

MEETING	DATE	TIME	LOCATION
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Town Board	Thursday, April 4, 2019	Immediately Follows Sanitary District Meeting	Grand Chute Town Hall 1900 Grand Chute Blvd Board Room
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A. CALL TO ORDER/ROLL CALL

B. APPROVAL OF AGENDA/ORDER OF THE DAY

C. SPECIAL PRESENTATION – Recognition of Joshua Douglas for obtaining an Eagle Scout Award

D. PUBLIC INPUT

Members of the public are welcome to address the Commission and Town Board. **Individuals are allowed to speak only about agenda items and must fill out a “Request to Speak” form and submit to the Town Clerk prior to the start of the meeting in order to speak during the Public Input segment of the meeting.** This segment is placed early in the agenda so that the public may make their comments prior to any discussion or action by the Commission or Town Board. Individual comments are limited to no more than three minutes each. The Public Input section is limited to a total of 15 minutes. The Commission/Town Board may suspend this rule if deemed necessary. Once the public input segment ends there will be no additional discussion from the audience.

E. CONSENT AGENDA

(Items on the Consent Agenda are routine in nature and require one motion to approve all items listed. Prior to voting on the Consent Agenda, items on the Consent Agenda may be removed at the request of any Supervisor and addressed immediately following the motion to approve the other items on the Consent Agenda.)

1. Approval of regular meeting minutes from March 19, 2019 and public hearing minutes from March 19, 2019.
2. Licensing: (*applications on file in the clerk’s office*)(*License Committee recommends approval*)
 - a. Operator Licenses:
 - 1) Approval of Applications to expire: 2020 dated 3/14/19 and 3/22/19
 - b. Liquor Licenses:
 - 1) Change of agent for R.I. Midwest Heritage Inn of Appleton Opco, LLC dba Appleton Residence Inn, 310 Metro Drive, appoints Emily Warriner
 - 2) Original application for “Class B” beer and liquor, The Shop Bar and Grille, LLC dba The Shop Bar and Grille, 5015 W. Greenville Drive
 - 3) Updated premise description for “Class B” beer and liquor, Draft Gastropub, LLC dba Draft Gastropub, 664 W. Ridgeview Drive, to include an additional storage room, bar, office, and two dining rooms to current licensed premise.
 - c. Hotel/Motel:
 - 1) Original application for Hotel/Motel, Arora Hospitality, LLC dba Motel 6 Appleton, 210 N. Westhill Boulevard

F. FINANCIAL REPORTS

1. Approval of Voucher List – April 4, 2019
2. Accept Budget Statement – February 2019

G. NEW BUSINESS

1. Plan Commission Recommendations:
 - a. CUP-04-19 Conditional Use Permit requested by Gregory A. Thompson, dba Storage Shop USA, 2145 W. Pershing Street, to allow grading and filling necessary for construction of nine (9) commercial storage/workshop buildings and associated site improvements. PC recommends approval.
 - b. CSM-04-19 Certified Survey Map approval requested by Mary M. Ballerstein and Ruth L. Maves, 1130 and 1206 W. Capitol Drive, for a two-lot certified survey map with roadway dedication. PC recommends approval.

2. Approve the proposal for the Outagamie County Highway Department to perform the reclamation and paving of N. French Road from CTH 00 north for 0.43 miles at an estimated time and materials cost of \$166,000.
3. Approve the proposal from McMahon Associates, Inc., for design and permitting services to replace the culvert on Casaloma Drive at a cost not to exceed \$39,300.
4. Accept grant funds for purchase and installation of a portable Fingerprint Live Scan device.
5. Approve a budget adjustment for temporary road repairs on Casaloma Drive and McCarthy Road in amount of \$28,000.
6. Approve the proposal from Outagamie County for Apple Creek Road culvert replacement in the amount of \$102,950.
7. **Dark Store Loophole update.**

H. RESOLUTION

1. Final Resolution TBR-05-2019 for W. Evergreen Drive (Richmond Street – Haymeadow Avenue) as located in the Town of Grand Chute, authorizing special assessments for street urbanization and levying special assessments against specifically abutting property owners or on an area wide basis to specifically benefiting property owners under Chapter 60 and 66.0703(1)(b), et al Police Powers, Wis. Stats., 2017-18 as amended.

I. CLOSED SESSION

1. Motion to convene in Closed Session via roll call vote pursuant to WI. Stats 19.85(1)(e) - Deliberations or negotiations on the purchase of public properties, investing of public funds or conducting other specific public business when competitive or bargaining reasons require a closed session (land acquisition and **FS property**)
2. Motion to adjourn Closed Session and reconvene Regular Meeting.

G. NEW BUSINESS CONTINUED

8. Action/discussion on closed session items.

J. ADJOURNMENT

Public Notice: Agendas are posted in the following locations: Town Hall bulletin boards & Town website www.grandchute.net 2015 Wisconsin Act 79 allows the publication of certain legal notices on an Internet site maintained by a municipality. This law allows these types of legal notices to be posted in one physical location in the jurisdiction (instead of three) if also placed on an Internet site maintained by the local government.

Special Accommodations: Requests from persons with disabilities who need assistance to participate in this meeting should be made to the Clerk's Office at (920-832-5644) with at least 24-hour notice.

Notice of Possible Quorum: A quorum of the Sanitary Districts, Plan Commission, Board of Review, Licensing Committee, Parks Commission, Community Development Authority, Joint Review Board, Zoning Board of Appeals and/or Police and Fire Commission may be present at this meeting for the purpose of gathering information and possible discussion on items listed on this agenda. However, unless otherwise noted in this agenda, no official action by the Sanitary Districts, Plan Commission, Board of Review, Licensing Committee, Parks Commission, Joint Review Board, Zoning Board of Appeals and/or Police and Fire Commission will be taken at this meeting.

PUBLIC HEARING – TOWN BOARD – TOWN OF GRAND CHUTE – 1900 GRAND CHUTE BLVD., GRAND CHUTE, WI – W. EVERGREEN DRIVE URBANIZATION (RICHMOND STREET TO HAYMEADOW AVENUE) MARCH 19, 2019

CALL PUBLIC HEARING TO ORDER/ROLL CALL

Public Hearing called to order at 6:30 p.m. by Dave Schowalter, presiding officer.

PRESENT: Dave Schowalter, Jeff Nooyen, Travis Thyssen, Bruce Sherman, Eric Davidson, and Angie Cain, Town Clerk

STAFF: Jim March, Town Administrator; Bob Buckingham, Community Development Director; Greg Peterson, Police Chief; Tim Bantes, Fire Chief; Julie Wahlen, Finance Director; Brent Braun, IT Director; Katie Schwartz, Director of Public Works; Karen Heyrman; Deputy Public Works Director; Mike Patza, Town Planner; several firefighters; Mick Magalski, McMahon Associates; Attorney Rossmeissl, Herrling Clark Law Offices

OTHERS: 14 signed attendance

Proposed imposition of special assessments for the Town of Grand Chute's cost allocable for street urbanization and storm sewer installation for W. Evergreen Drive (Richmond Street to Haymeadow Avenue), as located in the Town of Grand Chute, Outagamie County, Wisconsin.

Chairman Schowalter opened the Public Hearing for discussion.

Kristine Hein, 335 W. Evergreen Drive, questioned how the assessments were calculated for the street improvement and storm water.

Cindy Albright, 445 W. Evergreen Drive, explained that they are overwhelmed by the assessment for something they never wanted. They have lived there for 39 years. She was told at one time, the Town doesn't care about you, and you're not worth it. They have been paying taxes to the Town for years, then the City of Appleton comes along and now they have to pay for something they never wanted. They don't want sidewalks because they feel they don't need them. If businesses take over the area, they can pay for sidewalks. She doesn't want to lose any of the trees, since they planted majority of the trees. She feels she is losing all the reasons why she purchased that home.

Ron Wolff, 4615 N. Richmond Street, said he has nothing to do with Evergreen Drive. He was present a few weeks ago and said that they don't care.

CLOSE PUBLIC HEARING

Motion (Nooyen/Sherman) to close the Public Hearing. Motion carried.

Dir. Schwartz stated the project was pretty straightforward. The assessable costs were calculated by parcel based on front footage. There is a storm sewer cost and a street assessment cost. The maximum that was used for the residential storm sewer was \$20 per linear foot, and \$40 per linear foot for the commercial properties. The street assessment costs were calculated using a 50 percent residential schedule. The Town is paying 50 percent. The property owner is paying 25 percent of the cost of the road for a comparable subdivision road. The Town's cost share is less than half so the cost savings were carried over to the property owners. If there were corner lots, then a corner lot credit was applied.

Chairman Schowalter questioned about the sidewalk.

Dir. Schwartz stated the Town is paying 100 percent of the Town's share of the sidewalk. The Town will maintain the sidewalk past the cemetery, but not past the other properties.

Supv. Sherman questioned if there was an adjustment from the City of Appleton costs, since they use concrete and we use asphalt.

PUBLIC HEARING – TOWN BOARD – TOWN OF GRAND CHUTE – 1900 GRAND CHUTE BLVD., GRAND CHUTE, WI – W. EVERGREEN DRIVE URBANIZATION (RICHMOND STREET TO HAYMEADOW AVENUE) MARCH 19, 2019

Dir. Schwartz stated yes. They replaced the concrete cost with the asphalt costs, which brought the costs down as well. The Town is also using a 50/50 schedule, which also brings the cost down.

ADJOURNMENT

Motion (Thyssen/Sherman) to adjourn meeting.

Public Hearing closed at 6:40 p.m.

These minutes were taken and recorded in this record book March 19, 2019 by:

Angie Cain

Angie Cain, Town Clerk
Town of Grand Chute
Initial Draft

TOWN BOARD MEETING – TOWN OF GRAND CHUTE – 1900 W. GRAND CHUTE BLVD., GRAND CHUTE, WI – MARCH 19, 2019

CALL TO ORDER/ROLL CALL

Meeting called to order at 6:44 p.m. by Dave Schowalter, presiding officer.

PRESENT: Dave Schowalter, Jeff Nooyen, Travis Thyssen, Bruce Sherman, Eric Davidson, and Angie Cain, Town Clerk

STAFF: Jim March, Town Administrator; Bob Buckingham, Community Development Director; Greg Peterson, Police Chief; Tim Bantes, Fire Chief; Julie Wahlen, Finance Director; Brent Braun, IT Director; Katie Schwartz, Director of Public Works; Karen Heyrman; Deputy Public Works Director; Mike Patza, Town Planner; several firefighters; Mick Magalski, McMahon Associates; Attorney Rossmeissl, Herrling Clark Law Offices

OTHERS: 14 signed attendance

APPROVAL OF AGENDA/ORDER OF THE DAY

Motion (Nooyen/Sherman) to approve the agenda. Motion carried.

SPECIAL PRESENTATION – Fire Department Helmet Award for Length of Service to Mark Heling

Chief Bantes presented Mark Heling with the Fire Department Helmet Award.

PUBLIC INPUT

Beth Menzel, physician who resides at 3670 N. Maple Edge Court, explained that she was concerned with the exception for vape shops from the ban. She felt it could renormalize the smoking behavior. The Appleton Board of Health is recommending a resolution without the exception tomorrow evening. She feels like Grand Chute could end up with more vape shops. There is scientific research that youth and young adults who use e-cigarettes end up smoking more of regular cigarettes. They had a 40-year old male, who never smoked, come into the clinic who was encouraged to use e-cigarettes by friends and is now smoking regular cigarettes. It is unusual for them to see this. She encourage the Board to remove the exception.

Chairman Schowalter questioned what she thought about the ordinance and the guidelines.

Dr. Menzel replied the exception is reasonable, but the problem might be enforcement. Her concern is that vaping and e-cigarette use would lead to smoking regular cigarettes.

Martha Courtright, physician who resides at 305 W. Capitol Drive, is concerned for renormalizing smoking. There is a misconception that e-cigarettes are safe, but they are still addictive and cause secondhand smoke. The long-term safety is unknown at this point. Nicotine is addictive and can harm the adolescent brain. There is not an age restriction on kids smoking and believes the ordinance should be passed without the exception.

Wendy Vander Zanden is part of the local tobacco free coalition. The City of Appleton did not include the exception of vape shops in their ordinance. City of Appleton was concerned that if the legalization of marijuana ever did happen in Wisconsin that vape shops would open up another door to the legalization. She feels that vape shops should not be exception. The American Lung Association thought the Town's policy was very good, however, they felt the exceptions to the vape shops should be taken out.

CONSENT AGENDA

Approval of Regular Meeting minutes – March 5, 2019

Licensing: (applications on file in the clerk's office)(License Committee recommends approval)

Operator's License Applications to expire: 2020 dated 3/1/19

Original application for "Class A" beer and liquor, AADwyer, LLC dba Dwyer's Cheese Hut, 2711 N. Lyndale Drive

Original application for Class "B" beer, WRLP Appleton, LLC dba Hampton Inn Appleton, 350 Fox River Drive

Accept Monthly Reports: Community Development, Fire Department, Police Department, Public Works, and Parks Commission

Motion (Nooyen/Davidson) to approve the consent agenda. Motion carried.

FINANCIAL REPORTS

Approval of Voucher List – March 19, 2019
\$366,643.47 (93789-93834); Payroll \$307,992.37; ACH \$129,670.80

Accept Budget Statement – December 2018 (Before Audit) and January 2019

Motion (Sherman/Davidson) to approve the voucher list and budget statement. Motion carried.

UNFINISHED BUSINESS

Approve Elsner Road assessment deferral and utility hook-up/deferral recommendations.

Motion (Sherman/Thyssen) to approve the deferral recommendations.

Supv. Nooyen wanted to clarify that the Board does care and has spent a lot of time considering different tweaks to the assessments and deferrals. They considerably dropped the financial impact for residents in that area, which put the assessment in the same range that everyone has paid in the past in other subdivisions. At the Public Hearing, the residents stated that they wanted it to be fair and equitable and he feels that is what the Board did.

Motion carried.

NEW BUSINESS

Plan Commission Recommendations:

SE-05-19 Special Exception requested by Advanced Used Car Sales, LLC, 2142 W. Spencer Street, for operation of an automobile sales business. PC recommends approval.

Motion (Thyssen/Sherman) to approve SE-05-19. Motion carried.

SEA1-24-17 Special Exception Amendment requested by Greene Development Appleton, LLC, 3810 W. Wisconsin Avenue, for approval of Amendment No. 1 to the Greene Development PUD. PC recommends approval.

Motion (Sherman/Nooyen) to approve SEA1-24-17. Motion carried.

SE-06-19 Special Exception requested by Greene Development Appleton, LLC, 3820 W. Wisconsin Avenue, to allow a multitenant sign with a size and height bonus as permitted in Ch. 535-108(D) of the Town of Grand Chute Municipal Code. PC recommends approval.

Motion (Sherman/Davidson) to approve SE-06-19. Motion carried.

TOWN BOARD MEETING – TOWN OF GRAND CHUTE – 1900 W. GRAND CHUTE BLVD., GRAND CHUTE, WI – MARCH 19, 2019

Approve the special assessment methodology for the 2019 French Road reclamation and paving project from CTH OO to the north for 0.43 miles.

Motion (Nooyen/Davidson) to approve. Motion carried.

Award of Bid, Contract 2019-02 Elsner Road Urbanization, to Wondra Construction, Inc., in the amount of \$2,289,466.44 (award of bid subject to Final Resolution TBR-04-2019 approval).

Motion (Sherman/Davidson) to approve. Motion carried.

Approve the Revised County/Municipal Design and Construction Agreement for the CTH GV & McCarthy Road intersection to include McCarthy Road from Brookview Drive through CTH GV at a preliminary estimated cost share of \$920,000.

Motion (Davidson/Thyssen) to approve.

Supv. Sherman questioned if the Town is picking up the round-about cost.

Dir. Schwartz explained that the cost is split 50/50 between the Town and the County. There is a short section of Brookview Drive that the County will build that will be paid for by the Town.

Motion carried.

Approve Gillett Street Urbanization Change Order #4, Contract 2018-01, increasing the amount by \$12,061.68 and the contract length by 132 days.

Motion (Nooyen/Sherman) to approve. Motion carried.

Approve attorney revisions to the Town of Grand Chute Policy Handbook.

Motion (Sherman/Thyssen) to approve. Motion carried.

Approve 2018 budget adjustment for retirement payouts.

Motion (Thyssen/Sherman) to approve. Motion carried.

Approve local concurrence for WisDOT to award the bid for the Spencer Street urbanization project, State Project ID 4657-25-01, to the as-read low bidder, Michels Corporation, in the amount of \$3,866,858.50.

Motion (Thyssen/Davidson) to approve. Motion carried.

RESOLUTION

Final Resolution TBR-04-2019 for W. Elsner Road (N. Gillett Street to Richmond Street) as located in the Town of Grand Chute, authorizing special assessments for street improvements and levying special assessments against specifically abutting property owners or on an area wide basis to specifically benefiting property owners under Chapter 60 and 66.0703(1)(b), et al Police Powers, Wis. Stats., 2017-18 as amended.

Motion (Davidson/Sherman) to approve TBR-04-2019. Motion carried.

ORDINANCE

Ordinance O-04-2019 amending Municipal Code Chapter 398 Section 17, which adopts a smoking ban in the Town of Grand Chute. (e-cigarettes)

Motion (Nooyen/Thyssen) to approve O-04-2019.

Motion (Nooyen/Thyssen) to amend O-04-2019 with striking the exception clause for the vapor shops.

Supv. Nooyen was aware that the City of Appleton did not have an exception and feels that Grand Chute should do the same. We don't allow this for cigarette shops so why do it for vape shops. Grand Chute is not banning the sale of them. They do not want to be an island with an exception if Appleton does not have one.

Supv. Davidson stated he was in agreement.

Amendment to the motion carried.

Original motion carried as amended.

CLOSED SESSION

Motion to convene in Closed Session via Roll Call vote pursuant to WI. Stats 19.85(1)(e) - Deliberations or negotiations on the purchase of public properties, investing of public funds or conducting other specific public business when competitive or bargaining reasons require a closed session (land acquisition).

Motion (Nooyen/Sherman) to convene in Closed Session via Roll Call vote: Sherman – Aye; Thyssen – Aye; Davidson – Aye; Nooyen – Aye; Schowalter – Aye. Motion carried.

Roll call taken at 7:09 p.m.

Chairman Schowalter, Supervisors Thyssen, Sherman, Nooyen, and Davidson, Administrator March, Director Buckingham, Chief Bantes, Clerk Cain, and Attorney Rossmeissl attended the Closed Session. The Closed Session commenced at 7:15 p.m.

Motion (Sherman/Thyssen) to adjourn Closed Session and reconvene the regular meeting.

Meeting reconvened at 7:33 p.m.

NEW BUSINESS CONTINUED

There was no action/discussion on closed session items.

ADJOURNMENT

Motion (Nooyen/Thyssen) to adjourn meeting.

Meeting adjourned at 7:35 p.m.

These minutes were taken at a regular meeting held on March 19, 2019 and entered in this record book, March 20, 2019 by:

Angie Cain

Angie Cain, Town Clerk
Town of Grand Chute
Initial Draft

Please Provide Operator's Licenses checks on the following applicants for New and Renewal Operator License, (the license will expire in 2020). Amended applications where background check already complete and now resubmitted

NEW

Approve Deny

Bednarowski, Joshua S	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Corwin, Brittany D	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Davenport, Jennifer A	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Dresel, Mary L.E.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Edinger, Samantha M	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Gonzales, Teresa V	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Martin, Matthew P	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Schneider, Ann	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Warriner, Emily K	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Capt Jaeger
Capt. Jaeger or Chief Peterson

Date: 3/20/19

RENEWAL

Approve Deny

Hietpas, Emilie K	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Capt Jaeger

3/20/19

Please Provide Operator's Licenses checks on the following applicants for New and Renewal Operator License, (the license will expire in 2019). Amended applications where background check already complete and now resubmitted

NEW

Approve Deny

Baker, Caitlin E	<input checked="" type="checkbox"/>	<input type="checkbox"/>
— Castillo, Giselle A <i>pending</i>	<input type="checkbox"/>	<input type="checkbox"/>
Gifford, Phoebe G	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Hartzheim, Michele L	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Milburn, Sarah E.R.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Treiber, Ashley A	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Wendorff, Alyssa R	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Zehner, Abby B	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Capt Jaeger

Capt. Jaeger or Chief Peterson

Date: 3/26/19

RENEWAL

Approve Deny

Deleeuw, Abigail M	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Capt Jaeger

Capt. Jaeger or Chief Peterson

Date: 3/26/19

Check Number	Check Issue Date	Payee	Invoice Number	Description	Invoice GL Account	Check Amount
Total 93876:						58.75
93877	04/04/2019	VFIS	7943117	ADMINISTRATIVE SERVICES	10-19-51501-210	750.00
Total 93877:						750.00
93878	04/04/2019	WOODMANS	030819	RESTITUTION LAST 5G801BQ70V	10-15-45100	24.51
Total 93878:						24.51
93879	03/28/2019	MIRIAM L DOUGLASS & LIGIA	032619-PLEP	PLE PAYMENT PARCEL 2 MCCARTHY RD	55-14-57331-000	400.00
Total 93879:						400.00
93880	03/28/2019	TAPCO	1627059	TWO SPEED BOARDS	55-14-57331-000	9,500.00
Total 93880:						9,500.00
93881	03/28/2019	TINA MAAS REVOCABLE TRU	032719-FEEP	PURCHASE .005 ACRES PARCEL 17 MCCARTHY R	55-14-57331-000	300.00
Total 93881:						300.00
93882	03/28/2019	WE ENERGIES	0475-274-330	GAS/ELECTRIC FIRE STATIONS	10-13-52200-220	6,310.20
93882	03/28/2019	WE ENERGIES	0475-274-330	GAS/ELECTRIC MAINTENANCE GARAGE	10-14-53311-220	1,756.20
93882	03/28/2019	WE ENERGIES	0475-274-330	GAS/ELECTRIC TRAFFIC SIGNALS/LIGHTS	10-14-53311-348	879.49
93882	03/28/2019	WE ENERGIES	0475-274-330	GAS/ELECTRIC STREET LIGHTS	10-14-53420-220	26,749.86
93882	03/28/2019	WE ENERGIES	0475-274-330	GAS/ELECTRIC PARKS	10-16-55200-220	3,159.61
93882	03/28/2019	WE ENERGIES	0475-274-330	GAS/ELECTRIC PED CROSSING	10-16-55400-220	65.28
93882	03/28/2019	WE ENERGIES	0475-274-330	GAS/ELECTRIC TOWN HALL BLDGS	10-18-51600-220	10,733.02
Total 93882:						49,653.66
Grand Totals:						871,095.09

Dave Schowalter, Chairman: _____

Jeff Nooyen, Supervisor: _____

Travis Thyssen, Supervisor: _____

Bruce Sherman, Supervisor: _____

Eric Davidson, Supervisor: _____

Angie Cain, Clerk: _____

Julie M. Wahlen, Treasurer: _____

Check Number	Check Issue Date	Payee	Invoice Number	Description	Invoice GL Account	Check Amount
93837	04/04/2019	ACC AUTOMATED COMFORT	23445	SERVICE TOWN HALL HVAC SYSTEM	10-18-51600-290	1,865.93
93837	04/04/2019	ACC AUTOMATED COMFORT	23446	SERVICE TOWN HALL HVAC SYSTEM	10-18-51600-290	154.00
93837	04/04/2019	ACC AUTOMATED COMFORT	23447	HVAC SERVICE ST.1	10-13-52200-290	458.25
93837	04/04/2019	ACC AUTOMATED COMFORT	23448	HVAC SERVICE ST.1	10-13-52200-290	386.07
93837	04/04/2019	ACC AUTOMATED COMFORT	23449	HVAC SERVICE ST.2	10-13-52200-290	130.25
93837	04/04/2019	ACC AUTOMATED COMFORT	23521	SERVICE MAU UNIT AT EAST GARAGE OF TH BLD	10-18-51600-290	1,070.75
93837	04/04/2019	ACC AUTOMATED COMFORT	23522	SERVICE/REPAIR HVAC IN TOWN HALL BLDG	10-18-51600-290	627.75
93837	04/04/2019	ACC AUTOMATED COMFORT	23576	BOILER SERVICE ST.1	10-13-52200-290	886.00
Total 93837:						5,579.00
93839	04/04/2019	APPLETON AREA SCHOOL DIS	032619	LOTTERY CREDIT SETTLEMENT	10-19-41110	326,216.49
Total 93839:						326,216.49
93840	04/04/2019	APPLETON SIGN CO	DP29484	TOWN CENTER PARK DONOR WALL	22-16-57621-000	5,120.00
93840	04/04/2019	APPLETON SIGN CO	DP29484	TOWN CENTER PARK DONATION	22-16-48501	2,560.00
Total 93840:						2,560.00
93841	04/04/2019	AXON ENTERPRISE, INC	1569253	BODY CAMERA EQUIP & MAINTENANCE - 1 YEAR	10-17-52100-290	43,752.35
93841	04/04/2019	AXON ENTERPRISE, INC	1575461	TASER HOLSTERS	10-17-52100-346	366.00
Total 93841:						44,118.35
93842	04/04/2019	BREWSTER VILLAGE	032119	RESTITUTION S06443 (KLUGE)	10-15-45100	116.37
Total 93842:						116.37
93843	04/04/2019	BURDGE, DALTON A	031119	REIMBURSE TOW FEES	10-17-52120-290	325.50
Total 93843:						325.50
93844	04/04/2019	CASCADE ENGINEERING	30410013	64 & 96 GAL RECYCLING CARTS	10-14-53635-290	4,112.50
93844	04/04/2019	CASCADE ENGINEERING	30410013	64 & 96 GAL GARBAGE CARTS	10-14-53620-290	21,675.00
93844	04/04/2019	CASCADE ENGINEERING	CW150305-1	WARRANTY CREDIT 96 GALLON GARBAGE CANS	10-14-53620-290	2,397.00
Total 93844:						23,390.50
93845	04/04/2019	CHENG, CHRISTINE	031419	RESTITUTION 5G809659CQ (KORT)	10-15-45100	500.00
Total 93845:						500.00
93846	04/04/2019	CITY OF APPLETON	1911	TRANSIT SVCS FEB & MAR 2019	10-14-53520-290	111,720.00
Total 93846:						111,720.00
93847	04/04/2019	DAVEL ENGINEERING & ENVI	3176119	PROFESSIONAL SVCS BURAN WAY EXTENSION	55-14-57331-000	7,053.00
Total 93847:						7,053.00
93848	04/04/2019	DSPS	4thQtr2018,\$1	STATE REVIEW FEES	10-11-52400-390	1,221.00
Total 93848:						1,221.00
93849	04/04/2019	EMMONS BUSINESS INTERIO	011519	PATROL ROOM CHAIRS	10-17-52100-346	3,998.80

Check Number	Check Issue Date	Payee	Invoice Number	Description	Invoice GL Account	Check Amount
Total 93849:						3,998.80
93850	04/04/2019	FOX CITY'S TOWING LLC	3521	STOLEN VEHICLE	10-17-52120-290	200.00
Total 93850:						200.00
93851	04/04/2019	FOX CROSSING	031119	REFUND HATTON AB795660-5	10-15-45100	10.00
Total 93851:						10.00
93852	04/04/2019	FOX VALLEY COMMUNICATIO	3374	CHINESE TRANSLATION	10-17-52110-210	450.00
Total 93852:						450.00
93853	04/04/2019	FOX VALLEY TECH COLLEGE	032619	LOTTERY CREDIT SETTLEMENT	10-19-41110	40,764.81
Total 93853:						40,764.81
93854	04/04/2019	G&G TRANSLATORS DBA UNI	032219	TRANSLATOR FOR PA HOUG CHANG	10-15-51200-210	40.00
Total 93854:						40.00
93855	04/04/2019	GRAND CHUTE P.D. PETTY CA	031319	BATTERIS/LOCK	10-17-52100-340	31.93
93855	04/04/2019	GRAND CHUTE P.D. PETTY CA	031319	DEPARTMENT PHOTOS	10-17-52110-210	2.94
93855	04/04/2019	GRAND CHUTE P.D. PETTY CA	031319	OUT.CTY DIRECTORIES	10-17-52110-320	8.00
93855	04/04/2019	GRAND CHUTE P.D. PETTY CA	031319	OUT. CTY DA-BEST BADGE TICKETS	10-17-52110-390	110.00
93855	04/04/2019	GRAND CHUTE P.D. PETTY CA	031319	FUEL -7735	10-17-52120-344	20.00
93855	04/04/2019	GRAND CHUTE P.D. PETTY CA	031319	PARKING -7731 MILWAUKEE	10-17-52120-390	3.00
Total 93855:						175.87
93856	04/04/2019	HORTONVILLE SCHOOL DIST	032619	LOTTERY CREDIT SETTLEMENT	10-19-41110	8,201.89
Total 93856:						8,201.89
93857	04/04/2019	JAMES M FICO, PH. D.	031319	LEADERSHIP PROFILE	10-17-52110-210	275.00
93857	04/04/2019	JAMES M FICO, PH. D.	031519	LEADERSHIP PROFILES	10-17-52110-210	275.00
Total 93857:						550.00
93858	04/04/2019	JFTCO INC	193770	WIPERS FOR LOADER	10-14-53313-350	134.02
Total 93858:						134.02
93859	04/04/2019	KRAHN, PATRICIA	031819-SR#3	MAILBOX REIMBURSEMENT DUE TO SNOWPLOW	10-14-53312-340	75.00
Total 93859:						75.00
93860	04/04/2019	KWIK TRIP	030819	RESTITUTION STRAUCH 5G8096J98Q	10-15-45100	35.77
Total 93860:						35.77
93861	04/04/2019	LAROSS, ROBERT AND CYNT	031119-MBR	MAILBOX REIMBURSEMENT CAUSED BUY SNOWP	10-14-53312-340	75.00

Check Number	Check Issue Date	Payee	Invoice Number	Description	Invoice GL Account	Check Amount
Total 93861:						75.00
93862	04/04/2019	LEE RECREATION LLC	11946-19	BASES FOR BALL DIAMONDS	10-16-55200-340	1,125.00
Total 93862:						1,125.00
93863	04/04/2019	LEMKE LOCKWORKS	270	REPAIR OF LOCKS ON LOWER LEVEL TH DOORS	10-18-51600-360	60.00
Total 93863:						60.00
93864	04/04/2019	MACH IV	6439	EVERGREEN BUS. PARK	46-09-56900-290	6,100.00
93864	04/04/2019	MACH IV	6439	WDNR PERMIT FEE	46-09-56900-390	240.88
Total 93864:						6,340.88
93865	04/04/2019	MAC'S TOWING LLC	031719	INVESTIGATION (ESCORT VIOLATION)	10-17-52120-290	160.00
Total 93865:						160.00
93866	04/04/2019	MARCO INC NW7128	6168936	APRIL PLOTTER MAINTENANCE	10-09-56900-290	22.00
93866	04/04/2019	MARCO INC NW7128	6168936	APRIL PLOTTER MAINTENANCE	10-13-52200-290	7.34
93866	04/04/2019	MARCO INC NW7128	6168936	APRIL PLOTTER MAINTENANCE	10-14-53311-290	7.33
93866	04/04/2019	MARCO INC NW7128	6168936	APRIL PLOTTER MAINTENANCE	10-16-55200-290	7.33
Total 93866:						44.00
93867	04/04/2019	MARCO, INC	24452794	STANDARD PAYMENT	10-20-51460-290	2,928.40
Total 93867:						2,928.40
93868	04/04/2019	MARTENSON & EISELE INC	57970	ROW WETLANDS MCCARTHY ROAD	55-14-57331-000	418.27
93868	04/04/2019	MARTENSON & EISELE INC	57970	ROW WETLANDS MCCARTHY ROAD	48-09-56900-210	504.00
Total 93868:						922.27
93870	04/04/2019	MI T FENCE LLC	0002045	FENCE EXTENSION AT CARTERWOODS BALL DIA	55-16-57620-000	10,605.48
Total 93870:						10,605.48
93871	04/04/2019	OUTAGAMIE COUNTY TREAS	032519	LOTTERY CREDIT SETTLEMENT	10-19-41110	189,897.18
93871	04/04/2019	OUTAGAMIE COUNTY TREAS	6837	LANDFILL FEES FOR RESIDENTIAL WASTE	10-14-53620-290	13,425.56
Total 93871:						203,322.74
93872	04/04/2019	RC EXCAVATING	2018-01-6	PAY APP #6 N GILLETT ST URBANIZATION	55-14-57331-000	6,020.03
Total 93872:						6,020.03
93874	04/04/2019	TRAFFIC ANALYSIS & DESIGN	12206	TRAFFIC ANALYSIS CASALOMA&GRANDE MARKE	10-14-53311-210	1,368.00
Total 93874:						1,368.00
93876	04/04/2019	US POSTMASTER	161	FEE FOR FIRST CLASS PRESORT OF UTILITY BILLI	64-04-82000-311	58.75

Check Issue Date	Payee	Invoice Number	Description	Invoice GL Acct	Check Amount
03/15/2019	SERVICE CHARGE	031519	SERVICE CHARGE FEB. 2019	10-19-48110	577.40
Total 190315005:					577.40
03/19/2019	GROUP INSURANCE ETFPAY	031919	APRIL 2019 HEALTH INS	10-00-21531	142,907.96
Total 190319001:					142,907.96
03/20/2019	BENEFIT ADVANTAGE	032019	GCMW MED	10-00-13001	236.00
Total 190320001:					236.00
03/20/2019	CITY OF APPLETON	032019	EAST SIDE	64-04-82600-290	2,605.93
Total 190320002:					2,605.93
03/20/2019	DELTA DENTAL	261986	GROUP 2 DENTAL CLAIMS	10-00-13001	1,918.80
Total 190320003:					1,918.80
03/20/2019	PITNEY BOWES GLOBAL FINA	032019	POSTAGE	10-18-51400-311	500.00
Total 190320004:					500.00
03/22/2019	GC POLICE BENEVOLENT AS	032219	GCPBA DEPOSIT	10-00-21590	35.00
Total 190322001:					35.00
03/22/2019	WISCONSIN DEPT OF REVEN	032219	BUSINESS TAX REGISTRATION RENEWAL	10-19-51501-321	10.00
Total 190322002:					10.00
03/27/2019	DELTA DENTAL	263120	GROUP 2 DENTAL CLAIMS	10-00-13001	1,890.04
Total 190327001:					1,890.04
Grand Totals:					150,681.13

Angie Cain, Clerk:



Dated:

3/28/19

Check Issue Date	Check Number	Payee ID	Payee	Amount
03/22/2019	93835	3	GRAND CHUTE PROFESSIONA	1,007.00-
03/22/2019	93836	5	WISCONSIN SCTF	1,036.61-
03/22/2019	190322001	1003	VELIE, DUANE A	1,817.88-
03/22/2019	190322002	1005	PRAHL, TODD W	2,166.22-
03/22/2019	190322003	1007	ERTL, MICHAEL T	2,097.83-
03/22/2019	190322004	1008	GRODE, ROBERT W	1,961.98-
03/22/2019	190322005	1011	URBAN, JOHN J	2,033.89-
03/22/2019	190322006	1015	HARTFIEL, BRIAN M	872.70-
03/22/2019	190322007	1024	ARFT, MICHAEL J	2,007.11-
03/22/2019	190322008	1025	STINGLE, GREGORY A	1,639.46-
03/22/2019	190322009	1027	COENEN, RANDY N	2,403.88-
03/22/2019	190322010	1030	FULCER, SAMUEL R	1,632.80-
03/22/2019	190322011	1043	BUCKINGHAM, ROBERT L	2,038.00-
03/22/2019	190322012	1049	BUTTERIS, JERROD B.	1,578.53-
03/22/2019	190322013	1052	WALL, BRIAN P	1,422.21-
03/22/2019	190322014	1053	KIPPENHAN, JEFF C	1,310.51-
03/22/2019	190322015	1055	VELIE, ADAM P	1,495.10-
03/22/2019	190322016	1056	MALSYCKI, TYLER L	1,331.04-
03/22/2019	190322017	1057	HEYRMAN, KAREN M	1,597.51-
03/22/2019	190322018	1061	EASTMAN, BRIAN J	773.97-
03/22/2019	190322019	1062	GAFFNEY, PATRICK P	489.73-
03/22/2019	190322020	1063	SCHWARTZ, KATHRYN A	2,590.17-
03/22/2019	190322021	1064	JOST, SCOTT A	157.55-
03/22/2019	190322022	2022	SCHOWALTER, DAVID A	450.84-
03/22/2019	190322023	2024	NOOYEN, JEFFREY T	380.21-
03/22/2019	190322024	2026	THYSSEN, TRAVIS J	379.36-
03/22/2019	190322025	2031	KLASEN, CHARLES W	783.79-
03/22/2019	190322026	3003	MAUTHE, ANGELA M	1,219.76-
03/22/2019	190322027	3007	MARCH, JAMES V	3,321.34-
03/22/2019	190322028	3008	NATE, CARY J	2,381.73-
03/22/2019	190322029	3009	KOPECKY, JEFFRY D	1,815.25-
03/22/2019	190322030	3012	ST JULIANA, LENO J	1,957.02-
03/22/2019	190322031	3014	OLEJNICZAK, TRACY L	1,223.90-
03/22/2019	190322032	3016	BAXTER, MARY J	1,510.72-
03/22/2019	190322033	3017	TIMM, BARBARA M	646.46-
03/22/2019	190322034	3020	RIEMER, NANCY L	1,059.84-
03/22/2019	190322035	3022	PEETERS, CARRIE L	688.32-
03/22/2019	190322036	3027	SCHUH, LISA J	1,113.08-
03/22/2019	190322037	3033	THIEL, ERIC J	1,615.19-
03/22/2019	190322038	3034	CAIN, ANGIE M	1,684.35-
03/22/2019	190322039	3045	WAHLEN, JULIE M	2,030.96-
03/22/2019	190322040	3046	MILLER, ELIZABETH A.	1,255.83-
03/22/2019	190322041	3048	BERKERS, SANDRA J	.68-
03/22/2019	190322042	3050	WALLENFANG, DAVID J	1,234.71-
03/22/2019	190322043	3053	SOK, SAM A	1,115.13-
03/22/2019	190322044	3054	PATZA, MICHAEL D	1,710.20-
03/22/2019	190322045	3055	VAN EPEREN, ALISSA R	1,505.34-
03/22/2019	190322046	3056	BRAUN, BRENT J	2,466.92-
03/22/2019	190322047	3060	VANDEN WYNGAARD, BROOKE	777.89-
03/22/2019	190322048	3061	GRETZINGER, CARRIE L	1,359.42-
03/22/2019	190322049	3062	WELK, DEBRA A	715.20-
03/22/2019	190322050	4015	SHERMAN, BRUCE D	230.04-
03/22/2019	190322051	4058	PRUSINSKI, TREVOR W	1,074.68-
03/22/2019	190322052	5033	DAVIDSON, ERIC E	381.21-
03/22/2019	190322053	6001	KASRIEL, MATTHEW E	2,183.44-
03/22/2019	190322054	6006	WOODFORD, ALEXANDER J	1,265.14-
03/22/2019	190322055	6018	DEBRULER, MICHAEL L	2,036.50-

Check Issue Date	Check Number	Payee ID	Payee	Amount
03/22/2019	190322056	6020	DANIELS, MICHAEL S	242.46-
03/22/2019	190322057	6021	GEISSLER, MICHAEL L	1,651.54-
03/22/2019	190322058	6026	OLSON, ROBERT C	1,597.31-
03/22/2019	190322059	6027	BERGLUND, ERIC S	1,667.82-
03/22/2019	190322060	6028	THORSON, WADE J	2,459.40-
03/22/2019	190322061	6031	CZECHANSKI, ANDREW P	2,058.39-
03/22/2019	190322062	6037	CLARK, JOHN B	406.27-
03/22/2019	190322063	6039	JAPE, CHRISTOPHER E	1,675.54-
03/22/2019	190322064	6040	SIEGMANN, CHAD E	2,011.30-
03/22/2019	190322065	6043	SCHIPPER, ROBERT J	2,061.30-
03/22/2019	190322066	6048	NELSEN, MARK J	495.54-
03/22/2019	190322067	6050	PAVASARIS, RAIMONDS P	1,784.95-
03/22/2019	190322068	6051	LAZCANO, RAUL M	1,737.81-
03/22/2019	190322069	6054	MARTIN, CHAD R	1,838.02-
03/22/2019	190322070	6066	PALTZER, BRAD L	1,748.19-
03/22/2019	190322071	6068	RISTAU, JEREMY L	1,205.07-
03/22/2019	190322072	6069	PAULSON, DAVID J	436.18-
03/22/2019	190322073	6074	STARK, AARON W	2,069.59-
03/22/2019	190322074	6080	BIESE, JASON D	130.32-
03/22/2019	190322075	6081	HAGENOW, BONNIE K	120.32-
03/22/2019	190322076	6082	CAHAK, JACOB D	1,258.08-
03/22/2019	190322077	6084	GRETZINGER, WILLIAM J	477.47-
03/22/2019	190322078	6085	SCHOMMER, BRIAN P	2,352.67-
03/22/2019	190322079	6092	BANTES, TIMOTHY A	2,640.70-
03/22/2019	190322080	6094	HACKETT, WILLIAM O	309.43-
03/22/2019	190322081	6095	HANSON, JEREMY B	190.20-
03/22/2019	190322082	6122	SCHOMMER, NICHOLAS P	653.21-
03/22/2019	190322083	6123	FELAUER, SAMUEL A	570.10-
03/22/2019	190322084	6124	GONZALEZ, ANTHONY C III	121.08-
03/22/2019	190322085	6128	TORRES, MITCHELL R	502.56-
03/22/2019	190322086	6133	KLEMENTZ, JOHN V	259.02-
03/22/2019	190322087	6135	PORTER, KODY L	1,281.87-
03/22/2019	190322088	6137	TEWS, ISAAC E	507.87-
03/22/2019	190322089	6138	GRUNWALD, DREW W	1,475.63-
03/22/2019	190322090	6139	ALGUIRE, JOSEPH P	119.36-
03/22/2019	190322091	6140	GREEN, DERRICK T	1,277.26-
03/22/2019	190322092	6144	VAN BEEK, COLE A	129.30-
03/22/2019	190322093	7001	PETERSON, GREG I	2,838.24-
03/22/2019	190322094	7003	STEINKE, SCOTT M	1,708.35-
03/22/2019	190322095	7008	REIFSTECK, RANDY W	1,748.58-
03/22/2019	190322096	7018	KONS, BENJAMIN J	1,778.27-
03/22/2019	190322097	7024	GOLLNER, AMANDA M	1,543.74-
03/22/2019	190322098	7025	PROFANT, KATIE J	1,767.86-
03/22/2019	190322099	7027	VELIE, MICHAEL G	2,170.25-
03/22/2019	190322100	7030	CALLAWAY, SCOTT M	2,199.02-
03/22/2019	190322101	7035	CLEMENT, JENNIFER L	1,965.71-
03/22/2019	190322102	7040	BLAHNIK, RUSSELL D	2,618.27-
03/22/2019	190322103	7041	ENNEPER, SHAWN R	1,948.59-
03/22/2019	190322104	7047	BOHLEN, JOSHUA D	1,822.25-
03/22/2019	190322105	7053	JAEGER, COLETTE R	2,331.80-
03/22/2019	190322106	7055	VANDEN BERG, TED M	1,543.61-
03/22/2019	190322107	7056	MAAS, MARK H	1,987.59-
03/22/2019	190322108	7061	DIEDRICK, AMANDA M	1,195.39-
03/22/2019	190322109	7068	RENKAS, MICHAEL A	2,500.55-
03/22/2019	190322110	7073	TEIGEN, JOSEPH D	1,824.90-
03/22/2019	190322111	7076	GRIESBACH, PATRICK E	1,896.10-
03/22/2019	190322112	7084	FEUCHT, DANIEL A	361.62-

Check Issue Date	Check Number	Payee ID	Payee	Amount
03/22/2019	190322113	7086	KEEN, SUSAN M	39.66-
03/22/2019	190322114	7088	PETERS, PHYLLIS J	1,346.39-
03/22/2019	190322115	7093	PERZ, KARI L	1,233.50-
03/22/2019	190322116	7098	LATZA, CHERYL A	347.99-
03/22/2019	190322117	7101	VUE, LIA	1,647.72-
03/22/2019	190322118	7108	GRIER-WELCH, DYLAN F	1,881.62-
03/22/2019	190322119	7109	WAAS, TRAVIS J	1,567.11-
03/22/2019	190322120	7110	POUPORE, LOGAN T	1,600.05-
03/22/2019	190322121	7114	MCFAUL, WENDY S	1,060.28-
03/22/2019	190322122	7115	DOWNEY, DANIELLE J	1,419.63-
03/22/2019	190322123	7118	MENKE, CALEB D	1,848.58-
03/22/2019	190322124	7119	SHEPHERD, JAMES M	1,705.03-
03/22/2019	190322125	7125	NOTHEM II, STEVEN R	2,030.30-
03/22/2019	190322126	7127	FREVILLE, ERIC M	2,240.47-
03/22/2019	190322127	7131	MORTON, PETER R	477.31-
03/22/2019	190322128	7132	SPENCER, JAKE M	380.48-
03/22/2019	190322129	7135	KISLEWSKI, JOSHUA A	1,518.89-
03/22/2019	190322130	7136	LA LUZERNE, BRYCE A	1,932.20-
03/22/2019	190322131	7137	KRAMER, LEAH R	742.32-
03/22/2019	190322132	7138	LATZA, GEORGE K	347.99-
03/22/2019	190322133	7139	WEISNIGHT, AUSTIN C	1,674.17-
03/22/2019	190322134	7140	MILLER, ADAM R	2,999.90-
03/22/2019	190322135	7141	DAVIS, DYLAN J	434.26-
03/22/2019	190322136	7142	JOHNSON, LEAH M	1,402.00-
03/22/2019	190322137	7143	LANTAGNE, DYLAN J	447.53-
03/22/2019	190322138	7144	PATINO VERA, EDUARDO	1,555.28-
03/22/2019	190322139	7145	DRAEGER, KALI A	1,259.47-
03/22/2019	190322140	7146	GRUENSTERN, LUCAS D	327.52-
03/22/2019	190322141	7147	WALLACE, ANTHONY C	445.06-
03/22/2019	190322142	8015	JANSSEN, AARON J	32.32-
03/22/2019	190322143	8021	CROSBY, PAMELA A	32.32-
03/22/2019	190322144	8035	PETERSEN, KAREN A	41.56-
03/22/2019	190322145	8036	HIDDE, JULIA P	32.32-
03/22/2019	190322146	8040	WEBER, JOHN C	32.32-
03/22/2019	190322147	8050	ULRICH, CHERYL A	32.32-
03/22/2019	190322148	8062	BOECKERS, DUANE J	32.32-
03/22/2019	190322149	8063	GUSTAFSON, KIERSTEN L	32.32-
03/22/2019	190322150	8064	SCHULTZ, DANIEL W	32.32-
03/22/2019	190322151	8065	SISLER, JOY N	32.32-
03/22/2019	190322152	7	DEFERRED COMP	8,701.26-
03/22/2019	190322152	7	DEFERRED COMP	3,402.07-
03/22/2019	190322153	1	EFTPS	17,801.97-
03/22/2019	190322153	1	EFTPS	17,801.97-
03/22/2019	190322153	1	EFTPS	4,163.41-
03/22/2019	190322153	1	EFTPS	4,163.41-
03/22/2019	190322153	1	EFTPS	26,202.82-
03/22/2019	190322154	8	FLEX SPENDING	2,477.63-
03/22/2019	190322154	8	FLEX SPENDING	1,134.68-
03/22/2019	190322155	2	WISCONSIN DEPT OF REVENUE	14,208.84-

Grand Totals:

163294,613.16-

**CASH ON HAND
FEBRUARY 2019**

GENERAL FUND	
\$	12,489,398
CAPITAL PROJECTS FUND	
\$	(2,407,006)
DEBT SERVICE FUND	
\$	1,174,954
SPECIAL ASSESSMENT FUND	
\$	4,658,497
SPECIAL REVENUE FUNDS	
\$	581,879
TAX INCREMENT DISTRICT #1	
\$	140,115
TAX INCREMENT DISTRICT #2	
\$	323,269
TAX INCREMENT DISTRICT #3	
\$	(1,436,544)
TAX INCREMENT DISTRICT #4	
\$	(608,695)
SANITARY DISTRICT #1	
\$	(1,878,852)
SANITARY DISTRICT #2	
\$	13,695,139
SANITARY DISTRICT #3	
\$	11,210,620
EASTSIDE UTILITY DISTRICT	
\$	427,252
38,370,025.08	TOTAL CASH ON HAND

CASH INVESTMENTS

CHECKING, MONEY MARKET (MM), AND CERTIFICATE OF DEPOSIT (CD)

NICOLET BANK		ABBY BANK CD		HOMETOWN BANK CD	
\$	4,318,850	\$	500,000	\$	1,000,000
Interest Rate 1.98%		Interest Rate 2.75% -24 month (June 2020)		Interest Rate 2.56% - 12 Month CD (August 2019)	
FOX COMMUNITIES CREDIT UNION		ASSOCIATED BANK CD		INVESTORS COMMUNITY BANK CD	
\$	5	\$	250,000	\$	506,500
Interest Rate 0%		Interest Rate 2.25% -12 month (June 2019)		Interest Rate 2.25% - 12 Month CD (May 2019)	
INVESTORS COMMUNITY BANK MM		BANK FIRST NATIONAL CD		INVESTORS COMMUNITY BANK CD	
\$	3,092,649	\$	530,896	\$	2,540,000
Interest Rate 2.59%		Interest Rate 2.25% -12 month (June 2019)		Interest Rate 1.60% - 24 Month CD (May 2019)	
HOMETOWN BANK MM		BMO HARRIS CD		US BANK CD	
\$	2,802,243	\$	1,050,710	\$	500,000
Interest Rate 2.59%		Interest Rate 2.25% -18 month (December 2019)		Interest Rate 2.38% - 12 Month CD (June 2019)	
STATE POOL		CAPITAL CREDIT UNION CD		US BANK CD	
\$	109,954	\$	524,039	\$	250,000
Interest Rate 2.46%		Interest Rate 2.25% - 15 Month CD (August 2019)		Interest Rate 2.30% - 12 Month CD (May 2019)	
AMERICAN NATIONAL BANK MM		COMMUNITY FIRST CREDIT UNION CD		US BANK CD	
\$	257,049	\$	1,010,350	\$	250,000
Interest Rate 1.92%		Interest Rate 3.15% - 15 Month CD (January 2020)		Interest Rate 2.48% - 18 Month CD (December 2019)	
ASSOCIATED BANK MM		COMMUNITY FIRST CREDIT UNION CD		INVESTMENTS	
\$	105,486	\$	404,393		
Interest Rate 2.07%		Interest Rate 1.40% - 12 Month CD (May 2019)		RBC	Yield Rate Maturity Date
FIRST BUSINESS BANK MM		FIRST BUSINESS BANK CDARS		\$	247,690 RBC Wealth 1.70% 11/29/2019
\$	25,932	\$	3,015,469	\$	487,362 RBC Wealth 2.30% 01/26/2022
Interest Rate 0.60%		Interest Rate 2.39-2.86% - Various Lengths (Aug 2019, Aug 2020)		CHARLES SCHWAB	
ABBY BANK CD		FIRST BUSINESS BANK CD		Market Value	
\$	500,000	\$	1,500,000	\$	9,707,667
Interest Rate 2.25% -12 month (June 2019)		Interest Rate 2.78% - 18 Month CD (February 2020)		JP MORGAN	
ABBY BANK CD		FOX COMMUNITIES CREDIT UNION CD		Market Value	
\$	500,000	\$	1,007,662	\$	1,375,117
Interest Rate 2.55% -18 month (December 2019)		Interest Rate 3.04% - 15 Month CD (February 2020)			
\$	11,712,168	\$	9,793,521	\$	16,864,337
					SUBTOTALS
		38,370,025.08			

**GENERAL FUND REVENUES
2019 BUDGET STATEMENT
FEBRUARY 2019**

REVENUE TYPES	2019 BUDGET	CURRENT MONTH	2019 YTD	% BUDGET	(UNDER) OVER
General Operations Tax Levy	10,812,826	1,232,160	7,023,213	65%	(3,789,613)
41110 General Property Tax Levy	10,812,826	1,232,160	7,023,213	65%	(3,789,613)
Other Taxes					
Rescinded Taxes	5,000	5,786	5,786	116%	786
Hold Harmless-Computer Exempt	105,200	-	-	0%	(105,200)
Omitted Taxes	-	-	-	0%	-
Woodland/Managed Forest	-	407	407	0%	407
Hotel/Motel Tax	375,000	-	-	0%	(375,000)
Lieu of Taxes	3,000	1,242	1,242	41%	(1,758)
Use Value Penalty	-	-	-	0%	-
Interest on Delinq P.P. Taxes	1,500	847	847	56%	(653)
Subtotal - Taxes	489,700	8,283	8,283	2%	(481,417)
Special Assessments					
Special Assessments - Street Lighting	63,200	61,578	61,578	97%	(1,622)
Subtotal - Special Assessments	63,200	61,578	61,578	97%	(1,622)
Intergovernmental Revenues					
Shared Revenue from State	269,415	-	-	0%	(269,415)
State Aid - Clerk	-	-	100	0%	100
State Aid - Police	4,960	-	-	0%	(4,960)
Grants - State/Federal	20,000	-	-	0%	(20,000)
State Transportation Aids	754,057	1,000	189,428	25%	(564,629)
School Liaison Reimbursement	49,895	28,066	28,066	56%	(21,829)
Mass Transit	481,961	-	-	0%	(481,961)
Subtotal - Intergovernmental Revenues	1,580,288	29,066	217,594	14%	(1,362,694)
Licenses and Permits					
Business or Occupation License	35,000	5,995	8,135	23%	(26,865)
Business License-Liquor	35,000	50,192	50,594	145%	15,594
Business License-Cable TV	295,000	-	-	0%	(295,000)
Business License-Pawn/2nd Hand	750	-	-	0%	(750)
Hotel License	600	525	575	96%	(25)
Non-business License	3,000	225	300	10%	(2,700)
Burning Permits	750	25	50	7%	(700)
Occupancy Inspections	1,500	150	225	15%	(1,275)
Building Permits	360,000	11,677	40,607	11%	(319,393)
Building Permits - Lot Access	5,000	180	680	14%	(4,320)
Utility/Open Cut Permits	25,000	2,492	6,088	24%	(18,912)
Revocable Occupancy Permit	-	-	-	0%	-
Zoning Permits	50,000	5,075	6,275	13%	(43,725)
Site Erosion Control Plan Review Fee	11,000	400	900	8%	(10,100)
Drainage Inspection Fee	58,000	2,600	4,500	8%	(53,500)
Wetland Delineations	40,000	-	-	0%	(40,000)
Building Plan Review Fee	50,000	3,200	5,875	12%	(44,125)
Erosion Control Inspection Fee	30,000	1,200	2,600	9%	(27,400)
Drainage Plan Review Fee	2,500	-	-	0%	(2,500)
Maps and Plans	300	5	5	2%	(295)
Subtotal - Licenses and Permits	1,003,400	83,940	127,409	13%	(875,992)
Fines, Forfeitures and Penalties					
Court Penalties and Costs	475,000	51,271	105,257	22%	(369,743)
Parking Tickets	20,000	2,661	4,162	21%	(15,838)
Judgment and Damages	2,500	670	799	32%	(1,701)
Seizures and Forfeitures	1,000	-	-	0%	(1,000)
Subtotal - Fines, Forfeitures and Penalties	498,500	54,602	110,219	22%	(388,281)

REVENUE TYPES	2019 BUDGET	CURRENT MONTH	2019 YTD	% BUDGET	(UNDER) OVER
Public Charges for Services					
General Government	20,000	5,971	7,025	35%	(12,975)
Police Department Fees / Fingerprinting	6,000	779	945	16%	(5,055)
Police Department Contracted Services	12,000	571	812	7%	(11,188)
False Alarms	35,000	-	(75)	0%	(35,075)
Fire Department Fees	19,000	1,082	2,425	13%	(16,575)
Fire Protection Systems Fee	2,000	325	975	49%	(1,025)
Tent Inspection Permit	1,000	-	-	0%	(1,000)
Firework Permits	300	100	100	33%	(200)
Highway Material/Maintenance	3,325	132	132	4%	(3,193)
Sidewalk Snow Removal	500	-	-	0%	(500)
Sp Charge-Refuse Collection	478,000	480,075	480,075	100%	2,075
Sp Charge-Recycling Collection	6,300	-	100	2%	(6,200)
Weed Control	1,000	(150)	(146)	-15%	(1,146)
Cemetery	150	-	-	0%	(150)
Park Rentals	20,000	2,459	2,682	13%	(17,318)
Recreation Fees	4,000	665	665	17%	(3,335)
Property Record Mgmt Fees	34,000	1,000	3,150	9%	(30,850)
Subtotal - Public Charges for Services	642,575	493,010	498,865	78%	(143,710)
Miscellaneous Revenue					
Police Department Abandon Vehicle	13,745	2,325	2,975	22%	(10,770)
Interest Earnings /Change in Market Value	125,000	23,012	46,813	37%	(78,187)
Interest Income - TIF District #1	12,000	1,125	2,250	19%	(9,750)
Interest Income - TIF District #2	22,000	2,083	4,167	19%	(17,833)
General Admin Fees	5,000	37	660	13%	(4,340)
Rent-Town Hall	-	150	150	0%	150
Rent - San Districts	134,280	11,190	22,380	17%	(111,900)
Sale Police Equip	30,000	-	-	0%	(30,000)
Sale of Seized Vehicles	-	-	-	0%	-
Sale Hwy Equip	9,825	-	80	1%	(9,745)
Sale Fire Equipment	2,000	-	-	0%	(2,000)
Police Insurance Recoveries	25,000	1,464	3,048	12%	(21,952)
DPW - Insurance Recoveries	-	4,102	4,102	0%	4,102
Insurance Dividends	13,000	-	-	0%	(13,000)
Donations-Parks	-	-	-	0%	-
Donations-Park Recreation	1,800	-	-	0%	(1,800)
Donations-Crime Prevention	500	-	-	0%	(500)
Donations-Police	2,500	-	-	0%	(2,500)
Police Unclaimed Property	500	0	64	13%	(436)
Police Reimbursement	150	-	-	0%	(150)
Finance Reimbursement	-	-	15	0%	15
Donations-Fire Dept	200	-	-	0%	(200)
Fire Copies - Non Taxable	-	6	9	0%	9
Misc Revenues	3,000	584	784	26%	(2,216)
Fire Misc Revenue	-	-	-	0%	-
Credit Card Rebate	42,000	3,989	3,989	9%	(38,011)
Hwy Misc Revenue	-	-	53	0%	53
Subtotal - Miscellaneous Revenue	442,500	50,067	91,538	21%	(350,962)
Other Financing Sources					
Allocated Hwy Labor and Maint	216,500	15,109	36,145	17%	(180,355)
Transfer from Other Funds	110,900	-	-	0%	(110,900)
Fund Balance-Applied to Budget	125,000	-	-	0%	(125,000)
Subtotal - Other Financing Sources	452,400	15,109	36,145	8%	(416,255)
Total Revenues w/o Property Tax	5,172,563	795,655	1,151,630	22%	(4,020,933)
Total Revenues	15,985,389	2,027,815	8,174,843	51%	(7,810,546)

**TOWN OF GRAND CHUTE
GENERAL FUNDED DEPARTMENTS
2019 BUDGET STATEMENT
FEBRUARY 2019**

DEPARTMENT		2019 BUDGET	CURRENT MONTH	2019 YTD	% BUDGET	REMAINING BUDGET
General Government						
51100	Town Board	94,242	5,454	11,699	12%	82,543
51200	Municipal Court	183,120	14,432	20,445	11%	162,675
51300	Legal	50,000	239	239	0%	49,762
51400	General Administration	251,105	17,679	26,455	11%	224,650
51420	Town Clerk	158,425	10,494	18,194	11%	140,231
51440	Elections	52,340	1,621	3,136	6%	49,204
51460	Information Technology	993,235	25,902	42,435	4%	950,800
51501	Treasurer	308,741	22,205	39,355	13%	269,386
51600	Municipal Complex	347,345	23,023	42,892	12%	304,453
51910	Erroneous Taxes, Tax Refunds	13,000	-	31,477	242%	(18,477)
51938	Property and Liability Insurance	273,760	3,560	116,356	43%	157,404
Subtotal - General Government		2,725,313	124,609	352,681	13%	2,372,632
Public Safety						
52100	Police - Patrol	3,506,165	248,562	507,433	14%	2,998,732
52110	Police - Administration	602,709	46,558	83,992	14%	518,717
52120	Police - Investigations	878,381	78,205	113,478	13%	764,903
54100	Animal Control	4,200	-	-	0%	4,200
52200	Fire Department	3,253,230	237,079	400,043	12%	2,853,187
Subtotal - Public Safety		8,244,685	610,404	1,104,945	13%	7,139,740
Public Works						
53311	Highway	1,070,953	25,947	70,321	7%	1,000,632
53312	Winter Maintenance	244,404	68,242	82,700	34%	161,704
53313	Hwy Shop	332,200	25,607	39,715	12%	292,485
53420	Street Lights	343,500	27,839	54,198	16%	289,302
53520	Bus Service	675,326	-	-	0%	675,326
53620	Refuse and Landfill	520,775	-	14,339	3%	506,436
53635	Recycling Charges	71,325	-	-	0%	71,325
53640	Weed and Nuisance Control	3,465	-	-	0%	3,465
54910	Cemetery	2,780	-	-	0%	2,780
Subtotal - Public Works		3,264,728	147,719	261,358	8%	3,003,370
Parks and Recreation						
55200	Parks Maintenance	601,502	18,895	73,718	12%	527,784
55300	Recreation	29,780	747	1,687	6%	28,093
55400	Trails Maintenance	181,045	977	1,676	1%	179,369
56910	Forestry	76,840	329	572	1%	76,268
Subtotal - Parks and Recreation		889,167	20,948	77,653	9%	811,514

**TOWN OF GRAND CHUTE
GENERAL FUNDED DEPARTMENTS
2019 BUDGET STATEMENT
FEBRUARY 2019**

DEPARTMENT	2019 BUDGET	CURRENT MONTH	2019 YTD	% BUDGET	REMAINING BUDGET
Community Development					
51502 Assessment of Property	144,713	393	1,512	1%	143,201
52400 Building Inspection/Code Enforcement	403,771	38,410	53,024	13%	350,747
56900 Planning and Zoning	310,512	31,758	43,123	14%	267,389
Subtotal - Community Development	858,996	70,561	97,659	11%	761,337
Other Financing Uses					
59900 Contingency	135,735	-	-	0%	135,735
59900 Reserve for Retirement Payouts	75,000	-	-	0%	75,000
Total - General Fund Operating	16,193,624	974,240	1,894,296	12%	14,299,328
Transfers					
59200 GF Contribution to Capital Projects	-	-	-	0%	-
59200 GF Contribution to Tax Increment District	-	-	-	0%	-
TOTAL - GEN'L FUND OPERATING, CAPITAL and DE	16,193,624	974,240	1,894,296	12%	14,299,328

**TOWN OF GRAND CHUTE
SPECIAL REVENUE FUNDS
2019 BUDGET STATEMENT
FEBRUARY 2019**

ROOM TAX	2019 BUDGET	CURRENT MONTH	2019 YTD	% BUDGET	REMAINING BUDGET
BEGINNING FUND BALANCE	75,486		75,486		
REVENUES					
Public Accomodation-Town Gen	-	-	-	0%	-
Public Accomodation-Town Dev	375,000	-	-	0%	375,000
Public Accomodation-Econ Dev	-	-	-	0%	-
TOTAL REVENUES	375,000	-	-	0%	375,000
TOTAL RESOURCES	450,486	-	75,486	17%	375,000
EXPENDITURES					
Economic Dev-Convention Bureau	-	-	-	0%	-
TOTAL EXPENDITURES	-	-	-	#DIV/0!	-
Transfer to General Fund	375,000	-	-	0%	375,000
ENDING FUND BALANCE	75,486		75,486		
FIRE STATION DEVELOPMENT					
	2019 BUDGET	CURRENT MONTH	2019 YTD	% BUDGET	REMAINING BUDGET
BEGINNING FUND BALANCE	287,741	-	277,195		
REVENUES					
Impact Fee	90,000	1,329	2,782	3%	87,218
Interest	1,500	369	361	24%	1,139
TOTAL REVENUES	91,500	1,698	3,143	3%	88,357
TOTAL RESOURCES	379,241	1,698	280,337	74%	88,357
EXPENDITURES					
FD Construction	-	-	-	0%	-
Transfer to Capital Projects	-	-	-	0%	-
TOTAL EXPENDITURES	-	-	-	0%	-
ENDING FUND BALANCE	379,241		280,337		

**TOWN OF GRAND CHUTE
SPECIAL REVENUE FUNDS
2019 BUDGET STATEMENT
FEBRUARY 2019**

PARK DEVELOPMENT	2019 BUDGET	CURRENT MONTH	2019 YTD	% BUDGET	REMAINING BUDGET
BEGINNING FUND BALANCE	78,645	-	164,896		
REVENUES					
Park Development Fees	60,000	1,800	3,800	6%	56,200
Interest	1,000	222	217	22%	783
Donations	-	550	650	0%	(650)
TOTAL REVENUES	61,000	2,572	4,667	8%	56,333
Park Fund Expense	-	-	-	0%	-
ENDING FUND BALANCE	139,645		169,563		
FIRE PREVENTION	2019 BUDGET	CURRENT MONTH	2019 YTD	% BUDGET	REMAINING BUDGET
BEGINNING FUND BALANCE	2,852	-	2,852		
REVENUES					
Fire Safety Day Revenue	-	-	25	0%	(25)
Donations	-	-	-	0%	-
TOTAL REVENUES	-	-	25	0%	(25)
EXPENDITURES	-	-	-	0%	-
ENDING FUND BALANCE	2,852	-	2,877		
POLICE K-9	2019 BUDGET	CURRENT MONTH	2019 YTD	% BUDGET	REMAINING BUDGET
BEGINNING FUND BALANCE	2,507	-	2,507		
REVENUES					
Donations	1,100	12,252	12,276	1116%	(11,176)
TOTAL REVENUES	1,100	12,252	12,276	1116%	(11,176)
EXPENDITURES	1,050	-	-	0%	1,050
ENDING FUND BALANCE	2,557		14,784		

**TOWN OF GRAND CHUTE
CAPITAL PROJECTS FUND
2019 BUDGET STATEMENT
FEBRUARY 2019**

	2019 BUDGET	CURRENT MONTH	2019 YTD	%	REMAINING BUDGET
BEGINNING FUND BALANCE	(1,180,440)		(2,253,193)		
REVENUES					
Borrowing-Long Term	15,000,000	-	-	0%	15,000,000
General Fund/Mill Tax	-	-	-	0%	-
Developer Contributions	-	117	688	0%	(688)
Interest	-	-	-	0%	-
Transfer From Other Funds	-	-	-	0%	-
TOTAL REVENUES	15,000,000	117	688	0%	14,999,312
TOTAL RESOURCES	13,819,560	117	(2,252,504)	-16%	14,999,312
EXPENDITURES					
Recreation-Park/Trails	205,800	-	-	0%	205,800
Fire Capital Outlay	-	-	-	0%	-
Street Construction	16,186,100	124,273	237,628	1%	15,948,472
Highway Building Outlay	750,000	-	-	0%	750,000
Accounting Software	-	-	-	0%	-
Public Facilities	60,000	-	-	0%	60,000
Other General Government	300,000	-	-	0%	300,000
Signage & Communication Equipment	-	-	-	0%	-
Issuance Fee	125,000	-	-	0%	125,000
TOTAL EXPENDITURES	17,626,900	124,273	237,628	1%	17,389,272
ENDING FUND BALANCE	(3,807,340)		(2,490,132)		

**TOWN OF GRAND CHUTE
DEBT SERVICE FUND
2019 BUDGET STATEMENT
FEBRUARY 2019**

	2019 BUDGET	CURRENT MONTH	2019 YTD	% BUDGET	REMAINING BUDGET
BEGINNING FUND BALANCE	159,953		159,954		
REVENUES					
Mil Tax	1,750,000	1,750,000	1,750,000	100%	-
Borrowing L/T - Refunding Bonds	-	-	-	0%	-
Premium on Debt Issue	-	-	-	0%	-
From Special Assessments	1,754,230	-	-	0%	1,754,230
From Park Development	-	-	-	0%	-
From Fire Impact Fee Fund	-	-	-	0%	-
TOTAL REVENUES	3,504,230	1,750,000	1,750,000	50%	1,754,230
EXPENDITURES					
Debt Principal-'08	-	-	-	0%	-
Debt Principal-'09	390,000	-	-	0%	390,000
Debt Principal-'10	600,000	-	-	0%	600,000
Debt Principal-'12	735,000	735,000	735,000	100%	-
Debt Principal-'16	685,000	-	-	0%	685,000
Debt Principal-'18	575,000	-	-	0%	575,000
Debt Interest-'08	-	-	-	0%	-
Debt Interest-'09	13,650	-	-	0%	13,650
Debt Interest-'10	34,650	-	-	0%	34,650
Debt Interest-'12	40,394	-	-	0%	40,394
Debt Interest-'16	154,396	-	-	0%	154,396
Debt Interest-'18	258,611	-	-	0%	258,611
Contractual Services	4,000	-	-	0%	4,000
TOTAL EXPENDITURES	3,490,701	735,000	735,000	21%	2,755,701
ENDING FUND BALANCE	173,482		1,174,954		

**TOWN OF GRAND CHUTE
SPECIAL ASSESSMENT FUNDS
2019 BUDGET STATEMENT
FEBRUARY 2019**

SPECIAL ASSESSMENTS	2019 BUDGET	CURRENT MONTH	2019 YTD	% BUDGET	REMAINING BUDGET
BEGINNING FUND BALANCE	4,130,442		4,131,603		
REVENUES					
Special Assessments	1,100,000	413,813	417,039	38%	682,961
Interest on Special Assessments	75,000	61,017	60,904	81%	14,096
TOTAL REVENUES	1,175,000	474,830	477,943	41%	697,057
TOTAL RESOURCES	5,305,442	474,830	4,609,546	87%	697,057
EXPENDITURES					
Uncollectible Special Assessment	-	-	-	0%	-
Transfer to Debt Service	1,754,230	-	-	0%	1,754,230
Transfer to General Fund	-	-	-	0%	-
TOTAL EXPENDITURES	1,754,230	-	-	0%	1,754,230
ENDING FUND BALANCE	3,551,212	474,830	4,609,546		

**TOWN OF GRAND CHUTE
TAX INCREMENT DISTRICT NO. 1
2019 BUDGET STATEMENT
FEBRUARY 2019**

	2019 BUDGET	CURRENT MONTH	2019 YTD	% BUDGET	REMAINING BUDGET
BEGINNING FUND BALANCE	(127,618)		(127,626)		
REVENUES					
Borrowing-Long Term	-	-	-	0%	-
General Fund/Mill Tax	330,000	270,803	270,803	82%	59,197
Personal Property Aid	6,150	-	-	0%	6,150
Miscellaneous Income	-	-	-	0%	-
Interest	3,000	7	11	0%	2,989
Sale of Land	-	-	-	0%	-
Transfer from General Fund	-	-	-	0%	-
TOTAL REVENUES	339,150	270,811	270,814	0%	68,336
TOTAL RESOURCES	211,532	270,811	143,189	0%	68,336
EXPENDITURES					
Land Acquisition	-	-	-	0%	-
Site Development	-	-	-	0%	-
Landscape/Tree Enhancement	-	-	-	0%	-
Contracted Services	1,000	-	-	0%	1,000
Street Outlay	-	-	-	0%	-
Traffic Signals	-	-	-	0%	-
Streetlights	-	-	-	0%	-
Water Outlay	-	-	-	0%	-
Sewer Outlay	-	-	-	0%	-
Storm Outlay	-	-	-	0%	-
Administrative Expenses	10,010	484	824	8%	9,186
Professional Services - Land Sale	-	-	-	0%	-
Debt Expense	184,061	-	-	0%	184,061
Interest to General Fund	12,000	1,125	2,250	19%	9,750
Transfer to General Fund	-	-	-	0%	-
TOTAL EXPENDITURES	207,071	1,609	3,074	0%	203,997
ENDING FUND BALANCE	4,461		140,115		

**TOWN OF GRAND CHUTE
TAX INCREMENT DISTRICT NO. 2
2019 BUDGET STATEMENT
FEBRUARY 2019**

	2019 BUDGET	CURRENT MONTH	2019 YTD	% BUDGET	REMAINING BUDGET
BEGINNING FUND BALANCE	(743,565)		(70,755)		
REVENUES					
Borrowing-Long Term	-	-	-	0%	-
General Fund/Mill Tax	450,000	410,442	410,442	91%	39,559
Personal Property Aid	4,250	-	-	0%	4,250
Miscellaneous Income	-	-	-	0%	-
Interest	-	169	171	0%	(171)
Sale of Land	2,200,000	-	-	0%	2,200,000
Transfer from General Fund	-	-	-	0%	-
TOTAL REVENUES	2,654,250	410,611	410,612	0%	2,243,638
TOTAL RESOURCES	1,910,685	410,611	339,858	0%	2,243,638
EXPENDITURES					
Land Acquisition	-	-	-	0%	-
Site Development	75,000	(350)	384	1%	74,617
Landscape/Tree Enhancement	-	-	-	0%	-
Contracted Services	50,000	3,068	11,858	24%	38,142
Street Outlay	1,825,000	10,821	10,821	1%	1,814,179
Traffic Signals	-	-	-	0%	-
Streetlights	-	-	-	0%	-
Water Outlay	190,000	-	-	0%	190,000
Sewer Outlay	190,000	-	-	0%	190,000
Storm Outlay	-	-	-	0%	-
Administrative Expenses	114,990	484	899	1%	114,091
Professional Services - Land Sale	176,000	-	-	0%	176,000
Debt Expense	428,025	-	-	0%	428,025
Interest to General Fund	22,000	2,083	4,167	19%	17,833
Transfer to General Fund	-	-	-	0%	-
TOTAL EXPENDITURES	3,071,015	16,107	28,128	0%	3,042,887
ENDING FUND BALANCE	(1,160,330)		311,730		

**TOWN OF GRAND CHUTE
TAX INCREMENT DISTRICT NO. 3
2019 BUDGET STATEMENT
FEBRUARY 2019**

	2019 BUDGET	CURRENT MONTH	2019 YTD	%	REMAINING BUDGET
BEGINNING FUND BALANCE	(1,285,088)		(1,306,294)		
REVENUES					
Borrowing-Long Term	1,500,000	-	-	0%	1,500,000
General Fund/Mill Tax	-	7,647	7,647	0%	(7,647)
WEDC Idle Sites Grant	-	-	-	0%	-
Miscellaneous Income	-	-	-	0%	-
Interest	-	(1,896)	(1,856)	0%	1,856
Sale of Land	-	-	-	0%	-
Transfer from General Fund	-	-	-	0%	-
TOTAL REVENUES	1,500,000	5,751	5,791	0%	1,494,209
TOTAL RESOURCES	214,912	5,751	(1,300,503)	0%	1,494,209
EXPENDITURES					
Land Acquisition	120,000	-	-	0%	120,000
Site Development	-	-	-	0%	-
Landscape/Tree Enhancement	-	-	-	0%	-
Contracted Services	5,000	-	-	0%	5,000
Street Outlay	-	-	-	0%	-
Traffic Signals	-	-	135,217	0%	(135,217)
Streetlights	-	-	-	0%	-
Water Outlay	-	-	-	0%	-
Sewer Outlay	-	-	-	0%	-
Storm Outlay	-	-	-	0%	-
Building Demolition	-	-	-	0%	-
Administrative Expenses	8,860	484	824	9%	8,036
Debt Expense	20,000	-	-	0%	20,000
Interest to General Fund	-	-	-	0%	-
Transfer to General Fund	-	-	-	0%	-
TOTAL EXPENDITURES	153,860	484	136,041	0%	17,819
ENDING FUND BALANCE	61,052		(1,436,544)		

**TOWN OF GRAND CHUTE
TAX INCREMENT DISTRICT NO. 4
2019 BUDGET STATEMENT
FEBRUARY 2019**

	2019 BUDGET	CURRENT MONTH	2019 YTD	%	REMAINING BUDGET
BEGINNING FUND BALANCE	(980,050)		(445,103)		
REVENUES					
Borrowing-Long Term	-	-	-	0%	-
General Fund/Mill Tax	-	-	-	0%	-
Miscellaneous Income	-	-	-	0%	-
Interest	-	-	-	0%	-
Sale of Land	400,000	-	-	0%	400,000
Transfer from General Fund	-	-	-	0%	-
TOTAL REVENUES	400,000	-	-	0%	400,000
TOTAL RESOURCES	(580,050)	-	(445,103)	0%	400,000
EXPENDITURES					
Land Acquisition	-	-	-	0%	-
Site Development	50,000	350	350	1%	49,650
Landscape/Tree Enhancement	-	-	-	0%	-
Contracted Services	75,000	16,321	18,721	25%	56,279
Street Outlay	2,490,000	(850)	-	0%	2,490,000
Traffic Signals	-	-	-	0%	-
Streetlights	-	-	-	0%	-
Water Outlay	-	48,246	48,246	0%	(48,246)
Sewer Outlay	-	-	-	0%	-
Storm Outlay	-	-	147,077	0%	(147,077)
Administrative Expenses	47,200	23,077	25,966	55%	21,234
Professional Services - Land Sale	32,000	-	-	0%	32,000
Debt Expense	-	-	-	0%	-
Interest to General Fund	-	-	-	0%	-
Transfer to General Fund	-	-	-	0%	-
TOTAL EXPENDITURES	2,694,200	87,144	240,360	0%	2,453,840
ENDING FUND BALANCE	(3,274,250)		(685,462)		

**Town of Grand Chute
Conditional Use Permit Review
Gregory A. Thompson, dba Storage Shop USA**

To: Plan Commission
From: Michael Patza, Town Planner
Date: March 14, 2019
Address: 2145 W. Pershing Street

App. #: CUP-04-19

REQUEST

Work under this Conditional Use Permit (CUP) will allow grading and filling associated with the construction of nine (9) commercial storage/workshop buildings and associated site improvements. The project will impact areas of the property classified as floodplain, which requires an Outagamie County Conditional Use Permit.

ANALYSIS

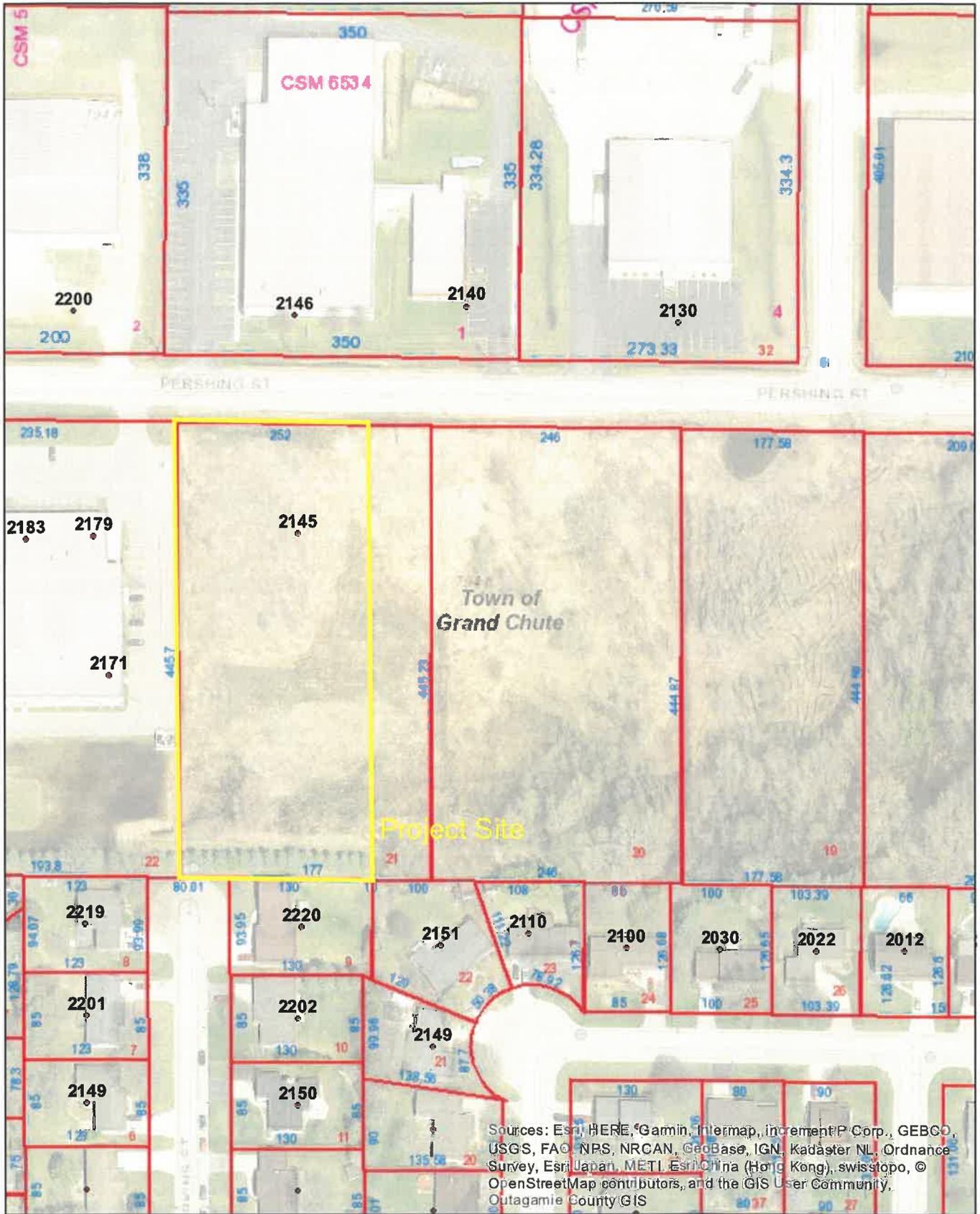
The Site Plan for this project was approved by Plan Commission at its meeting on January 3, 2019. After approval, it was discovered that officially mapped FEMA floodplain data was incorrectly recorded and relied upon for site design. After analyzing newly updated FEMA data, it was determined that a Conditional Use Permit would be required due to floodplain impacts.

To account for flood storage areas that will be filled for the development, the drainage swale designed to direct stormwater east to the Pershing Street retention pond will be over-excavated. The additional excavation will result in no impact to either the peak flood elevation or the flood storage area. The additional grading and excavation of the drainage swale has been incorporated into revised Stormwater Management and Erosion Control Plans, which have been approved by the Town Engineer.

RECOMMENDATION

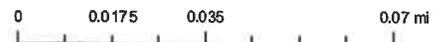
Staff has reviewed and supports a Plan Commission recommendation for approval of the Conditional Use Permit (CUP-04-19) requested by Gregory A. Thompson, dba Storage Shop USA, 2145 W. Pershing Street, to allow grading and filling associated with the construction of nine (9) commercial storage/workshop buildings and associated site improvements.

CUP-04-19 -- 2145 W. Pershing Street



Disclaimer: The data provided in the Town of Grand Chute Interactive GIS Map was generated from multiple sources and agencies. Every effort has been made to offer the most accurate data. However, the Town provides this information with the understanding that it is not guaranteed to be accurate, correct, or complete. The Town may make improvements to the Interactive GIS Map periodically. Conclusions drawn from this information are the responsibility of the user. The user agrees that the Town of Grand Chute shall not be held responsible for actions, claims, damages, or judgments made from this data.

Author:
Copyright:





Surface Water Data Viewer Flood Map



- Legend**
- FIRM Panels
 - Cross-Sections
 - Flood Hazard Boundaries**
 - Other Boundaries
 - Limit Lines
 - SFHA / Flood Zone Boundary
 - Flood Hazard Zones**
 - 1% Annual Chance Flood Hazard
 - Regulatory Floodway
 - Special Floodway
 - Area of Undetermined Flood Hazard
 - 0.2% Annual Chance Flood Hazard
 - Future Conditions 1% Annual Chance Flood Hazard
 - Area with Reduced Risk Due to Levee
 - Municipality**
 - State Boundaries
 - County Boundaries
 - Major Roads**
 - Interstate Highway
 - State Highway
 - US Highway
 - County and Local Roads**
 - County HWY
 - Local Road
 - Railroads
 - Tribal Lands
 - Rivers and Streams
 - Intermittent Streams
 - Lakes and Open water
 - Index to EN_Image_Basemap_Leaf_Off



NAD_1983_HARN_Wisconsin_TM 1: 1,980

DISCLAIMER: The information shown on these maps has been obtained from various sources, and are of varying age, reliability and resolution. These maps are not intended to be used for navigation, nor are these maps an authoritative source of information about legal land ownership or public access. No warranty, expressed or implied, is made regarding accuracy, applicability for a particular use, completeness, or legality of the information depicted on this map. For more information, see the DNR Legal Notices web page: <http://dnr.wi.gov/legal/>

Notes

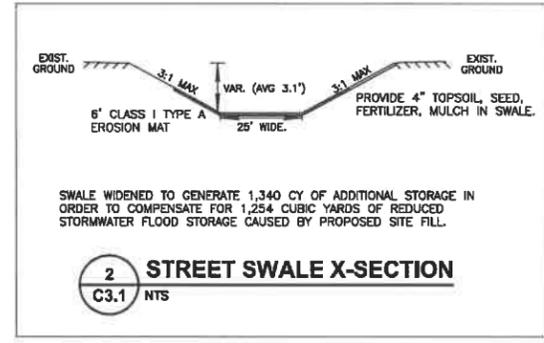
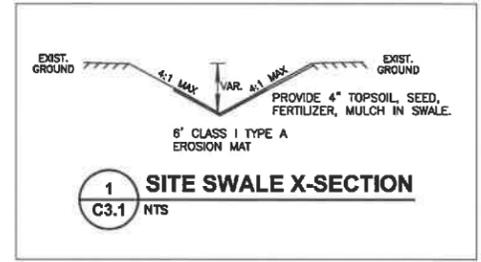
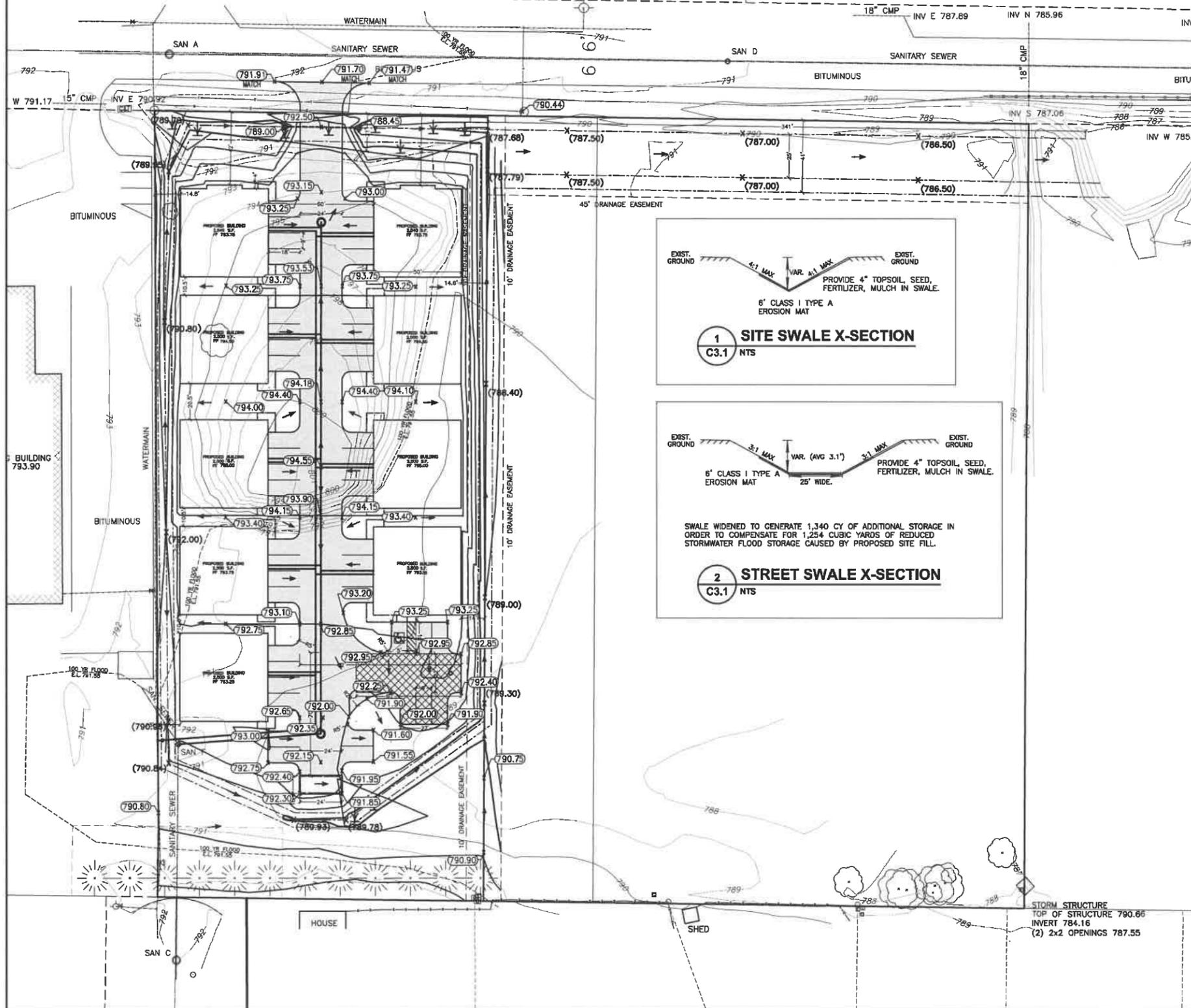
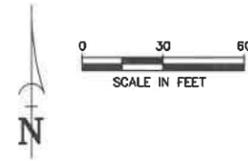
**Conditional Use Permitting Narrative
Storage Shop USA – Pershing Street
Town of Grand Chute, Outagamie County, WI**

Storage Shop USA is proposing to construct 9 new storage unit buildings on the vacant lot located at West Pershing Street in the Town of Grand Chute. The total site property is 1.92 acres in size. The industrial park has a regional storm water detention pond off of the east end of Pershing Street that will manage the site storm water runoff. This new development will cover the majority of the entire 1.92 acre site. The Conditional Use Permit application is being submitted because the proposed site development will require some filling within the modeled flood plain. However the total site grading also includes excavation within the flood storage area and the total storage within the flood storage area will not decrease.

The flood storage area calculations are attached. The calculations show the proposed reduction in flood storage below the 100-yr storm elevation of 791.55 will be 1,570 cubic yards. The proposed excavation increasing the available flood storage for is 316 cubic yards within the developed site, and an additional 1,340 cubic yards to excavate the drainage swale connection to the regional storm water pond. This swale was purposefully designed with a 25' width to create this required flood storage. It should be noted that the officially mapped FEMA flood plain extents and elevation were incorrectly recorded from the 2005 Flood Study that Outagamie County commissioned and that the original flood data from the study was used for the flood storage calculations. The official 100-yr flood map shows a peak flood elevation of 790.58' and lists the proposed site as flood fringe, not as regulated flood storage as it should be.

FLOOD STORAGE EXHIBIT

PERSHING STREET



SITE DATA

LOT AREA = 83,682 SF (1.921 AC)

LOT PROJECT AREA

EXIST OPEN SPACE = 83,682 SF (1.921 AC)
 EXIST IMPERVIOUS AREA = 0 SF (0.00 AC)
 EXIST IMPERVIOUS PERCENTAGE = 0.00%

PROP IMPERVIOUS PVMT = 19,307 SF (0.443 AC)
 PROP PERMEABLE PVMT = 1,695 SF (0.039 AC)
 PROP ROOFTOP = 20,885 SF (0.479 AC)
 PROP OPEN SPACE = 41,759 SF (0.959 AC)
 PROP IMPERVIOUS PERCENTAGE = 48.03%

100YR FLOOD STORAGE DATA

100-YR FLOOD ELEVATION: 791.55 (FROM 2005 OMNI STUDY - M1023A00)
 STORAGE LOSS FROM PROPOSED SITE FILL: 1,569.82 CUBIC YARDS
 STORAGE GAIN FROM SITE EXCAVATION: 315.88 CUBIC YARDS
 STORAGE GAIN FROM SWALE EXCAVATION: 1,340 CUBIC YARDS
 NET FLOOD STORAGE CHANGE = 316 CY + 1,340 CY - 1,570 CY = 86 CY

SITE PLAN LEGEND		
	EXISTING CONTOUR	X (000.00) PROP F/L ELEVATION
	PROPOSED CONTOUR	X (000.00) PERTINENT DITCH OR SWALE ELEVATION
	STORM SEWER MAIN	EXISTING ELEVATION
	STORM MANHOLE	PROPOSED FIRST FLOOR ELEVATION
	2' x 3' PRECAST STORM INLET	DIRECTION OF DRAINAGE
	DRAINAGE SWALE	

DIGGERS HOTLINE

TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

CALL 811 or
 Toll Free 1-800-242-8511
 (262)432-7910
 Emergency Only (877) 500-9592
 FAX 1-800-338-3860
 FAX (414) 258-0947
 Hearing Impaired TDD 1-800-542-2289

WS. STATUTE 182.0175 (1974)
 REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE

TOPOGRAPHIC LEGEND			
	12" IRON PIPE SET		OVERHEAD POWER LINES
	1-1/2" x 30" REBAR SET		UNDERGROUND ELECTRIC
	CHECKED "X" SET		UNDERGROUND TELEPHONE
	3/4" REBAR FOUND		UNDERGROUND FIBEROPTIC
	1" IRON PIPE FOUND		UNDERGROUND GAS
	1-1/2" REBAR FOUND		UNDERGROUND CABLE TV
	2" IRON PIPE FOUND		DIST. FENCE LINE
	CHECKED "X" FOUND		IRON
	GOVERNMENT CORNER		POWER POLE
	RECORDED AS		CURB
	CONIFEROUS TREE		LIGHT POLE
	DECIDUOUS TREE		TELEPHONE PEDestal
	EXIST. WOODS LINE		ELECTRIC PEDestal
	WETLANDS		CABLE PEDestal
	SOIL BORING		DIST. HYDRANT
			WATER VALVE
			WATER STOP BOX
	GAS VALVE		EXIST. STORM MANHOLE
	EXIST. STORM INLET		STORM INLET
	YARD DRAIN		EXIST. SANITARY MANHOLE
	EXIST. SANITARY MANHOLE		DIST. SAN. SEWER
	DIST. SAN. SEWER		DIST. STORM SEWER
	DIST. WATER MAIN		EXIST. WATER MAIN
	DIST. SPOT ELEVATION		CONTOUR W/ ELEVATION
	CONTOUR W/ ELEVATION		EXIST. TOP OF CURB ELEV.
	EXIST. TOP OF CURB ELEV.		EXIST. FLOW LINE ELEV.
	EXIST. FLOW LINE ELEV.		17" CURB FIRST FLOOR = 0.00.00
	17" CURB FIRST FLOOR = 0.00.00		TOPSOIL DEPTH
	TOPSOIL DEPTH		INFILTRATION SOIL BORING

Martenson & Eisele, Inc.
 1377 Midway Road
 Menasha, WI 54952
 www.martenson-eisele.com
 info@martenson-eisele.com
 920.731.0381 1.800.236.0381

NO.	DATE	APPROVED	FIELDWORK
1	10-26-2018	JMS	
2	12-4-2018		
3	12-10-2018		
4	12-15-2018		
5	12-21-2018		
6	2-4-2019		

FLOOD STORAGE EXHIBIT
STORAGE SHOP USA - PERSHING
 TOWN OF GRAND CHUTE, OUTAGAMIE COUNTY, WISCONSIN

SCALE	DATE
BAR SCALE	10-2-2018
COMPUTER FILE	
1-1174-001de.dwg	
DRAWING NO.	
FLOOD	

**Town of Grand Chute
Certified Survey Map Review
Mary M. Ballerstein and Ruth L. Maves**

To: Plan Commission
From: Michael Patza, Town Planner
Date: March 14, 2019
Address: 1130 & 1206 W. Capitol Drive

App. #: CSM-04-19

REQUEST

The CSM will add approximately 1900 sq. ft. of land to Lot 1. The CSM provides dedication of 33' of road right-of-way along W. Capitol Drive. Because of the R/W dedication, this CSM needs Plan Commission and Town Board approval.

ANALYSIS

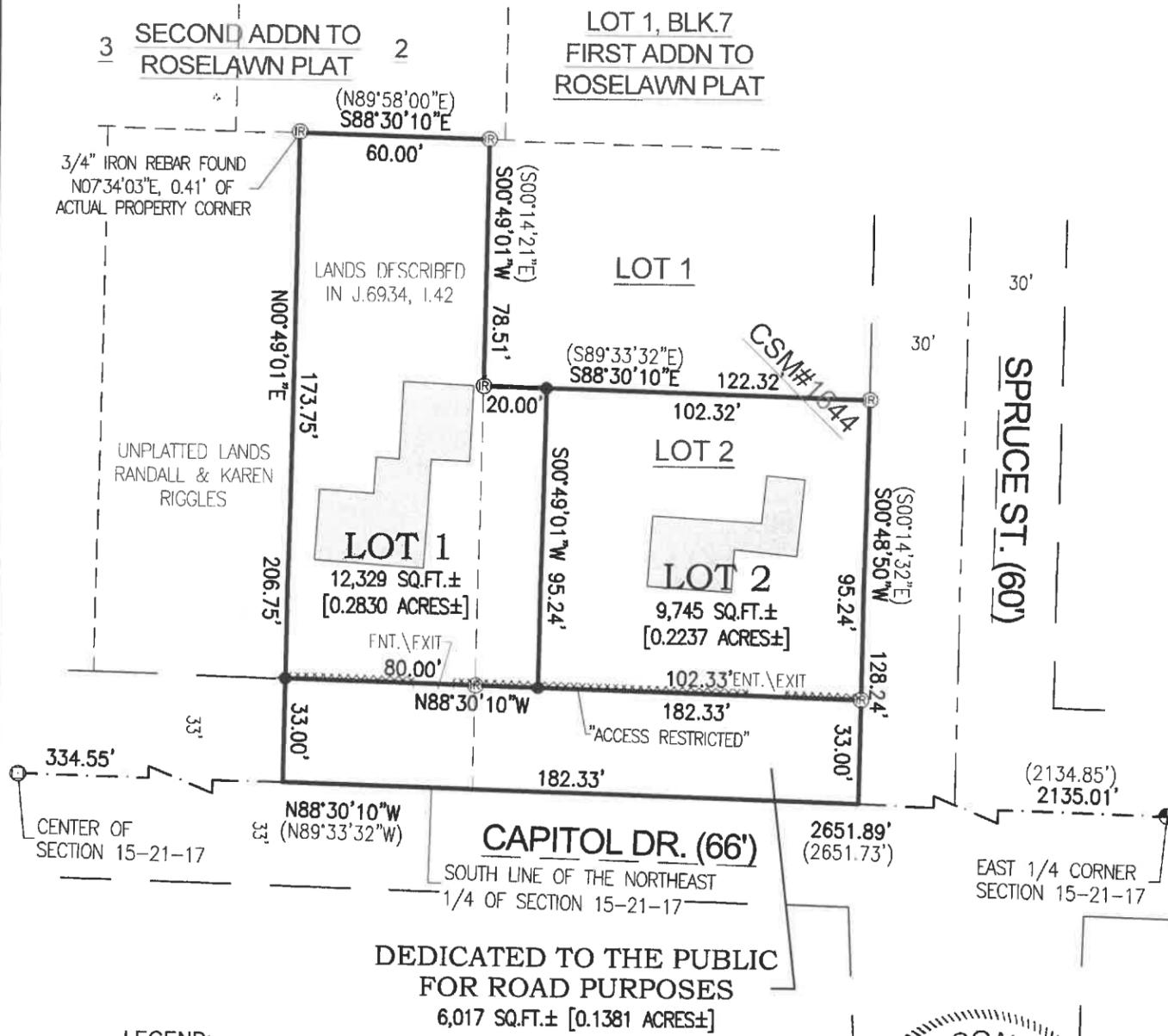
Both properties are zoned RSF Single-Family Residential District. The owner plans to raze the existing home on Lot 1 and build a new single-family home. The CSM meets all Town requirements for division of land.

RECOMMENDATION

Staff has reviewed and supports a Plan Commission recommendation for approval of the Certified Survey Map (CSM-04-19) requested by Mary M. Ballerstein and Ruth L. Maves, 1130 & 1206 W. Capitol Drive.

CERTIFIED SURVEY MAP NO. _____

BEING ALL OF LOT 2 OF CERTIFIED SURVEY MAP NO. 1644 AS RECORDED IN VOLUME 9 OF CERTIFIED SURVEY MAPS ON PAGE 1644 AS DOCUMENT NO. 1083819 AND PART OF THE SOUTHWEST 1/4 OF THE NORTHEAST 1/4, ALL IN SECTION 15, TOWNSHIP 21 NORTH, RANGE 17 EAST, TOWN OF GRAND CHUTE, OUTAGAMIE COUNTY, WISCONSIN.



Robert F. Reider 2-27-19

ROBERT F. REIDER, PLS-1251 DATED
CAROW LAND SURVEYING CO., INC.
615 N. LYNNDAL DR., P.O. BOX 1297
APPLETON, WISCONSIN 54912-1297
PHONE: (920)731-4168
A1810.31 DATED: 2-27-2019
DRAFTED BY: (cep RDD)



AGENDA REQUEST
4/4/2019

TOPIC: Proposal for the Outagamie County Highway Department to perform the reclamation and paving of N. French Road from CTH 00 north for 0.43 miles at an estimated time and materials cost of \$166,000.

<input checked="" type="checkbox"/> New Business <input type="checkbox"/> Unfinished Business <input type="checkbox"/> Reports <input type="checkbox"/> Closed Session <input type="checkbox"/> Ordinance/Resolution	Meeting: Town Board
Department Reporting: Public Works	Submitted By: Katie Schwartz, P.E., Director P.W.

ISSUE: Shall the Town Board approve the proposal for the Outagamie County Highway Department to perform the reclamation and paving of N. French Road from CTH 00 north for 0.43 miles at an estimated time and materials cost of \$166,000.

BACKGROUND/ANALYSIS: The pavement condition of N. French Road from CTH 00 to 0.43 miles north has a PASER rating of 3-4 and was last paved in 1988. This segment of French Road is functionally classified as a collector. The Town is repaving this segment of French Road in 2019 in conjunction with the box culvert replacement. Since this is a rural collector street it will be paved 24' wide with 5.5" of asphalt and gravel shoulders.

In 2019 the existing box culvert on French Road just north of CTH 00 will be replaced and partially be paid for with County Bridge Aid. Town and County staff have had discussions regarding the County's desire to do the work for County Bridge Aid projects. Having the County also perform the reclamation and paving of French Road is logical and would allow for both scheduling and economical efficiencies. Attached for your reference is the proposal for Outagamie County Highway to perform the reclamation and paving work.

RECOMMENDATION: Staff recommends that the Town Board approve the proposal for the Outagamie County Highway Department to perform the reclamation and paving of N. French Road from CTH 00 north for 0.43 miles at an estimated time and materials cost of \$166,000.

FISCAL IMPACT: CIP
This project has been included in the 2019 CIP and will utilize \$120,000 from the Landfill Trust. Special assessments will be applied to adjoining properties.

BITUMINOUS PROJECT ESTIMATE

TBD

3/12/2019

PROJECT: Estimate French Rd paving Grand Chute

SCOPE: RSP, 5.5" HMA; CTH OO to Town north road limits

Project Length	2,271 LF	0.43 MI
Pavement Thickness	5.50 IN	0.86 LM
Pavement Width	24.00 FT av	ADT =
Gravel Shoulder Width	3.00 FT	Design Class =
Inter./ Driveways / Parking Lanes	1,000 SY	

Pavement notes: check Intersection areas

SURFACE PREPARATION

Mill	7,056 SY	@	0.00	-
Reclaim	7,056 SY	@	1.00	7,056
move material 10%	217 TON	@	110.00 / 17 ton/ld	1,407
				8,463

SHAPING	5,000	S.Y. Per Day	9.00	Hrs Per Day
Shaping	8,570 SY			
	15.43 HRS	@	375.00	5,785

PAVING	112	LBS PER S.Y.	150	Tons Per Hour
Mix	7,056 SY			
X DEPTH / 2,000 LBS	2,173 TONS	@		-
3" 3 MT S	1,185 TONS		44.70	NEA Men 52,987
2.5" 4 MT S	988 TONS		48.25	NEA Men 47,663
Lay				
/ TONS PER HOUR	14 HRS	@	535.00	7,800
Haul	121 LOADS	@	110.00	13,281
Tack	564 GALS	@	3.25	1,835
				123,566

3/4 MT-S 12.5 mm

\$ 56.86 per ton

SHOULDERING

Shouldering	437 TONS	@	18.00	7,869
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MISCELLANEOUS

Upgrade Intersect.		Lump Sum		-
Storm Sewer		Lump Sum		-
Base Repairs	assume minimal	Lump Sum	5,000	5,000
Other		Lump Sum		-
Traffic Control	closed to traffic?	Lump Sum	2,500	2,500
Signing and Marking		Lump Sum	1,000	1,000

Sub Total	\$ 154,183
------------------	-------------------

Construction Contingencies	5%	7,709	7,709
Construction Engineering	2%	3,084	3,084
Design Engineering	0.5%	771	771

EST by AAR

Total Project	\$ 165,747
----------------------	-------------------

\$ 166,000



AGENDA REQUEST
4/4/2019

TOPIC: Shall the Town Board approve the proposal from McMahon Associates, Inc. for design and permitting services to replace the culvert on Casaloma Drive at a cost not to exceed \$39,300.

<input checked="" type="checkbox"/> New Business <input type="checkbox"/> Unfinished Business <input type="checkbox"/> Reports <input type="checkbox"/> Closed Session <input type="checkbox"/> Ordinance/Resolution	Meeting: Town Board
Department Reporting: Public Works	Submitted By: Karen Heyrman, P.E., <i>Kmh</i> Deputy Director of Public Works

ISSUE: Casaloma Drive between Waterstone Court and Spencer Street is scheduled for urbanization in 2020. The existing culvert on Casaloma Drive, immediately north of Waterstone Court, will need to be replaced. The road is seasonally posted with a 5 Ton weight limit.

BACKGROUND/ANALYSIS: Staff met with Outagamie County to discuss funding the replacement with Bridge Aid which will cover 50% of the cost for the existing width. McMahon will complete the design and permitting in 2019. Construction and Outagamie County Bridge Aid reimbursement will take place in 2020. The proposal includes the survey, permitting, Hydrologic & Hydraulic calculations, FEMA map amendment, wetland delineation, plan preparation, and estimate.

RECOMMENDATION: The staff's recommendation is to approve the proposal from McMahon Associates, Inc. for design and permitting services to replace the culvert on Casaloma Drive at a cost not to exceed \$39,300.

FISCAL IMPACT: CIP Funding is budgeted in San 3 and Streets.

ATTACHMENTS:
Attachment No. 1 – McMahon Associates, Inc. Agreement for Professional Services.
Attachment No. 2 – Inspection report for P-44-125, Casaloma Dr over BR Mud Creek, October 12, 2017.

Karen Heyrman, Deputy Director of Public Works
Town of Grand Chute
1900 West Grand Chute Boulevard
Grand Chute, WI 54913

Date: March 22, 2019

McM. No. G0006-9-19-00274

PROJECT DESCRIPTION:

Provide design and permitting services to replace an existing culvert under Casaloma Drive immediately north of Waterstone Court. The culvert accommodates the West Branch of Mud Creek, which is a navigable stream.

The intent of this project is to complete design and permitting in 2019 and construct in 2020. The Town intends to apply for County Bridge Aid for this project. A preliminary opinion of probable cost will be supplied to the Town by the end of May 2019 in order to submit for County Bridge Aid.

The preliminary design is to accommodate a future 37 foot wide street with a 5 foot wide sidewalk and 3.5 foot wide terrace on the east side of the street. It is the intent to accommodate the 100-year storm with no flooding easements from adjacent properties required.

The Town anticipates advertising for bids on this project in early 2020.

SCOPE OF SERVICES:

McMahon Associates, Inc. agrees to provide the following Scope Of Services for this project:

■ Design

▼ Field Surveying

- ◆ Locate existing property boundaries including existing corner monuments, public rights-of-way, and section corners.
- ◆ Perform a location survey of existing facilities that may be affected or disrupted by the proposed construction, including:
 - ▶ Cross-Sections
 - ▶ Existing Culvert
 - ▶ Existing Buildings
 - ▶ Existing Pavement & Walkways
 - ▶ Existing Landscaping Features, Trees, Shrubbery, Fencing, etc.
 - ▶ Existing utilities including sanitary sewer, storm sewer, water main, power poles, telephone pedestals, gas valves, etc.

▼ Utility Coordination

- ◆ Coordination with local public and private utilities will be provided as follows:
 - ▶ Contact Diggers Hotline to mark all utilities prior to initial survey and locate this information as part of the survey.
 - ▶ Submit preliminary plans to utilities for review.
 - ▶ Submit final plans to utilities for review.
- ◆ Make revisions to plans as necessary based on utilities review.
- ◆ Prepare required adjustments to Grand Chute Sanitary District #1 and #2 facilities.

▼ Plan Review Meetings

- ◆ Attend a kick-off design meeting with Town Staff.
- ◆ Attend two design review meetings with Town Staff during the design phase.

SCOPE OF SERVICES:

- ▼ **Waterway Crossing (West Branch of Mud Creek)**
 - ◆ Prepare a Hydrologic & Hydraulic (H&H) analysis of the creek with the proposed road and culvert structure(s), including the following tasks:
 - ▶ Submit Flood Insurance Study (FIS) Data Request Form to Federal Emergency Management Agency (FEMA) to receive the effective hydraulic (HEC-RAS) model for this section of Mud Creek.
 - ▶ Existing hydrologic analysis and HEC-RAS model revisions.
 - ▶ Report Preparation
 - ◆ Proposed H&H Modeling
 - ◆ Plans/Exhibits
 - ◆ Report Preparation
 - ▶ Prepare a Conditional Letter of Map Change (CLOMR) application for work within the floodway and floodplain.
- ▼ **Easements**
 - ◆ Prepare any Permanent Limited Easements (PLEs) or Temporary Limited Easements (TLEs) that may be required to construct the project.
 - ◆ Provide easements to the Town for their use in obtaining and filing the easements.
- ▼ **Erosion Control Plan and Stormwater Management Plan**
 - ◆ Prepare Erosion Control Plan with narrative conforming to Town, Outagamie County, and Wisconsin Department of Natural Resources (DNR) requirements.
 - ◆ Prepare Stormwater Management Plan with narrative conforming to Town, Outagamie County, and Wisconsin DNR requirements.
- ▼ **Wetland Delineation**
 - ◆ Perform wetland delineation in the project area.
 - ◆ Prepare wetland delineation report and file it with the Town, Outagamie County, Wisconsin DNR, and United States Army Corps of Engineers (USACE).
- ▼ **Permits**
 - ◆ Submit information to Outagamie County, Wisconsin DNR, USACE, and FEMA for appropriate permits.
 - ◆ Anticipated Permits:
 - ▶ Outagamie County Conditional Use Permit
 - ▶ Wisconsin DNR Construction Site Erosion Control Permit
 - ▶ Wisconsin DNR Water Resources Application for Project Permits (WRAPP)
 - ▶ Chapter 30 Permit (DNR, USACE)
 - ▶ Conditional Letter of Map Revision (DNR & FEMA)
- ▼ **Plan Preparation**
 - ◆ Prepare construction plans as follows:
 - ▶ Plan-Profile Sheets
 - ◆ Horizontal Scale: 1"=20'
 - ◆ Vertical Scale: 1"=2'
 - ◆ Existing Topographic Information
 - ◆ Proposed Horizontal and Vertical Alignments
 - ▶ Construction Detail Sheets
 - ▶ Specifications
- ▼ **Construction Opinion of Probable Cost**
 - ◆ Determine estimated units for construction.
 - ◆ Prepare opinion of probable cost for project, both on a preliminary basis in order to submit for County Bridge Aids and once design and permitting is completed.

SCOPE OF SERVICES:**Items Not Included In The Scope Of Services:**

The following is not intended to be a comprehensive list. It is intended to highlight general areas not included in the Scope of Services.

- Geotechnical testing in the project area. The Town will have this completed under their annual Town geotechnical services contract.
- Bidding and construction phase services.

SPECIAL TERMS: (Refer Also To General Terms & Conditions - Attached)

The Scope Of Services and fee is based upon the understanding that the Owner will provide the following:

- Access to the properties.
- Payment of all permit review fees.
- A location to hold meetings.

The Town of Grand Chute agrees that the Project Description, Scope Of Services and Compensation sections contained in this Agreement, pertaining to this project or any addendum thereto, are considered confidential and proprietary, and shall not be released or otherwise made available to any third party, prior to the execution of this Agreement, without the expressed written consent of McMahon Associates, Inc.

COMPENSATION: (Does Not Include Permit Or Approval Fees)

McMahon Associates, Inc. agrees to provide the Scope Of Services described above for the following compensation:

- Rates Per Attached Fee Schedule | Estimated at \$39,300

COMPLETION SCHEDULE:

McMahon Associates, Inc. agrees to complete this project as follows:

- If authorized at the April 4, 2019, Town Board meeting, design services including permit applications will be completed by the end of 2019. The permit approval process is expected to take approximately 3 months. A preliminary opinion of probable cost will be provided to the Town by the end of May 2019.

ACCEPTANCE:

The General Terms & Conditions And The Scope Of Services (Defined In The Above Agreement) Are Accepted, and McMahon Associates, Inc. Is Hereby Authorized To Proceed With The Services.

The Agreement Fee Is Firm For Acceptance Within Sixty (60) Days From Date Of This Agreement.

TOWN OF GRAND CHUTE

Wisconsin

By:

(Authorized Signature)

Title:

Date:

McMAHON ASSOCIATES, INC.

Neenah, Wisconsin

By:



Carl C. Sutter, P.E.

Title:

Senior Vice President

Date:

March 22, 2019

Please Return One Copy For Our Records

Street Address: 1445 McMAHON DRIVE - NEENAH, WI 54956
Mailing Address: P.O. Box 1025 - NEENAH, WI 54957-1025
PH 920-751-4200 ■ FX 920-751-4284 ■ WWW.MCMGRP.COM



McMAHON ASSOCIATES, INC.
GENERAL TERMS & CONDITIONS

1. McMAHON ASSOCIATES, INC. (hereinafter referred to as 'McMAHON') will bill the Owner monthly with net payment due in 30-days. Past due balances shall be subject to a service charge at a rate of 1.0% per month. In addition, McMAHON may, after giving 48-hours notice, suspend service under any Agreement until the Owner has paid in full all amounts due for services rendered and expenses incurred. These expenses include service charges on past due invoices, collection agency fees and attorney fees incurred by McMAHON to collect all monies due McMAHON. McMAHON and Owner hereby acknowledge that McMAHON has and may exercise lien rights on subject property.
2. The stated fees and Scope Of Services constitute our best estimate of the fees and tasks required to perform the services as defined. This Agreement, upon execution by both parties hereto, can be amended only by written instrument signed by both parties. For those projects involving conceptual or process development services, activities often cannot be fully defined during initial planning. As the project progresses, facts uncovered may reveal a change in direction, which may alter the Scope. McMAHON will promptly inform the Owner in writing of such situations so changes in this Agreement can be negotiated, as required.
3. The stipulated fee is firm for acceptance by the Owner for 60-days from date of Agreement publication.
4. Costs and schedule commitments shall be subject to re-negotiation for delays caused by the Owner's failure to provide specified facilities or information, or for delays caused by unpredictable occurrences, including without limitation, fires, floods, riots, strikes, unavailability of labor or materials, delays or defaults by suppliers of materials or services, process shutdowns, acts of God or the public enemy, or acts or regulations of any governmental agency. Temporary delay of services caused by any of the above, which results in additional costs beyond those outlined, may require re-negotiation of this Agreement.
5. Reimbursable expenses incurred by McMAHON in the interest of the project including, but not limited to, equipment rental will be billed to the Owner at cost plus 10% and sub-consultants at cost plus 12%. When McMAHON, subsequent to execution of an Agreement, finds that specialized equipment must be purchased to provide special services, the cost of such equipment will be added to the agreed fee for professional services only after the Owner has been notified and agrees to these costs.
6. McMAHON will maintain insurance coverage in the following amounts:

Worker's Compensation	Statutory
General Liability	
Bodily Injury - Per Incident / Annual Aggregate	\$1,000,000 / \$2,000,000
Automobile Liability	
Bodily Injury	\$1,000,000
Property Damage	\$1,000,000
Professional Liability Coverage	\$2,000,000

If the Owner requires coverage or limits in addition to the above stated amounts, premiums for additional insurance shall be paid by the Owner. McMAHON's liability to Owner for any indemnity commitments, reimbursement of legal fees, or for any damages arising in any way out of performance of our contract is limited to ten (10) times McMAHON's fee not to exceed to \$500,000.

7. The Owner agrees to provide such legal, accounting and insurance counseling services as may be required for the project for the Owner's purpose. All unresolved claims, disputes and other matters in question between the Owner and McMAHON shall be submitted to mediation, if an agreement cannot be reached by Owner and McMAHON.
8. Termination of this Agreement by the Owner or McMAHON shall be effective upon 7-days written notice to the other party. The written notice shall include the reasons and details for termination; payment is due as stated in paragraph 1. If the Owner defaults in any of the Agreements entered into between McMAHON and the Owner, or if the Owner fails to carry out any of the duties contained in these terms and conditions, McMAHON may, upon 7-days written notice, suspend its services without further obligation or liability to the Owner unless, within such 7-day period, the Owner remedies such violation to the reasonable satisfaction of McMAHON.
9. Re-use of any documents or AutoCAD representations pertaining to this project by the Owner for extensions of this project or on any other project shall be at the Owner's risk and the Owner agrees to defend, indemnify and hold harmless McMAHON from all claims, damages and expenses, including attorneys' fees arising out of such re-use of the documents or AutoCAD representations by the Owner or by others acting through the Owner.
10. Purchase Orders - In the event the Owner issues a purchase order or other instrument related to the Engineer's services, it is understood and agreed that such document is for Owner's internal accounting purposes only and shall in no way modify, add to or delete any of the terms and conditions of this Agreement. If the Owner does issue a purchase order, or other similar instrument, it is understood and agreed that the Engineer shall indicate the purchase order number on the invoice(s) sent to the Owner.
11. McMAHON will provide all services in accordance with generally accepted professional practices. McMAHON will not provide or offer to provide services inconsistent with or contrary to such practices nor make any other warranty or guarantee, expressed or implied, nor to have any Agreement or contract for services subject to the provisions of any uniform commercial code. Similarly, McMAHON will not accept those terms and conditions offered by the Owner in its purchase order, requisition or notice of authorization to proceed, except as set forth herein or expressly accepted in writing. Written acknowledgment of receipt, or the actual performance of services subsequent to receipt, of any such purchase order, requisition or notice of authorization to proceed is specifically deemed not to constitute acceptance of any terms or conditions contrary to those set forth herein.
12. McMAHON intends to serve as the Owner's professional representative for those services, as defined in this Agreement, and to provide advice and consultation to the Owner as a professional. Any opinions of probable project costs, approvals and other decisions made by McMAHON for the Owner are rendered on the basis of experience and qualifications, and represent our professional judgment. Nothing contained in this Agreement shall create a contractual relationship with, or a cause of action, in favor of a third party against either the Architect or McMAHON.
13. This Agreement shall not be construed as giving McMAHON the responsibility or authority to direct or supervise construction means, methods, techniques, sequence or procedures of construction selected by Contractors or Subcontractors, or the safety precautions and programs incident to the work of the Contractors or Subcontractors.
14. The Owner shall be responsible for maintenance of the structure, or portions of the structure, which have been completed and have been accepted for its intended use by the Owner. All structures are subject to wear and tear, and environmental and man-made exposures. As a result, all structures require regular and frequent monitoring and maintenance to prevent damage and deterioration. Such monitoring and maintenance is the sole responsibility of the Owner. McMAHON shall have no responsibility for such issues or resulting damages.

W:\WP\Administrative\GTC's\McMahon\GTC (McM-2018).docx



FEE SCHEDULE | 2019

McMAHON ASSOCIATES, INC.

Issued: JANUARY 3, 2019

LABOR CLASSIFICATION	HOURLY RATE
Principal	\$167.00 - \$215.00
Senior Project Manager	\$167.00
Project Manager	\$138.00 - \$154.00
Senior Engineer	\$146.00 - \$154.00
Engineer	\$80.00 - \$136.00
Senior Engineering Technician	\$106.00 - \$116.00
Engineering Technician	\$75.00 - \$97.00
Senior Architect	\$157.00
Architect	\$110.00 - \$132.00
Senior Land Surveyor	\$107.00 - \$138.00
Land Surveyor	\$98.00
Land Surveyor Technician	\$77.00 - \$87.00
Surveyor Apprentice	\$55.00
Erosion Control Technician	\$75.00
Senior Hydrogeologist	\$167.00
Senior Ecologist	\$159.00
Environmental Scientist	\$80.00 - \$88.00
Senior G.I.S. Analyst	\$131.00
G.I.S. Analyst	\$84.00
Wetland Delineator	\$90.00
Senior Designer	\$114.00
Designer	\$74.00 - \$98.00
On-Site Project Representative	\$66.00
Plan Review	\$116.00
Certified Grant Specialist	\$117.00
Graphic Designer	\$87.00
Senior Administrative Assistant	\$84.00
Administrative Assistant	\$67.00
Intern	\$54.00
Professional Witness Services	\$305.00

Services subcontracted will be billed to the Owner at invoice cost plus 12%.

Use of special equipment, such as computers, television and sewer cleaning devices, soil density testers, flow meters, samplers, dippers, etc., will be charged to the project per the standard Equipment Rate Schedule, which is available upon request.

This Fee Schedule is subject to revisions due to labor rate adjustments and interim staff or corporate changes.

NEENAH, WISCONSIN CORPORATE HEADQUARTERS

Street Address:
1445 McMAHON DRIVE
NEENAH, WI 54956

Mailing Address:
P.O. BOX 1025
NEENAH, WI 54957-1025

Ph 920.751.4200 | Fax 920.751.4284

Email: MCM@MCMGRP.COM
Web: WWW.MCMGRP.COM

1700 HUTCHINS ROAD
MACHESNEY PARK, IL 61115

Ph 815.636.9590 | Fax 815.636.9591

Email: McMAHON@MCMGRP.NET
Web: WWW.MCMGRP.COM

952 SOUTH STATE ROAD 2
VALPARAISO, IN 46385

Ph 219.462.7743 | Fax 219.464.8248

Email: MCM@MCMGRP-IN.COM
Web: WWW.MCMGRP.COM

DESCRIPTION	RATE
REIMBURSABLE EXPENSES:	
Commercial Travel	1.1 of Cost
Delivery & Shipping	1.1 of Cost
Meals & Lodging	1.1 of Cost
Review & Submittal Fees	1.1 of Cost
Outside Consultants	1.12 of Cost
Photographs & Models	1.1 of Cost
Misc. Reimbursable Expenses & Project Supplies	1.1 of Cost
Terrestrial Laser Scanner	\$1,200.00/Day
Terrestrial Laser Scanner	\$600.00/½-day
REIMBURSABLE UNITS:	
Large Format Paper Copies:	
Black & White:	
▪ Up To 24" x 30"	\$0.60/Sheet
▪ 24" x 36"	\$0.70/Sheet
▪ 30" x 42"	\$1.00/Sheet
▪ 36" x 48"	\$1.35/Sheet
Color:	
▪ Color - 17" x 22"	\$5.00/sheet
▪ Color - 22" x 34"	\$10.00/sheet
▪ Color - 24" x 36"	\$10.00/Sheet
▪ Color - 36" x 48"	\$20.00/Sheet
Photocopy Charges - Black & White	\$0.07/Image
Photocopy Charges - Color / 8½" x 11"	\$0.45/Image
Photocopy Charges - Color / 8½" x 14" and 11" x 17"	\$0.75/Image
Mileage	\$.65/Mile
Mileage - Truck/Van	\$0.85/Mile
All-Terrain Vehicle	\$60.00/Day
Global Positioning System (GPS)	\$21.00/Hour
Global Positioning System (GPS) Mobilization	\$100/Each
Hand-Held Global Positioning System (GPS)	\$15.00/Hour
Robotic Total Station	\$20.00/Hour
Survey Hubs	\$0.30/Each
Survey Lath	\$0.52/Each
Survey Paint	\$4.50/Can
Survey Ribbon	\$2.00/Roll
Survey Rebars - 1¼"	\$10.00/Each
Survey Rebars - ¾"	\$3.00/Each
Survey Rebars - 5/8"	\$2.50/Each
Survey Iron Pipe - 1"	\$2.75/Each
Survey Plastic or Fiberglass Fence Post - 1"	\$2.75/Each
Survey Steel Fence Post - 1"	\$4.25/Each
Control Spikes	\$1.00/Each

**NEENAH, WISCONSIN
CORPORATE HEADQUARTERS**

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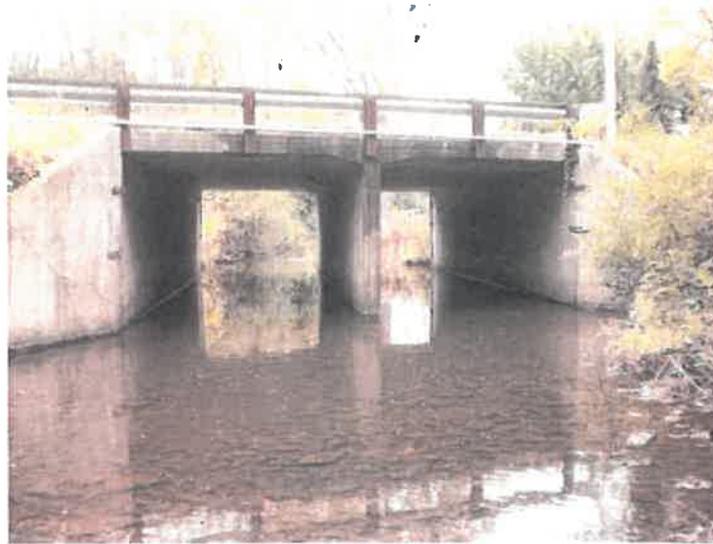
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STATE OF WISCONSIN
DEPARTMENT OF TRANSPORTATION

Inspection Report for
P-44-125

CASALOMA DR over BR MUD CREEK
Oct 12, 2017



Type	Prior	Frequency (mos)	Performed
Routine	10-15-15	24	X
SIA Review	10-29-13	48	X

Latitude **44°14'55.14"N**
Longitude **88°28'34.14"W**

Owner **TOWN**
Maintainer **TOWN**

Time Log **Team members**

Hours	Minutes
0	35

Name	Number	Signature	Date
Inspector Masiarchin, Eric	9646	<i>Eric Masiarchin</i> E-signed by Erich Masiarchin(erichmasiarchin1)	10-19-17

BRIDGE INSPECTION REPORT
Wisconsin Department of Transportation
DT2007 2003 s.84.17 Wis. Stats.

page 2

Identification & Location

Feature On: CASALOMA DR	Section Town Range: S31 T21N R17E	Structure Number: P-44-125
Feature Under: BR MUD CREEK	County: OUTAGAMIE	
Location 0.8M S JCT CTH CA	Municipality: GRAND CHUTE	Structure Name:

Geometry

measurements in feet, except where noted

Approach Roadway Width: 28	Bridge Roadway Width: 28.0	Total Length: 25.5
Culvert Barrel Length: 41.9	Culvert Width:	Culvert Height:

Traffic

Lanes	ADT	ADT year	Traffic Pattern
2	5022	2015	TWO WAY TRAFFIC

Capacity

Load Rating

Inventory rating: HS15	Overburden depth (in): 24.0	Last rating date: 05-08-15	Controlling:
Operating rating: HS33	Deck surface material: BITUMINOUS	Re-rate for capacity (Y/N):	Control location:
Posting:	Re-rate notes:		

Hydraulic

Classification

Scour Critical Code(113): (8) STABLE-ABOVE TOP FOOTING	Q100 (ft ³ /sec): 0	
High water elevation (ft): 0.0	Velocity (ft/sec): 0.0	Sufficiency #: 77.3

Span(s)

Span #	Material	Configuration	Depth (ft)	Length (ft)	Main
1	CONT CONCRETE	BOX CULVERT		12.1	Y
2	CONT CONCRETE	BOX CULVERT		12.1	

Clearance

Item	File Measurement (ft)	File Date	New Measurement (ft)
Highway Min Vertical On Cardinal			
Horizontal On Cardinal			

Construction History

Year	Work Performed	FOS id
1960	NEW STRUCTURE	

Maintenance Items

Item	Priority	Recommended by	Status	Status change
Approach - Repair Beam Guard	MEDIUM	Watry, Paul M (9549)	IDENTIFIED	10/23/15
replace beamguard and set to proper height -				
Approach - Other Work	LOW	Watry, Paul M (9549)	IDENTIFIED	10/23/15
fill and pave shoulder to cover exposed corners of top of culvert				

Culvert Railings Now
 Culvert 2020 as part of project

BRIDGE INSPECTION REPORT
 Wisconsin Department of Transportation
 DT2007 2003 s.84.17 Wis. Stats.

page 3

Structure No.: P-44-125

Elements

Chk	Element	Defect	Description	UOM	Total	Quantity in Condition State			
						1	2	3	4
X	241		Reinforced Concrete Culvert	LF	81	34	47	0	0
		1080	Delamination - Spall - Patched Area	LF		0	0	0	0
		1130	Cracking (RC) three horizontal cracks running from end to end of south barrel. Rust is leaching out of cracks. Multiple vertical cracks with efflorescence	LF		0	47	0	0
		1900	Distortion	LF		0	0	0	0
X	330		Metal Bridge Rail	LF	134	0	0	0	134
		1000	Corrosion lt-moderate corrosion on posts and rail sections - CS2	LF		0	0	0	0
		1020	Connection railing is to low	LF		0	0	0	134

RAILING HAS BEEN RAISED

Assessments

Chk	Element	Defect	Description	UOM	Total	Quantity in Condition State			
						1	2	3	4
X	9248		Signs - Object Markers No object markers	EA	4	0	0	0	4
			Culvert End Treatment all wings exhibit movement and have been strapped - NW & NE map cracking over surface; SW & SE diagonal cracking W apron - lip exposed 0.3' max E apron - no exposure	EA	2	0	0	2	0
			Roadway Over Structure cracking and minor settlement	EA	1	0	1	0	0

Should HAVE BRIDGE MARKERS

NBI Ratings

	File	New
Deck	N	N
Superstructure	N	N
Substructure	N	N
Culvert	5	5
Channel	8	8
Waterway	8	8

Structure Specific Notes

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BRIDGE INSPECTION REPORT
Wisconsin Department of Transportation
DT2007 2003 s.84.17 Wis. Stats.

page 4

Structure No.: **P-44-125**

Inspection Specific Notes

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Inspector Site-Specific Safety Considerations

--

Structure Inspection Procedures

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Special Requirements

	Chk	Hours	Cost	Comments
Other	X			waders



**Underwater Probe Form
P-44-125**

General Site Conditions - Scour

none noted

General Site Conditions - Embankment Erosion/Conditions

banks stable and vegetated

Substructure Notes

Unit	Max Water Depth(ft)	Mode	Notes
Cardinal	1.3	Wade	depth above culvert floor
Non Cardinal	1.3	Wade	depth above culvert floor

Routine
Document Comment/Description

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Routine
Document Comment/Description



Routine
Document Comment/Description



Routine
Document Comment/Description



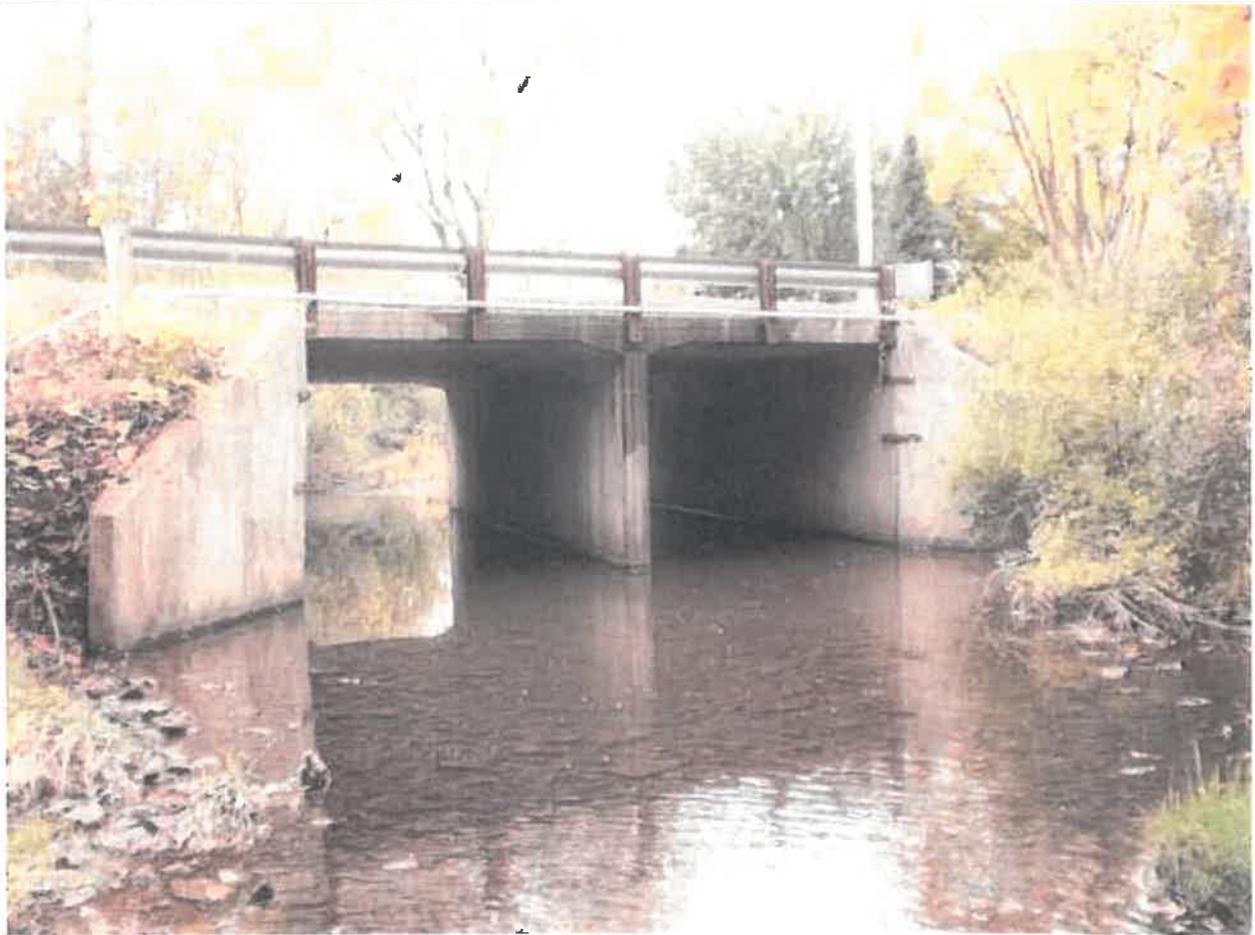
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Document Comment/Description

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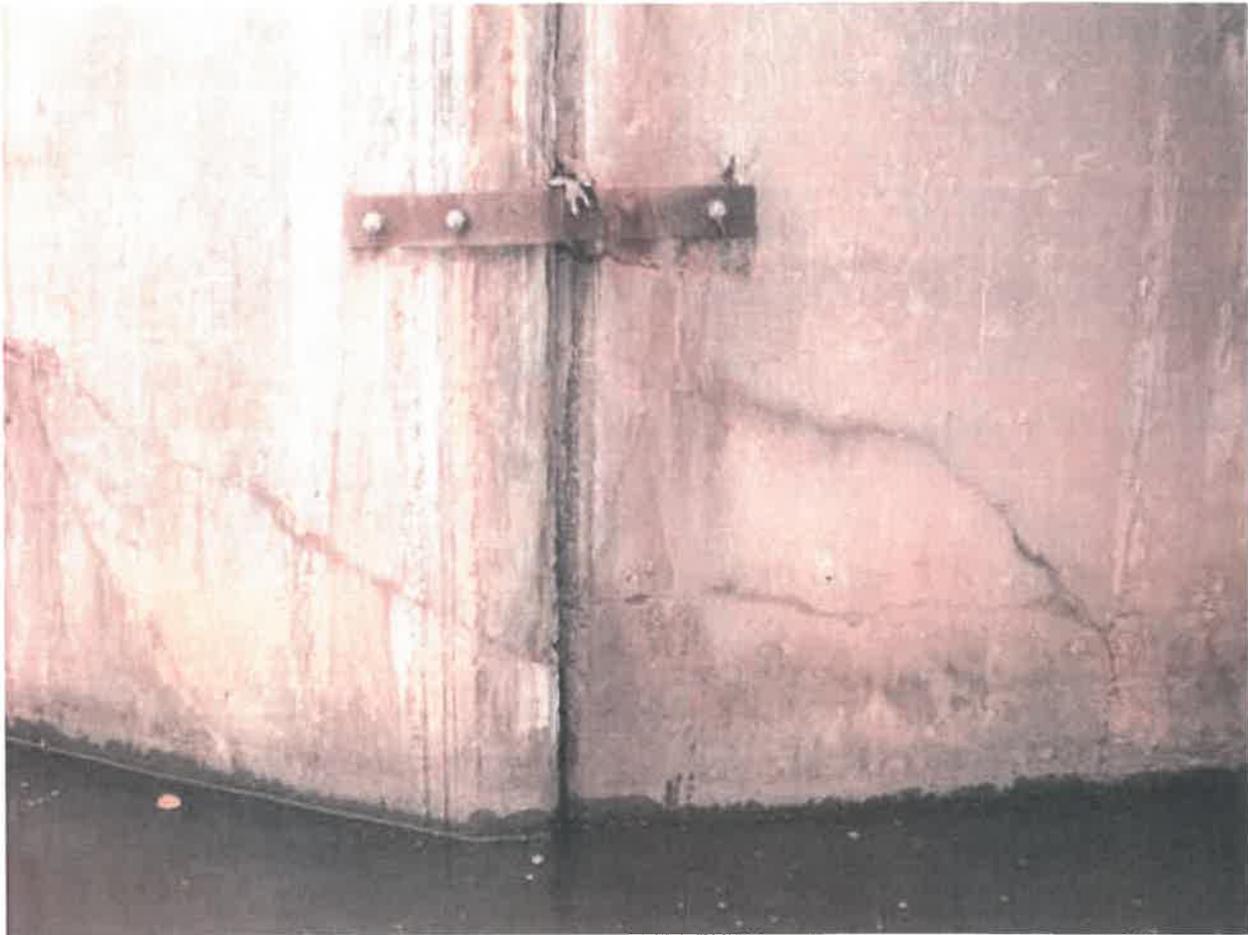


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Document Comment/Description



STRUCTURE INVENTORY AND APPRAISAL FIELD REVIEW FORM

**P-44-125
CASALOMA DR over BR MUD CREEK**

LOCATION

(3) Municipality:
(16) Latitude(° ' ") :
(17) Longitude(° ' ") :

GRAND CHUTE
44°14'55.14"N
88°28'34.14"W

TRAFFIC SERVICE

(28A) Lanes On:
(28B) Lanes Under:
(102) Traffic Pattern On:
(102) Traffic Pattern Under:
(19) Detour Length(mi):

2
0
-NO TRAFFIC -ONE WAY TRAFFIC <input checked="" type="checkbox"/> TWO WAY TRAFFIC
<input checked="" type="checkbox"/> NO TRAFFIC -ONE WAY TRAFFIC -TWO WAY TRAFFIC
3

GEOMETRY

(49) Structure Length(ft):
(50) Sidewalk Width(ft):
(50) Curb Width(ft):
(52) Culvert Barrel Length(ft):
(34) Skew:

(51) Bridge Roadway Width(ft):
(52) Deck Width(ft):
Right Wingwall Length(ft):
Left Wingwall Length(ft):
(32) Approach Roadway Width(ft):

(47) Minimum Horizontal(ft):
(55) Minimum Right Lateral(ft):
(56) Minimum Left Lateral(ft):

25.5		
Left: 0.0		Right: 0.0
0.0		
41.9		
Angle(°): 15		Direction: -RIGHT FORWARD <input checked="" type="checkbox"/> -LEFT FORWARD
Cardinal		Non-Cardinal
28.0		28.0
28		0
Cardinal Under Clearance		Non-Cardinal Under Clearance

RAILING APPRAISAL

(36A) Bridge Rail Adequacy:
(36B) Transition Adequacy:
(36C) Approach Guardrail Adequacy:
(36D) Guardrail Termination Adequacy:
Outer Rail:

<input checked="" type="checkbox"/> SUB-STANDARD	<input type="checkbox"/> STANDARD	<input type="checkbox"/> NOT APPLICABLE
<input checked="" type="checkbox"/> SUB-STANDARD	<input type="checkbox"/> STANDARD	<input type="checkbox"/> NOT APPLICABLE
<input checked="" type="checkbox"/> SUB-STANDARD	<input type="checkbox"/> STANDARD	<input type="checkbox"/> NOT APPLICABLE
<input checked="" type="checkbox"/> SUB-STANDARD	<input type="checkbox"/> STANDARD	<input type="checkbox"/> NOT APPLICABLE
Left	Right	Type
		TYPE F (TWO SQUARE TUBES) - STEEL(6)
		TYPE F (3 SQUARE TUBES) - STEEL(65)
		TYPE F (4 SQUARE TUBES) - STEEL(72)
		TYPE M-STEEL 3 SQUARE TUBES(93)
		SLOPED FACE PARAPET LF(91)
		SLOPED FACE PARAPET HF(92)
		VERTICAL FACE PARAPET TYPE A(74)
		TYPE W THREE BEAM(79)
		TYPE H ON VERTICAL PARAPET(80)
		TIMBER(36)
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	OTHER(99) (Please specify): Left: FLEXIBLE BEAM - STEEL(14) Right: FLEXIBLE BEAM - STEEL(14)
		CONT GUARD RAIL
<input checked="" type="checkbox"/>		NO APPROACH
		NO ATTACHMENT
		2" MM(7/8") BOLT (Please enter quantity)
		25 MM(1") BOLT (Please enter quantity)
		OTHER (Please specify)
		(01) ENERGY ABSORBING TERMINAL/EAT
		(02) TURN DOWN
		(99) OTHER (Please specify)

Transition Type:

Approach Attachment Rail Note:
Guardrail Termination Type:

Guardrail Termination Note:

(72) Approach Alignment Appraisal:

ROADWAY ALIGNMENT APPRAISAL

	3 Intolerable- Substantial speed reduction
<input checked="" type="checkbox"/>	6 Fair- Minor speed reduction
	8 Good- No speed reduction



AGENDA REQUEST
4/4/2019

TOPIC: Portable fingerprint LiveScan device - grant award acceptance request

<input checked="" type="checkbox"/> New Business <input type="checkbox"/> Unfinished Business <input type="checkbox"/> Reports <input type="checkbox"/> Closed Session <input type="checkbox"/> Ordinance/Resolution	Meeting: Town Board
Department Reporting: Police Department	Submitted By: Captain Colette Jaeger

ISSUE:
Will the Board accept grant funds for purchase and installation of a portable Fingerprint Live Scan device?

BACKGROUND/ANALYSIS:
The Wisconsin Department of Justice and the National Criminal History Improvement Program offered grant funding to agencies seeking to obtain or upgrade existing LiveScan Electronic Fingerprint equipment. Since the Grand Chute Police Department does not currently have this equipment, we are eligible for grant funding.

The Grand Chute Police Department currently submits paper fingerprint cards to the State Department of Justice. Once received, the State reviews the cards and, if the prints pass quality assurance review, they are sent to a third party to digitize them to the Automatic Fingerprint Index System (AFIS). If they are not of high enough quality, they are sent back to the agency for reprinting and resubmission. The current process requires a second card for palm prints and the in-house process does not include a mugshot submission with the fingerprints.

Accepting grant funding will eliminate costs to mail paper print cards to the State, and will eliminate the receiving, processing, and digitizing requirements by the State. The proposed equipment will allow our agency to capture mugshots, which can be saved with the fingerprint data. These photos can be shared with other law enforcement agencies, which could prove beneficial during an on-scene investigation. The proposed equipment will allow officers to capture palm prints for submission to the State. Capturing and submitting palm prints at the time of arrest or referral will allow the database to compare against latent prints for unsolved crimes in a timely manner.

The proposal includes a mobile unit and case, which would allow officers to capture fingerprints in the field. Having a portable option would be beneficial for planned operations such as those we schedule targeting prostitution and human trafficking violations, which require fingerprints upon arrest (Wis. §165.83(2)). This statute also requires all people arrested for a felony or a misdemeanor or ordinance involving other serious crimes to be fingerprinted.

From January 1, 2016 through December 18, 2018, our agency submitted 1485 sets of prints to the State, with just over 1200 of those stemming from 2017 and 2018 arrests. (source: Wisconsin Crime Information Bureau) Many of these are currently submitted by the Jail, after an initial appearance. With this equipment and software, non-custodial arrests, or referrals, can be submitted by us at the time of arrest, rather than waiting for the initial appearance, which often takes several months, and sometimes over a year, to schedule.

RECOMMENDATION:

It is recommended the Board approve acceptance of grant funding to purchase Livescan Electronic Fingerprint equipment as part of the National Criminal History Improvement Program.

FISCAL IMPACT: GRANT

Federal Award - \$17,449

Match Total - \$1,939

Total award - \$19,388

The required 10% match would be covered through personnel costs, including set-up and staff training (\$1639) as well as computer equipment to include wires, hubs, routers, and/or modems (\$300).

Software maintenance for this equipment would be added to the existing handheld Livescan devices used for identification purposes on patrol. After one year, maintenance is estimated to add \$2704.00 per year to the existing Livescan maintenance agreement.

ATTACHMENTS: N/A



AGENDA REQUEST

4/4/2019

TOPIC: Approve a budget adjustment for temporary road repairs on Casaloma Drive and McCarthy Road in the amount of \$28,000.

<input checked="" type="checkbox"/> New Business <input type="checkbox"/> Unfinished Business <input type="checkbox"/> Reports <input type="checkbox"/> Closed Session <input type="checkbox"/> Ordinance/Resolution	Meeting: Town Board
Department Reporting: Public Works	Submitted By: Karen M. Heyrman, P.E. <i>kmh</i> Deputy Director of Public Works

ISSUE: McCarthy Road from 3,900' south of Edgewood Drive to Edgewood Drive is scheduled to be reclaimed and paved in 2020. Casaloma Drive from Waterstone Court to Spencer Street is scheduled for urbanization in 2020. Both streets have developed numerous potholes and will require significant maintenance for the next 15 months until construction can begin.

BACKGROUND/ANALYSIS: McCarthy Road had a 2015 pavement surface rating of 4. Casaloma Drive had a 2017 pavement surface rating of 3 for the majority of its 3,855' length and a 370' section with a surface rating of 2. These streets are identified for reconstruction/urbanization in the 2020 CIP due to their pavement condition. Public Works receives numerous phone calls on both of these sections due to their condition.

The street foreman suggested a grader patch would reduce the amount of time and material frequently required to satisfy complaints and maintain the driving surface. Outagamie County Highway Department was contacted to provide a cost proposal. This repair would have a 1-2 year life. If public works crew maintain these pavements, staff estimates 256 hours and 192 ton of cold patch material would be required over the next 15 months. MCC Inc., provided an estimate to repair with a micro surface on Casaloma Drive and asphalt wedge and patch repair on McCarthy. This process is estimate to last 5 years. The cost for these options is summarized as follows:

	MCC, Inc.		Outagamie County		Town of Grand Chute	
Casaloma Drive – Waterstone Ct. to Spencer St	Micro Fill Asphalt	\$33,280.80	Grader Patch	\$17,000.00	Cold Patch	\$14,496.00
McCarthy Road – 3900' south of Edgewood Dr to Edgewood Dr	Asphalt Wedge and Patch Repair	\$37,960.00	Grader Patch	\$11,000.00	Labor	\$9,822.72
		\$71,240.80		\$28,000.00		\$24,318.72

RECOMMENDATION: Staff recommends a budget adjustment of \$28,000 decreasing Contingency Fund 10-19-59900-390 and increasing Public Works Highway Contractual Services 10-14-53311-290 for road repairs on Casaloma Drive and McCarthy Drive.

FISCAL IMPACT: OTHER FUNDING

The repairs will reduce the amount of maintenance done by the Town crew and make them available to do other tasks. The current contingency balance is \$135,735.34 for 2019.

ATTACHMENTS:

Attachment No. 1: Outagamie County Highway Proposal

Outagamie County

Highway Department
1313 Holland Road
Appleton, Wisconsin 54911

PROPOSAL

TN/VILLAGE/CITY Town of Grand Chute

NO. _____ DATE 28-Mar-19

NAME: Randy Coenen

ADDRESS: _____

JOB NAME/NUMBER _____

JOB LOCATION McCarthy & Caseloma

EST. START DATE _____

EST. END DATE _____

PROJECT DESCRIPTION	AMOUNT
Grader patching Caseloma Rd. providing approximately 250 tons of asphalt	\$17,000.00
Traffic control, clean up before and after by Grand Chute	
Grader patching McCarthy Rd providing approximately 160 tons of Asphalt	\$11,000.00
Traffic control, clean up before and after by Grand Chute	
Estimated Date of Work: June 01 2019	

Copy To: Originator
Central File

ESTIMATED JOB COST: \$28,000.00

ESTIMATED BY: Chad L. Johnson



AGENDA REQUEST

4/4/2019

TOPIC: Approve the proposal from Outagamie County for Apple Creek Road culvert replacement in the amount of \$102,950.

<input checked="" type="checkbox"/> New Business <input type="checkbox"/> Unfinished Business <input type="checkbox"/> Reports <input type="checkbox"/> Closed Session <input type="checkbox"/> Ordinance/Resolution	Meeting: Town Board
Department Reporting: Public Works	Submitted By: Karen M. Heyrman, P.E. <i>Kmh</i> Deputy Director of Public Works

ISSUE: The existing wooden box culvert on Apple Creek Road, north of Apple Creek Court, is failing and needs to be replaced. The road was posted with a 5 Ton weight limit in spring of 2018 due to the culvert condition.

BACKGROUND/ANALYSIS: The Town Board approved a proposal with McMahon Associates on February 22, 2018 for design and permitting services to replace the box culvert on Apple Creek Road. On June 19, 2019, the Town Board approved the bridge petition application for County Bridge Aid. Outagamie County will fund 50% of the cost to replace the failing structure.

Outagamie County is interested in performing the work saving time and the expense associated with bidding the project.

RECOMMENDATION: The staff's recommendation is to approve the proposal from Outagamie County Highway Department for Apple Creek Road culvert replacement in the amount of \$102,950.

FISCAL IMPACT: CIP

The Capital Improvement budget includes \$140,000 for this work.

ATTACHMENTS: Attachment No. 1: Outagamie County Highway Department Proposal for Apple Creek Road



Application
Deadline:
June 30

Bridge Petition Application for County Aid

Application
Deadline:
June 30

The petition of the Township of Grand Chute, of Outagamie County, respectfully represents,

There has been a bridge in the above mentioned township/village, in and a part of the public highway and known as the following:

Bridge Name:	Unnamed
Roadway Name:	Apple Creek Road
Nearest Road Name/Location:	Apple Creek Court
Name of Waterway:	Mud Creek Tributary
Section Number:	1
Additional Location Info:	T21N R17E

Public interest demands that the bridge be repaired or replaced for the following reason(s):

Wooden Box Culvert is failing

The estimated cost of this work is as follows:

	Existing Bridge	Proposed Bridge
Type: <small>(ie metal pipe, concrete, etc)</small>	Wood	Concrete or CMP
Size: <small>(diameter, length, width)</small>	3 @ 3'x4-1/2'x40'	Twin Barrel Box Culvert (3' x 14.5')
Estimated Cost:	\$135,850	
Additional Info:	\$32,900 in 2018 for engineering and \$102,950 in 2019 for construction	

The above said township/village will provide or at this time holds available for its share of the expense of this work to be \$67,925 one-half (1/2) of the cost of this work or such sum in excess thereof as the case may be necessary to bear the expense of this work and the town/village share of the estimated cost of the work will not be more than the amount produced by a tax of two mills on the dollar.

The County of Outagamie plans to appropriate a sum sufficient to pay for one-half (1/2) of the cost of this work, which in this case is estimated to be \$67,925 as the County's share.

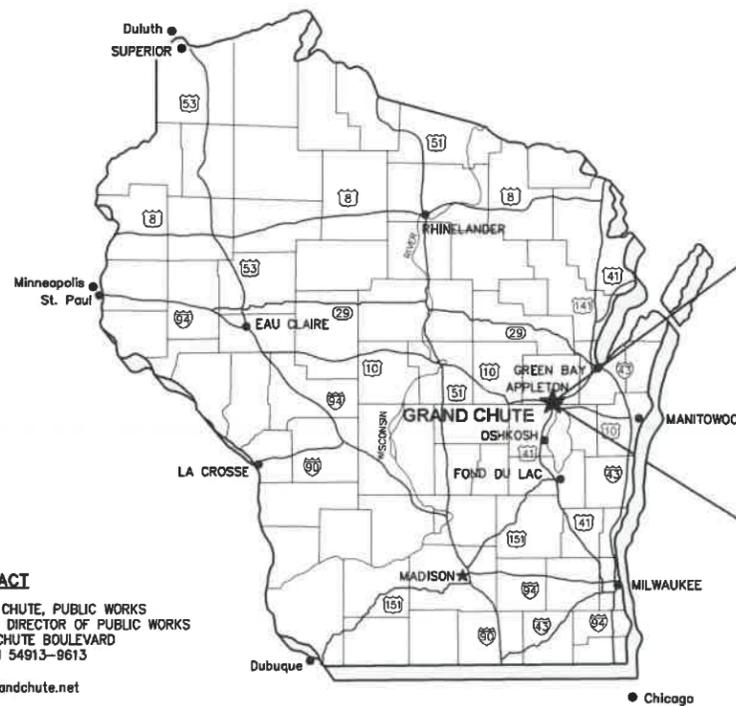
The said township/village and the Outagamie County Highway Committee shall have full charge of this bridgework, including inspection and acceptance.

	Town/Village Authorization	Outagamie County Authorization
Signature:	<i>Karen M. Heyn</i>	
Title:	<i>Deputy Director of Public Works</i>	
Signature:		
Title:		
Date:	<i>6/20/18</i>	

APPLE CREEK ROAD BOX CULVERT REPLACEMENT TOWN OF GRAND CHUTE

OUTAGAMIE COUNTY, WISCONSIN
MCM # G0006 9-18-00323

PRELIMINARY



PROJECT LOCATION

CONTACT INFORMATION

UTILITIES

WE ENERGIES
JASON PETERSON (ELECTRIC)
ANDY ROOYAKKERS (GAS)
800 SOUTH LYNDALE DRIVE
APPLETON, WI 54912
(920) 380-3465 (ELECTRIC)
(920) 380-3476 (GAS)
Jason.Peterson@we-energies.com
Andrew.Rooyakkers@we-energies.com

OWNER CONTACT

TOWN OF GRAND CHUTE, PUBLIC WORKS
KATIE SCHWARTZ, DIRECTOR OF PUBLIC WORKS
1900 W. GRAND CHUTE BOULEVARD
GRAND CHUTE, WI 54913-9613
(920) 832-1581
katie.schwartz@grandchute.net

DESIGN CONTACT

McMAHON ASSOCIATES, INC.
CARL SUTTER
ANDY SCHMIDT
1445 McMAHON DRIVE
NEENAH, WI 54956
(920) 751-4200
csutter@mcmgrp.com
aschmidt@mcmgrp.com

DNR LIAISON

DEPARTMENT OF NATURAL RESOURCES
MATT SCHAEVE
2984 SHAWAND AVENUE
GREEN BAY, WI 54307-0448
(920) 366-1544
Matthew.Schaeve@wisconsin.gov



Dial 811 or (800) 242-8511
www.DiggersHotline.com



SHEET INDEX

- 1 ABBREVIATIONS, SYMBOLS & NOTES
- 2 SURVEY CONTROL
- 3 TYPICAL SECTIONS
- 4 PLAN AND PROFILE
- 5 PAVEMENT MARKING
- 6 EROSION CONTROL
- 7-9 MISCELLANEOUS DETAILS
- S1-S4 HEADWALL DETAILS

DATE	06/2018
PROJECT NO.	G0006 9-18-00323

STANDARD ABBREVIATIONS

AC	AGG	AH	ASPH	AVG	B-B	BEG	BIT	BK	B/L	BLDG	BM	BOC	BRG	C-C	CY	C&G	CB	CE	CHD	C/L	CL	CMP	CO	CONC	CORR	CP	CR	CS	CSW	CTH	CULV	D	DI	DIA	DIS	EA	EB	EBS	EG	ELEV	ELEC	EMB	EMAT	ENT	EOR	EP	EXC	EX	EW	F-F	FDN	FE	FERT	FG	F/L	FT	FTG	GRAV	GN	GV	HDPE	HE	HMA	HP	HT	HYD	ID	IN	INL	INV	IP	JCT	LB	LF	LT	AGGREGATE	AHEAD	ASPHALT PAVEMENT	AVERAGE	BACK TO BACK	BEGIN	BITUMINOUS	BACK	BASE LINE	BUILDING	BENCH MARK	BACK OF CURB	BEARING	CENTER TO CENTER	CUBIC YARD	CURB AND GUTTER	CATCH BASIN	COMMERCIAL ENTRANCE	CHORD	CENTER LINE	CLASS (FOR CONC PIPE)	CORRUGATED METAL PIPE	CLEAN OUT	CONCRETE	CORRUGATED	CONTROL POINT	CRUSHED	CURB STOP	CONCRETE SIDEWALK	COUNTY TRUNK HIGHWAY	CULVERT	DEPTH OF DELTA	DUCTILE IRON	DIAMETER	DISCHARGE	EACH	EASTBOUND	EXCAVATION BELOW SUBGRADE	EDGE OF GRAVEL	ELEVATION	ELECTRIC	EMBANKMENT	EROSION MAT	ENTRANCE	END OF RADIUS	EDGE OF PAVEMENT	EXCAVATION	EXISTING	ENDWALL	FACE TO FACE	FOUNDATION	FIELD ENTRANCE	FERTILIZER	FINISHED GRADE	FLOW LINE	FOOT	FOOTING	GRAVEL	GRID NORTH	GAS VALVE	HIGH DENSITY POLYETHYLENE	HIGHWAY EASEMENT	HOT MIX ASPHALT	HIGH POINT	HEIGHT	HYDRANT	INSIDE DIAMETER	INCH	INLET	INVERT	IRON PIPE	JUNCTION	POUND	LINEAR FOOT	LEFT	LENGTH OF VERTICAL CURVE	MAINTENANCE	MATERIAL	MAXIMUM	MINIMUM	MANHOLE	MILE POST	NORTHBOUND	NUMBER	NORMAL	OUTSIDE DIAMETER	OBLITERATE	PAVEMENT	POINT OF CURVATURE	PORTLAND CEMENT CONCRETE OR	POINT OF COMPOUND CURVATURE	PRIVATE ENTRANCE	PEDESTAL	PROFILE GRADE LINE	POINT OF INTERSECTION	PROPERTY LINE	PERMANENT LIMITED EASEMENT	POWER POLE	POINT OF REVERSE CURVATURE	PROPOSED	PASSING SIGHT DISTANCE	POUNDS PER SQUARE INCH	POLYVINYL CHLORIDE OR	POINT OF VERTICAL CURVATURE	POINT OF VERTICAL INTERSECTION	POINT OF VERTICAL TANGENCY	RADIUS	REINFORCED CONCRETE PIPE	ROAD	REINFORCEMENT ROD	REMOVE	RECONSTRUCT	REQUIRED	REFERENCE LINE	RADIUS POINT	RAILROAD	RIGHT	RIGHT-OF-WAY	SOUTHBOUND	SUPERELEVATION	SQUARE FEET	SLOPE INTERCEPT	STATE TRUNK HIGHWAY	SQUARE YARD	SALVAGED	SANITARY	SECTION	SHOULDER	SURVEY LINE	SQUARE	STATION	STANDARD	STORM	SIDEWALK	TOP OF CURB	TELEPHONE	TEMPORARY	TEMPORARY LIMITED EASEMENT	TYPICAL	UNDERGROUND	U.S. HIGHWAY	VARIES	VERTICAL CURVE	VERTICAL	WESTBOUND	WATER MAIN	WATER VALVE
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GENERAL NOTES

- THE UTILITIES SHOWN IN PLAN AND PROFILE ARE INDICATED IN ACCORDANCE WITH AVAILABLE RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING EXACT LOCATIONS AND ELEVATIONS OF ALL UTILITIES, INCLUDING ANY PRIVATE UTILITIES, FROM THE OWNERS OF THE RESPECTIVE UTILITIES. ALL UTILITIES SHALL BE NOTIFIED 72 HRS. PRIOR TO EXCAVATION.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL VERIFY PROPOSED SITE GRADES BY FIELD CHECKING TWO (2) BENCHMARKS AND A MINIMUM OF ONE (1) SITE FEATURE AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY McMAHON OF ANY VERTICAL DISCREPANCY.
- THE PROPERTY LINES, RIGHT-OF-WAY LINES AND OTHER PROPERTY INFORMATION ON THIS DRAWING WERE DEVELOPED OR OBTAINED AS PART OF THE COUNTY GEOGRAPHIC INFORMATION SYSTEM OR THROUGH THE COUNTY PROPERTY TAX MAPPING FUNCTION. McMAHON DOES NOT GUARANTEE THIS INFORMATION TO BE CORRECT, CURRENT OR COMPLETE. THE PROPERTY AND RIGHT-OF-WAY INFORMATION ARE INTENDED FOR USE AS A GENERAL REFERENCE AND ARE NOT INTENDED OR SUITABLE FOR SITE-SPECIFIC USES. ANY USE TO THE CONTRARY OF THE ABOVE STATED USES IS THE RESPONSIBILITY OF THE USER AND SUCH USE IS AT THE USER'S OWN RISK.
- NO TREES OR SHRUBS ARE TO BE REMOVED WITHOUT PRIOR APPROVAL FROM THE OWNER.
- A SAWED JOINT IS REQUIRED WHERE NEW HMA PAVEMENT MATCHES EXISTING ASPHALTIC CONCRETE SURFACE.

STANDARD SYMBOLS (PLAN VIEW ONLY)

■	2" IRON PIPE FOUND	—T—	TELEPHONE CABLE - BURIED
✕	1 1/4" REBAR FOUND	—E—	ELECTRIC CABLE - BURIED
✕	1 1/4" x 30" IRON REBAR WEIGHING 4.30 LB/LF SET	—OHU—	UTILITIES - OVERHEAD
●	1" (1.315 OD) IRON PIPE FOUND	—FO—	FIBER OPTIC CABLE - BURIED
⊙	1" IRON PIPE SET	—G—	GAS MAIN
⊙	3/4" IRON REBAR FOUND	—TV—	CABLE TELEVISION - BURIED
⊙	3/4" IRON PIPE FOUND	---	DITCH LINE
■	3/4"x 24" IRON REBAR WEIGHING 1.5 LB/LF SET	---	STREET C/L OR R/L
■	MAG NAIL FOUND	---	PROPERTY LINE
□	MAG NAIL SET	---	RIGHT-OF-WAY LINE
▲	MAG SPIKE FOUND	---	SECTION LINE
△	MAG SPIKE SET	---	EXISTING CONTOURS
✕	CHISEL CROSS FOUND	---	PROPOSED CONTOURS
✕	CHISEL CROSS SET	---	EXISTING FORCEMAIN SEWER
⊙	COUNTY MONUMENT	---	EXISTING SANITARY SEWER
⊙	CONCRETE MONUMENT FOUND	---	PROPOSED SANITARY SEWER
⊙	CONTROL POINT HORIZONTAL	---	EXISTING WATER MAIN
⊙	VERTICAL BENCHMARK	---	PROPOSED WATER MAIN
⊙	SOIL BORING or MONITORING WELL	---	EXISTING STORM SEWER
⊙	POWER POLE	---	PROPOSED STORM SEWER
⊙	POWER POLE W/GUY WIRE	---	EXISTING CURB & GUTTER
⊙	TELEPHONE OR TELEVISION PEDESTAL	---	PROPOSED CURB & GUTTER
⊙	MAILBOX	---	PROPOSED REJECT CURB & GUTTER
⊙	SIGN	---	EXISTING CULVERT WITH END SECTIONS
⊙	RAILROAD CROSS BUCK	---	PROPOSED CULVERT WITH END SECTIONS
⊙	RAILROAD GATE ARM	---	BUILDING OUTLINE
⊙	RAILROAD TRACKS	---	FENCE LINE
⊙	LIGHT POLE	---	SAW CUT REQ'D
⊙	WOOD POLE	---	SILT FENCE
⊙	TRAFFIC SIGNAL	---	GUARD RAIL
⊙	TRAFFIC SIGNAL MAST ARM	---	DITCH CHECK
⊙	CONIFEROUS TREE	---	INLET PROTECTION
⊙	DECIDUOUS TREE	---	TRACKING PAD
⊙	TREE OR BRUSH LINE	---	TURBIDITY BARRIER OR SHEET PILING
⊙	BED ROCK (IN PROFILE VIEW)	---	SANDBAG COFFERDAM
⊙	HANDICAPPED PARKING STALL	---	SLOPE INTERCEPT
⊙	EXISTING SPOT ELEVATION	---	LIMITS OF DISTURBANCE
⊙	PROPOSED SPOT ELEVATION	---	EXISTING ASPHALT PAVEMENT
⊙	DRAINAGE HIGH POINT	---	PROPOSED ASPHALT PAVEMENT
⊙	DRAINAGE DIRECTION	---	EXISTING CONCRETE SIDEWALK/DRIVEWAY
⊙	EXISTING MANHOLE	---	PROPOSED CONCRETE SIDEWALK/DRIVEWAY
⊙	PROPOSED MANHOLE	---	EXISTING GRAVEL
⊙	EXISTING INLET	---	PROPOSED GRAVEL
⊙	PROPOSED INLET	---	EXISTING RIP-RAP (SIZE AS SPECIFIED)
⊙	EXISTING YARD DRAIN	---	PROPOSED RIP-RAP (SIZE AS SPECIFIED)
⊙	PROPOSED YARD DRAIN	---	EXISTING BRICK/PAVERS
⊙	EXISTING CLEAN OUT	---	PROPOSED BRICK/PAVERS
⊙	PROPOSED CLEAN OUT	---	EXISTING PROPOSED EROSION MAT
⊙	EXISTING DOWNSPOUT	---	PROPOSED PROPOSED EROSION MAT
⊙	PROPOSED DOWNSPOUT	---	EXISTING EXISTING WATER VALVE
⊙	EXISTING WATER VALVE	---	PROPOSED EXISTING WATER VALVE
⊙	PROPOSED WATER VALVE	---	EXISTING EXISTING CURB STOP
⊙	EXISTING CURB STOP	---	PROPOSED EXISTING CURB STOP
⊙	PROPOSED CURB STOP	---	EXISTING EXISTING FIRE HYDRANT
⊙	EXISTING FIRE HYDRANT	---	PROPOSED EXISTING FIRE HYDRANT
⊙	PROPOSED FIRE HYDRANT	---	EXISTING EXISTING WATER FITTING
⊙	EXISTING WATER FITTING	---	PROPOSED EXISTING WATER FITTING
⊙	PROPOSED WATER FITTING	---	EXISTING EXISTING PROPOSED WATER REDUCER
⊙	EXISTING PROPOSED WATER REDUCER	---	PROPOSED EXISTING PROPOSED WATER REDUCER
⊙	PROPOSED WATER REDUCER	---	EXISTING EXISTING PROPOSED ENDCAP
⊙	EXISTING PROPOSED ENDCAP	---	PROPOSED EXISTING PROPOSED ENDCAP
⊙	PROPOSED ENDCAP	---	EXISTING EXISTING GAS VALVE
⊙	EXISTING GAS VALVE	---	PROPOSED EXISTING GAS VALVE
⊙	PROPOSED GAS VALVE	---	EXISTING EXISTING

EROSION & SEDIMENT CONTROL PLAN

BEST MANAGEMENT PRACTICES:

THE CONTRACTOR IS RESPONSIBLE FOR FURNISHING, INSTALLING, MAINTAINING AND REMOVING BEST MANAGEMENT PRACTICES IN ACCORDANCE WITH WISCONSIN DEPARTMENT OF NATURAL RESOURCES (DNR) TECHNICAL STANDARDS. THESE STANDARDS MAY BE FOUND ON THE DNR WEBSITE AT <http://www.dnr.wisconsin.gov/runoff/stormwater/techstds.htm>. RIP-RAP SHALL BE IN ACCORDANCE WITH SECTION 606, WS-DOT STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, LATEST EDITION, UNTIL TECHNICAL STANDARD 1065 IS COMPLETED BY THE DNR. THE MINIMUM BEST MANAGEMENT PRACTICES SPECIFIED FOR THIS PROJECT ARE AS FOLLOWS:

[] LAND APPLICATION OF POLYACRYLAMIDE (1050)	[X] DE-WATERING (1061)
[] WATER APPLICATION OF POLYMERS (1051)	[] DITCH CHECK (1062)
[] NON-CHANNEL EROSION MAT (1052)	[] SEDIMENT TRAP (1063)
[X] CHANNEL EROSION MAT (1053)	[] SEDIMENT BASIN (1064)
[] VEGETATIVE BUFFER (1054)	[X] RIP-RAP (1065)
[] SEDIMENT BALE BARRIER (1055)	[] CONSTRUCTION DIVERSION (1066)
[] SILT FENCE (1056)	[X] GRADING PRACTICES (1067)
[] TRACKING PAD & TIRE WASHING (1057)	[] DUST CONTROL (1068)
[X] MULCHING (1058)	[] TURBIDITY BARRIER (1069)
[X] SEEDING (1059)	[] SILT CURTAIN (1070)
[] STORM DRAIN INLET PROTECTION (1060)	[] MANUFACTURED PERIMETER PRODUCTS (1071)

THE CONTRACTOR SHALL COORDINATE CONSTRUCTION ACTIVITIES AND IMPLEMENT BEST MANAGEMENT PRACTICES TO PREVENT OR REDUCE ALL OF THE FOLLOWING:

- DEPOSITION OR TRACKING OF SOIL ONTO STREETS BY VEHICLES.
- DISCHARGE OF SEDIMENT INTO STORM WATER INLETS.
- DISCHARGE OF SEDIMENT INTO ADJACENT STREAMS, RIVERS, LAKES AND WETLANDS.
- DISCHARGE OF SEDIMENT FROM DITCHES AND STORM SEWERS THAT FLOW OFFSITE.
- DISCHARGE OF SEDIMENT FROM DEWATERING ACTIVITIES.
- DISCHARGE OF SEDIMENT FROM SOIL STOCKPILES EXISTING FOR 7 DAYS OR MORE.
- DISCHARGE OF SEDIMENT FROM EROSION OUTLET FLOWS.
- TRANSPORT OF CHEMICALS, CEMENT AND BUILDING MATERIALS BY RUNOFF.
- TRANSPORT OF UNTREATED VEHICLE AND WHEEL WASH WATER BY RUNOFF.

THE CONTRACTOR SHALL IMPLEMENT THE FOLLOWING PREVENTATIVE MEASURES:

- PRESERVE EXISTING VEGETATION WHENEVER POSSIBLE.
- MINIMIZE SOIL COMPACTION AND PRESERVE TOPSOIL.
- MINIMIZE LAND DISTURBANCES ON SLOPES OF 20% OR MORE.
- MINIMIZE THE AMOUNT OF SOIL EXPOSED AT ANY ONE TIME.
- DIVERT CLEAR WATER AWAY FROM EXPOSED SOILS.
- TEMPORARILY STABILIZE EXPOSED SOILS THAT WILL NOT BE ACTIVE FOR 14 DAYS OR MORE. USE MULCHING, SEEDING, POLYACRYLAMIDE OR GRAVELING TO STABILIZE.
- PERMANENTLY STABILIZE EXPOSED SOILS AS SOON AS POSSIBLE.
- CONTRACTOR SHALL EDUCATE ITS EMPLOYEES AND SUBCONTRACTORS ABOUT PROPER SPILL PREVENTION AND RESPONSE PROCEDURES. IF A SPILL OCCURS, THE CONTRACTOR SHALL EVACUATE THE AREA AND IMMEDIATELY NOTIFY THE LOCAL MUNICIPALITY, FIRE DEPARTMENT OR 911 EMERGENCY SYSTEM. IF NO FIRE, EXPLOSION OR LIFE / HEALTH SAFETY HAZARD EXISTS, THE NEXT STEP IS TO CONTAIN THE SPILL AND PERFORM CLEANUP. USE DRY CLEANUP METHODS, NOT WET.

THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING OR REPLACING BEST MANAGEMENT PRACTICES DESTROYED AS A RESULT OF CONSTRUCTION ACTIVITIES BY THE END OF THE WORK DAY. THE CONTRACTOR IS RESPONSIBLE FOR REPLACING BEST MANAGEMENT PRACTICES TEMPORARILY REMOVED FOR CONSTRUCTION ACTIVITY AS SOON AS THOSE ACTIVITIES ARE COMPLETED. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING AND DISPOSING OF TEMPORARY BEST MANAGEMENT PRACTICES AFTER CONSTRUCTION IS COMPLETE AND PERMANENT VEGETATION IS ESTABLISHED.

INSPECTION & MAINTENANCE:

THE CONTRACTOR IS RESPONSIBLE FOR INSPECTING BEST MANAGEMENT PRACTICES WEEKLY, AND WITHIN 24 HOURS FOLLOWING A RAINFALL OF 0.5 INCHES OR GREATER. WRITTEN DOCUMENTATION OF EACH INSPECTION SHALL BE KEPT AT THE CONSTRUCTION SITE AND SHALL INCLUDE THE FOLLOWING INFORMATION: DATE, TIME, AND LOCATION OF INSPECTION; NAME OF INDIVIDUAL WHO PERFORMED THE INSPECTION; AN ASSESSMENT OF THE CONDITION OF BEST MANAGEMENT PRACTICES; A DESCRIPTION OF ANY BEST MANAGEMENT PRACTICE IMPLEMENTATION AND MAINTENANCE PERFORMED; AND A DESCRIPTION OF THE PRESENT PHASE OF CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING, REPAIRING, OR REPLACING BEST MANAGEMENT PRACTICES AS NECESSARY WITHIN 24 HOURS OF AN INSPECTION OR NOTIFICATION. THE CONTRACTOR IS RESPONSIBLE FOR INSPECTING, MAINTAINING, REPAIRING, OR REPLACING BEST MANAGEMENT PRACTICES UNTIL ALL LAND DISTURBING CONSTRUCTION ACTIVITY IS COMPLETED AND A UNIFORM PERENNIAL VEGETATIVE COVER IS ESTABLISHED WITH A DENSITY OF AT LEAST 70%.

THE CONTRACTOR IS RESPONSIBLE FOR POSTING THE PERMIT IN A CONSPICUOUS LOCATION ON THE CONSTRUCTION SITE. THE CONTRACTOR IS RESPONSIBLE FOR KEEPING A COPY OF THE APPROVED REPORTS, PLANS, AMENDMENTS, INSPECTION REPORTS, AND PERMITS AT THE CONSTRUCTION SITE AT ALL TIMES UNTIL ALL LAND DISTURBING CONSTRUCTION ACTIVITY IS COMPLETED AND A UNIFORM PERENNIAL VEGETATIVE COVER IS ESTABLISHED WITH A DENSITY OF AT LEAST 70%. THE CONTRACTOR IS RESPONSIBLE FOR NOTIFYING THE OWNER WHEN THE VEGETATIVE DENSITY REACHES AT LEAST 70%. THE OWNER IS RESPONSIBLE FOR TERMINATING DNR PERMIT COVERAGE.

AMENDMENTS:

THE CONTRACTOR IS RESPONSIBLE FOR AMENDING THE EROSION & SEDIMENT CONTROL PLAN IF: THERE IS A CHANGE IN CONSTRUCTION, OPERATION OR MAINTENANCE AT THE SITE WHICH HAS THE REASONABLE POTENTIAL FOR THE DISCHARGE OF POLLUTANTS; THE ACTIONS REQUIRED BY THE PLAN FAIL TO REDUCE THE IMPACTS OF POLLUTANTS CARRIED BY CONSTRUCTION SITE RUNOFF; OR IF THE DNR NOTIFIES THE APPLICANT OF CHANGES NEEDED IN THE PLAN. THE DNR AND OWNER SHALL BE NOTIFIED 5 WORKING DAYS PRIOR TO MAKING CHANGES TO THE PLAN.

McMAHON
ENGINEER ARCHITECTS

McMAHON ASSOCIATES, INC.
14445 McMAHON DRIVE, NEEBAH, WI 54956
Mailing: P.O. BOX 1025, NEEBAH, WI 54957-1025
PH: 920.751.4200 FAX: 920.751.4284 MCMGRP.COM

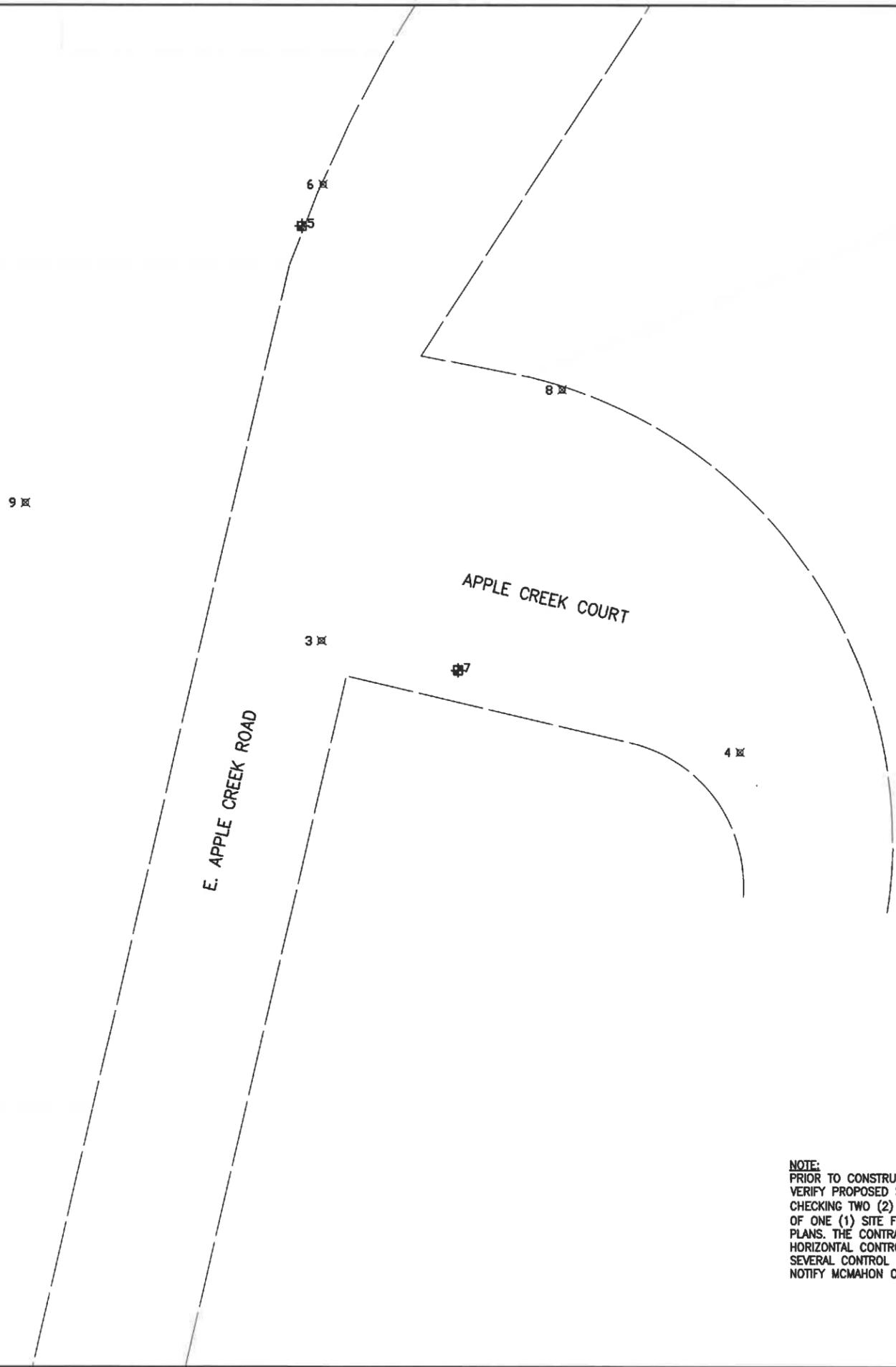
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DESIGNED CCS	DRAWN JJJ
PROJECT NO. G0006 9-18-00323	
DATE 06/2018	
SHEET NO. 01	

APPLE CREEK ROAD BOX CULVERT REPLACEMENT

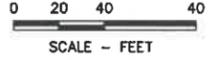
TOWN OF GRAND CHUTE, OUTAGAMIE COUNTY, WISCONSIN

ABBREVIATIONS, SYMBOLS & NOTES



VERTICAL BENCHMARK CONTROL		
POINT #	ELEVATION	DESCRIPTION
5	783.16	MAG IN STUMP
7	781.78	MAG IN LIGHT POLE

HORIZONTAL CONTROL POINTS			
POINT #	NORTHING	EASTING	DESCRIPTION
3	584116.07	834521.55	SET NAIL
4	584065.34	834713.56	SET NAIL
6	584324.01	834522.07	SET NAIL
8	584230.35	834632.25	SET NAIL
9	584178.87	834385.54	SET NAIL



NOTE:
PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL VERIFY PROPOSED SITE GRADES BY FIELD CHECKING TWO (2) BENCHMARKS AND A MINIMUM OF ONE (1) SITE FEATURE AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL ALSO VERIFY HORIZONTAL CONTROL BY FIELD CHECKING SEVERAL CONTROL POINTS AND IMMEDIATELY NOTIFY MCMAHON OF ANY DISCREPANCIES.

VERTICAL DATUM:
ELEVATIONS ARE REFERENCED TO NGS DATA:
CONTROL POINT NAME: 4X79
POINT ID: DE7759 NAVD 88 DATUM
BY GPS OBSERVATION TO ELEVATION = 726.40 (2007 ADJUSTMENT)
PER FIELD BOOK 1400 PAGE 31

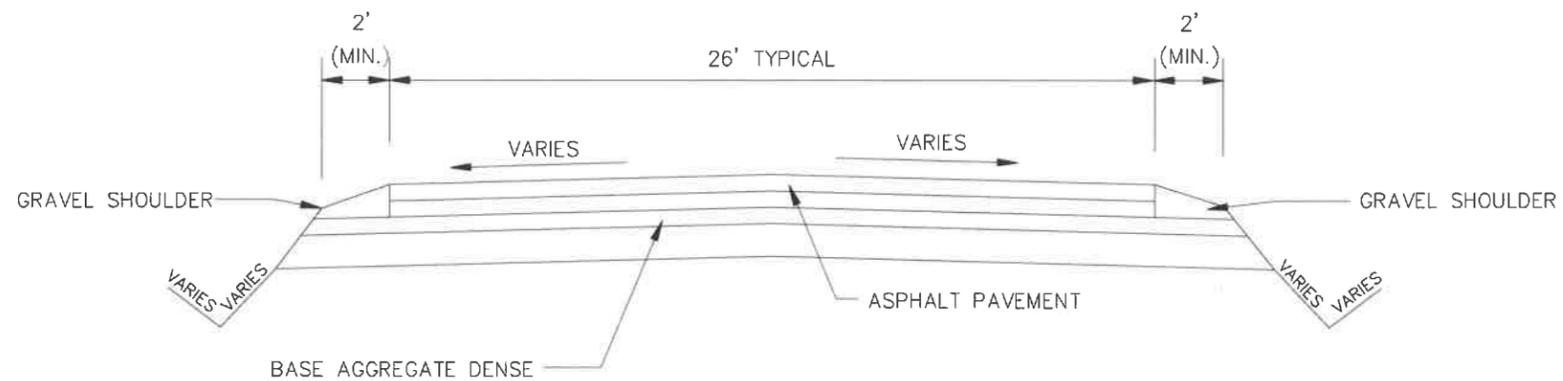
HORIZONTAL DATUM:
COORDINATES ARE REFERENCED TO THE WISCONSIN COUNTY COORDINATE SYSTEM AS PUBLISHED FOR OUTAGAMIE COUNTY NAD83(91)

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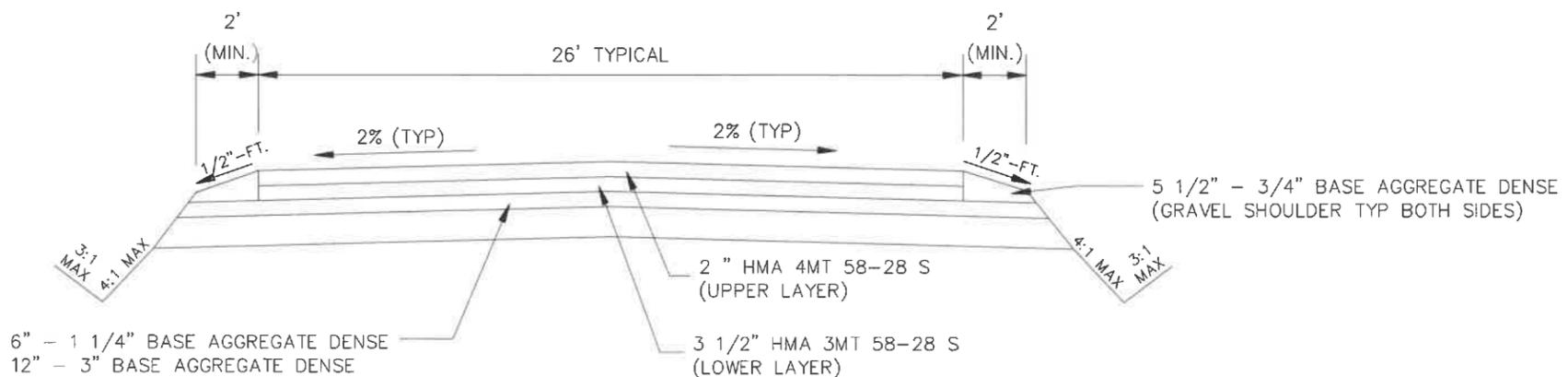
NO.	DATE	REVISION

APPLE CREEK ROAD BOX CULVERT REPLACEMENT
TOWN OF GRAND CHUTE, OUTAGAMIE COUNTY, WISCONSIN
SURVEY CONTROL

DESIGNED CCS	DRAWN JJJ
PROJECT NO. G0006 9-18-00323	
DATE 06/2018	
SHEET NO. 02	



EXISTING APPLE CREEK ROAD TYPICAL SECTION



PROPOSED APPLE CREEK ROAD TYPICAL SECTION

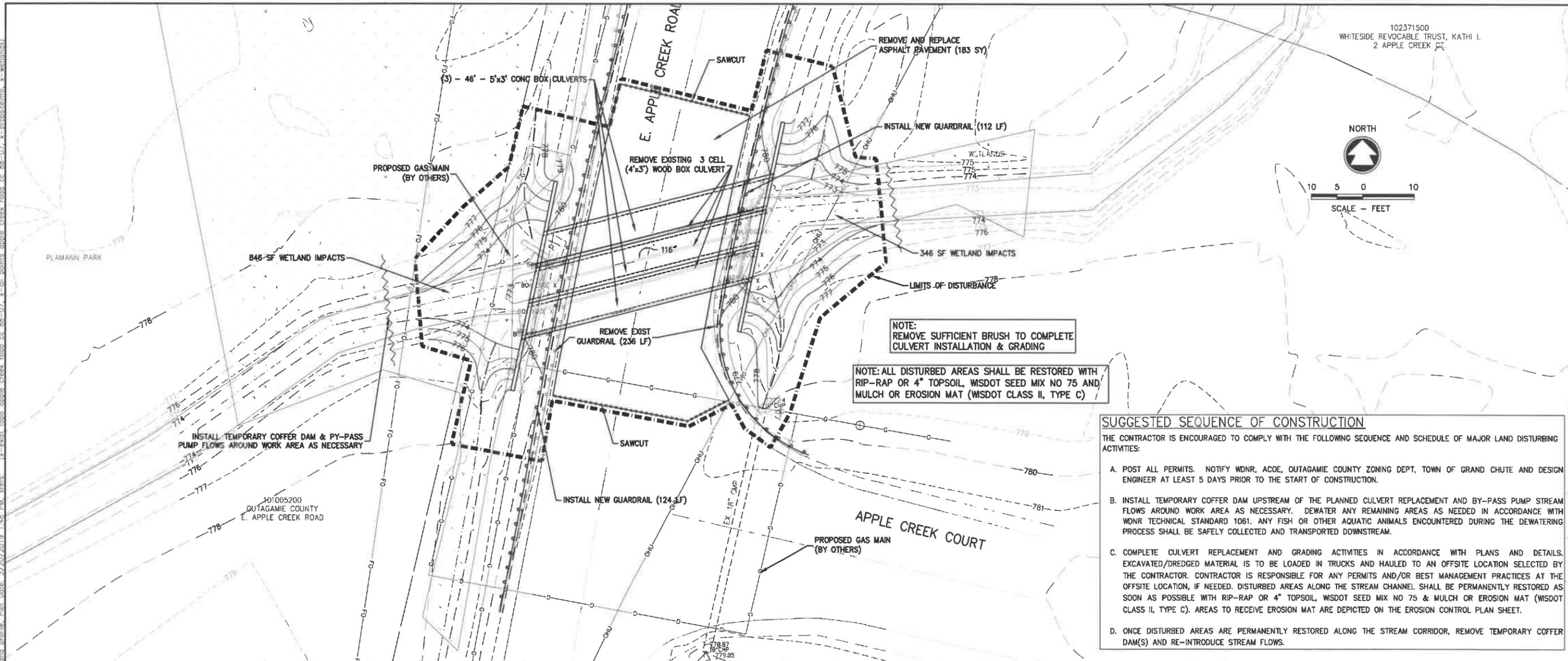
NO.	DATE	REVISION

APPLE CREEK ROAD BOX CULVERT REPLACEMENT
TOWN OF GRAND CHUTE, OUTAGAMIE COUNTY, WISCONSIN
APPLE CREEK TYPICAL SECTION

DESIGNED	CCS	DRAWN	JJJ
PROJECT NO.	G0006 9-18-00323		
DATE	06/2018		
SHEET NO.	03		

W:\PROJECTS\G0006\91800323\CADD\Civil3D\Plan Sheets\03-Apple Creek Rd Culvert PP.dwg, 3/20/2019 1:48:13 PM, GHolley, 1,2

W:\PROJECTS\G0006\91800323\CADD\Civil3D\Plan Sheets\03-Apple Creek Rd Culvert PP.dwg, 3/20/2019 1:48:13 PM, GHolley, 1,2



102371500
WHITESIDE REVOCABLE TRUST, KATHI L
2 APPLE CREEK CT



10 5 0 10
SCALE - FEET

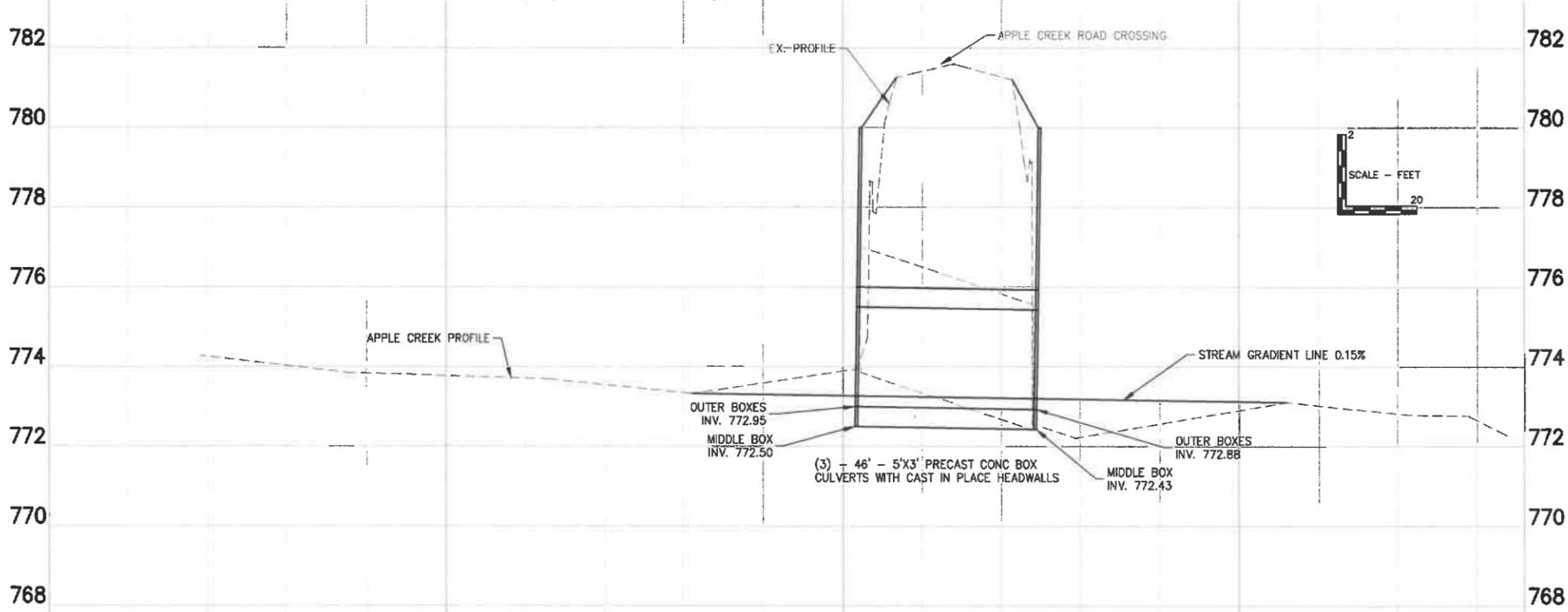
NOTE: REMOVE SUFFICIENT BRUSH TO COMPLETE CULVERT INSTALLATION & GRADING

NOTE: ALL DISTURBED AREAS SHALL BE RESTORED WITH RIP-RAP OR 4" TOPSOIL, WSDOT SEED MIX NO 75 AND MULCH OR EROSION MAT (WSDOT CLASS II, TYPE C)

SUGGESTED SEQUENCE OF CONSTRUCTION

THE CONTRACTOR IS ENCOURAGED TO COMPLY WITH THE FOLLOWING SEQUENCE AND SCHEDULE OF MAJOR LAND DISTURBING ACTIVITIES:

- POST ALL PERMITS. NOTIFY WDNR, ACOE, OUTAGAMIE COUNTY ZONING DEPT, TOWN OF GRAND CHUTE AND DESIGN ENGINEER AT LEAST 5 DAYS PRIOR TO THE START OF CONSTRUCTION.
- INSTALL TEMPORARY COFFER DAM UPSTREAM OF THE PLANNED CULVERT REPLACEMENT AND BY-PASS PUMP STREAM FLOWS AROUND WORK AREA AS NECESSARY. DEWATER ANY REMAINING AREAS AS NEEDED IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1061. ANY FISH OR OTHER AQUATIC ANIMALS ENCOUNTERED DURING THE DEWATERING PROCESS SHALL BE SAFELY COLLECTED AND TRANSPORTED DOWNSTREAM.
- COMPLETE CULVERT REPLACEMENT AND GRADING ACTIVITIES IN ACCORDANCE WITH PLANS AND DETAILS. EXCAVATED/DREDGED MATERIAL IS TO BE LOADED IN TRUCKS AND HAULED TO AN OFFSITE LOCATION SELECTED BY THE CONTRACTOR. CONTRACTOR IS RESPONSIBLE FOR ANY PERMITS AND/OR BEST MANAGEMENT PRACTICES AT THE OFFSITE LOCATION, IF NEEDED. DISTURBED AREAS ALONG THE STREAM CHANNEL SHALL BE PERMANENTLY RESTORED AS SOON AS POSSIBLE WITH RIP-RAP OR 4" TOPSOIL, WSDOT SEED MIX NO 75 & MULCH OR EROSION MAT (WSDOT CLASS II, TYPE C). AREAS TO RECEIVE EROSION MAT ARE DEPICTED ON THE EROSION CONTROL PLAN SHEET.
- ONCE DISTURBED AREAS ARE PERMANENTLY RESTORED ALONG THE STREAM CORRIDOR, REMOVE TEMPORARY COFFER DAM(S) AND RE-INTRODUCE STREAM FLOWS.



2
SCALE - FEET
20

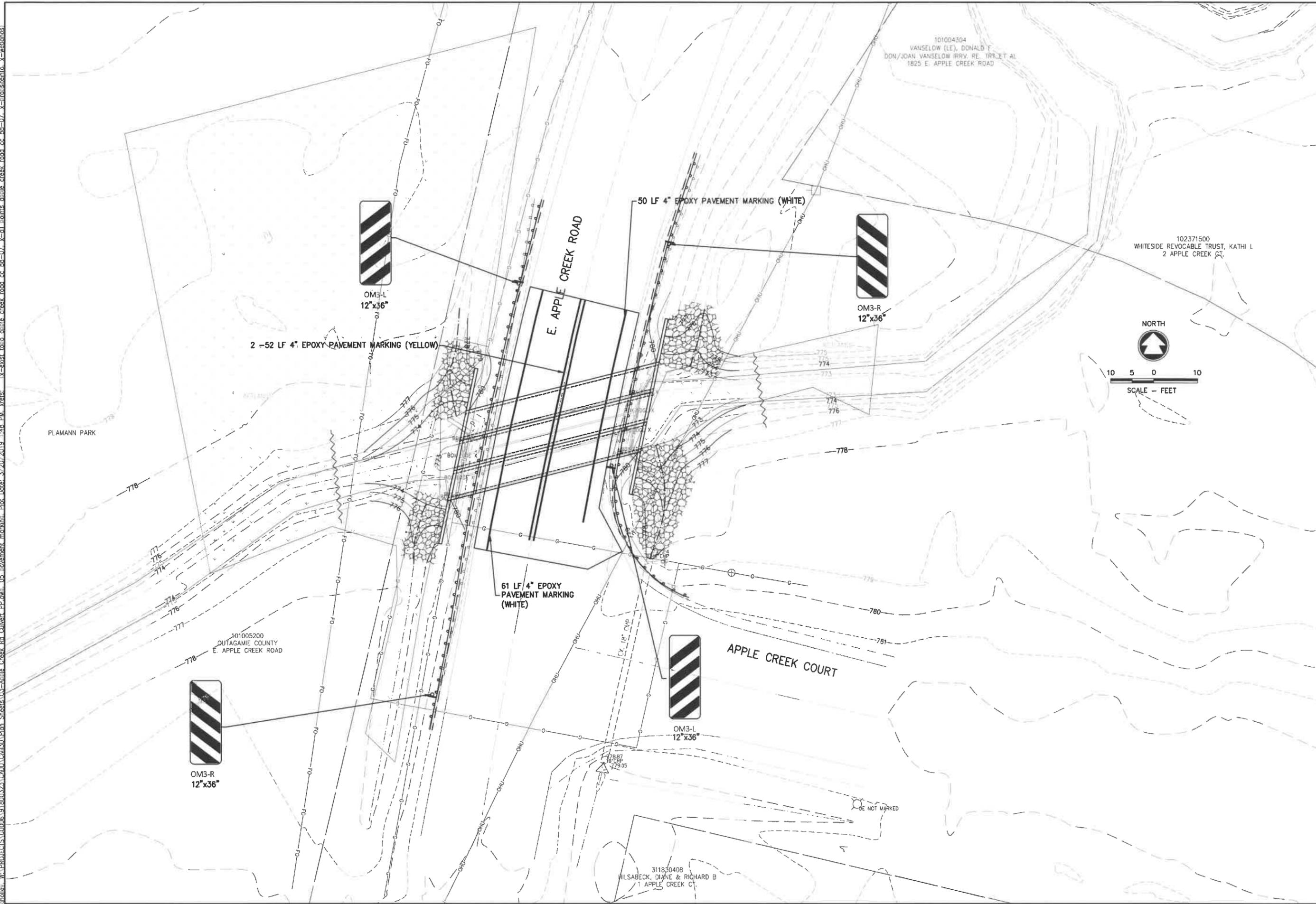
McMAHON
ENGINEERS ARCHITECTS
McMAHON ASSOCIATES, INC.
1445 McMAHON DRIVE NEENAH, WI 54956
Mailing: P.O. BOX 1025 NEENAH, WI 54957-1025
PH 920.751.4200 FX 920.751.4284 MCMAHON.COM

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NO.	DATE	REVISION

APPLE CREEK ROAD BOX CULVERT REPLACEMENT
TOWN OF GRAND CHUTE, OUTAGAMIE COUNTY, WISCONSIN
PLAN AND PROFILE

DESIGNED CCS	DRAWN JJJ
PROJECT NO. G0006 9-18-00323	
DATE 06/2018	
SHEET NO. 04	



101004304
VANSELOW (LE), DONALD F
DON/JOAN VANSELOW IRRV. RE. TRS, ET AL
1825 E. APPLE CREEK ROAD

102371500
WHITESIDE REVOCABLE TRUST, KATHI L
2 APPLE CREEK CT.

101005200
OUTAGAMIE COUNTY
E. APPLE CREEK ROAD

311830408
HILSABECK, DIANE & RICHARD B
1 APPLE CREEK CT.



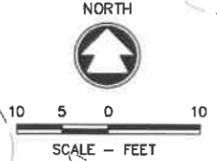
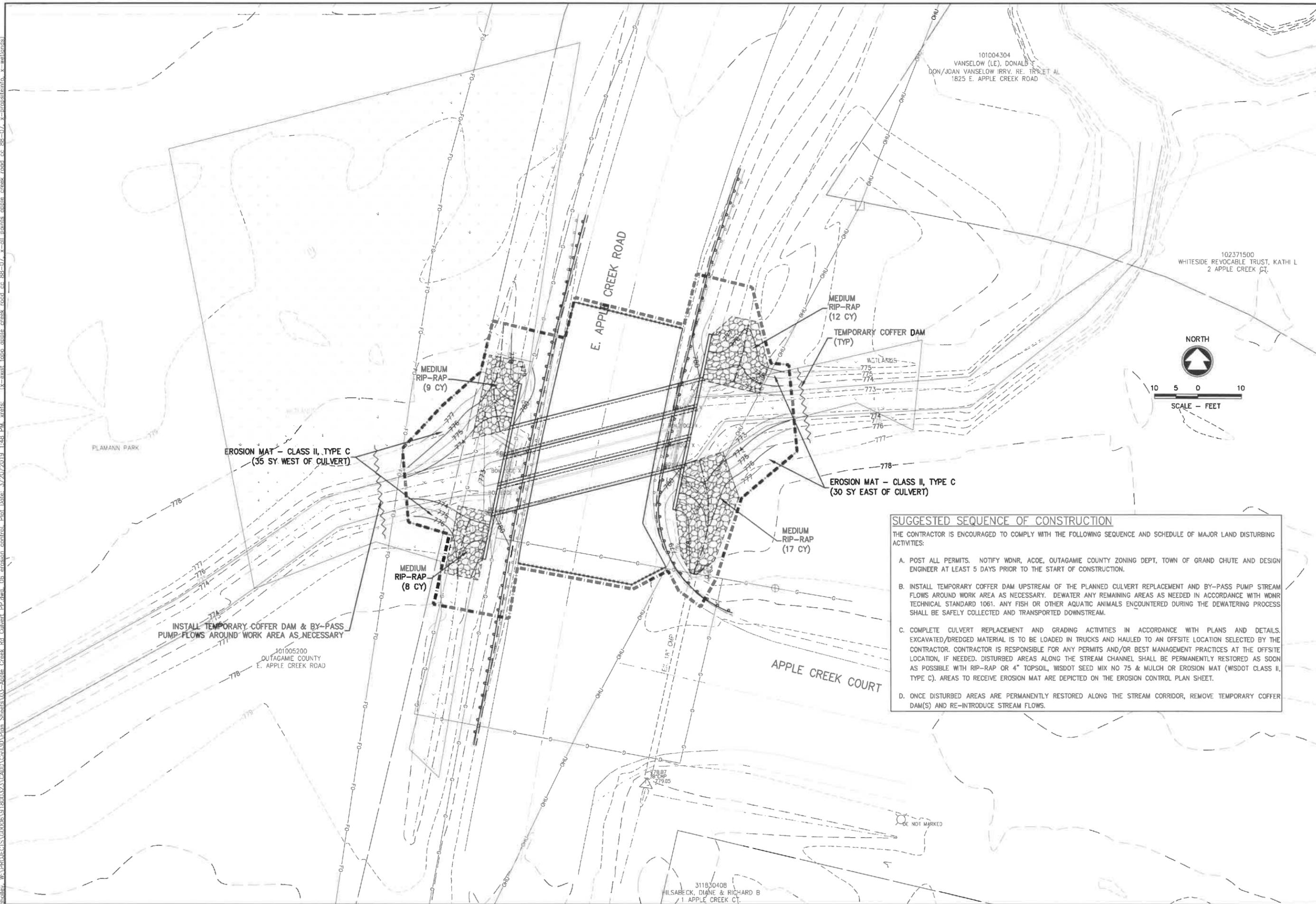
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NO.	DATE	REVISION

**APPLE CREEK ROAD BOX CULVERT REPLACEMENT
TOWN OF GRAND CHUTE, OUTAGAMIE COUNTY, WISCONSIN
PAVEMENT MARKING**

DESIGNED CCS	DRAWN JJJ
PROJECT NO. G0006 9-18-00323	
DATE 05/2018	
SHEET NO. 05	



SUGGESTED SEQUENCE OF CONSTRUCTION

THE CONTRACTOR IS ENCOURAGED TO COMPLY WITH THE FOLLOWING SEQUENCE AND SCHEDULE OF MAJOR LAND DISTURBING ACTIVITIES:

- POST ALL PERMITS. NOTIFY WDNR, ACOE, OUTAGAMIE COUNTY ZONING DEPT, TOWN OF GRAND CHUTE AND DESIGN ENGINEER AT LEAST 5 DAYS PRIOR TO THE START OF CONSTRUCTION.
- INSTALL TEMPORARY COFFER DAM UPSTREAM OF THE PLANNED CULVERT REPLACEMENT AND BY-PASS PUMP STREAM FLOWS AROUND WORK AREA AS NECESSARY. DEWATER ANY REMAINING AREAS AS NEEDED IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1061. ANY FISH OR OTHER AQUATIC ANIMALS ENCOUNTERED DURING THE DEWATERING PROCESS SHALL BE SAFELY COLLECTED AND TRANSPORTED DOWNSTREAM.
- COMPLETE CULVERT REPLACEMENT AND GRADING ACTIVITIES IN ACCORDANCE WITH PLANS AND DETAILS. EXCAVATED/DREDGED MATERIAL IS TO BE LOADED IN TRUCKS AND HAULED TO AN OFFSITE LOCATION SELECTED BY THE CONTRACTOR. CONTRACTOR IS RESPONSIBLE FOR ANY PERMITS AND/OR BEST MANAGEMENT PRACTICES AT THE OFFSITE LOCATION, IF NEEDED. DISTURBED AREAS ALONG THE STREAM CHANNEL SHALL BE PERMANENTLY RESTORED AS SOON AS POSSIBLE WITH RIP-RAP OR 4" TOPSOIL, WISDOT SEED MIX NO 75 & MULCH OR EROSION MAT (WISDOT CLASS II, TYPE C). AREAS TO RECEIVE EROSION MAT ARE DEPICTED ON THE EROSION CONTROL PLAN SHEET.
- ONCE DISTURBED AREAS ARE PERMANENTLY RESTORED ALONG THE STREAM CORRIDOR, REMOVE TEMPORARY COFFER DAM(S) AND RE-INTRODUCE STREAM FLOWS.

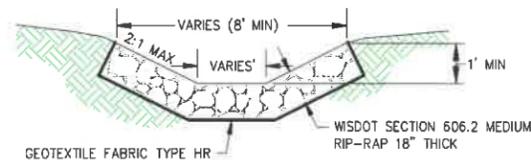
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McMAHON ASSOCIATES, INC.
1445 McMAHON DRIVE NEEBAH, WI 54996
Mailing: P.O. BOX 1025 NEEBAH, WI 54987-1025
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NO.	DATE	REVISION

APPLE CREEK ROAD BOX CULVERT REPLACEMENT
TOWN OF GRAND CHUTE, OUTAGAMIE COUNTY, WISCONSIN
EROSION CONTROL

DESIGNED CCS	DRAWN JJJ
PROJECT NO. G0006 9-18-00323	
DATE 06/2018	
SHEET NO. 06	

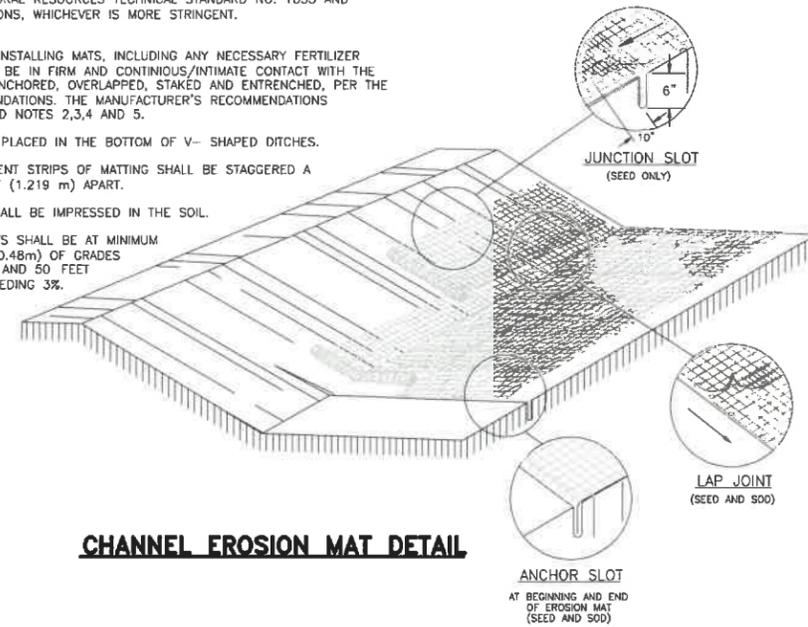


TYPICAL SECTION
RIP-RAP CHANNEL DETAIL

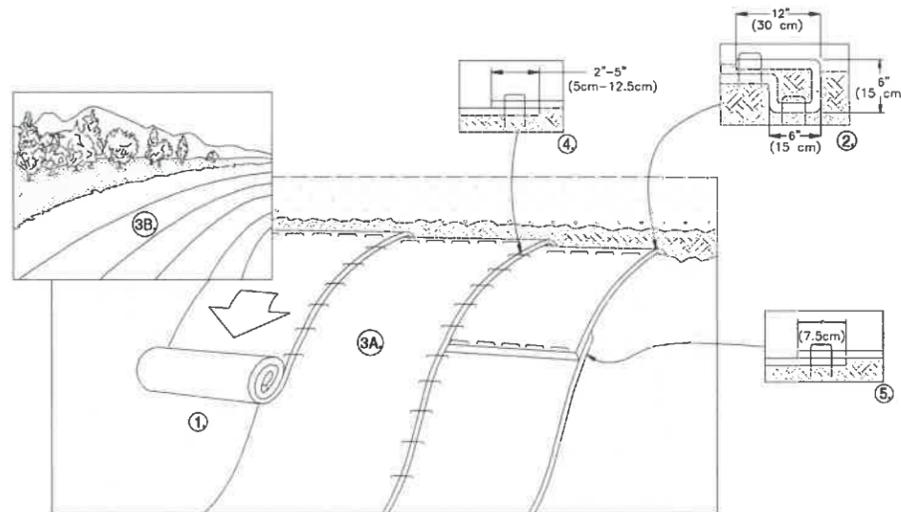
GENERAL NOTES

CHANNEL EROSION MAT SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARD NO. 1053 AND MANUFACTURER'S RECOMMENDATIONS, WHICHEVER IS MORE STRINGENT.

1. PREPARE TOPSOIL BEFORE INSTALLING MATS, INCLUDING ANY NECESSARY FERTILIZER AND SEED. THE MAT SHALL BE IN FIRM AND CONTINUOUS/INTIMATE CONTACT WITH THE SOIL. THE MAT SHALL BE ANCHORED, OVERLAPPED, STAKED AND ENTRENCHED, PER THE MANUFACTURER'S RECOMMENDATIONS. THE MANUFACTURER'S RECOMMENDATIONS SUPERCEDE THIS DETAIL AND NOTES 2,3,4 AND 5.
2. LAP JOINTS SHALL NOT BE PLACED IN THE BOTTOM OF V-SHAPED DITCHES.
3. JUNCTION SLOTS ON ADJACENT STRIPS OF MATTING SHALL BE STAGGERED A MINIMUM OF 4 (FOUR) FEET (1.219 m) APART.
4. EDGES OF EROSION MAT SHALL BE IMPRESSED IN THE SOIL.
5. JUNCTION OR ANCHOR SLOTS SHALL BE AT MINIMUM INTERVALS OF 100 FEET (30.48m) OF GRADES UP TO AND INCLUDING 3%, AND 50 FEET (15.24m) ON GRADES EXCEEDING 3%.



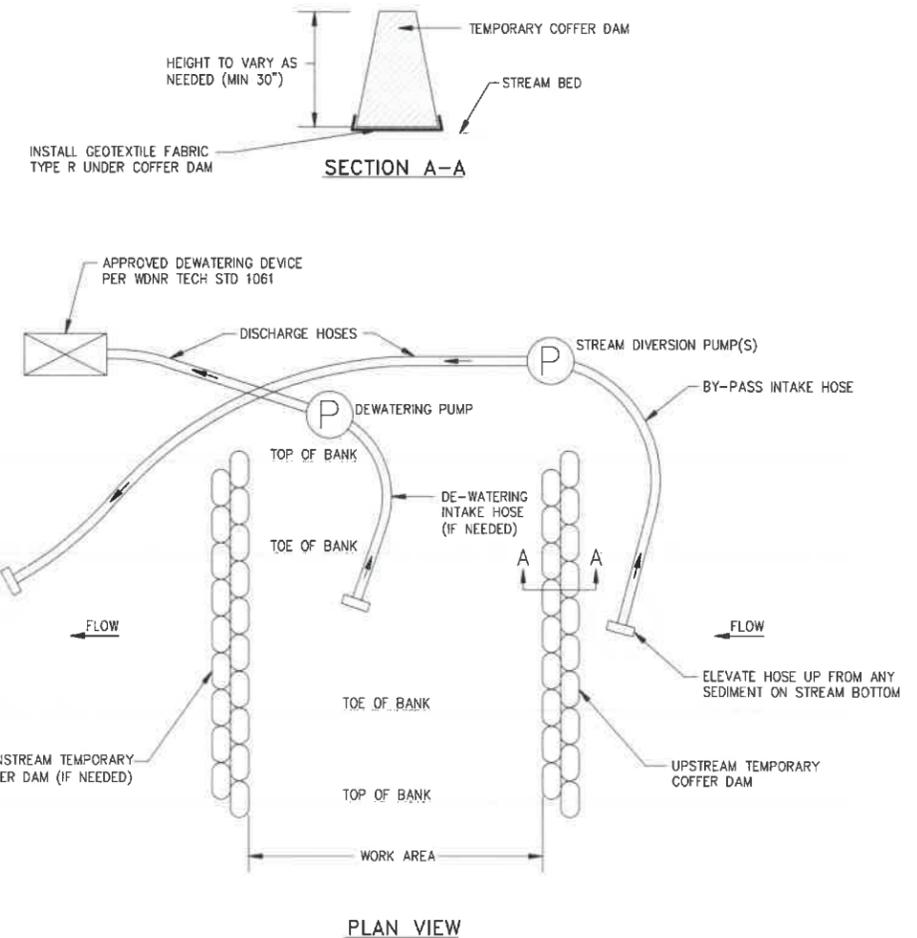
CHANNEL EROSION MAT DETAIL



SLOPE EROSION MAT SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARD NO. 1052 AND MANUFACTURER'S RECOMMENDATIONS, WHICHEVER IS MORE STRINGENT.

1. PREPARE TOPSOIL BEFORE INSTALLING MATS, INCLUDING ANY NECESSARY FERTILIZER AND SEED. THE MAT SHALL BE IN FIRM AND CONTINUOUS/INTIMATE CONTACT WITH THE SOIL. THE MAT SHALL BE ANCHORED, OVERLAPPED, STAKED AND ENTRENCHED, PER THE MANUFACTURER'S RECOMMENDATIONS. THE MANUFACTURER'S RECOMMENDATIONS SUPERCEDE THIS DETAIL AND NOTES 2,3,4 AND 5.
2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE MAT IN A 6" (15CM) DEEP X 6" (15CM) WIDE TRENCH WITH APPROXIMATELY 12" (30CM) OF MAT EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE MAT WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" (30CM) APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" (30CM) PORTION OF MAT BACK OVER SEED AND COMPACTED SOIL. SECURE MAT OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" (30CM) APART ACROSS THE WIDTH OF THE MAT.
3. ROLL THE MATS (A.) DOWN OR (B.) HORIZONTALLY ACROSS THE SLOPE. MATS WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL MATS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE. WHEN USING OPTIONAL DOT SYSTEM, STAPLES/STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.
4. THE EDGES OF PARALLEL MATS MUST BE STAPLED WITH APPROXIMATELY 2"-5" (5CM-12.5CM) OVERLAP DEPENDING ON MAT TYPE. TO ENSURE PROPER SEAM ALIGNMENT, PLACE THE EDGE OF THE OVERLAPPING MAT (MAT BEING INSTALLED ON TOP) EVEN WITH THE COLORED SEAM STITCH ON THE PREVIOUSLY INSTALLED MAT.
5. CONSECUTIVE MATS SPLICED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3" (7.5CM) OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" (30CM) APART ACROSS ENTIRE MAT WIDTH.

SLOPE EROSION MAT DETAIL



NOTES:

1. COFFER DAM MAY BE SHEET PILE, CONCRETE JERSEY BARRIERS, SANDBAGS OR OTHER DEVICES AS APPROVED BY WDNR
2. BY-PASS PUMPING SHALL ONLY BE COMPLETED DURING LOW FLOW CONDITIONS.
3. DEWATERING SHALL BE IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1061, IF NECESSARY
4. DISCHARGE FROM DEWATERING DEVICE SHALL DRAIN BACK INTO THE CHANNEL DOWNSTREAM OF SEDIMENT COFFER DAM.

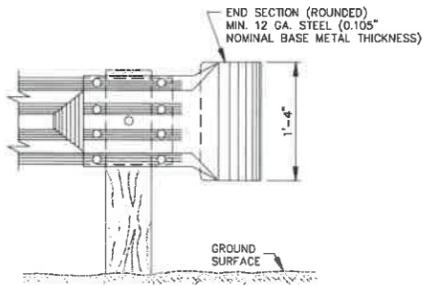
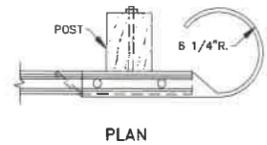
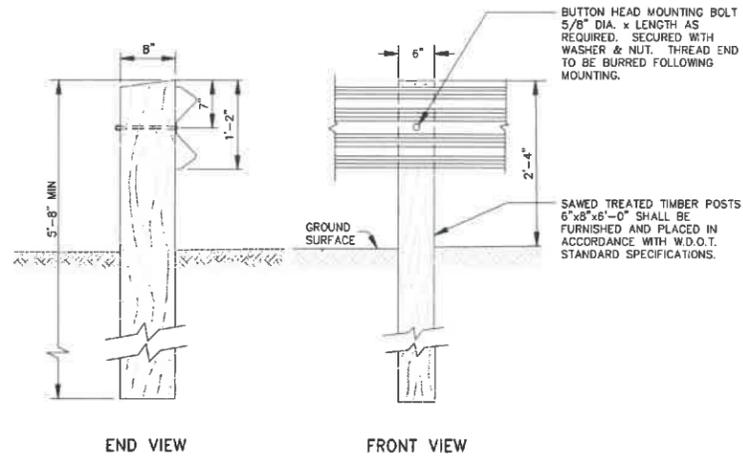
TEMPORARY COFFER DAM & BY-PASS PUMPING DETAIL

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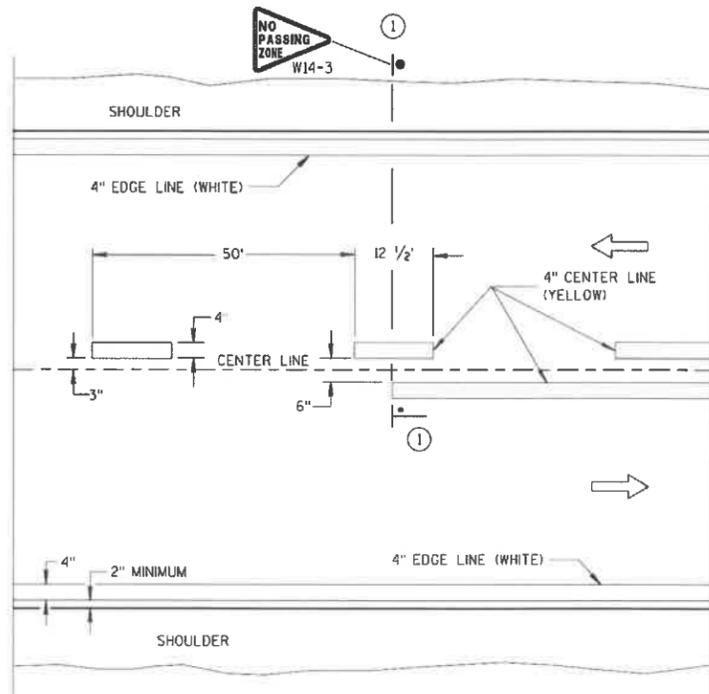
NO.	DATE	REVISION

APPLE CREEK ROAD BOX CULVERT REPLACEMENT
TOWN OF GRAND CHUTE, OUTAGAMIE COUNTY, WISCONSIN
MISCELLANEOUS DETAILS

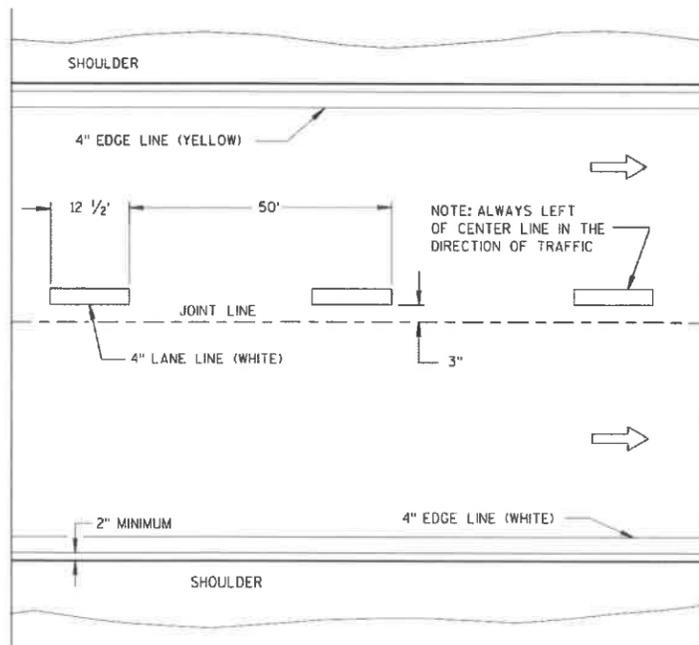
DESIGNED CCS	DRAWN JJJ
PROJECT NO. G0006 9-18-00323	
DATE 06/2018	
SHEET NO. 07	



END SECTION (ROUNDED) DETAILS



TWO WAY TRAFFIC



ONE WAY TRAFFIC

PERMANENT PAVEMENT MARKING

GENERAL NOTES

DETAILS OF CONSTRUCTION NOT SHOWN ON THIS DRAWING SHALL CONFORM TO STANDARD SPECIFICATIONS AND SPECIAL PROVISIONS.

- ① LOCATE THE NO PASSING ZONE W14-3 SIGN WITHIN 50 FEET OF THE "T" MARKING.

NOTE

ARROW SYMBOL (→) SHOWS DIRECTION OF TRAVEL

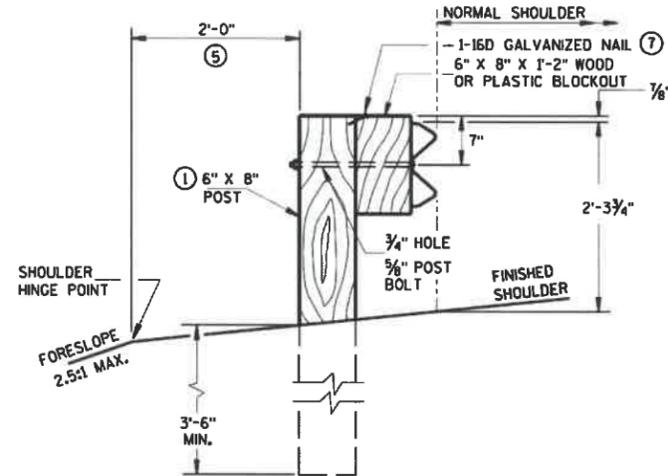
LEGEND

- "T" MARKING
- POST MOUNTED SIGN

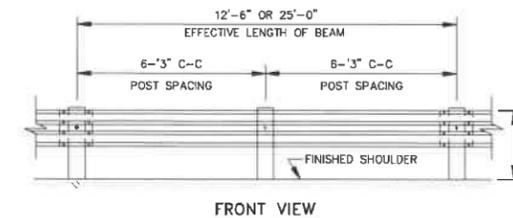
GENERAL NOTES

- ① W6 X 9 OR W6 X 8.5 STEEL POSTS AND NOTCHED PLASTIC BLOCKOUTS ARE ACCEPTABLE ALTERNATIVES FOR 6" X 8" WOOD POSTS WITH WOOD OR PLASTIC BLOCKOUTS. USE APPROVED NOTCHED PLASTIC BLOCKOUTS WITH STEEL POSTS. APPROVED PLASTIC BLOCKOUT DESIGNS MAY VARY FROM THIS TYPICAL DETAIL WHEN USED IN CONJUNCTION WITH STEEL POSTS. DO NOT MIX STEEL POSTS AND WOOD POSTS IN A SINGLE INSTALLATION.
- ② USE STRUCTURAL STEEL POSTS CONFORMING TO ASTM A 36. GALVANIZED POSTS ACCORDING TO AASHTO M 131 EITHER SET THE POSTS IN DRILLED HOLES OR DRIVE TO GRADE. REMOVE MUSHROOMING CAUSED BY DRIVING AND REPAIR DAMAGED SPELTER COATING ON GALVANIZED POSTS.
- ③ INSTALL STEEL POSTS WITH HOLES ON APPROACHING TRAFFIC SIDE.
- ④ USE EITHER WOOD OR APPROVED PLASTIC BLOCKOUTS ON WOOD POSTS.
- ⑤ IF THE DISTANCE FROM BACK OF POST TO SHOULDER HINGE POINT IS LESS THAN 2 FEET INSTALL LONGER POST AT HALF POST SPACING, W BEAM (LHW).
- ⑥ IF ROCK IS ENCOUNTERED DURING EXCAVATION, THE ENGINEER MAY APPROVE USING A 12 INCH DIAMETER POST HOLE EXTENDING 20 INCHES DEEP INTO THE ROCK. PLACE GRANULAR MATERIAL IN THE BOTTOM OF THE HOLE APPROXIMATELY 2 1/2 INCHES DEEP. CUT THE POSTS TO LENGTH AND PLACE IN THE HOLE. BACKFILL WITH MATERIAL EXCAVATED FROM THE HOLE AND COMPACT ADEQUATELY.
- ⑦ WHEN USING STEEL POSTS AND WOOD BLOCKOUTS INSTALL FOUR 16D GALVANIZED NAILS. INSTALL NAILS AT THE BACK CORNERS OF THE BLOCK AND BEND THE NAILS OVER THE FLANGE OF THE STEEL POST.

INSTALL BEAM GUARD SECTIONS AND ALL NECESSARY HARDWARE ACCORDING TO THE APPLICABLE PLAN AND CURRENT STANDARD AND SUPPLEMENTAL SPECIFICATIONS. ALL DIMENSIONS ARE SUBJECT TO MANUFACTURER'S TOLERANCES EXCEPT WHERE ALLOWABLE TOLERANCES ARE SHOWN.



**END VIEW
LOCATED ALONG A ROADWAY SHOULDER
STANDARD INSTALLATION**



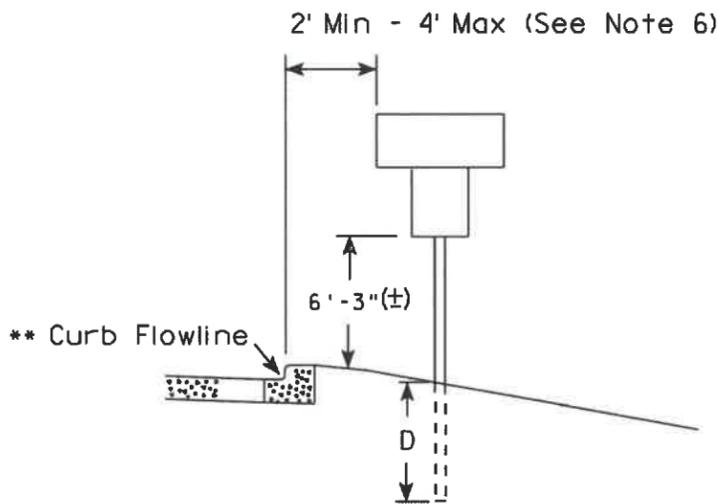
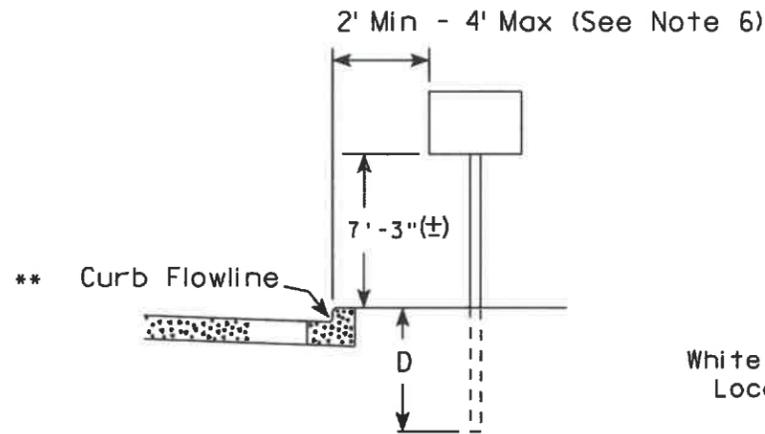
TYPICAL INSTALLATION OF STEEL PLATE BEAM GUARD

LONGITUDINAL MARKING (MAINLINE)

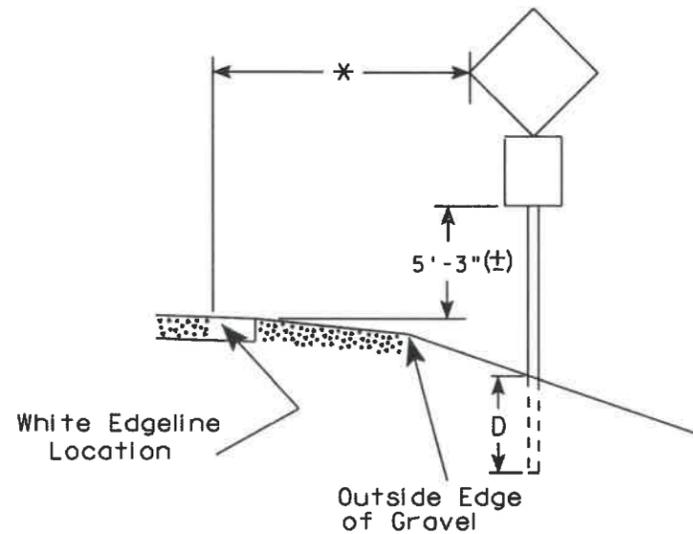
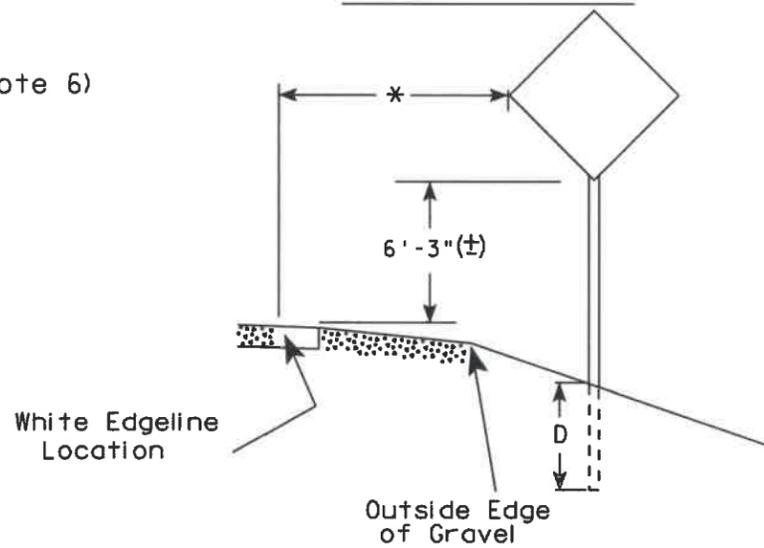
STATE OF WISCONSIN
DEPARTMENT OF TRANSPORTATION

APPROVED
7/2018 /S/ Matthew R. Rauch
DATE STATE SIGNING AND MARKING ENGINEER

URBAN AREA



RURAL AREA (See Note 2)



POST EMBEDMENT DEPTH

Area of Sign Installation (Sq. Ft.)	D (Min)
20 or Less	4'
Greater than 20	5'

** The existence of curb and gutter does not in itself mandate the vertical clearance illustrated. That height is typically measured where there is sidewalk adjacent to the roadway or parking is permitted. In the absence of sidewalk vertical clearance is measured from the top of the curb. Offset of signs is measured from the flow line.

* 6 feet from edge of a paved shoulder or 12 feet from the edge of pavement (edge line location) or 2 feet from outside edge of gravel, whichever is greater unless directed by project engineer.

GENERAL NOTES

1. Signs wider than 4 feet or 20 sq.ft or larger, shall be mounted on multiple posts. Refer to plate A4-4.
2. If signs are mounted on barrier wall, see A4-10 sign plate.
3. For expressways and freeways, mounting height is 7'- 3" (±) or 6'-3" (±) depending upon existence of a sub-sign.
4. J-Assemblies are considered to be one sign for mounting height.
5. Minimum mounting height for signs mounted on traffic signal poles is 5'- 3" (±).
6. Offset distance shall be consistent with existing signs or consistent throughout length of project.
7. The (±) tolerance for mounting height is 3 inches.
8. Folding signs shall be mounted at a height of 5'-3" (±) or as directed by the Engineer.
9. The Double Arrow sign (W12-1) shall be mounted at a height of 2'-3" (±). The Chevron sign (W1-8), Roundabout Chevron panel (R6-4B), Enhanced Reference Markers, Clearance Markers (W5-52), Mile Markers (D10 series), In Road Object Markers (W5-54) & End of Road Markers (W5-56) shall be mounted at a height of 4'-3" (±).

TYPICAL INSTALLATION OF PERMANENT TYPE II SIGNS ON SINGLE POSTS

WISCONSIN DEPT OF TRANSPORTATION

APPROVED *Matthew R. Rauch*
For State Traffic Engineer

DATE 8/21/17 PLATE NO. A4-3.21

NO.	DATE	REVISION

STRUCTURAL SPECIFICATIONS

GENERAL:

- VERIFY ALL DIMENSIONS, ELEVATIONS, SECTIONS AND DETAILS BETWEEN THE PLANS PRIOR TO STARTING WORK. NOTIFY ENGINEER OF ANY DISCREPANCIES OR INCONSISTENCIES.
- PROVIDE ALL NECESSARY TEMPORARY BRACING, SHORING, GUYING, OR OTHER MEANS TO AVOID EXCESSIVE STRESSES AND TO HOLD STRUCTURAL ELEMENTS IN PLACE DURING CONSTRUCTION.
- SUBMIT SHOP DRAWINGS FOR ALL PRE-FABRICATED ITEMS SUCH AS REINFORCING STEEL AND ACCESSORIES, CONCRETE MIX DESIGNS. CONTRACTOR SHALL REVIEW SHOP DRAWINGS BEFORE SUBMITTING TO ENGINEER. FABRICATE ITEMS AFTER REVIEW BY ENGINEER.
- JBSITE SAFETY IS THE CONTRACTOR'S RESPONSIBILITY.
- CONTRACTOR SHALL CONFORM WITH ALL OSHA REGULATIONS.
- THE ENGINEER IS NOT RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION OR THE SAFETY OF THE JOB SITE. THESE RESPONSIBILITIES ARE INTENDED TO REMAIN SOLELY THOSE OF THE CONTRACTOR.
- WHEN REFERENCED IN THE PLANS AND DETAILS, THE FOLLOWING POST-INSTALLED ANCHORS SHALL BE PERMISSIBLE. CONTRACTOR SHALL SUBMIT SUBSTITUTION REQUEST FOR ANY ALTERNATE POST-INSTALLED ANCHORS.
 - ADHESIVE /EPOXY ANCHORS
 - HILTI: HY200, HY 150 MAX
 - POWERS: ACT100+ GOLD
 - EXPANSION ANCHORS
 - HILTI KWIK BOLT TZ
 - POWERS: POWERS-STUD+ SD2

FOUNDATION:

- ASSUMED SOIL BEARING - 2,000 P.S.F. CONTRACTOR SHALL EMPLOY A CERTIFIED SOIL CONSULTANT DURING CONSTRUCTION TO TEST AND VERIFY ASSUMED SOIL CONDITIONS AND REPORT FINDINGS TO ARCHITECT/ENGINEER.
- CONTRACTOR SHALL OBTAIN A GEOTECHNICAL ENGINEER TO INSPECT SUB-GRADE AFTER EXCAVATION TO VERIFY SOIL BEARING PRESSURES. AT THE DIRECTION OF THE GEOTECHNICAL ENGINEER, REMOVE UNSATISFACTORY SOILS TO AN ELEVATION WHERE SATISFACTORY SOIL IS ENCOUNTERED. REPLACE UNSATISFACTORY SOIL w/ EITHER COMPACTED STRUCTURAL FILL OR CONCRETE SLURRY.
- PLACE FOUNDATION CONCRETE ON CLEAN FIRM BEARING SOILS MATERIAL.
- CONTRACTOR TO CONSULT WITH LOCAL AUTHORITIES PRIOR TO EXCAVATION TO LOCATE UNDERGROUND GAS, SEWER, WATER, AND ELECTRICAL OBSTACLES.
- STRUCTURAL FILL

LOCATION: ALL BACKFILL WITHIN 5'-0" OF THE BUILDING LINES, BELOW STRUCTURAL FOUNDATIONS, AND BEHIND RETAINING WALLS WITHIN A WEDGE EXTENDING UPWARDS 45 DEGREES FROM THE BACK FACE OF RETAINING WALL FOOTINGS.

TYPE: PREDOMINANTLY WELL GRADED GRANULAR MATERIAL. UNLESS MORE STRINGENT REQUIREMENTS ARE SPECIFIED BY THE PROJECT GEOTECHNICAL ENGINEER, PROVIDE MATERIAL WITH 100% PASSING THE 3" SIEVE, 70-100% PASSING THE #4 SIEVE AND LESS THAN 15% PASSING THE #200 SIEVE.

COMPACTION: UNLESS MORE STRINGENT REQUIREMENTS ARE SPECIFIED BY THE PROJECT GEOTECHNICAL ENGINEER, COMPACT TO 95% MODIFIED PROCTOR (ASTM: D1557) PLACED IN LIFTS NOT TO EXCEED 8".
- ALL EARTHWORK WITH ON-SITE MATERIALS SHOULD BE PERFORMED WHEN TEMPERATURES ARE ABOVE FREEZING. FROZEN SOIL SHOULD NOT BE USED BENEATH STRUCTURES. ALL FOUNDATION EXCAVATION MUST BE INSULATED AGAINST FREEZING UNTIL CONSTRUCTION OF FOUNDATION IS COMPLETE.
- SOILS THAT BECOME RUTTED OR DISTURBED BY CONSTRUCTION VEHICLES WILL BE UNSUITABLE FOR SUPPORTING FOUNDATION AND CONCRETE SLABS. THE SOILS SHALL BE REMOVED AND REPLACED WITH COMPACTED STRUCTURAL FILL.
- NO SOIL DISTURBANCES, HOLES, OR TRENCHES ARE PERMITTED BELOW FOOTINGS, WITHIN A WEDGE EXTENDING DOWNWARDS 45 DEGREES FROM THE BOTTOM EDGE OF THE FOOTING. FOOTINGS SHALL BE STEPPED DOWN AS REQUIRED TO AVOID SUCH DISTURBANCES.

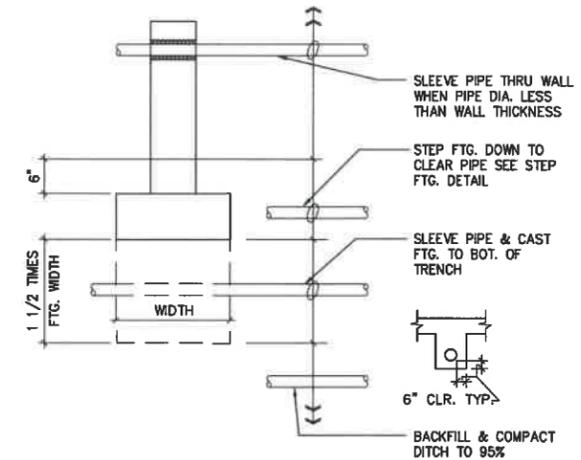
CAST IN PLACE CONCRETE:

- CONCRETE AND ITS PLACEMENT SHALL BE IN ACCORDANCE WITH ACI 318, ACI 301, AND THE PROJECT SPECIFICATIONS, EXCEPT AS MODIFIED BELOW. PROTECT ALL CONCRETE IN ACCORDANCE WITH ACI STANDARDS FOR HOT & COLD WEATHER CONCRETING.
- STANDARD WEIGHT CONCRETE SHALL COMPLY WITH THE FOLLOWING:
 - MINIMUM COMPRESSIVE STRENGTH (AT 28 DAYS) - 4,000 PSI
 - MAXIMUM WATER/CEMENT RATIO - .45 (AIR ENTRAINED)
- .52 (NON-AIR ENTRAINED)
 - MAXIMUM AGGREGATE SIZE - 3/4" (TYPICAL)
- 1/2" (FOOTINGS GREATER THAN 12" THICK)
 - TOTAL AIR CONTENT - 6%± 1/2% (3/4" AGGREGATE)
- 5%± 1/2% (1 1/2" AGGREGATE)
 - MAX SLUMP - 3" (TYPICAL)
- 4" (FLOOR SLAB)
 - REINFORCING BARS: PROVIDE DEFORMED BARS COMPLYING WITH ASTM A615 GRADE 60.
 - WELDED WIRE FABRIC: ASTM A195 COLD DRAWN STEEL PLAIN.
 - NO ADMIXTURES WITHOUT REVIEW FROM ENGINEER. ADMIXTURES CONTAINING CHLORIDES SHALL NOT BE USED.
- CONCRETE COVERAGE FOR REINFORCING (U.N.O.):
 - UNFORMED CONCRETE IN CONTACT WITH EARTH - 3"
 - FORMED CONCRETE IN CONTACT WITH EARTH - 2"
 - OTHER CONCRETE - 1 1/2"
- LAP SPLICES SHALL BE AS FOLLOWING BAR DIAMETERS UNLESS NOTED OTHERWISE ON DRAWINGS. LOCATE SPLICES AT POINT OF MINIMUM STRESS. WELDED SPLICES ARE NOT PERMITTED.
 - ALL REINF. EXCEPT FOR THAT NOTED IN 4B.

REINFORCEMENT	LAP LENGTH IN BAR DIAMETERS
#3 THROUGH #6	38
#7 THROUGH #11	48

REINFORCEMENT	LAP LENGTH IN BAR DIAMETERS
#3 THROUGH #6	50
#7 THROUGH #11	62

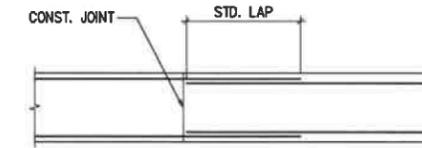
- HORIZONTAL REINFORCEMENT SO PLACED THAT MORE THAN 12 INCHES OF CONCRETE IS CAST BELOW THE REINFORCEMENT (I.E. HORIZONTAL WALL REINFORCEMENT AND TOP BEAM REINFORCEMENT)
- WELDED WIRE FABRIC - MESH SPACE +2".
- COMPLY WITH ACI 301. POSITION, SUPPORT AND SECURE REINFORCEMENT AGAINST DISPLACEMENT, LOCATE AND SUPPORT WITH METAL CHAIRS, RUNNERS, BOLSTERS, SPACERS, AND HANGERS, AS REQUIRED. SET WIRE TIES SO ENDS ARE DIRECTED INTO CONCRETE, NOT TOWARD EXPOSED CONCRETE SURFACES.
- PROVIDE BENT CORNER BARS TO MATCH AND LAP HORIZONTAL BARS AT CORNERS AND INTERSECTIONS OF WALLS AND FOOTING.
- PROVIDE DOWELS OF SAME SIZE AND SPACING AS VERTICAL WALL REINFORCING, WITH STANDARD HOOKS, AT THE FOUNDATION (U.N.O.).
- MAXIMUM FREE DROP OF ALL CONCRETE = 2'-0".
- CONCRETE CAN ONLY BE PLACED ON A FROST-FREE SUBGRADE
- MECHANICALLY VIBRATE ALL CONCRETE.
- PROVIDE A 3/4"x3/4" CHAMFER ON ALL EXPOSED CORNERS OF CONCRETE, UNLESS CONCRETE IS ADJACENT TO GRATING.
- ALL CAST-IN-PLACE CONCRETE SHALL BE PROTECTED AGAINST RAPID DRYING AND MUST BE KEPT MOIST FOR A MINIMUM OF (7) DAYS FOR NOMINAL CONCRETE.
- AT LEAST 24 HOURS SHALL PASS BETWEEN POURING ADJACENT CONCRETE SECTIONS BETWEEN CONSTRUCTION JOINTS.
- CONCRETE FIELD TESTS FOR SLUMP, AIR CONTENT, YIELD AND STRENGTH SHALL BE CONDUCTED BY A CERTIFIED CONCRETE TECHNICIAN IN ACCORDANCE WITH ACI 301. TESTS SHALL BE SUBMITTED TO ENGINEER FOR REVIEW.



TYP. PIPE AT FOOTING

SCALE: NONE

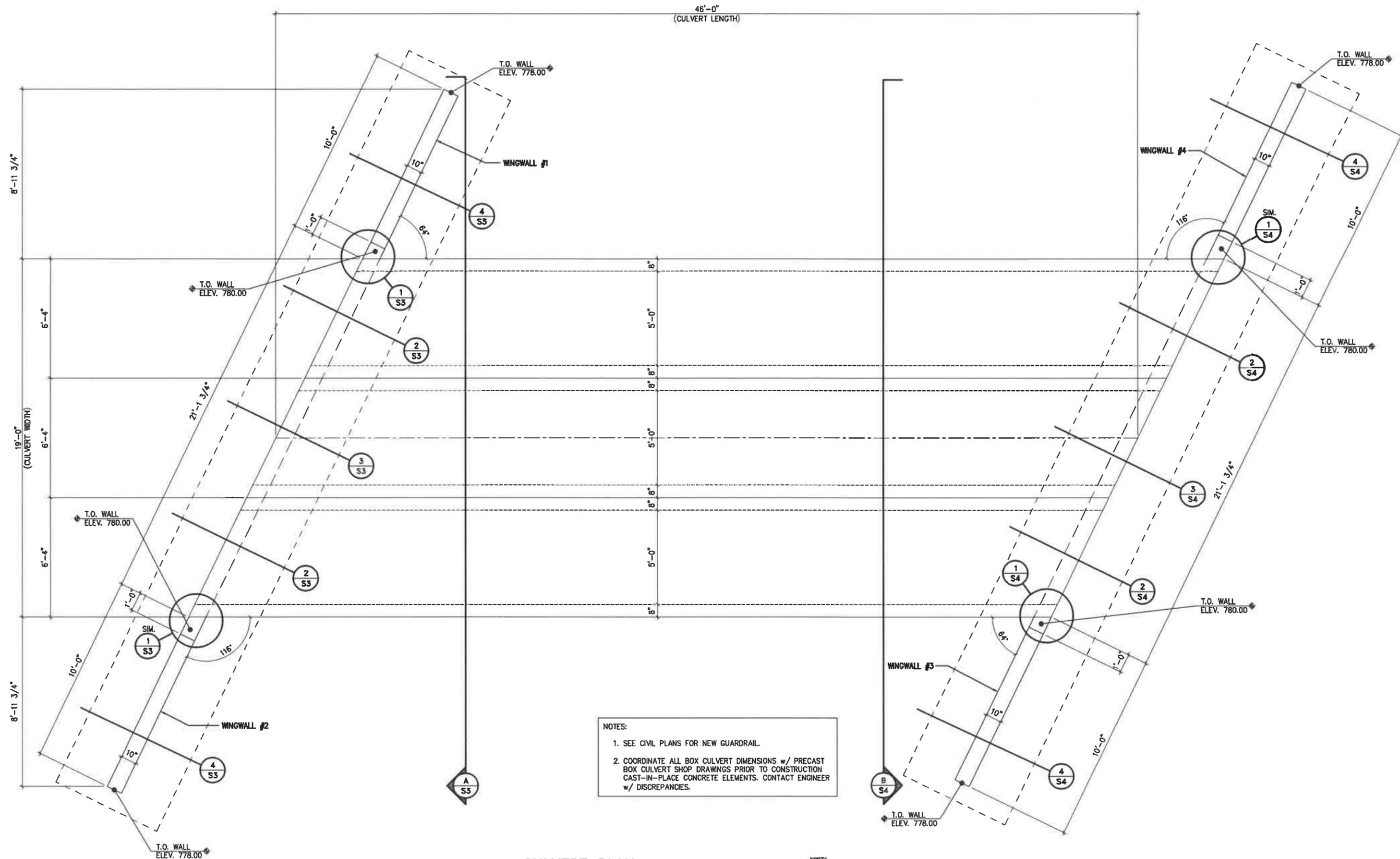
1
S1



TYPICAL WALL OR FOOTING CONSTRUCTION JOINT

SCALE: NONE

2
S1



NOTES:

1. SEE CIVIL PLANS FOR NEW GUARDRAIL.
2. COORDINATE ALL BOX CULVERT DIMENSIONS w/ PRECAST BOX CULVERT SHOP DRAWINGS PRIOR TO CONSTRUCTION CAST-IN-PLACE CONCRETE ELEMENTS. CONTACT ENGINEER w/ DISCREPANCIES.

CULVERT PLAN
 3/8" = 1'-0"

McMahon provides this drawing as a service to the client. It is not to be used for any other purpose without the written consent of McMahon. McMahon provides this drawing as a service to the client. It is not to be used for any other purpose without the written consent of McMahon.

NO.	DATE	REVISION

APPLE CREEK ROAD BOX CULVERT REPLACEMENT
TOWN OF GRAND CHUTE, OUTAGAMIE COUNTY, WISCONSIN
CULVERT PLAN

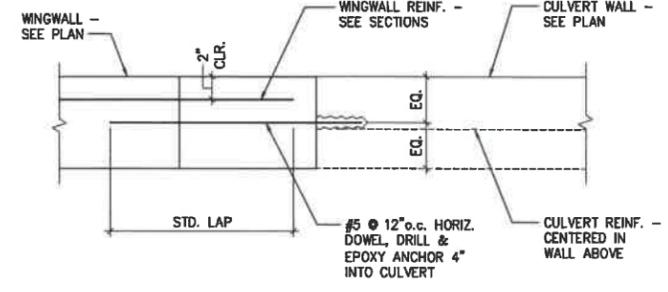
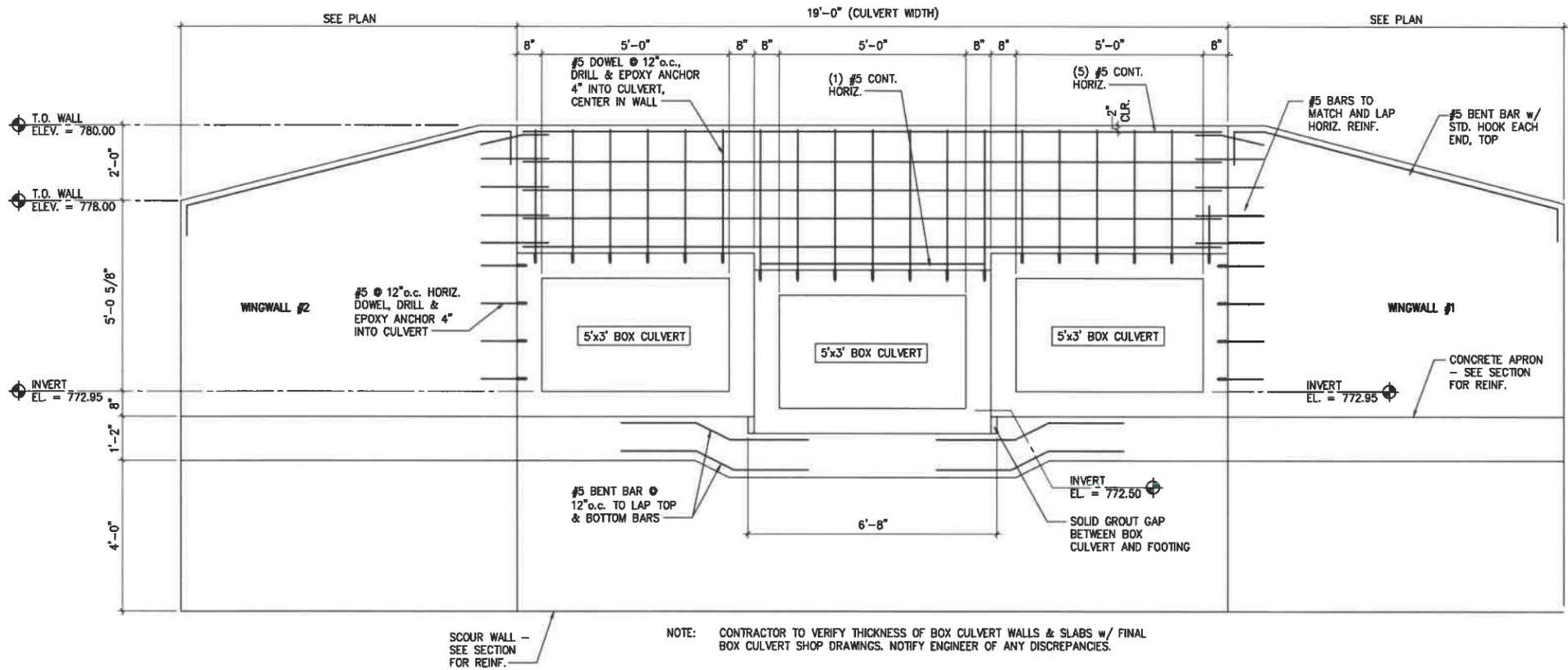
DESIGNED STK	DRAWN SEG
PROJECT NO. G0006-9-18-00323	
DATE 3/20/2019	
SHEET NO. S2	

McMahon provides this drawing as a guide only. It is not to be used for construction without the approval of McMahon. McMahon is not responsible for any errors or omissions in this drawing. McMahon is not responsible for any damage or injury resulting from the use of this drawing. McMahon is not responsible for any delay or interruption of service. McMahon is not responsible for any cost or expense incurred by the client or recipient of this drawing. McMahon is not responsible for any liability or legal action resulting from the use of this drawing. McMahon is not responsible for any loss or damage of any kind. McMahon is not responsible for any delay or interruption of service. McMahon is not responsible for any cost or expense incurred by the client or recipient of this drawing. McMahon is not responsible for any liability or legal action resulting from the use of this drawing. McMahon is not responsible for any loss or damage of any kind.

REVISION	
DATE	
NO.	

APPLE CREEK ROAD BOX CULVERT REPLACEMENT
 TOWN OF GRAND CHUTE, OUTAGAMIE COUNTY, WISCONSIN
 STRUCTURAL CULVERT DETAILS

DESIGNED STK	DRAWN SEG
PROJECT NO. G0006-9-18-00323	
DATE 3/20/2019	
SHEET NO. S3	



WEST CULVERT ELEVATION

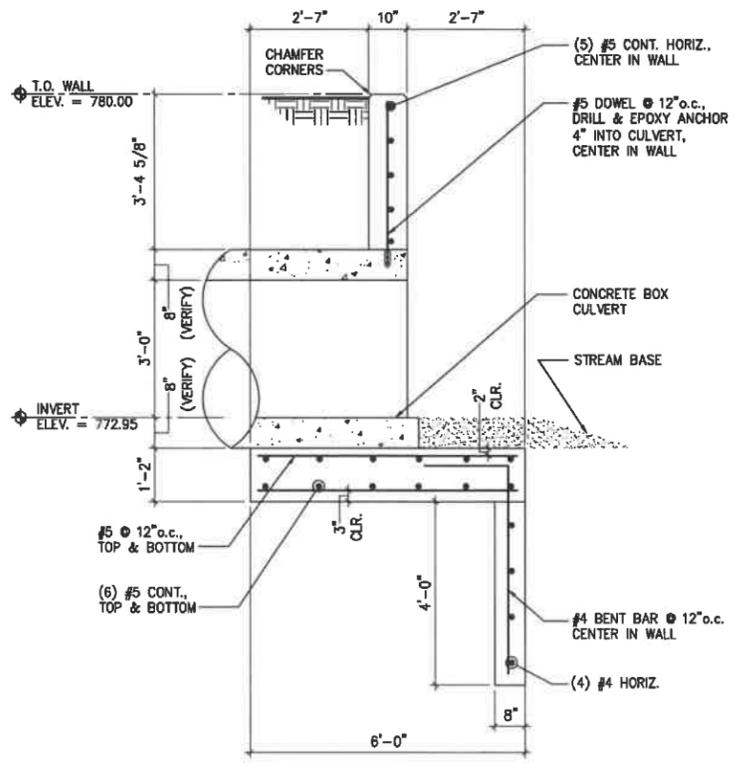
SCALE: 1/2" = 1'-0"

A
S3

WINGWALL TO CULVERT CONNECTION

SCALE: 1 1/2" = 1'-0"

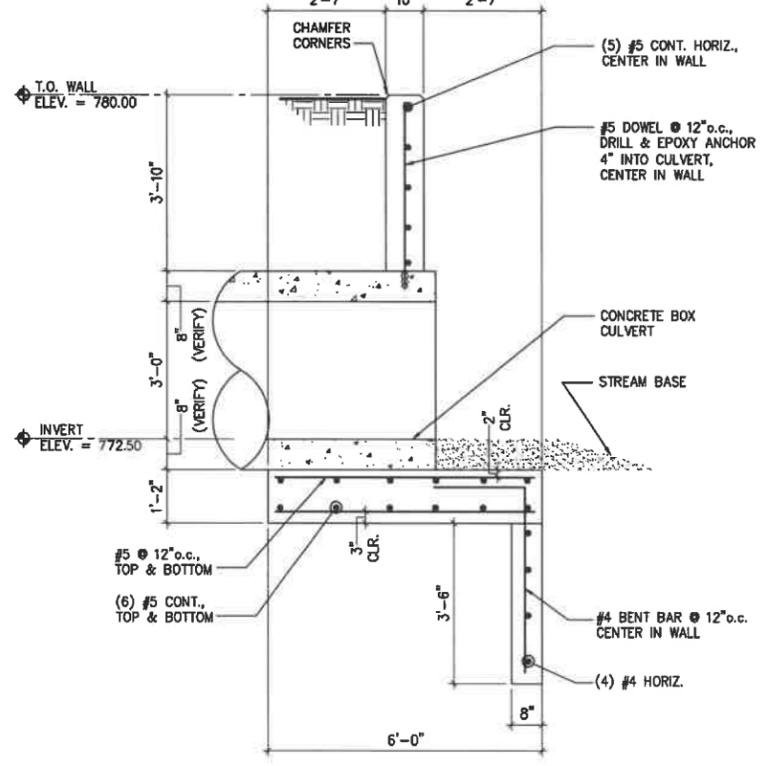
1
S3



WEST HEADWALL SECTION

SCALE: 1/2" = 1'-0"

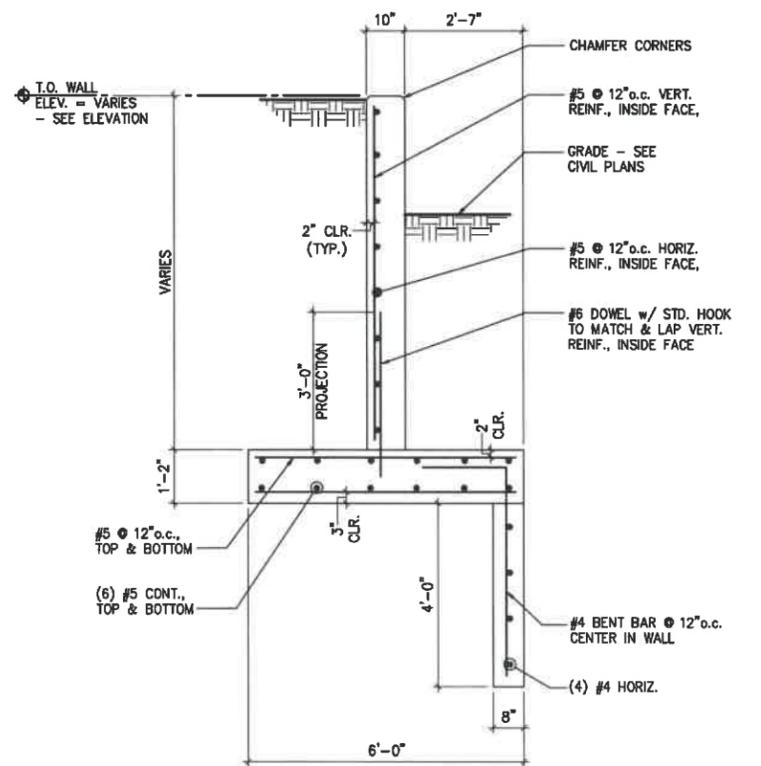
2
S3



WEST HEADWALL SECTION

SCALE: 1/2" = 1'-0"

3
S3



WEST WINGWALL SECTION

SCALE: 1/2" = 1'-0"

4
S3

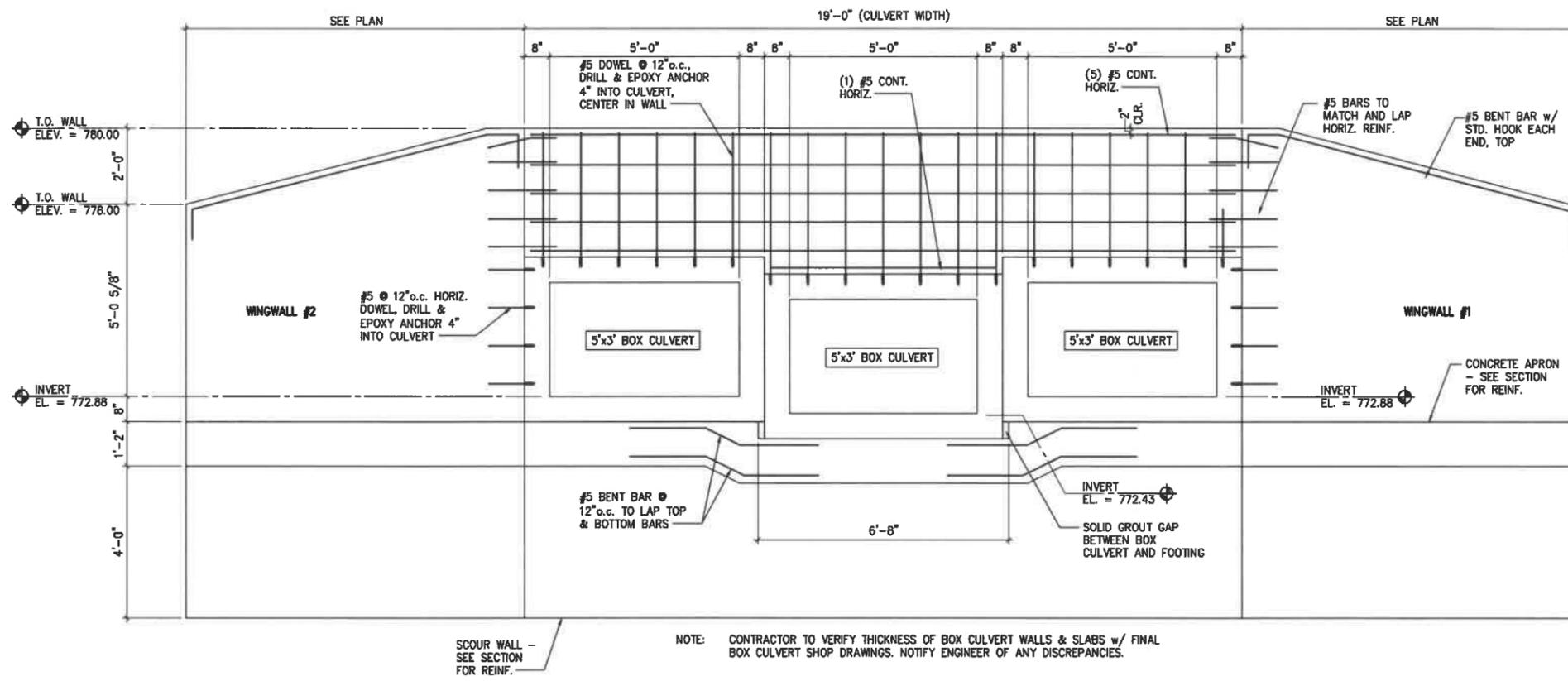
NOTE: CONTRACTOR TO VERIFY THICKNESS OF BOX CULVERT WALLS & SLABS w/ FINAL BOX CULVERT SHOP DRAWINGS. NOTIFY ENGINEER OF ANY DISCREPANCIES.

McMahon provides the drawing and data, regardless of form, on instruments of service. All rights in the drawing are reserved by McMahon. The client and/or recipient agrees to the full and exclusive use of the drawing for the intended purpose and to hold McMahon harmless for any reuse of or modification of the drawing without prior written consent by McMahon.

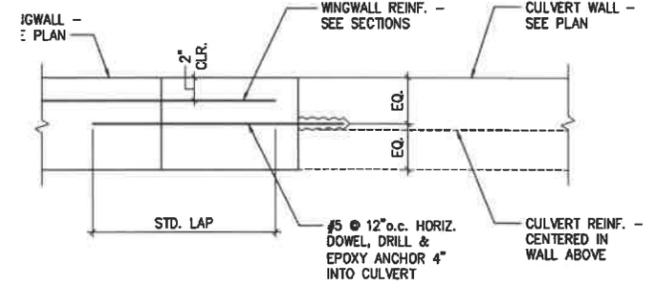
REVISION	
DATE	
NO.	

APPLE CREEK ROAD BOX CULVERT REPLACEMENT
 TOWN OF GRAND CHUTE, OUTAGAMIE COUNTY, WISCONSIN
 STRUCTURAL CULVERT DETAILS

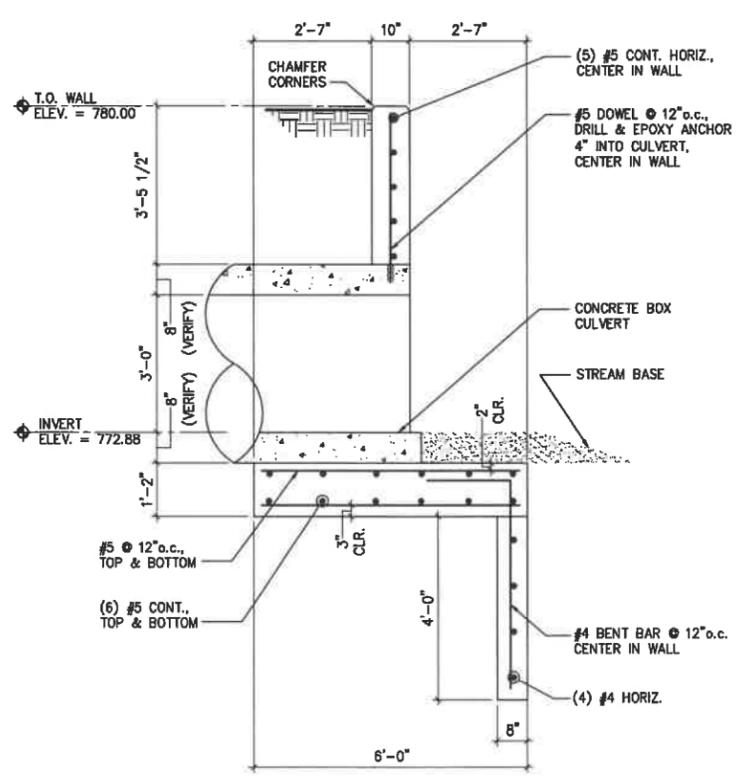
DESIGNED STK	DRAWN SEG
PROJECT NO. G0006-9-18-00323	
DATE 3/20/2019	
SHEET NO. S4	



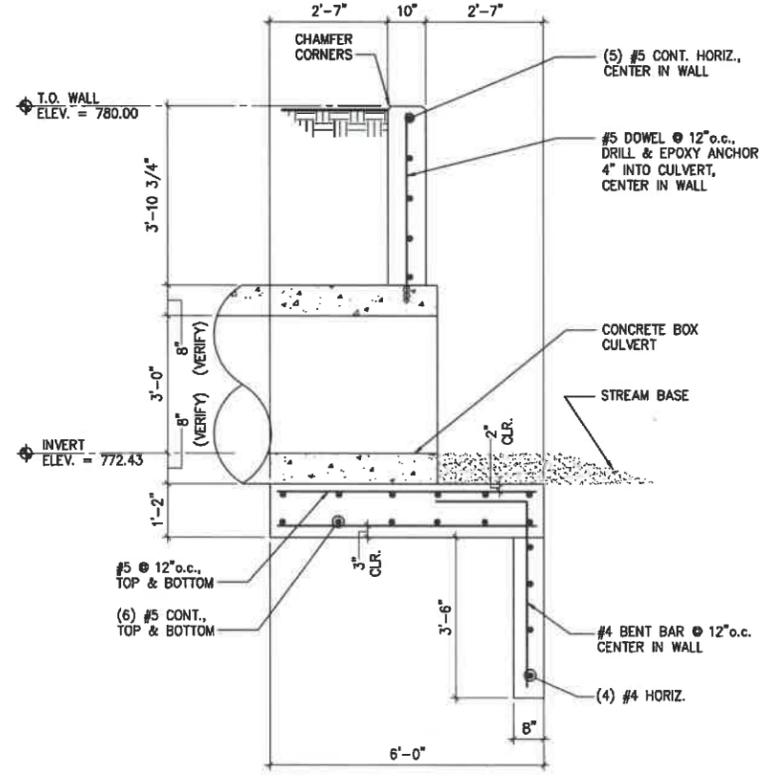
EAST CULVERT ELEVATION
 SCALE: 1/2" = 1'-0"
 B
 S4



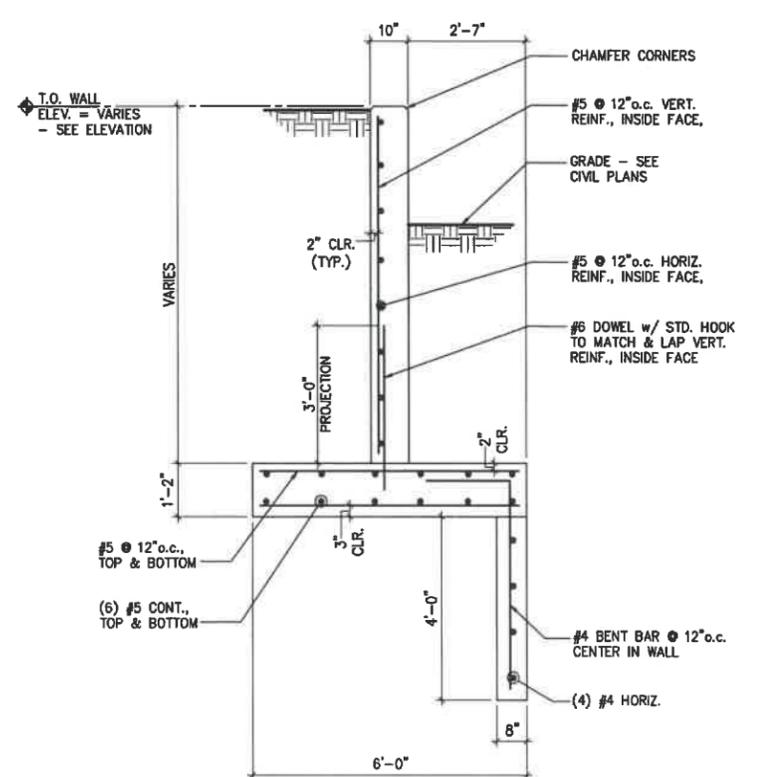
WINGWALL TO CULVERT CONNECTION
 SCALE: 1 1/2" = 1'-0"
 1
 S4



EAST HEADWALL SECTION
 SCALE: 1/2" = 1'-0"
 2
 S4



EAST HEADWALL SECTION
 SCALE: 1/2" = 1'-0"
 3
 S4



EAST WINGWALL SECTION
 SCALE: 1/2" = 1'-0"
 4
 S4

Bridge Petition Submittal Checklist

	Question	Municipal Response
1	<p>Is the bridge or culvert 36" or greater span, or of equivalent capacity to carry water?</p> <p><i>If Yes - Submit application to Highway Dept. prior to June 1 Deadline</i> <i>If No - Not eligible for reimbursement</i></p>	Yes
2	<p>Is your municipality part of the county's bridge program?</p> <p><i>If Yes - Submit application to Highway Dept. prior to June 1 Deadline</i> <i>If No - Not eligible for reimbursement</i></p>	Yes
3	<p>Will bridge petition be submitted to the Highway Dept. prior to the June 30 deadline?</p> <p><i>If Yes - Submit petition to Highway Dept. prior to June 30 Deadline</i> <i>If No - Call Field Operations Manager at 832-5673</i></p>	Yes
4	<p>Will the work be performed by the Outagamie County Highway Department?</p> <p><i>If No - please explain who will perform the work and reason</i></p>	Project will be bid
5	<p>Are there engineer's estimate and/or plans? If Yes - submit a copy along with petition</p>	Estimate Attached
6	<p>Who will obtain necessary permits from the DNR, Corps of Engineers, County, etc.? (ex: Highway Dept., engineering firm, municipality etc.?)</p>	McMahon Associates
7	<p>When is bridge work expected to be started? (ex: month & year)</p>	03/2019

Please direct questions to Outagamie County Highway Department Field Operations Manager at 832-5673.

Town of Grand Chute
Apple Creek Road Box Culvert Replacement
Opinion of Probable Cost
G0006-9-18-00323

Description	Estimated Quantity	Unit	Unit Price	Amount
Remove Existing Wooden Box Culvert	1	LS	\$10,000.00	\$10,000.00
Twin Barrel Box Culvert (3' x 14.5')	40	LF	\$1,000.00	\$40,000.00
Headwall	2	Each	\$10,000.00	\$20,000.00
Riprap	13	CY	\$100.00	\$1,300.00
Hot Mix Asphalt Pavement	100	Ton	\$100.00	\$10,000.00
Pavement Marking 4-Inch	400	LF	\$1.00	\$400.00
Guardrail	200	LF	\$20.00	\$4,000.00
Post Tubular Steel, 2-3/8 Inch Diameter x 10 Foot	4	Each	\$175.00	\$700.00
Signs, Reflective	12	SF	\$30.00	\$360.00
Erosion Mat	378	SY	\$2.00	\$756.00
Traffic Control	1	LS	\$2,000.00	\$2,000.00
	Subtotal:			\$89,516.00
	Contingencies (15%):			\$13,427.40
	Construction Cost:			\$102,943.40
	Engineering:			\$32,900.00
	Total Project Cost:			\$135,843.40

Workbook: Apple Creek Road box culvert replacement

Worksheet: OPC

Location: w:\PROJECTS\G0006\91800323\Dept\Muni\MSExc

Date: June 5, 2018



AGENDA REQUEST
4/4/2019

TOPIC: Final Resolution TBR-05-2019 for W. Evergreen Drive (Richmond Street – Haymeadow Avenue) as located in the Town of Grand Chute, authorizing special assessments for street urbanization and levying special assessments against specifically abutting property owners or on an area wide basis to specifically benefiting property owners under Chapter 60 and 66.0703(1)(b), et al Police Powers, Wis. Stats., 2017-18 as amended.

<input checked="" type="checkbox"/> New Business <input type="checkbox"/> Unfinished Business <input type="checkbox"/> Reports <input type="checkbox"/> Closed Session <input type="checkbox"/> Ordinance/Resolution	Meeting: Town Board
Department Reporting: Public Works	Submitted By: Katie Schwartz, P.E., Director P.W.

ISSUE: Shall the Town Board approve Final Resolution TBR-05-2019 for W. Evergreen Drive (Richmond Street – Haymeadow Avenue) as located in the Town of Grand Chute, authorizing special assessments for street urbanization and levying special assessments against specifically abutting property owners or on an area wide basis to specifically benefiting property owners under Chapter 60 and 66.0703(1)(b), et al Police Powers, Wis. Stats., 2017-18 as amended.

BACKGROUND/ANALYSIS: On February 19, 2019, the Town Board approved the special assessment methodology for the 2019 W. Evergreen Drive urbanization project, including storm sewer. The approved schedule for the street portion is 50% residential (100% commercial).

RECOMMENDATION: Staff recommends approval of TBR-05-2019.

FISCAL IMPACT: CIP

ATTACHMENTS:
Attachment No. 1 - TBR-05-2019 with exhibits

TOWN OF GRAND CHUTE
BOARD OF SUPERVISORS
OUTAGAMIE COUNTY, STATE OF WISCONSIN

RESOLUTION 05 SERIES OF 2019

W. EVERGREEN DRIVE
(Richmond Street to Haymeadow Avenue)

A FINAL RESOLUTION AUTHORIZING SPECIAL ASSESSMENTS FOR STREET IMPROVEMENTS LOCATED ON W. EVERGREEN DRIVE (RICHMOND STREET TO HAYMEADOW AVENUE), IN SECTIONS 11 AND 14, T21N-R17E AS LOCATED IN THE TOWN OF GRAND CHUTE, AND LEVYING SPECIAL ASSESSMENTS AGAINST SPECIFICALLY BENEFITING ABUTTING PROPERTY OWNERS OR ON AN AREA WIDE BASIS TO SPECIFICALLY BENEFITING PROPERTY OWNERS UNDER CHAPTER 60 AND 66.0703(1)(b), ET AL, POLICE POWERS, WIS. STATS., 2017-2018 AS AMENDED.

WHEREAS, the Town Board of Supervisors of the Town of Grand Chute, Outagamie County, Wisconsin, did pass a Preliminary Resolution 36, Series of 2018, on the 16th day of October 2018, and declaring their intention to exercise special assessment powers under Wisconsin Statutes, Chapter 60 and 66.0703(1)(b), et al., for street improvements as described and shown on Exhibit "A" and did publish the required statutory Notice of Public Hearing on Special Assessments on the Town's website and did post said notice at the Grand Chute Town Hall, and did further mail a copy of said Notice of Public Hearing to all specially abutting property owners or on an area wide basis to specifically benefiting property owners within the required statutory time; and,

WHEREAS, the abutting property owners or area wide benefiting property owners affected by the street improvements are those owners of real estate within the area described in the preceding paragraph; and,

WHEREAS, the Town Board of Supervisors of the Town of Grand Chute, Outagamie County, Wisconsin, did hold a Public Hearing at the Town of Grand Chute Town Hall located at 1900 W. Grand Chute Boulevard, Grand Chute, Outagamie County, Wisconsin, on the 19th day of March, at 6:30 p.m., pursuant to the Notice of Public Hearing and a mailing of said Notice to abutting property owners or area wide benefiting property owners for the purpose of informing and hearing all interested persons concerning the Preliminary Resolution and the Report of the Town of Grand Chute Engineer on the proposed improvements for street reconstruction, and did hear all persons desiring audience at said hearing.

NOW, THEREFORE, BE IT RESOLVED by the Town Board of Supervisors of the Town of Grand Chute, Outagamie County, Wisconsin, as follows:

1. That the Report of the Town of Grand Chute Engineer pertaining to the project and all plans and specifications thereto, as modified, are hereby approved and adopted, and that the properties being assessed are specially benefited by this project.
2. That the Town of Grand Chute is aware that the work for said street improvements will be carried out in accordance with the Report of the Town of Grand Chute Engineer.

3. That payment of said improvements be made by assessing the Town of Grand Chute's costs to the specially benefiting abutting property owners or to specifically benefiting property owners on an area wide basis under Chapter 60 and 66.0703(1)(b), et al, Wis. Stats., 2017-2018 as amended pursuant to the Town's Police Powers.
4. That the Town of Grand Chute will carry out the work for said improvements, all as aforementioned based on the Engineers Report.
5. That all costs to property owners shown on the Report of the Town of Grand Chute Engineer are true and correct and have been determined on a reasonable basis and are hereby confirmed.
6. That the assessments shall be paid in full at due date, or in installments as provided in Town of Grand Chute Special Assessment Policy with all deferred payments to bear interest at the current borrowing rate for this project of the Town of Grand Chute plus two (2) percent for administrative charges, which resulting sum will be charged per annum on the unpaid balance. Installments or assessments not paid when due shall bear interest from the delinquent date at the rate of eighteen (18) percent per annum.
7. The Town Clerk of Grand Chute is directed to post this Resolution and publish on the Town's website and shall further mail a copy of this Final Resolution and a statement of the final assessment against abutting property or to area wide benefiting property, to each property owner whose name appears on the assessment roll and whose post office address is known or can, with reasonable diligence, be ascertained. This assessment may be revised, where necessary, pursuant to Chapters 60 and 66, Wis. Stats.

Date introduced, approved and adopted this _____ day of _____, 2019.

TOWN OF GRAND CHUTE

Dave Schowalter
Town Chairman

Angie Cain
Town Clerk

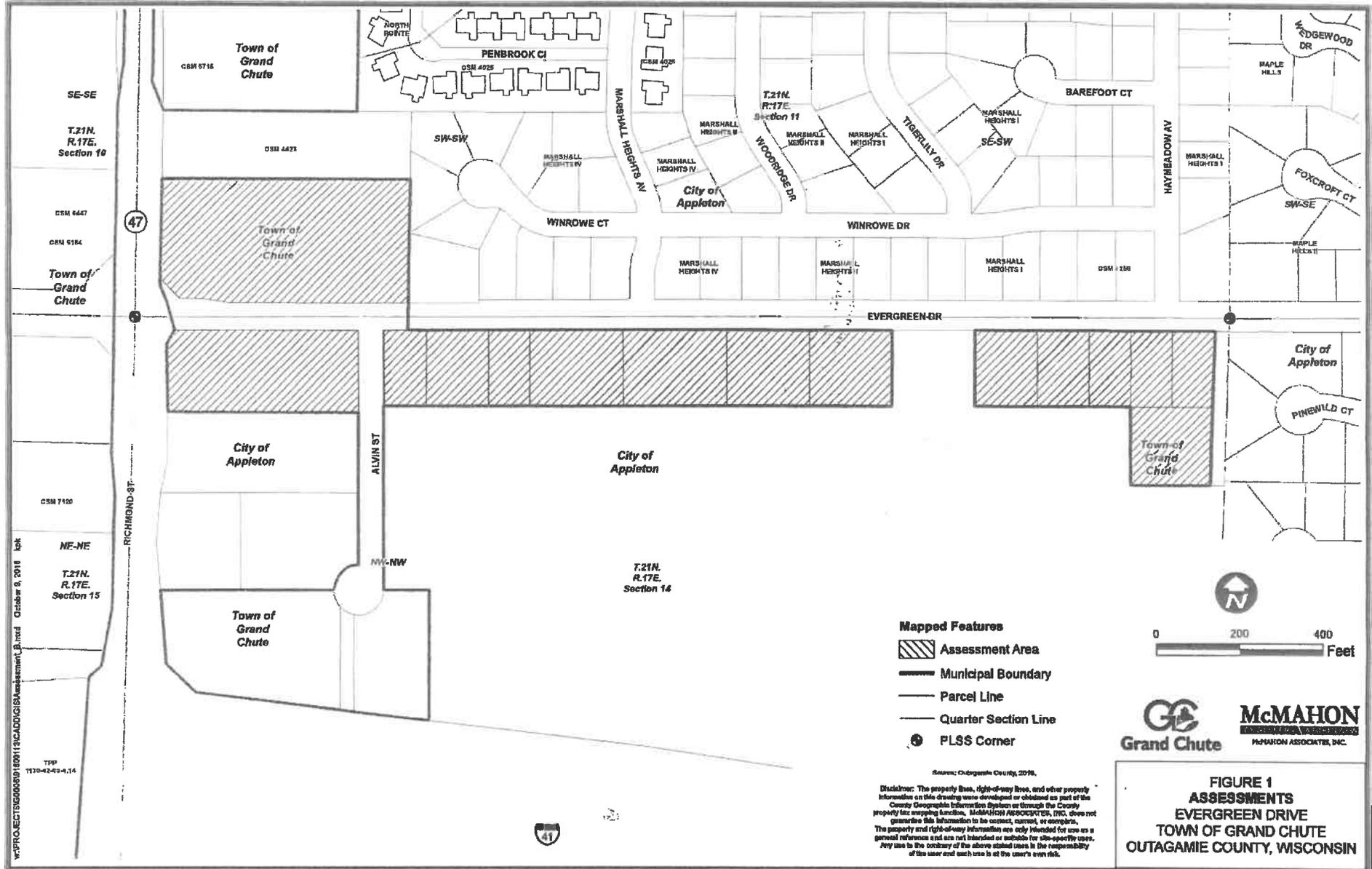
EXHIBIT "A"

Town of Grand Chute Assessment Map
Evergreen Drive East of STH 47
McM. No. G0006-9-18-00113.02

A part of the Southwest $\frac{1}{4}$ of the Southwest $\frac{1}{4}$ of Section 11 and the Northwest $\frac{1}{4}$ of the Northeast $\frac{1}{4}$ of the Northwest $\frac{1}{4}$ of Section 14 all in Township 21 North, Range 17 East, Town of Grand Chute, Outagamie County, Wisconsin.

Beginning at the Southwest corner of said Section 11;
Thence North 330 feet along the West line of said Southwest $\frac{1}{4}$;
Thence East 660 feet;
Thence South 363 feet to the said South line of W. Evergreen Drive;
Thence East 1947 feet to the Northeast corner of Tax Parcel 0519-3;
Thence South 370 feet along the East line of the Tax Parcels 0519-3 and 0519-6 to the Southeast corner of Tax Parcel 0519-6;
Thence West 191.78 to the Southwest corner of tax parcel 0519-6;
Thence North 190 feet to the Northwest corner of said tax parcel;
Thence West 375.00 feet to the Southwest corner of Tax Parcel 0519-5;
Thence North 180 feet along the West line of said tax parcel to the South line of W. Evergreen Drive;
Thence West 200 feet along the South line of W. Evergreen Drive to the East line of Tax Parcel 0521;
Thence South 180 feet along the East line of Tax Parcel 0521 to the Southeast corner thereof;
Thence West 1,225.0 feet along the South line of Tax Parcel 0521 and its Westerly extension to the Southwest corner of Tax Parcel 0527 on the East line of Alvin Street;
Thence North 180 feet to the Northwest corner of Tax Parcel 0527;
Thence West 60.00 feet to the Northeast corner of Tax Parcel 0524-6;
Thence South 196.0 feet to the Southeast corner of said tax parcel;
Thence West 539.46 feet along the South line of Tax Parcel 0524-6 to the West line of the Northwest $\frac{1}{4}$ of said Section 14;
Thence North 229 feet to the point of beginning.
Excepting the right-of-way of Richmond Street and W. Evergreen Drive.

EXHIBIT "A"



W:\PROJECTS\GIS\00000000\0001\3\CADD\GIS\Assessment_B.mxd October 9, 2016 1:04
 TFP 1110-42-40-4-14

**Town of Grand Chute
Evergreen Drive Urbanization
STH 47 to Haymeadow Avenue
McM No.: G0006-9-18-00869
Schedule of Assessments (50% Assessment on AGD)**

Project Cost

Storm Sewer:

Description	Unit	Estimated Quantity	Unit Price	Amount	AGD Zoning Assessable Amount	Other Zoning Assessable Amount
4"-6" San Lateral	LF	32	\$125.00	\$4,000.00	\$0.00	\$0.00
72" RCP Class IV Storm Sewer	LF	233	\$375.00	\$87,375.00	\$7,922.00	\$16,310.00
72" RCP Cl V Storm Sewer (Jacked)	LF	200	\$750.00	\$150,000.00	\$6,800.00	\$14,000.00
60" Storm Sewer	LF	605	\$300.00	\$181,500.00	\$20,570.00	\$42,350.00
24" RCP Class IV Storm Sewer	LF	78	\$140.00	\$10,920.00	\$2,652.00	\$5,460.00
15" Storm Sewer	LF	436	\$85.00	\$37,060.00	\$14,824.00	\$30,520.00
12" Class IV Storm Sewer	LF	212	\$150.00	\$31,800.00	\$7,208.00	\$14,840.00
6" Storm Lateral	LF	619	\$75.00	\$46,425.00	\$21,046.00	\$43,330.00
12" Inlet Lead	LF	382.5	\$65.00	\$24,862.50	\$13,005.00	\$24,862.50
Storm Manhole	VF	48.31	\$140.00	\$6,763.40	\$2,705.36	\$6,763.40
Tee-Line Storm Manhole	VF	7.31	\$875.00	\$6,396.25	\$409.36	\$3,198.13
8' Dia. Manhole	VF	17.09	\$780.00	\$13,330.20	\$957.04	\$7,476.88
10' Dia. Manhole	VF	9.15	\$1,160.00	\$10,614.00	\$512.40	\$4,003.13
8' Dia. MH w/Orifice (AD-208)	Each	1	\$12,000.00	\$12,000.00	\$56.00	\$437.50
10' Dia. MH w/Orifice (AD-110)	Each	1	\$15,000.00	\$15,000.00	\$56.00	\$437.50
Storm Manhole Casting	Each	8	\$550.00	\$4,400.00	\$1,760.00	\$2,200.00
"E" Inlet W/Frame	Each	22	\$1,500.00	\$33,000.00	\$13,200.00	\$16,500.00
Pavement Markings Yellow (4")	LF	1700	\$0.90	\$1,530.00	\$612.00	\$765.00
Pavement Markings White (4")	LF	3400	\$0.85	\$2,890.00	\$1,156.00	\$1,445.00
Silt Fence	LF	365	\$2.10	\$766.50	\$306.60	\$383.25
Sediment Log	LF	488	\$8.00	\$3,904.00	\$1,561.60	\$1,952.00
Type "D" Inlet Protection	Each	26	\$90.00	\$2,340.00	\$936.00	\$1,170.00
Temporary Traffic Control	LS	1	\$7,000.00	\$7,000.00	\$2,800.00	\$3,500.00
Extra: Message Board	LS	1	\$2,300.00	\$2,300.00	\$920.00	\$1,150.00
Extra	LS	1	\$5,391.00	\$5,391.00	\$2,156.40	\$2,695.50
Temporary Asphalt	LS	1	\$51,500.00	\$51,500.00	\$20,600.00	\$25,750.00
Type D Inlet Protection	Each	26	\$90.00	\$2,340.00	\$936.00	\$1,170.00
Adjust Storm Manhole Casting	Each	10	\$250.00	\$2,500.00	\$1,000.00	\$1,250.00
Adjust Sanitary Manhole Casting	Each	7	\$250.00	\$1,750.00	\$0.00	\$0.00
Adjust Inlet Casting	Each	22	\$250.00	\$5,500.00	\$2,200.00	\$2,750.00
Remove Inlet/Manhole	Each	2	\$387.00	\$774.00	\$309.60	\$387.00

Abandon Inlet/Lead	Each	2	\$387.00	\$774.00	\$309.60	\$387.00
Type C Inlet W/Casting	Each	2	\$2,342.00	\$4,684.00	\$1,873.60	\$2,342.00
Yard Drain	Each	1	\$2,202.00	\$2,202.00	\$880.80	\$1,101.00
Storm Inlet Lead	LF	78	\$98.70	\$7,698.60	\$3,079.44	\$3,849.30
Sanitary Manhole Seal (0"-12")	Each	2	\$425.00	\$850.00	\$0.00	\$0.00
Sanitary Manhole Seal (12"-18")	Each	3	\$510.00	\$1,530.00	\$0.00	\$0.00
Sanitary Manhole Seal (18"+)	Each	2	\$575.00	\$1,150.00	\$0.00	\$0.00
			Subtotal:	\$784,820.45	\$155,320.80	\$284,736.08
			Contingencies (15%):	\$117,723.07	\$23,298.12	\$42,710.41
			Engineering:	\$7,848.20	\$7,766.04	\$14,236.80
			Subtotal:	\$910,391.72	\$186,384.96	\$341,683.29
			Administration (5%):	\$45,519.59	\$9,319.25	\$17,084.16
			Total:	\$955,911.31	\$195,704.21	\$358,767.45

Street:

Description	Unit	Estimated Quantity	Unit Price	Amount	AGD Zoning Assessable Amount	Other Zoning Assessable Amount
HMA Pavement 3MT 58-28S (Lower Layer)	Ton	2069	\$57.50	\$118,967.50	\$34,990.44	\$118,967.50
HMA Pavement 4MT 58-28S (Upper Layer)	Ton	1182	\$64.10	\$75,766.20	\$31,197.85	\$75,766.20
3" Asphalt Pavement	SY	255	\$41.92	\$10,689.60	\$4,401.60	\$10,689.60
12" Stone Base	SY	10240	\$7.47	\$76,492.80	\$30,783.69	\$76,492.80
Excavation	CY	12082	\$14.87	\$179,659.34	\$72,301.93	\$179,659.34
Geogrid	SY	10240	\$2.00	\$20,480.00	\$8,241.95	\$20,480.00
6" Pedestrian Curb & Gutter	LF	50	\$25.00	\$1,250.00	\$0.00	\$0.00
30" Curb & Gutter	LF	230	\$28.95	\$6,658.50	\$3,329.25	\$6,658.50
5" Concrete Driveway	SF	2720	\$4.85	\$13,192.00	\$6,596.00	\$13,192.00
5" Concrete Sidewalk	SF	25500	\$4.89	\$124,695.00	\$0.00	\$0.00
4" Concrete Sidewalk	SF	11600	\$4.93	\$57,188.00	\$0.00	\$0.00
7" Concrete Handicap Ramp	SF	930	\$6.05	\$5,626.50	\$0.00	\$0.00
Truncated Dome	SF	184	\$30.00	\$5,520.00	\$0.00	\$0.00
5" Private Concrete Driveway	SF	590	\$4.85	\$2,861.50	\$1,430.75	\$2,861.50
3" Private Asphalt Driveway	SF	4100	\$7.75	\$31,775.00	\$15,887.50	\$31,775.00
Concrete Pavement Removal	SY	135	\$3.00	\$405.00	\$202.50	\$405.00
Asphalt Pavement Removal	SY	6795	\$1.50	\$10,192.50	\$5,096.25	\$10,192.50
Concrete Curb & Gutter Removal	LF	390	\$3.00	\$1,170.00	\$585.00	\$1,170.00
Driveway Apron Removal	SF	5070	\$0.50	\$2,535.00	\$1,267.50	\$2,535.00
Handicap Ramp Removal	SF	100	\$1.50	\$150.00	\$0.00	\$0.00
Sidewalk Removal	SF	1202	\$0.70	\$841.40	\$0.00	\$0.00
Private Concrete Driveway Removal	SF	180	\$0.50	\$90.00	\$45.00	\$90.00
Private Asphalt Driveway Removal	SF	4100	\$0.50	\$2,050.00	\$1,025.00	\$2,050.00
Full Depth Sawcut	LF	875	\$2.50	\$2,187.50	\$1,093.75	\$2,187.50
Horizontal Curb Head Sawcut	LF	50	\$20.00	\$1,000.00	\$0.00	\$0.00
Drill Tie Bars	Each	95	\$8.00	\$760.00	\$380.00	\$760.00
Terrace Restoration	SY	6450	\$6.30	\$40,635.00	\$20,317.50	\$40,635.00

Seed, Fertilizer, & Mulch	SY	6450	\$0.75	\$4,837.50	\$2,418.75	\$4,837.50
Remove Culvert	Each	16	\$200.00	\$3,200.00	\$1,600.00	\$3,200.00
Remove Existing Pavement Marking	LF	1856	\$2.15	\$3,990.40	\$1,995.20	\$3,990.40
Remove Existing Pavement Marking Arrows	Each	9	\$82.50	\$742.50	\$0.00	\$0.00
Pavement Marking Epoxy 4"	LF	2700	\$0.77	\$2,079.00	\$1,039.50	\$2,079.00
Pavement Marking Epoxy 6" (Bike Lanes)	LF	9250	\$0.94	\$8,695.00	\$4,347.50	\$8,695.00
Pavement Marking Epoxy 6" (Crosswalks)	LF	490	\$7.10	\$3,479.00	\$1,739.50	\$3,479.00
Pavement Marking Epoxy 8"	LF	750	\$1.05	\$787.50	\$393.75	\$787.50
Pavement Marking Epoxy 12"	LF	430	\$11.25	\$4,837.50	\$2,418.75	\$4,837.50
Pavement Marking Epoxy 18"	LF	395	\$16.80	\$6,636.00	\$3,318.00	\$6,636.00
Pavement Marking Epoxy (Arrows/Symbols/Words)	Each	32	\$225.00	\$7,200.00	\$3,600.00	\$7,200.00
Conduit Nonmetal, Sch 80, 2"	LF	2903	\$6.05	\$17,563.15	\$0.00	\$0.00
Conduit Nonmetal, Sch 80, 3"	LF	25	\$7.70	\$192.50	\$0.00	\$0.00
Concrete Base, Type 5	Each	16	\$825.00	\$13,200.00	\$0.00	\$0.00
Concrete Base, City, Type 1 (12.75" Bolt Circle)	Each	4	\$715.00	\$2,860.00	\$0.00	\$0.00
Concrete Bases, Cabinet Basement, Type 10	Each	1	\$1,650.00	\$1,650.00	\$0.00	\$0.00
Notify Property Owners	LS	0.1	\$5,500.00	\$550.00	\$275.00	\$550.00
Traffic Control	LS	0.1	\$45,000.00	\$4,500.00	\$2,250.00	\$4,500.00
Street Lights	LS	1	\$25,000.00	\$25,000.00	\$12,500.00	\$25,000.00
			Subtotal:	\$904,838.39	\$277,069.41	\$672,359.34
			Contingencies (15%):	\$135,725.76	\$41,560.41	\$100,853.90
			Engineering:	\$9,048.38	\$2,770.69	\$6,723.59
			Subtotal:	\$1,049,612.53	\$321,400.51	\$779,936.83
			Administration (5%):	\$52,480.63	\$16,070.03	\$38,996.84
			Total:	\$1,102,093.16	\$337,470.54	\$818,933.68

Setting Assessment Rates:

Storm Sewer:

AGD Zoning	
Assessable Amount:	\$195,704.21
Town Assessable Amount:	\$88,066.89
Town Allocated Assessable Amount:	\$75,493.25
Assessable Frontage:	2290.80 feet
Assessment Rate:	\$32.95 per foot
Maximum Assessment Rate:	\$20.00 per foot

Other Zoning

Assessable Amount:	\$358,767.45
Town Assessable Amount:	\$161,445.35
Town Allocated Assessable Amount:	\$23,050.16
Assessable Frontage:	381.54 feet
Assessment Rate:	\$60.41 per foot
Maximum Assessment Rate:	\$40.00 per foot

Street:

AGD Zoning	
Assessable Amount:	\$337,470.54
Town Assessable Amount:	\$151,861.74
Town Allocated Assessable Amount:	\$130,179.87
Assessable Frontage:	2290.80 feet
Assessment Rate:	\$56.83 per foot

Other Zoning	
Assessable Amount:	\$818,933.68
Town Assessable Amount:	\$368,520.15
Town Allocated Assessable Amount:	\$52,615.00
Assessable Frontage:	381.54 feet
Assessment Rate:	\$137.90 per foot

Schedule of Assessments:

Property Owner	Property Address	Parcel Number	Zoning	Total Evergreen Drive Street Frontage	AGD Zoning Storm Sewer Assessable Frontage	Other Zoning Storm Sewer Assessable Frontage	Storm Sewer Assessment	AGD Zoning Street Assessable Frontage	Other Zoning Street Assessable Frontage	Street Assessment	Total Assessment
TOWN OF GRAND CHUTE	W EVERGREEN DR	101041000	AGD	604.48	521.15	0.00	\$10,423.00	521.15	0.00	\$29,615.52	\$40,038.52
JOHNSON, JAMES J	109 W EVERGREEN DR	101051901	AGD	100.00	100.00	0.00	\$2,000.00	100.00	0.00	\$5,682.73	\$7,682.73
MARQUARDT, LELAND K	111 W EVERGREEN DR	101051902	AGD	100.00	100.00	0.00	\$2,000.00	100.00	0.00	\$5,682.73	\$7,682.73
DUWAYNE JOHNSON IRREV TRUST	107 W EVERGREEN DR	101051903	AGD	102.98	102.98	0.00	\$2,059.60	102.98	0.00	\$5,852.07	\$7,911.67
MONTONATI, TRUMAN A	123 W EVERGREEN DR	101051904	AGD	125.00	125.00	0.00	\$2,500.00	125.00	0.00	\$7,103.41	\$9,603.41
RICHLING, JOSHUA J	275 W EVERGREEN DR	101051905	AGD	150.00	150.00	0.00	\$3,000.00	150.00	0.00	\$8,524.09	\$11,524.09
JOHNSON, JAMES J	W EVERGREEN DR	101051906	AGD	197.53	0.00	0.00	\$0.00	0.00	0.00	\$0.00	\$0.00
HEIN, KRISTINE A	335 W EVERGREEN DR	101052000	AGD	200.00	200.00	0.00	\$4,000.00	200.00	0.00	\$11,365.45	\$15,365.45
HELMS, ANTHONY V	325 W EVERGREEN DR	101052100	AGD	200.00	200.00	0.00	\$4,000.00	200.00	0.00	\$11,365.45	\$15,365.45
VANASTEN, RYAN J	465 W EVERGREEN DR	101052401	AGD	225.00	225.00	0.00	\$4,500.00	225.00	0.00	\$12,786.13	\$17,286.13
ALBRIGHT, WILLIAM J	445 W EVERGREEN DR	101052402	AGD	250.00	250.00	0.00	\$5,000.00	250.00	0.00	\$14,206.81	\$19,206.81
GRISHABER MAIN STREET PARTNERSHIP LLP	3992 N RICHMOND ST	101052406	CL	464.87	0.00	381.54	\$15,261.60	0.00	381.54	\$52,615.00	\$67,876.60
DUWAYNE JOHNSON IRREV TRUST	W EVERGREEN DR	101052500	AGD	100.00	100.00	0.00	\$2,000.00	100.00	0.00	\$5,682.73	\$7,682.73
JANSSEN, DAVID	535 W EVERGREEN DR	101052600	AGD	150.00	150.00	0.00	\$3,000.00	150.00	0.00	\$8,524.09	\$11,524.09
DUWAYNE JOHNSON IRREV TRUST	W EVERGREEN DR	101052700	AGD	100.00	66.67	0.00	\$1,333.40	66.67	0.00	\$3,788.67	\$5,122.07
				3069.86	2290.80	381.54	\$61,077.60	2290.80	381.54	\$182,794.88	\$243,872.48

Note: AGD zoned parcels are assessed as RES

Note: Based on Elsnor low bid and using 4-1/2" for AGD and 5-1/2" For Other Zoning