergreen Drive Preliminary Resolution Legal Description

McM. No. G0006-8-19-00201

Lot 2 Certified Survey Map (hereinafter CSM) 2473 recorded in Volume 13 CSMs on Page 2473 as Document Number 1181749.

Lot 2 CSM 3526 recorded in Volume 18 CSMs on Page 3526 as Document Number 1332813.

Lots 1 and 2 CSM 6195 recorded in Volume 36 CSMs on page 6195 as Document Number 1885569.

Lots 1 and 2 CSM 7091 recorded in Volume 42 of CSMs on Page 7091 as Document Number 2059779 and a part of the Northwest $\frac{1}{4}$ of the Northwest $\frac{1}{4}$ of Section 15 T21N R17E.

All located in the Southwest $\frac{1}{4}$ of the Southwest $\frac{1}{4}$ of Section 10 and the Northwest $\frac{1}{4}$ of the Northwest $\frac{1}{4}$ of Section 15 T21N R17E, Town of Grand Chute, Outagamie County, Wisconsin as described as follows:

Beginning at the Southwest corner of said Section 10;

Thence N00°50'36"W, 293.07 feet along the West line of CSM 7091 to the Northwest corner thereof;

Thence S89°40'21"E, 432.63 feet along the North line of said CSM 7091 to the Northeast corner thereof;

Thence S00°18'03"W, 390.62 feet along the East line of said CSM 7091 to the Northwest corner of Lot 2 of said CSM 3526;

Thence S89°19'17"E, 858.65 feet along the North line of said CSM 3526 to the Northeast corner thereof;

Thence S00°26'48"E, 994.58 feet along the West line of Gillett Street to the North line of I41;

Thence N88°43'56"W, 268.50 feet along the said North line to an angle point on the South line of Lot 2 CSM 6195;

Thence N87°00'56"W, 500.30 feet along the said North line and along the South lines of Lots 1 and 2 CSM 6195 and Lot 2 said CSM 2473 to an angle point in CSM 2473;

Thence N88°47'23"W (N89°50'41"W), 417.73 feet along the said North line and the South lines of Lot 2 said CSM 2473 and Lot 2 said CSM 7091 to a corner of said Lot 2 CSM 7091;

Thence N00°18'56"E (N00°44'20"W), 166.31 feet along a line of said Lot 2 CSM 7091 to a corner thereof;

Thence S79°34'11"W (S78°30'53"W), 101.77 feet to the Southwest most corner of said Lot 2 CSM 7091;

Thence N00°18'56"E (N00°44'20"W), 134.29 feet along the West line of said Lot 2 to an angle point;

Thence N00°45'35"E (N00°44'20"W), 801.05 feet along the West line of said Lot 2 CSM 7091 to the point of beginning.

o:\johnson, W\PROJECTS\G0006\81900201\CADD\Civil3D\Survey Documents\ASSESSMENT EXHIBIT\Evergreen Drive - Assessment Area-Exhibit Map.dwg, 8.5x11landscape, Plot Date: 2/22/2019 11:26 PM, xref:none

CANADIAN NATIONAL RAILROAD

134.57'

801.38'

293.07'

NW-NW
SEC. 15

SW-SW
SEC. 10

POINT OF
BEGINNING
SW CORNER
SEC. 10
T.21N., R.17E.

EXHIBIT B

① DOC. # 1527668 TAX PARCEL No. 101063101 ZONING: IND	② LOT 2 CSM 6195 TAX PARCEL No. 101063110 ZONING: IND	③ LOT 2 CSM 6195 TAX PARCEL No. 101063104 ZONING: IND	④ LOT 2 CSM 2473 TAX PARCEL No. 101063103 ZONING: IND
⑤ LOT 2 CSM 7091 TAX PARCEL No. 101063112 ZONING: CL	⑥ LOT 1 CSM 7091 TAX PARCEL No. 101063111 ZONING: RMF	⑦ LOT 2 CSM 3526 TAX PARCEL No. 101063105 ZONING: RMF	

390.62'

858.65'

⑥

⑦

⑤

④

③

②

①

417.73'

500.30'

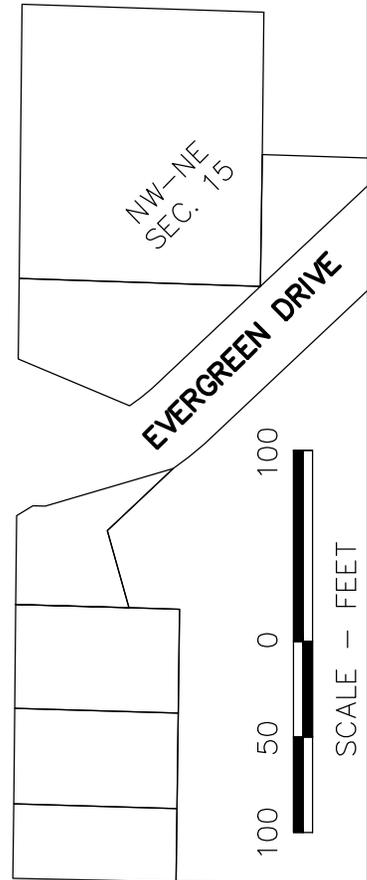
268.50'

1" = 41'

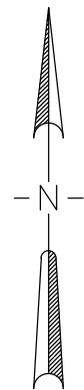
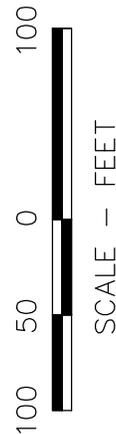
544.44'

66' GILLETT STREET

386.77'



NOTE:
PARCEL LINES PER
OUTAGAMIE COUNTY
PARCEL MAPPING.



McMAHON
ENGINEERS ARCHITECTS

Project No. G0006 81900201 Date FEB., 2019 Scale 1"=200'
 Drawn By DWJ Field Book Page
 1445 McMAHON DRIVE NEENAH, WI 54956
 Mailing: P.O. BOX 1025 NEENAH, WI 54957-1025
 Tel: (920) 751-4200 Fax: (920) 751-4284

File No.

Figure 1
 Tax Increment District No. 2 - Town of Grand Chute
 Expanded District Boundaries

